



## COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals      **ZONING BOARD APPEALS DATE:** September 12, 2023

**REGARDING:** 24295 Haggerty Road, Parcel # 50-22-24-476-030 (PZ23-0032)

**BY:** Alan Hall, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### **Applicant**

Nowak & Fraus Engineers/ Audi

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned General Business (B-3)

Location: West of Haggerty Road, North of Ten Mile

Parcel #: 50-22-24-476-030

#### **Request**

The applicant is requesting a variance from City of Novi Zoning Ordinance Section 3.10.3.a to allow one overhead door to face a major thoroughfare (Ten Mile Road). This property is zoned General Business (B-3).

### II. STAFF COMMENTS:

*This property was previously the Jaguar Dealership which is now being re-designed for Audi. The overhead door is constructed of aluminum and glass which is screened by the building from Haggerty Road. The overhead door will be visible from Ten Mile Road.*

**III. RECOMMENDATION:**

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ23-0032**, sought by \_\_\_\_\_, for \_\_\_\_\_, because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.

(b) The property is unique because \_\_\_\_\_.

(c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_.

(e) The relief is consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:  
1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

2. I move that we **deny** the variance in Case No. **PZ23-0032**, sought by \_\_\_\_\_, for \_\_\_\_\_, because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including

\_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

RECEIVED

JUL 31 2023

CITY OF NOVI
COMMUNITY DEVELOPMENT APPLICATION MUST BE FILLED OUT COMPLETELY

ZONING BOARD OF APPEALS
APPLICATION

Application Fee: 300.00
Meeting Date: Sep 12 2023
ZBA Case #: PZ 23-0032

I. PROPERTY INFORMATION (Address of subject ZBA Case)
PROJECT NAME / SUBDIVISION
Audi Novi
ADDRESS
24295 Haggerly Road
LOT/SIUTE/SPACE #
SIDWELL #
50-22-24 - 476 - 030
May be obtained from the Assessing Department (248) 347-0485

CROSS ROADS OF PROPERTY
Haggerly Road and 10 Mile Road
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION?
[ ] YES [x] NO
REQUEST IS FOR:
[ ] RESIDENTIAL [x] COMMERCIAL [ ] VACANT PROPERTY [ ] SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED?
[ ] YES [x] NO

II. APPLICANT INFORMATION
A. APPLICANT
EMAIL ADDRESS: jlonghurst@nfe-engr.com
CELL PHONE NO.
NAME: Jason R. Longhurst, P.E.
TELEPHONE NO.: 248-332-7931
ORGANIZATION/COMPANY: Nowak and Fraus Engineers
FAX NO.
ADDRESS: 4677 Woodward Avenue
CITY: Pontiac
STATE: MI
ZIP CODE: 48342

B. PROPERTY OWNER [x] CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER
Identify the person or organization that owns the subject property:
EMAIL ADDRESS: abreck@lithia.com
CELL PHONE NO.
NAME: Anne Breck
TELEPHONE NO.: 541-734-3043
ORGANIZATION/COMPANY: Lithia Motors
FAX NO.
ADDRESS: 150 N. Bartlett Street
CITY: Medford
STATE: OR
ZIP CODE: 97501

III. ZONING INFORMATION
A. ZONING DISTRICT
[ ] R-A [ ] R-1 [ ] R-2 [ ] R-3 [ ] R-4 [ ] RM-1 [ ] RM-2 [ ] MH
[ ] I-1 [ ] I-2 [ ] RC [ ] TC [ ] TC-1 [x] OTHER B-3
B. VARIANCE REQUESTED
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:
1. Section 3.10.3.A Variance requested: Variance Requested to allow overhead doors facing 10 Mile Road

IV. FEES AND DRAWINGS
A. FEES
[ ] Single Family Residential (Existing) \$200 [ ] (With Violation) \$250 [ ] Single Family Residential (New) \$250
[x] Multiple/Commercial/Industrial \$300 [ ] (With Violation) \$400 [ ] Signs \$300 [ ] (With Violation) \$400
[ ] House Moves \$300 [ ] Special Meetings (At discretion of Board) \$600
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF
• Dimensioned Drawings and Plans
• Site/Plot Plan
• Existing or proposed buildings or addition on the property
• Number & location of all on-site parking, if applicable
• Existing & proposed distance to adjacent property lines
• Location of existing & proposed signs, if applicable
• Floor plans & elevations
• Any other information relevant to the Variance application



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five (5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten (10) days before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be an actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 7.10 – Miscellaneous

No order of the ZBA permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the ZBA permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

Applicant Signature

2023-07-27

Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

7/27/2023

Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



## Community Development Department

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Novi, MI 48375  
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## REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

### Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

**Describe below:**

We are proposing to remove two existing overhead doors at the service drive entry and replace with a single overhead door in the same location. Additionally, the dealership is subject to a Corporate Branding Requirement. That mandates arrangement of the showroom with adjacency to the service department, and the requirement for drive through service.

OR

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

The primary goal for this property is two fold; first to utilize as much of the existing structure as possible, and second to develop a new Audi dealership that is in compliance with the brand requirements. Maintaining an overhead door at the existing service drive with the same orientation as the existing condition accomplishes both of these goals.

OR

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The dealership is subject to a Corporate Branding Requirement where the orientation and adjacency of the service drive in relation to the showroom are mandated by the agreement. Further, the proposal is to reuse as much of the existing building as possible, including the existing relationship between the showroom and the service drive.

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The dealership is subject to a Corporate Branding Requirement. The arrangement of the showroom with adjacency to the service department, and the requirement for drive through service, are mandated by Audi. Due to these requirements and the corner lot condition, any re-orientation of the building would still not comply with the requirement in Section 3.10.3.A.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Due to the brand requirements and the corner lot condition, any re-orientation of the building would still not comply with the requirement in Section 3.10.3.A. To have a clearly identifiable service drive location available for customers that visit the site, we are requesting a variation to allow overhead doors to face 10 Mile Road.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

This site is located at the intersection of 10 Mile Road and Haggerty Road, directly adjacent to other business sites in all directions. When considering the existing building conditions, proposed building, as well as proposed landscape conditions, the granting of this variance will in no way negatively impact surrounding properties.

**Owner**

LITHIA MOTORS, INC.  
150 N. BARTLETT STREET  
MEDFORD, OREGON 97501

CONTACT:  
MS. ANNE BRECK  
PHONE: (541) 734-3043  
EMAIL: ABRECK@LITHIA.COM

**Civil Engineer**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342  
CONTACT:  
MR. JASON R. LONGHURST, P.E.  
PHONE: (248) 332-7931  
EMAIL: JLONGHURST@NFE-ENGR.COM

**Architect**

STUDIO DETROIT  
2111 WOODWARD AVEUNE  
SUITE 1001  
DETROIT, MICHIGAN 48201  
CONTACT:  
MR. SHANE BURLEY AIA, NCARB  
PHONE: (313) 919-5886  
EMAIL: SHANE@STUDIO-DETROIT.COM

**Landscape Architect**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342  
CONTACT:  
MR. GEORGE OSTROWSKI  
PHONE: (248) 332-7931  
EMAIL: GOSTROWSI@NFE-ENGR.COM

**LEGAL DESCRIPTION**

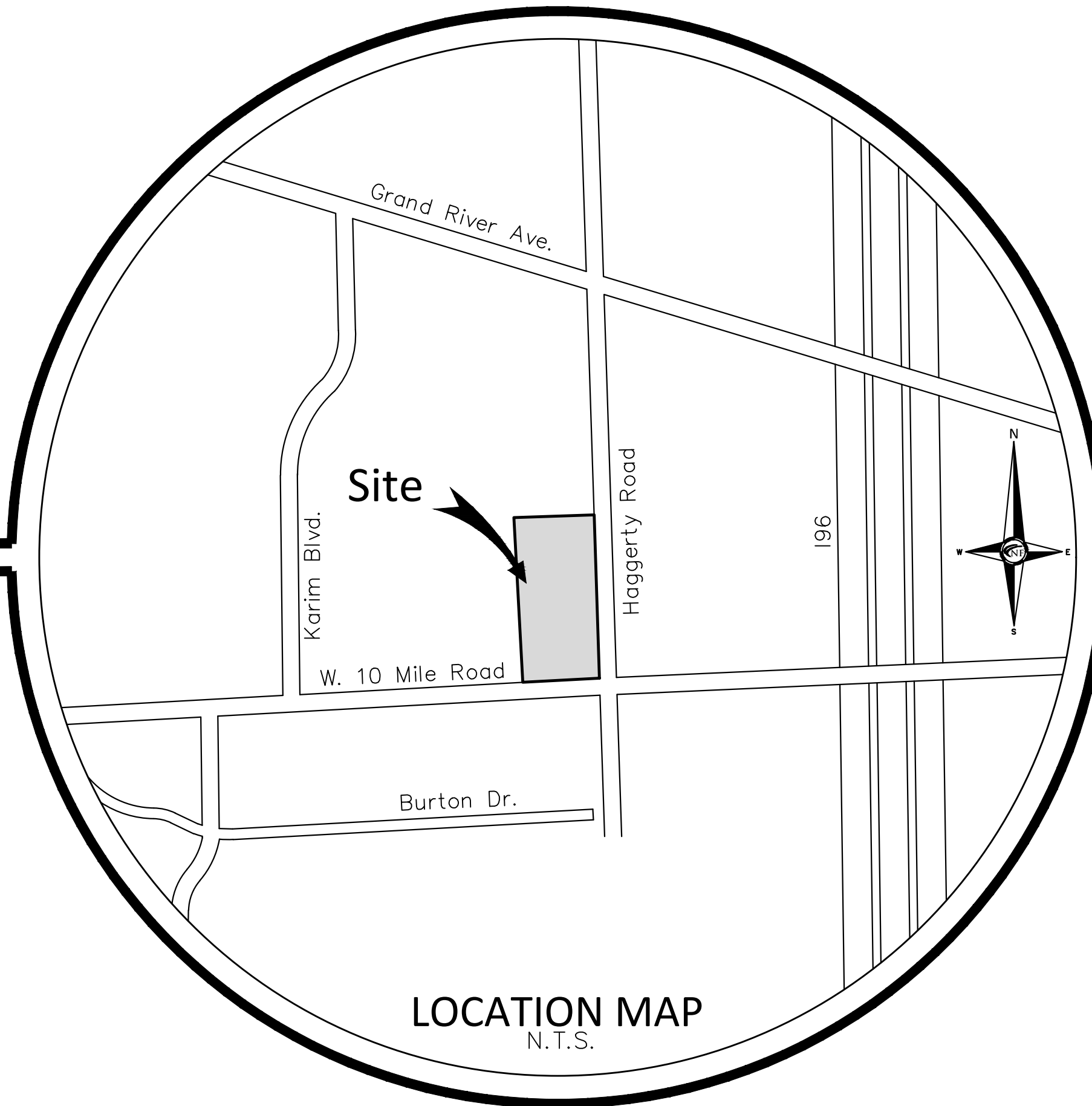
LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND CITY OF NOVI DESCRIBED AS:

A PART OF THE SOUTHEAST ¼ OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24: THENCE S.88°40'57"W., (RECORDED AS S.88°26'40"W.) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD: THENCE N.00°03'40"E., 583.59 FEET (RECORDED AS 571.73 FEET) ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING: THENCE S.88°26'40"W., 800.00 FEET; THENCE N.00°03'40"E., 190.00 FEET; THENCE N.49°33'57"E., 150.25 FEET; THENCE S.89°56'20"E., 685.42 FEET TO THE WESTERLY LINE OF SAID HAGGERTY ROAD; THENCE S.00°03'40"W., 265.00 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING.

CONTAINING 3.93 ACRES  
APN: 22-24-476-030

City of Novi,  
Oakland County, Michigan  
Final Site Plan  
Prepared For  
Lithia Motors, Inc.

PART OF THE SE 1/4 OF SECTION 24, T.1N., R.8E.,  
NOVI,  
OAKLAND COUNTY, MICHIGAN



LOCATION MAP  
N.T.S.

**SHEET INDEX**

C0	Cover Sheet
C1	Boundary, Topographic, and Tree Survey
C2	Tree Survey
C3	Demolition Plan
C4	Engineering Plan
C5	Storm Profiles and Calculations
C6	Soil Erosion and Sedimentation Control Plan
C7	Notes and Details
C8	Notes and Details
C9	Fire Truck Turning - Hydrant Coverage Plan

L1	Tree Preservation Plan
L2	Landscape Plan
L3	Landscape Notes and Details

SP1.1	Site Plan
SP1.2	Site Plan Details
TS1.5	Composite Floor Plan
A2.1	Building Elevations

1 of 1	Photometric Plan
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**City of Novi Standard Details**

1 of 2	Paving Details
2 of 2	Paving Details
1 of 3	Sanitary Details
2 of 3	Sanitary Details
3 of 3	Sanitary Details
1 of 2	Storm Sewer Details
2 of 2	Storm Sewer Details
1 of 5	Water Main Details
2 of 5	Water Main Details
3 of 5	Water Main Details
4 of 5	Water Main Details
5 of 5	Water Main Details
1 of 1	Soil Erosion and Sedimentation Control Details

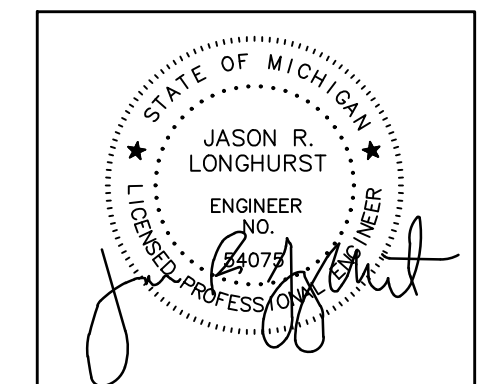
<b>REVISIONS:</b>	
2023-03-17	ISSUED FOR OWNER REVIEW
2023-04-14	ISSUED FOR PSP/FSP REVIEW
2023-06-07	ISSUED FOR PSP/FSP REVIEW
2023-07-06	REVISED PER SESC REVIEW

Project Name

Audi Novi  
24295 Haggerty Road



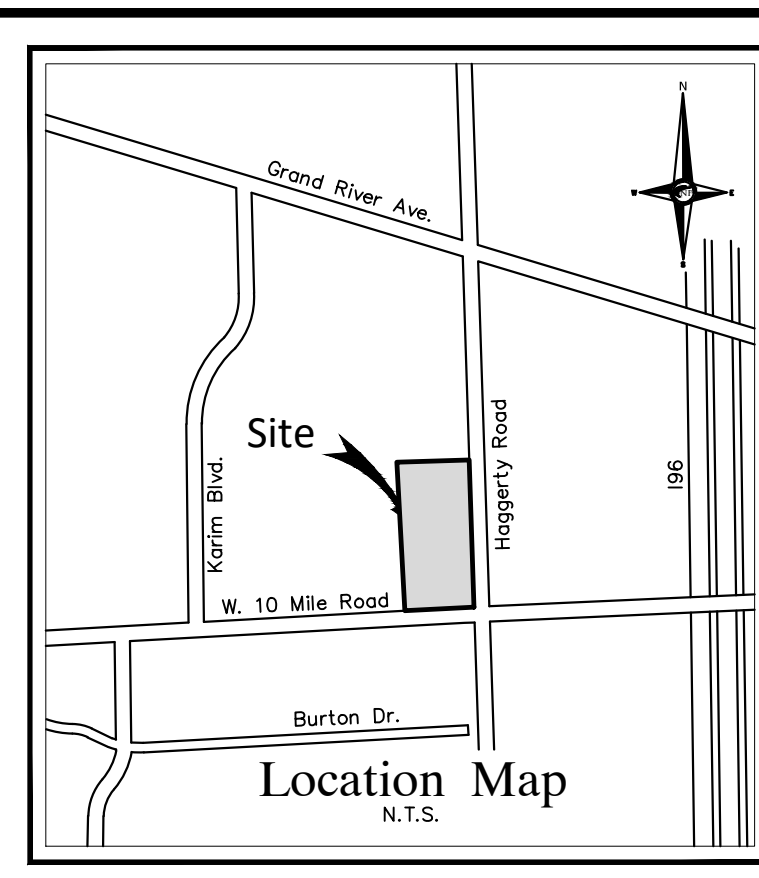
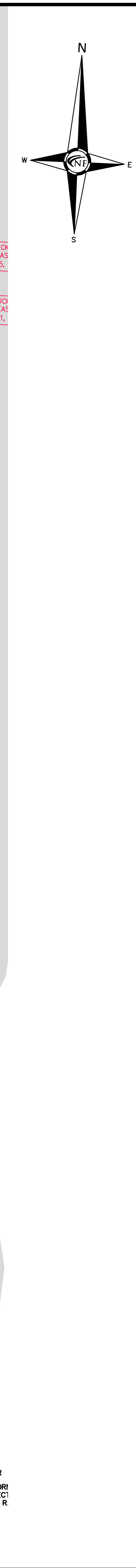
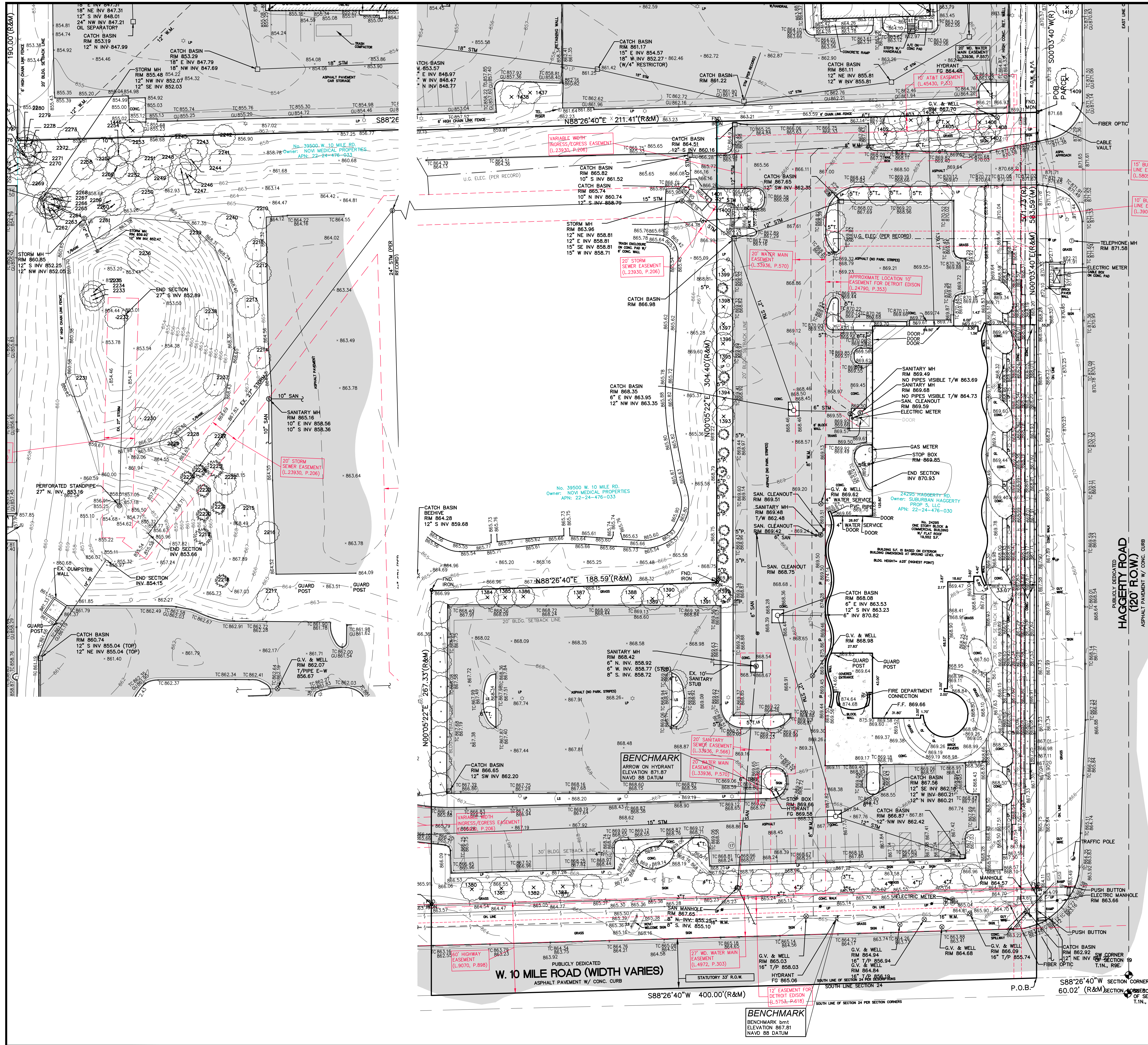
N & F JOB #1921-03



CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM





**NF ENGINEERS**  
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 LAND SURVEYORS  
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SEAL

JEFFREY J. HUHTA  
 PROFESSIONAL SURVEYOR  
 NO. 10898

PROJECT  
 Audi Novi  
 24295 Haggerty Road

CLIENT  
 Lithia Motors, Inc.  
 150 N. Bartlett Street  
 Medford, Oregon 97501

Contact:  
 Anne Breck  
 Tel: 541-734-3043  
 email: abreck@lithia.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of  
 Section 24, Town 1 North,  
 Range 8 East, City of Novi,  
 Oakland County, Michigan

SHEET  
 Boundary, Topographic,  
 and Tree Survey

811  
 Know what's below  
 Call before you dig.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER B90791822, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON AUGUST 6, 2019. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

DATE ISSUED/REVISED

2023-03-17	ISSUED FOR OWNER REVIEW
2023-04-14	ISSUED FOR PSP/ISP
2023-06-07	ISSUED FOR PSP/ISP
2023-07-07	REVISED PER SEC REVIEW

DRAWN BY:  
T. Wood

DESIGNED BY:

APPROVED BY:  
J. Huhta

DATE:  
August 6, 2019

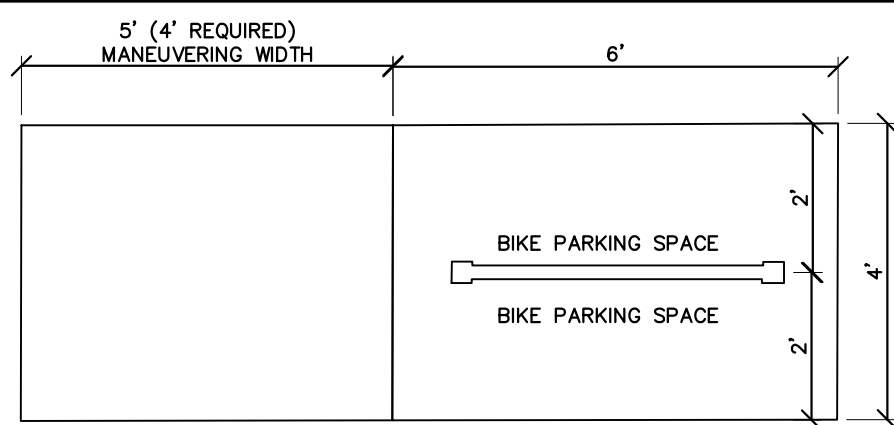
SCALE: 1" = 30'

NFE JOB NO. 1921-03

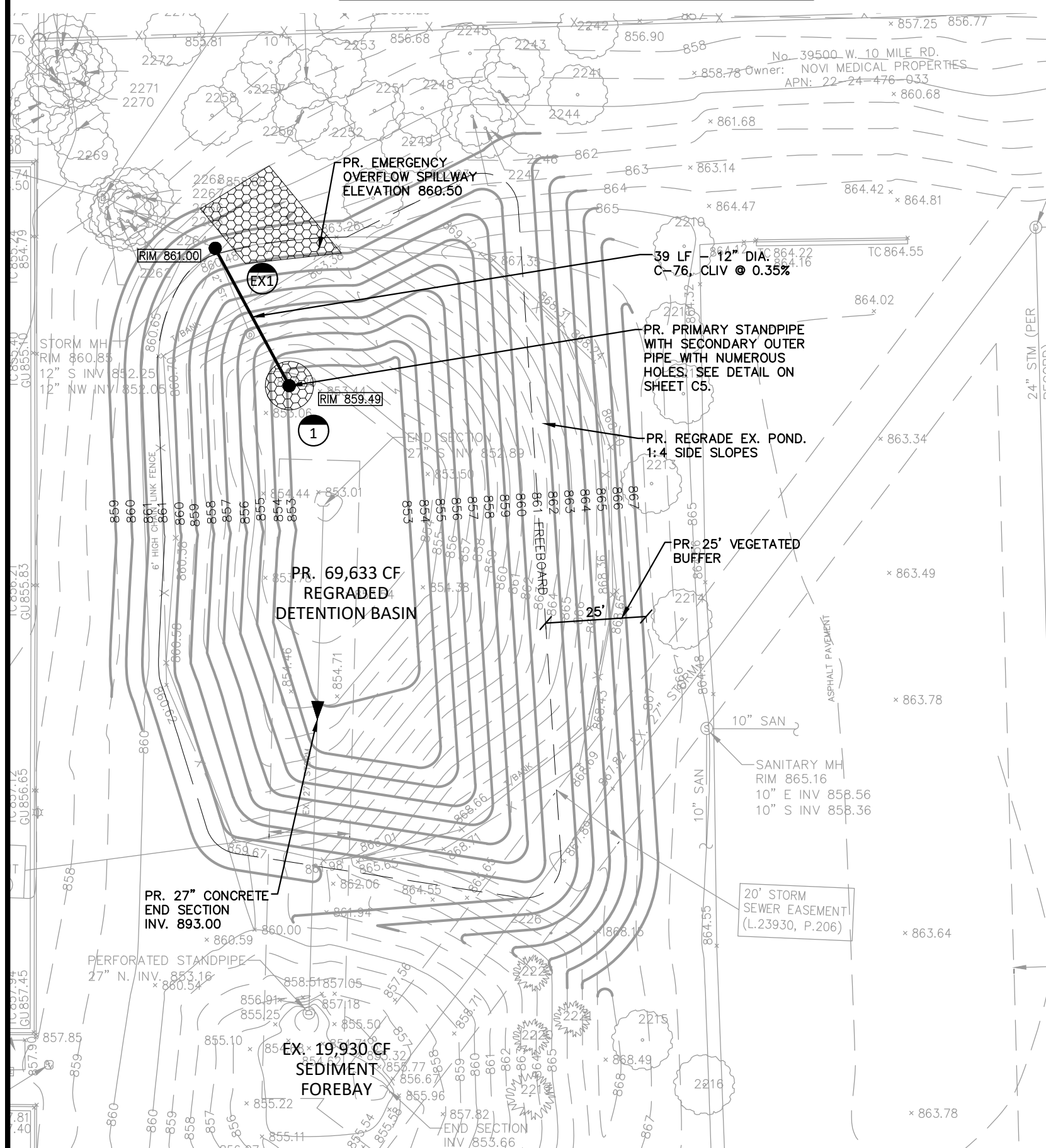
SHEET NO. C1

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE		EXISTING WATER MAIN
	MANHOLE		EXISTING STORM SEWER
	MANHOLE		EX. R.Y. CATCH BASIN
	UTILITY POLE		EXISTING BURIED CABLES
	GUY POLE		OVERHEAD LINES
	GUY WIRE		LIGHT POLE
	SIGN		SIGN
	EXISTING GAS MAIN		



CITY OF NOVI BICYCLE PARKING LAYOUT



CITY OF NOVI NOTES

COMPACTED MOOT CLASS II SAND BENCHMARK SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

IF DETERIATING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THEN A DETERIATING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.

SANITARY LEADS WILL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

PER THE TEN STATE STANDARDS ARTICLE 8.8.3, ONE FULL 20-FOOT PIPE LENGTH OF WATER MAIN SHALL BE USED WHENEVER STORM SEWER OR SANITARY SEWER IS CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING, IN ORDER TO ENSURE 10-FOOT SEPARATION BETWEEN WATER MAIN AND SEWERS.

A MINIMUM COVER DEPTH OF 3 FEET SHALL BE MAINTAINED OVER ALL PROPOSED STORM SEWER.

THE STORM WATER MANAGEMENT PLAN FOR THIS DEVELOPMENT HAS BEEN DESIGNED IN ACCORDANCE WITH THE STORM WATER ORDINANCE AND CHAPTER 5 OF THE ENGINEERING DESIGN MANUAL.

SITE INFORMATION

EXISTING ZONING: B-3 GENERAL BUSINESS DISTRICT  
 SITE AREA: 171,215 SF OR 3.93 ACRES (TOTAL)  
 AREA EXCLUDING ROW: 147,168 SF OR 3.39 ACRES

SITE ADDRESS: 24295 HAGGERTY ROAD

MIN. YARD SETBACKS:	REQUIRED	PROPOSED
FRONT (EAST)	30'	33.30 FT.
FRONT (SOUTH)	30'	173.07 FT.
REAR (WEST)	20'	76.49 FT.
REAR (NORTH)	20'	137.97 FT.

MIN. PARKING SETBACKS:	REQUIRED	PROPOSED
FRONT (EAST)	20'	37.84 FT.
FRONT (SOUTH)	20'	81.78 FT.
REAR (WEST)	10'	12.33 FT.
REAR (NORTH)	10'	1.75 FT.

MAX. BLDG. HEIGHT: 30' 30.00 FT.

VEHICLE PARKING: REQUIRED: 72 SPACES  
 PROVIDED: 72 CUSTOMER PARKING STALLS (INCLUDING 4 HANDICAP STALLS)

189 PARKING STALLS TOTAL

BIKE PARKING: REQUIRED: 2 SPACES  
 PROVIDED: 2 SPACES

LOT COVERAGE: SURFACE: 19,420 SF 13.19%  
 IMPERVIOUS: 87,045 SF 59.15%  
 LANDSCAPING: 40,703 SF 27.66%  
 TOTAL: 147,168 SF 100.00%

BUCKEYE PIPELINE CONTACT

CONTRACTOR SHALL CONTACT BUCKEYE PIPELINE IN ADVANCE FOR COORDINATION OF ANY WORK WITHIN THE BUCKEYE PIPELINE EASEMENT.  
 MR. PAT PARKER  
 PHONE: 734-890-2469;  
 EMAIL: P.PARKER@BUCKEYE.COM

PROPERTY FRONTAGE NOTE

10 MILE ROAD PROPERTY FRONTAGE IS 400.00 FEET.  
 HAGGERTY ROAD PROPERTY FRONTAGE IS 571.73

FIRE DEPARTMENT NOTES

ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL BEING BROUGHT ON SITE.

ALL BUILDINGS MUST COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 510 FOR EMERGENCY RADIO COVERAGE TO BE IMPLEMENTED BY THE TIME OF THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION.

FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM 50 FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF 35 TONS.

LOADING SPACE NOTE

PROPOSED LOADING SPACE 10'X75' PROVIDED OFFSITE

NOTE

ALL WORK SHALL CONFORM TO THE CITY OF NOVI STANDARDS AND SPECIFICATIONS. (TYP)

ADJACENT LAND ZONING AND USE

ADJACENT LAND	ZONING	APN	USE
NORTH	B-3	22-24-476-022	CAR SALES
WEST	OS-1	22-24-476-033	MISC OFFICE
SOUTH	C-1	22-25-226-019	BANK
SOUTH	B-1	22-25-226-010	RESTAURANT
EAST	FARMINGTON HILLS B-3	23-19-351-020	CAR SALES

CITY OF NOVI SIGNING AND STRIPING NOTES

ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE SIGN

SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHEMEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHEMEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.

ALL GROUND MOUNTED SIGNS SHALL HAVE A MINIMUM BOTTOM HEIGHT OF SEVEN FEET FROM FINISHED GRADE.

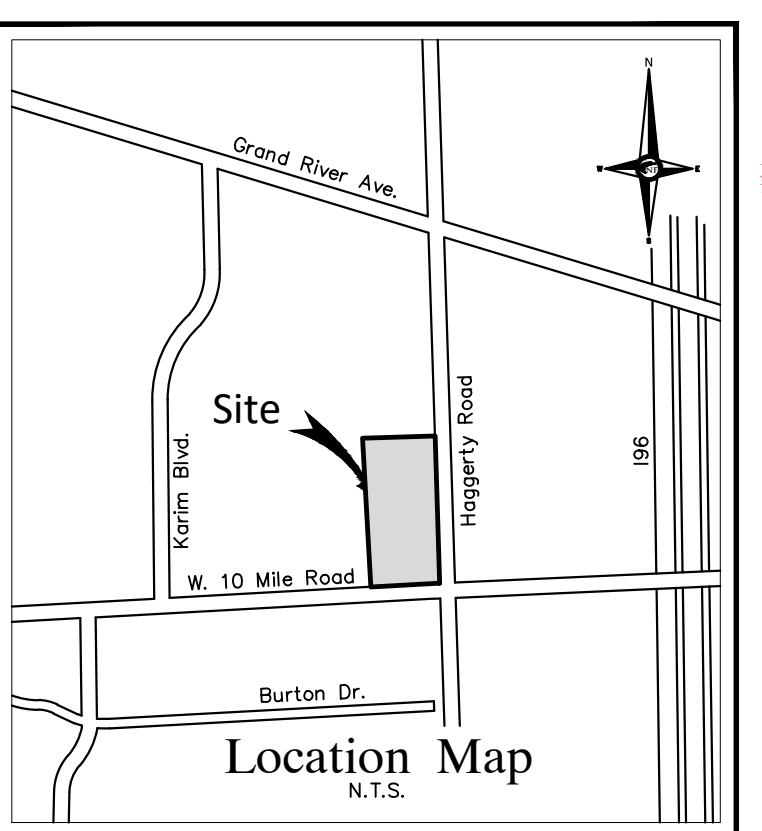
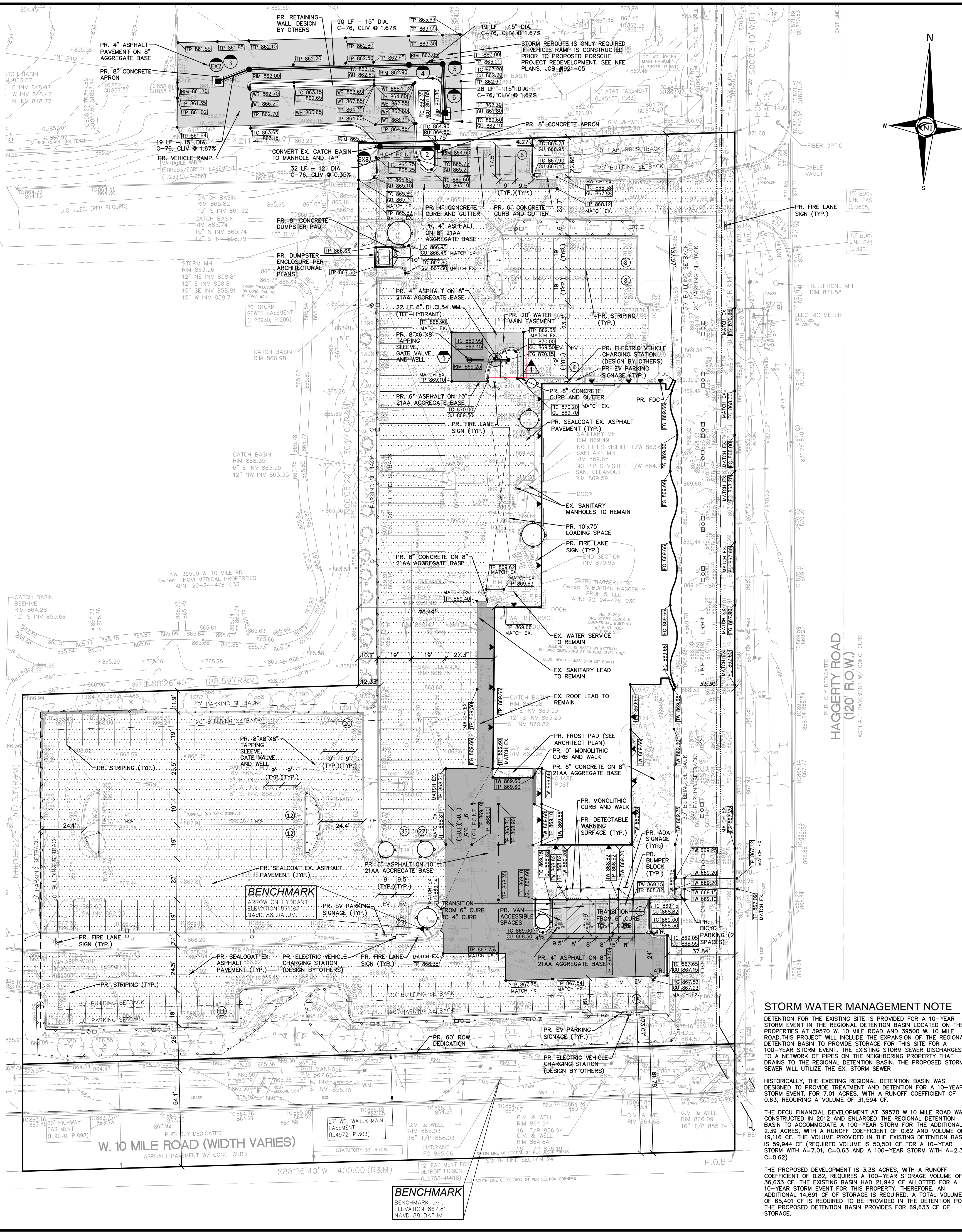
TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.

TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) STRIPING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.

PARKING STRIPING MUST BE WHITE. BLUE MAY BE USED FOR ACCESSIBLE PARKING SPACES. WHERE A STANDARD PARKING SPACE IS LOCATED NEXT TO AN ACCESSIBLE PARKING SPACE A WHITE LINE SHALL ADJUT A BLUE LINE. PARKING STRIPING SHALL BE FOUR INCHES IN WIDTH.

THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH A BLUE BACKGROUND AND WHITE BORDER.

ALL TRAFFIC SIGNAGE WILL COMPLY WITH THE CURRENT MUTCD STANDARDS.



UTILITY CROSSING SCHEDULE

A EX. U.G. ELEC B/P 866.43 V.I.F.  
 PR. 6" WM T/P 863.43  
 VERTICAL CLEARANCE 3.00'

ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
NO PARKING FIRE LANE SIGN (88-31) 12"x18"	9	EA.
HANDICAPPED PARKING SIGN (87-B) 12"x18"	2	EA.
VAN ACCESSIBLE PARKING SIGN (87-8P) 12"x6"	2	EA.
ELECTRIC VEHICLE PARKING SIGN (09-11b) 24"x30"	2	EA.

PAVING - ON-SITE

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" 21AA BASE	1,140	S.Y.
6" ASPHALT ON 10" 21AA BASE	940	S.Y.
6" CONCRETE PAVEMENT	500	S.Y.
8" NON-REINFORCED CONCRETE APRON	7	S.Y.
SEALCOAT	7,000	S.Y.
6" CONCRETE CURB AND GUTTER	495	L.F.
4" CONCRETE CURB AND GUTTER	55	L.F.
MONOLITHIC CURB AND WALK	595	S.F.

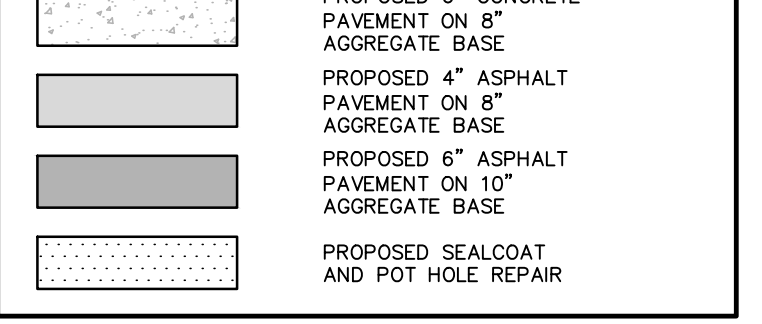
WATER MAIN

DESCRIPTION	QUANTITY	UNITS
6" D.I., CLASS 54, WATER MAIN	22	L.F.
6" HYDRANT ASSEMBLY	1	EA.
8"x6"x8" TAPPING SLEEVE, GATE VALVE, & WELL 1	1	EA.

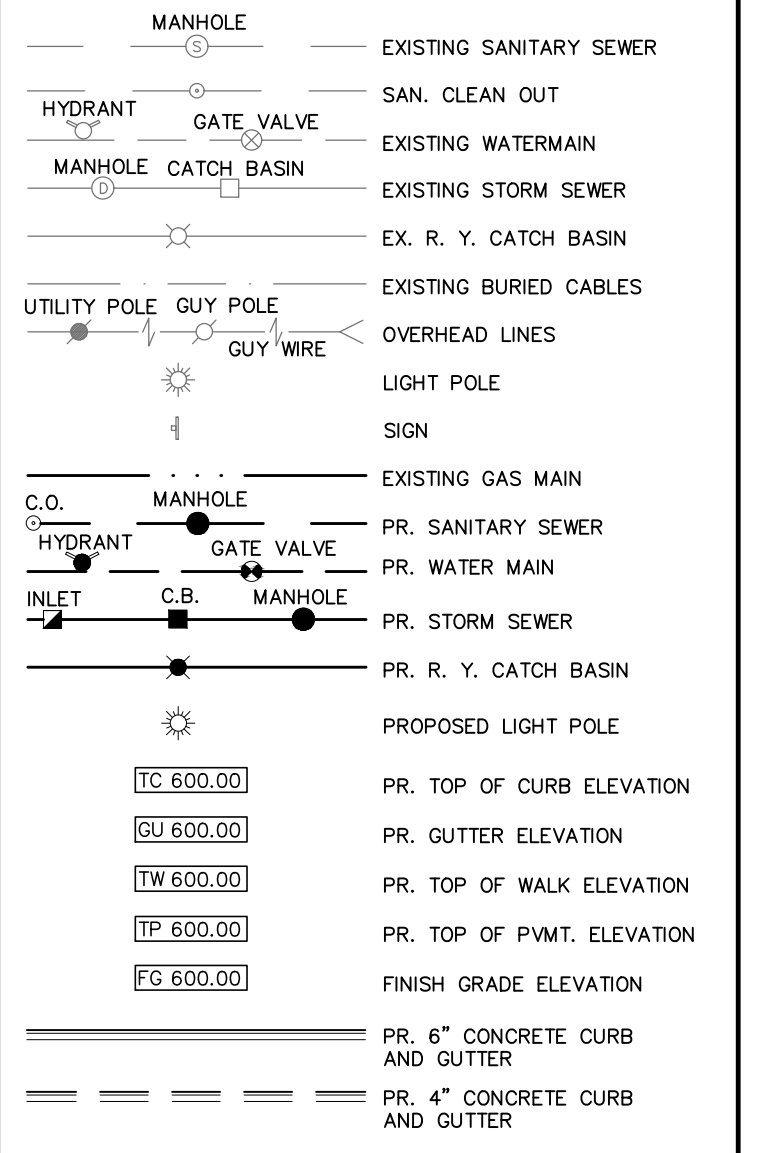
STORM SEWER

DESCRIPTION	QUANTITY	UNITS
12" C-76, CLASS IV, SEWER PIPE	61	L.F.
15" C-76, CLASS IV, SEWER PIPE	156	L.F.
3" DIA. PERFORATED STANDPIPE PERMANENT	1	EA.
4" DIA. CATCH BASIN WITH 2' SUMP	2	EA.
4" DIA. MANHOLE	2	EA.
4" DIA. MANHOLE BUILD OVER EX. STORM PIPE	1	EA.
TAP EX. STRUCTURE, REPLACE FRAME AND COVER 1	1	EA.
TAP EX. STRUCTURE	2	EA.

PAVING LEGEND



LEGEND



STORM WATER MANAGEMENT NOTE

DETENTION FOR THE EXISTING SITE IS PROVIDED FOR A 10-YEAR STORM EVENT IN THE REGIONAL DETENTION BASIN LOCATED ON THE PROPERTIES AT 39570 W. 10 MILE ROAD AND 39500 W. 10 MILE ROAD. THIS PROJECT WILL INCLUDE THE EXPANSION OF THE REGIONAL DETENTION BASIN TO PROVIDE STORAGE FOR THIS SITE FOR A 10-YEAR STORM EVENT. THE EXISTING STORM SEWER DISCHARGES TO A NETWORK OF PIPES ON THE NEIGHBORING PROPERTY THAT DRAINS TO THE REGIONAL DETENTION BASIN. THE PROPOSED STORM SEWER WILL UTILIZE THE EX. STORM SEWER.

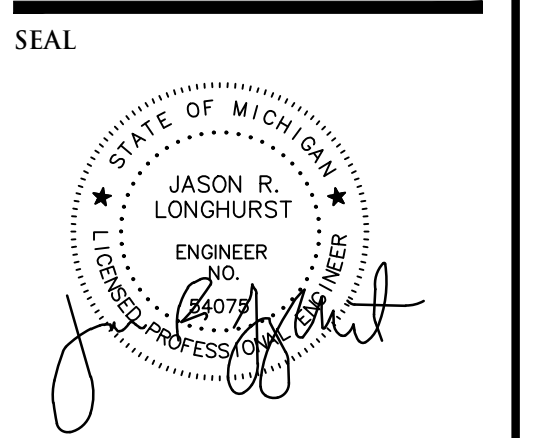
HISTORICALLY, THE EXISTING REGIONAL DETENTION BASIN WAS DESIGNED TO PROVIDE TREATMENT AND DETENTION FOR A 10-YEAR STORM EVENT, FOR 7.01 ACRES, WITH A RUNOFF COEFFICIENT OF 0.63, REQUIRING A VOLUME OF 31,594 CF.

THE DFCU FINANCIAL DEVELOPMENT AT 39570 W 10 MILE ROAD WAS CONSTRUCTED IN 2012 AND ENLARGED THE REGIONAL DETENTION BASIN TO ACCOMMODATE A 100-YEAR STORM FOR THE ADDITIONAL 2.39 ACRES, WITH A RUNOFF COEFFICIENT OF 0.62 AND VOLUME OF 19,116 CF. THE VOLUME PROVIDED IN THE EXISTING DETENTION BASIN IS 59,944 CF (REQUIRED VOLUME IS 50,501 CF FOR A 10-YEAR STORM WITH A=7.01, C=0.63 AND A 100-YEAR STORM WITH A=2.39, C=0.62)

THE PROPOSED DEVELOPMENT IS 3.38 ACRES, WITH A RUNOFF COEFFICIENT OF 0.62, REQUIRES A 100-YEAR STORAGE VOLUME OF 36,633 CF. THE EXISTING BASIN HAD 21,942 CF ALLOTTED FOR A 10-YEAR STORM EVENT FOR THIS PROPERTY. THEREFORE, AN ADDITIONAL 14,691 CF OF STORAGE IS REQUIRED. A TOTAL VOLUME OF 66,401 CF IS REQUIRED TO BE PROVIDED IN THE DETENTION POND. THE PROPOSED DETENTION BASIN PROVIDES FOR 69,633 CF OF STORAGE.



NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257  
 WWW.NOWAKFRAUS.COM



PROJECT  
 Audi Novi  
 24295 Haggerty Road

CLIENT  
 Lithia Motors, Inc.  
 150 N. Bartlett Street  
 Medford, Oregon 97501

Contact:  
 Anne Breck  
 Tel: 541-734-3043  
 email: abreck@lithia.com

PROJECT LOCATION  
 Part of the Southeast 1/4 of Section 24, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan

SHEET  
 Engineering Plan



DATE	ISSUED/REVISED
2023-03-17	ISSUED FOR OWNER REVIEW
2023-04-14	ISSUED FOR PSP/ESP
2023-06-07	ISSUED FOR PSP/ESP
2023-07-07	REVISED PER SECC REVIEW

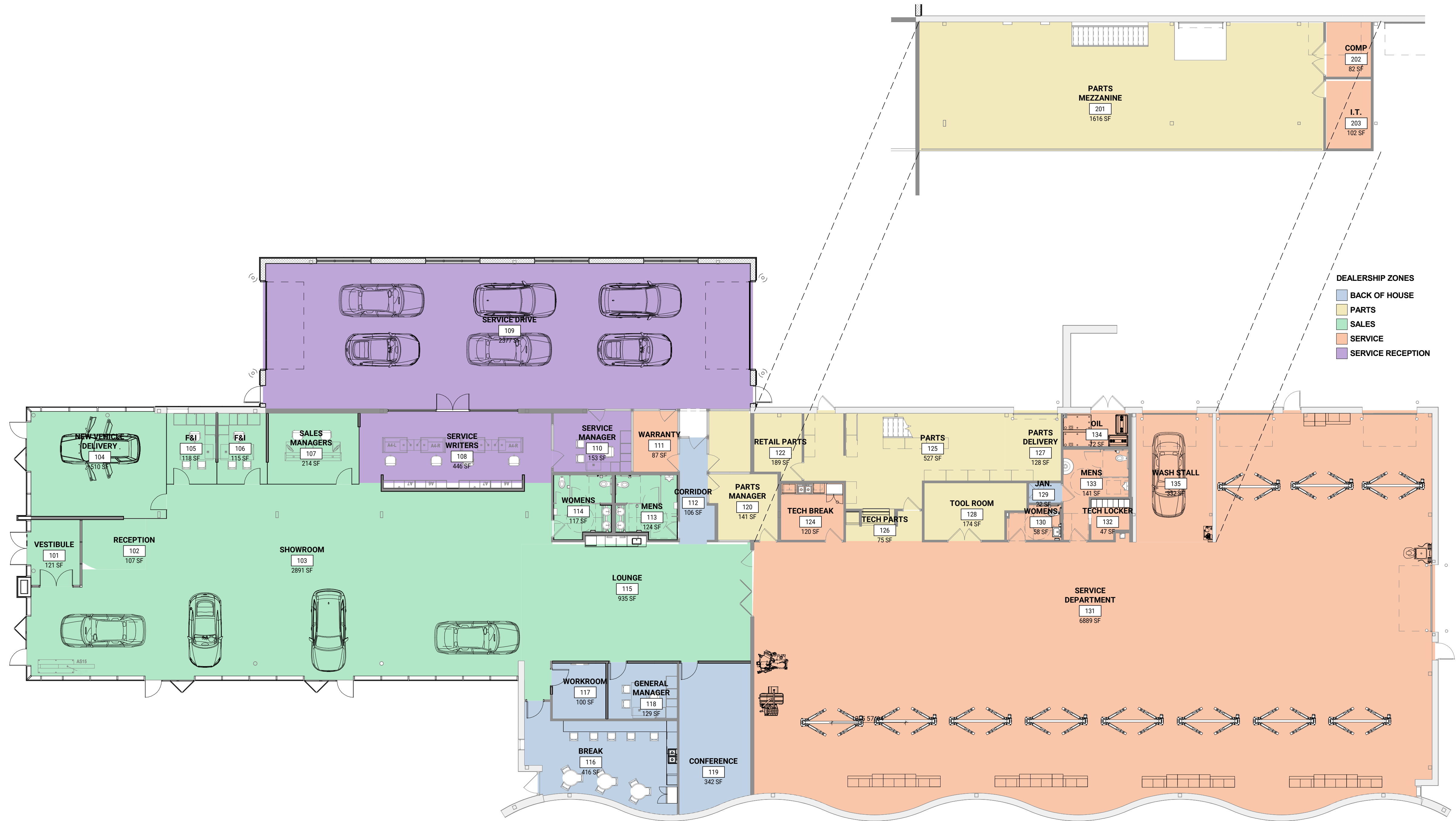
DRAWN BY:  
 B. Girbach  
 DESIGNED BY:  
 T. Wood  
 APPROVED BY:  
 J. Longhurst

DATE:  
 April 6, 2023

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.  
 1921-03 C4

DEPARTMENT AREA BY FLOOR		
DEPARTMENT	LEVEL	AREA (NSF)
BACK OF HOUSE	FIRST FLOOR	1,114 SF
PARTS	FIRST FLOOR	1,235 SF
PARTS	MEZZANINE	1,616 SF
SALES	FIRST FLOOR	2,851 SF
SALES	MEZZANINE	5,251 SF
SERVICE	FIRST FLOOR	7,745 SF
SERVICE	MEZZANINE	184 SF
SERVICE RECEPTION	FIRST FLOOR	7,929 SF
SERVICE RECEPTION	MEZZANINE	2,976 SF
TOTAL (NSF)		20,121 SF
GROSS BUILDING AREA		
FIRST FLOOR		19,460 SF
MEZZANINE		1,918 SF
TOTAL BUILDING AREA (GSF)		21,378 SF

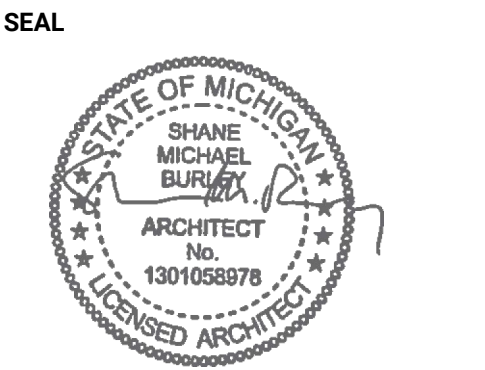


**COMPOSITE FLOOR PLAN**  
3/32" = 1'-0"

DO NOT SCALE DRAWINGS

ISSUED	OWNER REVIEW - SPA
04.10.23	OWNER REVIEW - SPA
04.14.23	PRELIM/FINAL SPA
06.06.23	SPA RESUBMITTAL

DRAWN JMR  
CHECKED SHF



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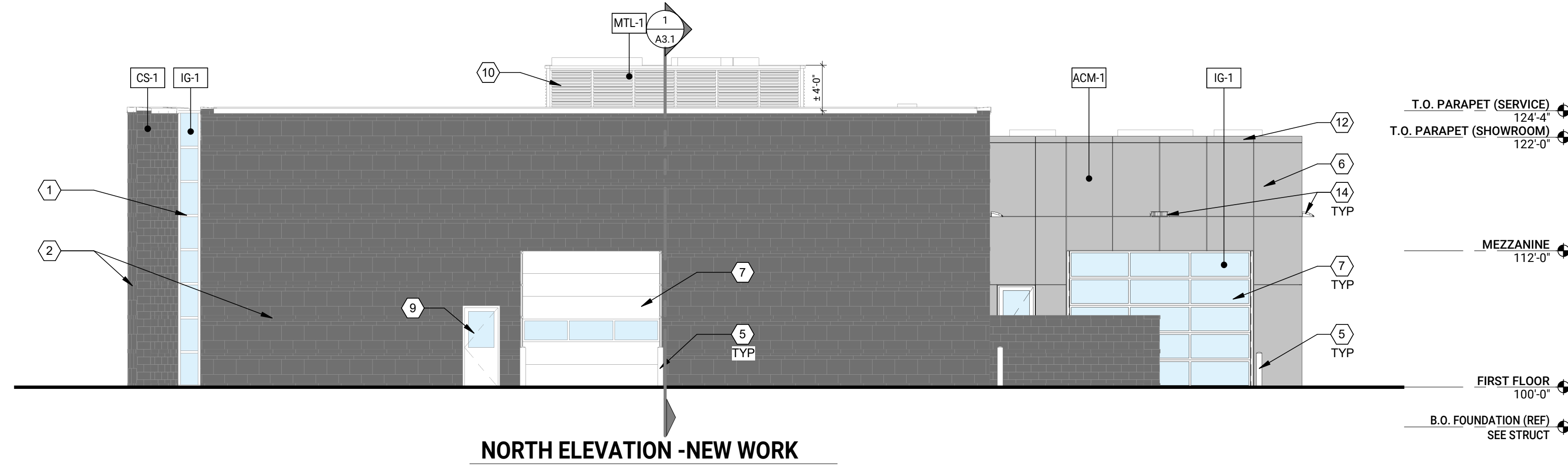
**LITHIA MOTORS**  
ANNE BRECK  
150 N. BARTLETT ST MEDFORD,  
OR 97504

PROJECT 2038

**SUBURBAN AUDI  
OF NOVI**  
24295 HAGGERTY RD  
NOVI, MI 48375

COMPOSITE FLOOR  
PLAN

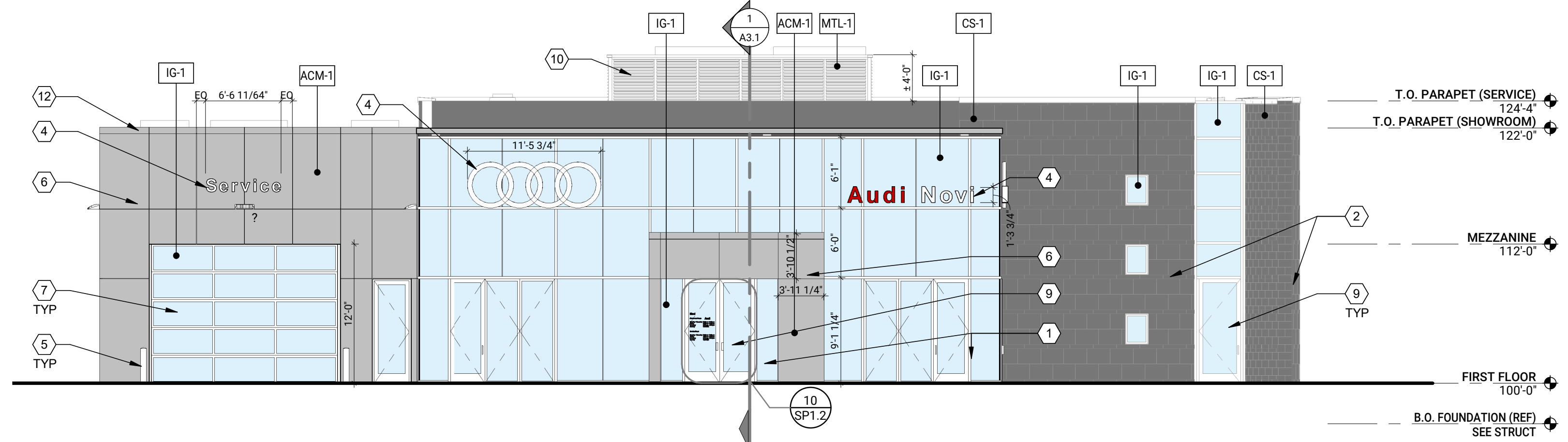
**TS1.5**



EXTERIOR MATERIALS			
PATTERN	TAG	MATERIAL	FINISH
	CS-1	EXISTING CAST STONE & BURNISHED BLOCK	EXISTING CAST STONE AND BURNISHED BLOCK VENEER; STAINED TO MATCH "PEWTER MICA"
	ACM-1	ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	APOLIC ACM RAINSCREEN; SILVERSMITH, MATTE FINISH w/ MAX. 1/2" DRY JOINT
	CW-1	CURTAINWALL	KAWNEER 1600 SYSTEM 2, w/ ALTERNATING BUTT-GLAZED CORNERS, CLEAR ANODIZED FINISH
	IG-1	1" INSULATED GLAZING	VITRO SOLARBAN 72 w/ STARPHIRE GLASS W/ LOW E-COATING ON SECOND SURFACE
	MTL-1	MECHANICAL SCREEN	LOUVERED MECHANICAL SCREEN

**EXTERIOR ELEVATION KEY NOTES:  
(TYPICAL THIS SHEET ONLY)**

- 1 GLASS AND ALUMINUM STOREFRONT/ CURTAINWALL
- 2 BRICK VENEER
- 3 PREFINISHED METAL COPING
- 4 BUILDING MOUNTED SIGNAGE
- 5 6" CONC. FILLED STL PIPE BOLLARD w/ PLASTIC COVER
- 6 ALUMINUM COMPOSITE PANEL SYSTEM (ACM)
- 7 GLASS & ALUMINUM OVERHEAD DOOR
- 8 INDICATES NEW REINF. CONC. FOOTING/ FOUNDATION WALL
- 9 DOOR & FRAME
- 10 FLUSH METAL PANEL MECHANICAL SCREEN
- 11 ENTRY ELEMENT SIGNAGE, SEE SP1.2
- 12 FORMED ACM COPING
- 13 FIRE DEPARTMENT CONNECTION
- 14 WALL-MOUNTED EXTERIOR LIGHT FIXTURE AS SCHEDULED



**SOUTH FACADE EXT. MAT. CALCS - TOTAL AREA 1,245 S.F.**

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	658 S.F.	51.4%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		537 S.F.	42%
MECHANICAL SCREEN		84 S.F.	6.6%

**NORTH FACADE EXT. MAT. CALCS - TOTAL AREA 2,201 S.F.**

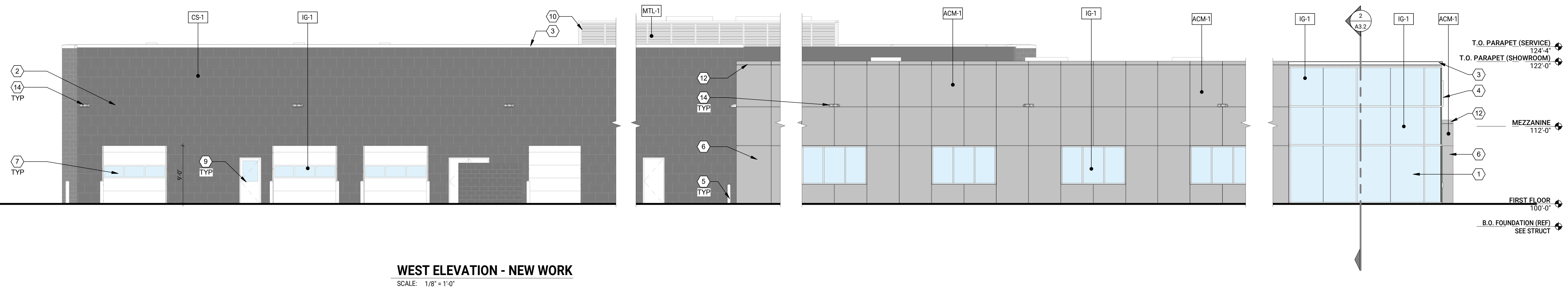
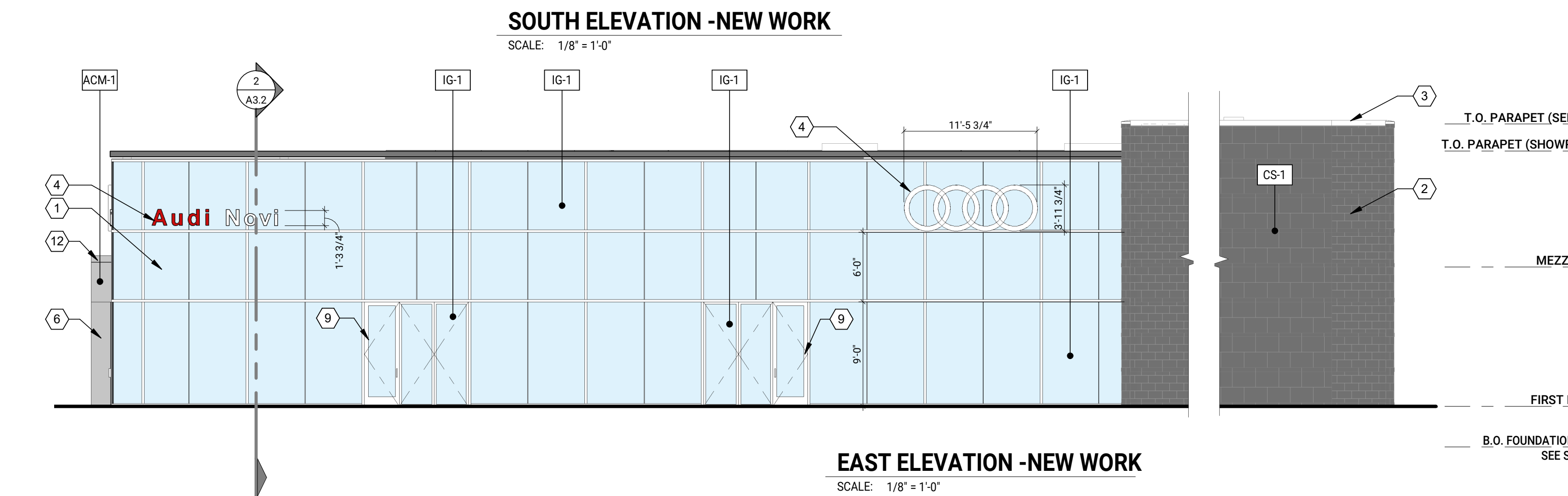
MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	1,747 S.F.	79.5%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		367 S.F.	16.7%
MECHANICAL SCREEN		83 S.F.	3.8%

**EAST FACADE EXT. MAT. CALCS - TOTAL AREA 4,560 S.F.**

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	4,299 S.F.	94.3%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		24 S.F.	0.5%
MECHANICAL SCREEN		237 S.F.	5.2%

**WEST FACADE EXT. MAT. CALCS - TOTAL AREA 5,780 S.F.**

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	3,255 S.F.	57.0%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		2,225 S.F.	39.0%
MECHANICAL SCREEN		232 S.F.	4.0%



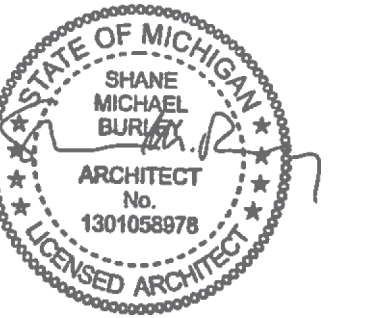
DO NOT SCALE DRAWINGS

**ISSUED**

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04.14.23	PRELIM/FINAL SPA
06.06.23	SPA RESUBMITTAL

**DRAWN** JMR  
**CHECKED** SHF

**SEAL**



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**EXTERIOR ELEVATIONS**

**A2.1**