



## COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals      **ZONING BOARD APPEALS DATE:** October 10, 2023

**REGARDING:** Parcel # 50-22-16-300-055 (PZ23-0039)

**BY:** Alan Hall, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### **Applicant**

Central Park Estates South

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned High-Density Multiple-Family (RM-2)

Location: north of Eleven Mile, east of Beck Road

Parcel #: 50-22-16-300-055

#### **Request**

The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.8.2.C for an increase in maximum horizontal length of the building to 261 ft. (180 ft. maximum, variance of 81 ft.); Section 3.8.2.F for a reduction in parking setback to 11.5 ft. (per Section 3.1.8.D, 20 ft. required, variance of 8.5 ft.); Section 5.10.1.B.vi for a reduction of building setback from the abutting parking spaces to 17 ft. (25 ft. required, variance of 8 ft.); and Section 3.1.8.D to either allow areas with less than 50-foot dimension to be considered as usable open space or reduce the required open space to 19,726 sq. ft. (28,400 sq. ft. required, variance of 8,674 sq. ft.) This property is zoned High-Density Multiple-Family (RM-2).

### II. STAFF COMMENTS:

The Petitioner is requesting variances to allow construction of a new multi-family development adjacent to the current Central Park Estates. The requested exceptions primarily address onsite parking setbacks, building configuration and alternative and required open space.

**III. RECOMMENDATION:**

**The Zoning Board of Appeals may take one of the following actions:**

1. I move that we **grant** the variance in Case No. **PZ23-0039**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.

(b) The property is unique because \_\_\_\_\_.

(c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_.

(e) The relief is consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.
2. \_\_\_\_\_.
3. \_\_\_\_\_.
4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ23-0039**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

- (a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.
  
- (b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.
  
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.
  
- (d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.
  
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi



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 www.cityofnovi.org

## ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

AUG 25 2023

CITY OF NOVI  
COMMUNITY DEVELOPMENT

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>			
PROJECT NAME / SUBDIVISION Central Park Estates South			
ADDRESS Beck Rd		LOT/SIUTE/SPACE #	
SIDWELL # 50-22-16 -300 -055		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY East side of Beck Rd - South of Grand River Ave			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
<b>II. APPLICANT INFORMATION</b>			
<b>A. APPLICANT</b>		EMAIL ADDRESS bbowman@suburbanshowplace.com	CELL PHONE NO. 248-207-8040
NAME Blair Bowman		TELEPHONE NO. 248-348-5600 x211	
ORGANIZATION/COMPANY Nobe Property Group II, LLC		FAX NO. 248-347-7720	
ADDRESS 46100 Grand River Avenue		CITY Novi	STATE MI
		ZIP CODE 48374	
<b>B. PROPERTY OWNER</b> <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS		CITY	STATE
		ZIP CODE	
<b>III. ZONING INFORMATION</b>			
<b>A. ZONING DISTRICT</b>			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input checked="" type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
<b>B. VARIANCE REQUESTED</b>			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <u>3.8.2.C</u> Variance requested <u>additional setback for building length over 180'</u>			
2. Section <u>3.1.8.D &amp; 3.8.2.F</u> Variance requested <u>parking setback to property line</u>			
3. Section <u>5.10.1.B.iv</u> Variance requested <u>parking setback to building</u>			
4. Section <u>3.1.8.D</u> Variance requested <u>useable open space dimension (terrace and path)</u>			
<b>IV. FEES AND DRAWINGS</b>			
<b>A. FEES</b>			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>			
<ul style="list-style-type: none"> <li>• Dimensioned Drawings and Plans</li> <li>• Site/Plot Plan</li> <li>• Existing or proposed buildings or addition on the property</li> <li>• Number &amp; location of all on-site parking, if applicable</li> <li>• Existing &amp; proposed distance to adjacent property lines</li> <li>• Location of existing &amp; proposed signs, if applicable</li> <li>• Floor plans &amp; elevations</li> <li>• Any other information relevant to the Variance application</li> </ul>			



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

\_\_\_\_\_  
Applicant Signature

8-25-23  
\_\_\_\_\_  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



**Community Development Department**

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**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable     Applicable    If applicable, describe below:

Very unique shaped lot with many natural features

Adjacent site to the north/north east is owned by applicant, therefore the setbacks between parcels under same ownership are not necessary. Both projects are multi-family

*and/or*

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable     Applicable    If applicable, describe below:

Exceptional environmental conditions exist on the site, (wooded wetlands)

*and/or*

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable     Applicable    If applicable, describe below:

Enforcement of the ordinance requiring setbacks between two similar multi-family developments under the same ownership is not necessary and if enforced would create significant practical difficulties impacting the natural resources (wooded wetlands) on the site.

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The immediate practical difficulty causing the need for the dimensional variance is not self-created by the actions of the owner.


This site was always intended to be a future phase of the over all multi-family campus; it was not intended to be a separate stand alone project.

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

If we are required to comply with the dimensional requirements it will unreasonably prevent us from using the property for a permitted purpose, and will render conformity with those regulations unnecessarily burdensome.

Complying with these setback requirements will impact the sites natural features or vastly reduce the buildable envelop which is an extreme hardship and practical difficulty.

As previously stated these setbacks are not necessary because both projects are like uses (multi-family) 

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

We have designed our building with the minimal footprint necessary to provide the maximum amount of protection of the sites natural features while allowing for the project to be successful.

Our project will complement the other surrounding projects in the area.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

As previously stated, our project will complement the other existing projects in the area.

It will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district. Our project will increase property values, we will comply with all building, environmental and engineering codes, as well as the facade ordinance. Our project will be a wonderful addition to the community.

# BOWMAN

## CENTRAL PARK SOUTH

## NOVI, MI

SHEET LIST	
Sheet Number	Sheet Name
A1.1	FIRST FLOOR
A1.2	SECOND FLOOR
A1.3	THIRD FLOOR
A1.4	FOURTH FLOOR
A1.5	FIFTH FLOOR
A1.6	ROOF PLAN
A2	EXT ELEVATIONS
A2.1	EXT ELEVATIONS - COURTYARD & TERRACES
A3	RENDERINGS
A4	MATERIAL LEGEND

### OWNER:

#### BOWMAN

46100 GRAND RIVER AVENUE  
NOVI, MI 48374  
248.348.5600 EXT. 211

### ARCHITECT:

#### ALEXANDER V. BOGAERTS

#### + ASSOCIATES, P.C.

2445 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302  
248.334.5000 (P)

NOTE TO BUILDING OFFICIAL:  
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SEAL ARE IN BLUE INK.



**Alexander V. Bogaerts + Associates, P.C.** ▪ Architecture ▪ Planning ▪ Interior Design

2445 Franklin Road  
Bloomfield Hills, MI 48302  
248.334.5000

CLIENT PROJECT  
BOWMAN  
CENTRAL PARK SOUTH  
NOVI, MI

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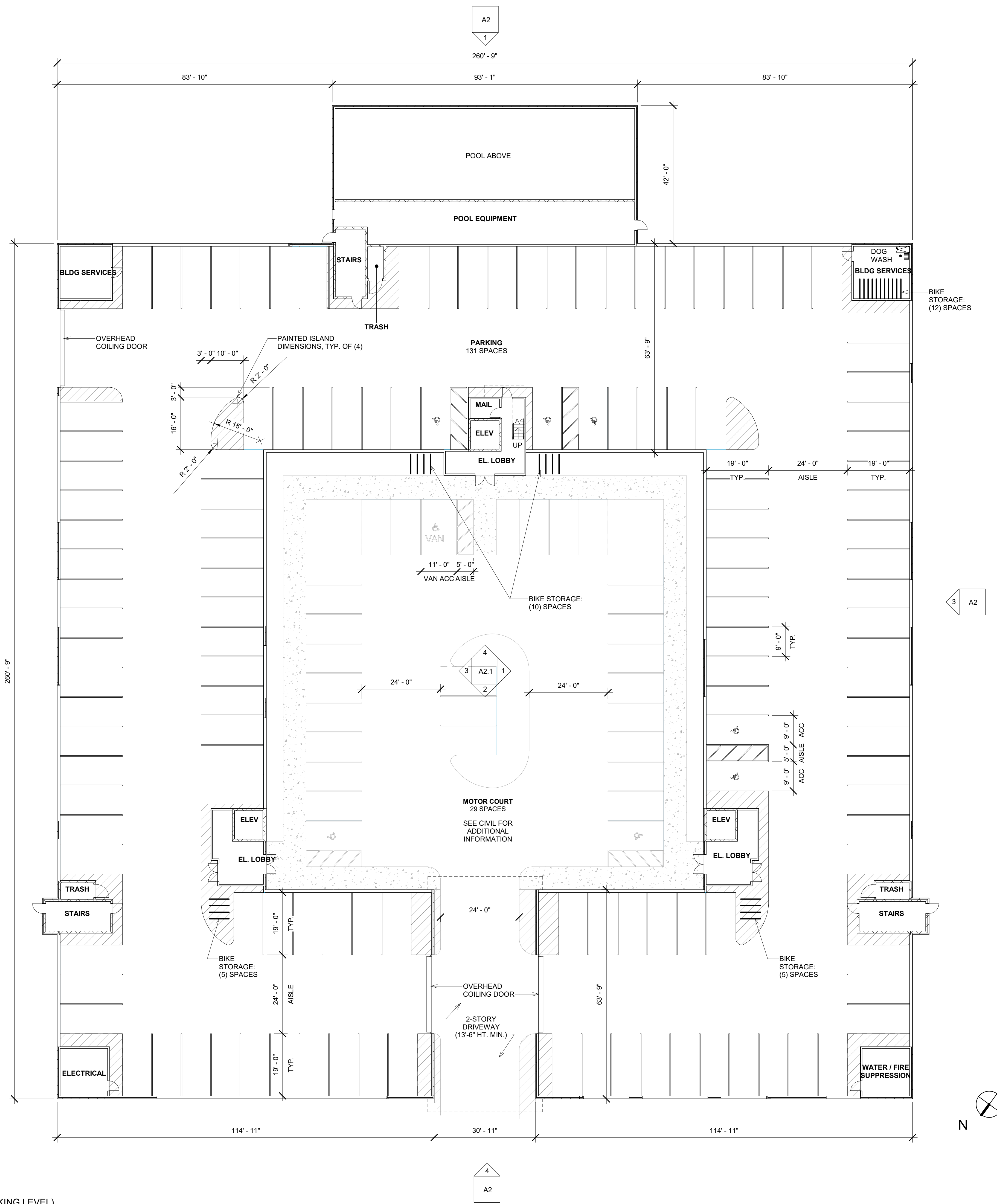
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DATE  
08/25/2023

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SHEET TITLE  
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**NOTE:**  
 BUILDING TO BE EQUIPPED WITH DRY SUPPRESSION SYSTEM (NFPA-13) ON FIRST FLR; AND FIRE SUPPRESSION SYSTEM (NFPA-13) ON SECOND THRU FOURTH FLR.

**MICHIGAN BUILDING CODE CHPT 9 FIRE PROTECTION SYSTEMS:**

- NFPA 13 SYSTEM THROUGHOUT, NFPA 14 STANDPIPE
- FIRE PUMP ROOM - 2-HR FIRE BARRIER (913.2.1)
- INCLUDES 2-HR HORIZONTAL ASSEMBLY (711)
- FIRE EXTINGUISHERS 75' SPACING

**USABLE OPEN SPACE**

**REQUIRED:** 28,400 SF  
 200 SF PER UNIT: 200 SF x 142 = 28,400 SF

**TOTAL PROVIDED:** 29,294 SF

**BALCONIES:** 13,400 SF

**TYP. BALCONY:** 98 SF x 116 = 11,368 SF

**CORNER 2BR:** 107 SF x 8 = 856 SF

**DEN UNITS:** 147 SF x 8 = 1,176 SF

**TERRACES:** 6,328 SF

**POOL TERRACE:** 4,046 SF

**TERRACE A:** 1,140 SF

**TERRACE B:** 1,140 SF

**AMENITIES:** 3,968 SF

**CONSERVATION PATH:** 5,600 SF  
 (8' W x 1,400' L) / 2 = 11,200 SF / 2 = 5,600 SF

SEE SITE/ENGINEERING PLAN FOR ADDITIONAL SHARED AMENITIES (FROM CENTRAL PARK):

- EXISTING CLUBHOUSE
- EXISTING POOL AND DECK
- TENNIS COURTS

**BICYCLE STORAGE NOTE:**

**REQUIRED:** 28  
 1 PER 5 DWELLING UNITS

**PROVIDED:** 32  
 22 COVERED BICYCLE RACKS  
 10 EXTERIOR BICYCLE RACKS

**UNIT COUNT**

1 BR 33% MAX      STUDIO 10% MAX

UNIT TYPE	MIN. AREA	COUNT	PERCENT
1BR	763 SF	40	28%
1BR/DEN	881 SF	8	6%
2BR	763 SF	74	52%
2BR/DEN	1312 SF	8	6%
STUDIO	475 SF	12	8%
<b>TOTAL</b>		<b>142</b>	<b>100%</b>

**ROOM COUNT**

NET SITE AREA: 6.616 ACRES OR 288,193 SF

ALLOWABLE ROOMS:  
 NET SITE AREA / 700 SF = 411 ROOMS

UNIT TYPE	ROOM COUNT	TOTAL ROOMS
1BR	2	80
1BR/DEN	3	24
2BR	3	222
2BR/DEN	4	32
STUDIO	1	12
<b>TOTAL</b>		<b>370</b>

**BUILDING SQUARE FOOTAGE**

LEVEL	AREA
FIRST FLOOR	4,172 SF
SECOND FLOOR	42,940 SF
THIRD FLOOR	44,683 SF
FOURTH FLOOR	44,683 SF
FIFTH FLOOR	44,683 SF
<b>TOTAL</b>	<b>181,160 SF</b>

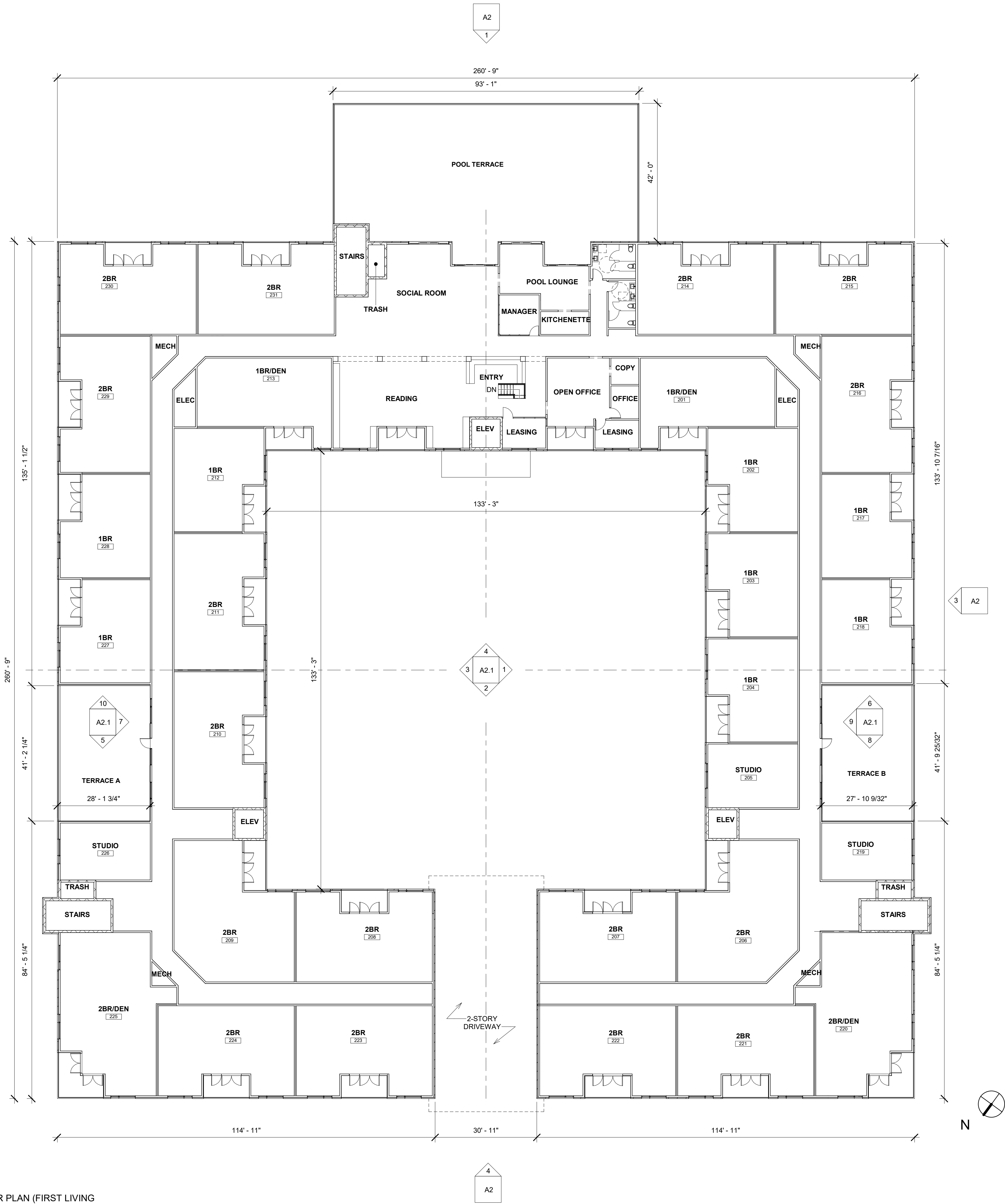
1 FIRST FLOOR PLAN (PARKING LEVEL)  
 1/16" = 1'-0"



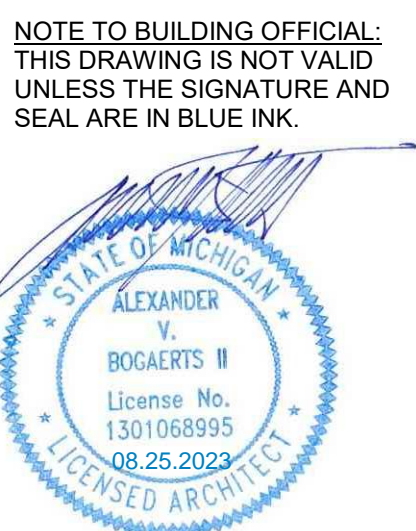
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SHEET TITLE: FIRST FLOOR  
 CLIENT PROJECT: BOWMAN CENTRAL PARK SOUTH  
 NOV. MI  
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SECOND FLOOR PLAN (FIRST LIVING LEVEL)  
 1/16" = 1'-0"



UNIT COUNT - SECOND FLOOR		
UNIT TYPE	MIN. AREA	COUNT
1BR	763 SF	8
1BR/DEN	881 SF	2
2BR	1031 SF	16
2BR/DEN	1312 SF	2
STUDIO	475 SF	3
<b>TOTAL</b>		<b>31</b>



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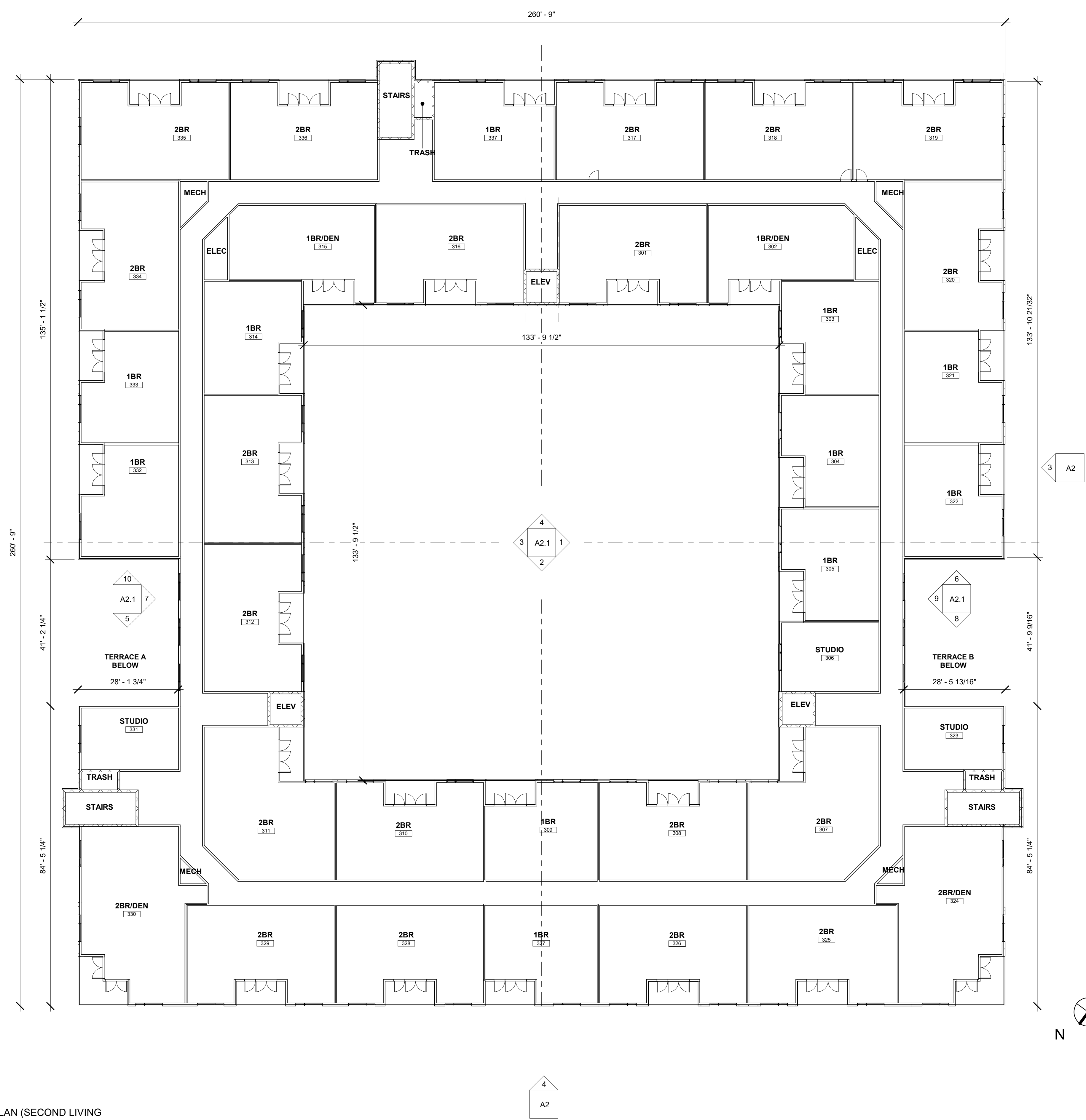
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CLIENT PROJECT  
 BOWMAN  
 CENTRAL PARK SOUTH  
 NOVI, MI

SHEET TITLE  
 SECOND FLOOR

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UNIT COUNT - THIRD FLOOR

UNIT TYPE	MIN. AREA	COUNT
1BR	763 SF	11
1BR/DEN	881 SF	2
2BR	1031 SF	19
2BR/DEN	1312 SF	2
STUDIO	475 SF	3
TOTAL		37

THIRD FLOOR PLAN (SECOND LIVING LEVEL)  
1/16" = 1'-0"



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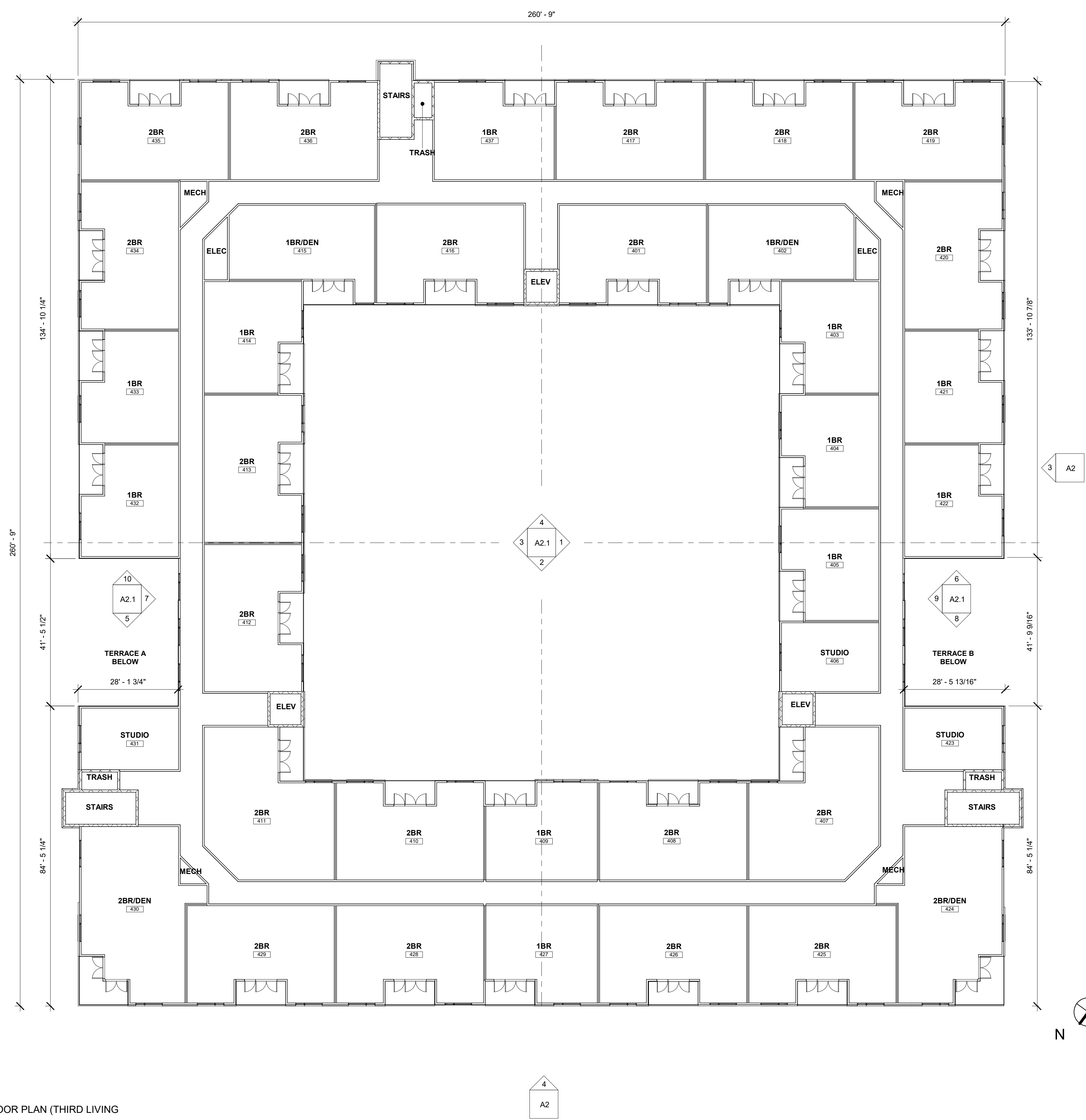
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UNIT COUNT - FOURTH FLOOR

UNIT TYPE	MIN. AREA	COUNT
1BR	763 SF	11
1BR/DEN	881 SF	2
2BR	1031 SF	19
2BR/DEN	1312 SF	2
STUDIO	475 SF	3
<b>TOTAL</b>		<b>37</b>

FOURTH FLOOR PLAN (THIRD LIVING LEVEL)  
 1/16" = 1'-0"



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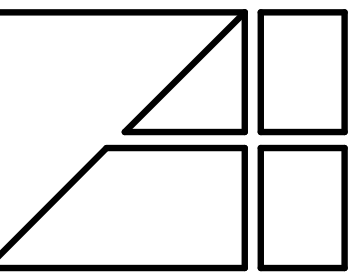
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Interior Design  
 2445 Franklin Road  
 Bloomfield Hills, MI 48302  
 248.334.5000

Architecture  
 Planning  
 PROJECT  
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 CENTRAL PARK SOUTH  
 NOVI, MI

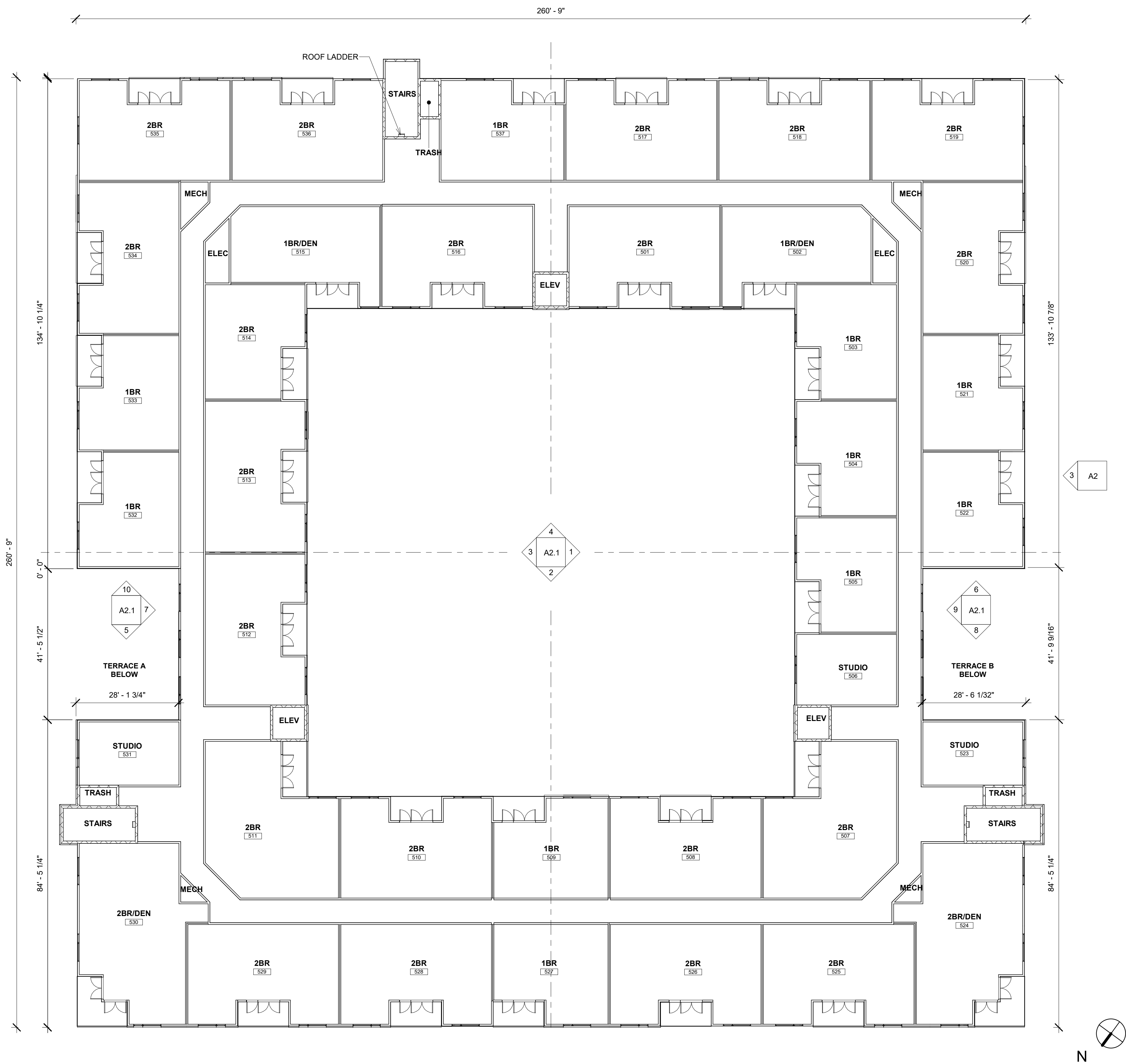
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FIFTH FLOOR PLAN (FOURTH LIVING LEVEL)  
 1/16" = 1'-0"

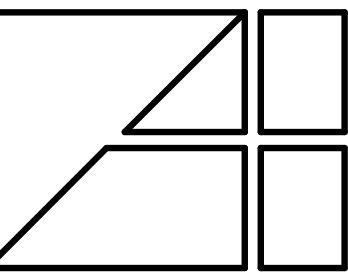


UNIT COUNT - FIFTH FLOOR

UNIT TYPE	MIN. AREA	COUNT
1BR	763 SF	10
1BR/DEN	881 SF	2
2BR	763 SF	20
2BR/DEN	1312 SF	2
STUDIO	475 SF	3
<b>TOTAL</b>		<b>37</b>



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 SEAL ARE IN BLUE INK.



Interior Design  
 2445 Franklin Road  
 Bloomfield Hills, MI 48302  
 248 • 334 • 5000

PROJECT TITLE  
 ROOF PLAN

CLIENT PROJECT  
 BOWMAN  
 CENTRAL PARK SOUTH  
 NOVI, MI

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CONSTRUCTION

REVISIONS  
 SPA Revision 2 - 08/25/2023

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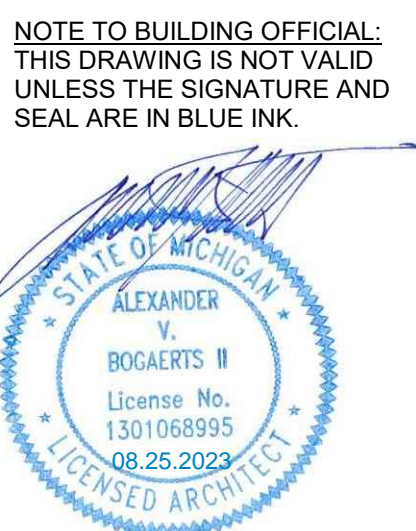
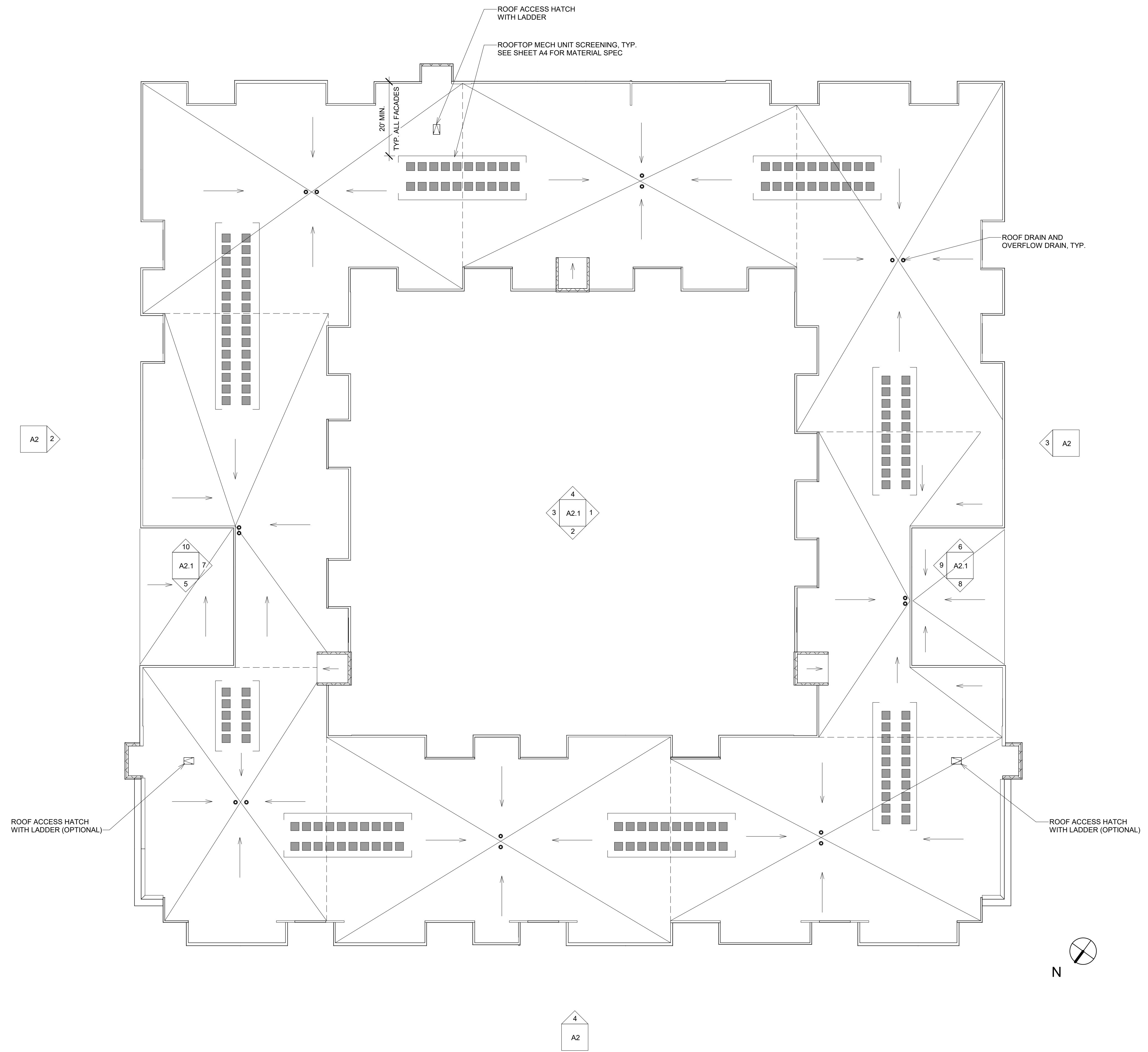
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JOB NUMBER  
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DATE  
 08/25/2023

SHEET NUMBER  
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1 ROOF PLAN  
 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND (PODIUM - MIXED USE BLDGS.)					
KEY NAME	MATERIAL	MANUFACTURER	NAME/DESCRIPTION/COLOR	SIZE	NOTES
1	Brick 1	Summit Brick	Alaskan White- Smooth Texture	Modular	See elevations for additional info.
2	Brick 2	Mora Ceramica Brick	Silver Grey-	Modular	See elevations for additional info.
3	Brick 3	Endicott Clay Products	Manganese Ironspot- Velour Texture	Modular	See elevations for additional info.
4	Scored EIFS - Color A		Match Sherwin Williams #SW 7005 Pure White		
5	Scored EIFS - Color B		Match Sherwin Williams #SW 7669 Summit Gray		
6	Scored EIFS - Color C		Match Sherwin Williams #SW 7069 Iron Ore		
7	Scored EIFS - Color D		Match Sherwin Williams #SW 6693 Lily		
8	Scored EIFS - Color E		Match Sherwin Williams #SW 6206 Oyster Bay		
9	Fiber Cement Panel: Color A	Hardie or similar	Match Sherwin Williams #SW 7005 Pure White		
10	Fiber Cement Panel: Color B	Hardie or similar	Match Sherwin Williams #SW 7669 Summit Gray		
11	Fiber Cement Panel: Color C	Hardie or similar	Match Sherwin Williams #SW 7069 Iron Ore		
12	Fiber Cement Panel: Color D	Hardie or similar	Match Sherwin Williams #SW 6693 Lily		
13	Fiber Cement Panel: Color E	Hardie or similar	Match Sherwin Williams #SW 6206 Oyster Bay		
14	Metal Coping		Match Adjacent material color		
15	Enhanced Cornice	EIFS or similar	Match Sherwin Williams #SW 7005 Pure White		
16	Soffits		Exterior Plaster		To Match Siding Above
17	Door Frames		Black		
18	Door Panels		Black		
19	Windows		Black		
20	Balcony: Fascia & Underside & Railings		Match Sherwin Williams #SW 7005 Pure White		

**Note:** Materials, fixtures and suppliers used for this project may vary based on pricing and availability. All construction materials and fixtures shall be of compatible style, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans that will be submitted to the City for construction. All Window Trim surround to be integral.



1 EAST EXT ELEVATION  
1/16" = 1'-0"



3 SOUTH EXT ELEVATION  
1/16" = 1'-0"



4 WEST EXT ELEVATION  
1/16" = 1'-0"



2 NORTH EXT ELEVATION  
1/16" = 1'-0"

BUILDING HEIGHT: + 58' - 0 3/4"

MATERIAL CALCULATION TABLE SIDE ELEVATION - EAST ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,027 SF	54%	30% MIN
CORNICE	130 SF	1%	15% MAX
EIFS	2,569 SF	23%	25% MAX
PANEL	2,493 SF	22%	25% MAX
TOTAL	11,157 SF	100%	(EXCLUDES DOORS & WINDOWS)

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: + 58' - 0 3/4"

MATERIAL CALCULATION TABLE SIDE ELEVATION - SOUTH ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,014 SF	49%	30% MIN
CORNICE	186 SF	1%	15% MAX
EIFS	3,054 SF	25%	25% MAX
PANEL	3,019 SF	25%	25% MAX
TOTAL	12,273 SF	100%	(EXCLUDES DOORS & WINDOWS)

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: + 58' - 0 3/4"

MATERIAL CALCULATION TABLE SIDE ELEVATION - WEST ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,729 SF	60%	30% MIN
CORNICE	156 SF	1%	15% MAX
EIFS	1,416 SF	14%	25% MAX
PANEL	2,905 SF	25%	25% MAX
TOTAL	11,309 SF	100%	(EXCLUDES DOORS & WINDOWS)

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: + 58' - 0 3/4"

MATERIAL CALCULATION TABLE SIDE ELEVATION - NORTH ELEVATION			
MATERIAL	SQ. FT.	ACTUAL %	ALLOW %
BRICK	6,014 SF	49%	30% MIN
CORNICE	186 SF	1%	15% MAX
EIFS	3,054 SF	25%	25% MAX
PANEL	3,019 SF	25%	25% MAX
TOTAL	12,273 SF	100%	(EXCLUDES DOORS & WINDOWS)

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2445 Franklin Road  
Bloomfield Hills, MI 48302

248 • 334 • 5000

CLIENT PROJECT

BOWMAN  
CENTRAL PARK SOUTH

NOVI, MI

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JOB NUMBER

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DATE

08/25/2023

SHEET NUMBER

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SPA 06/23/2023

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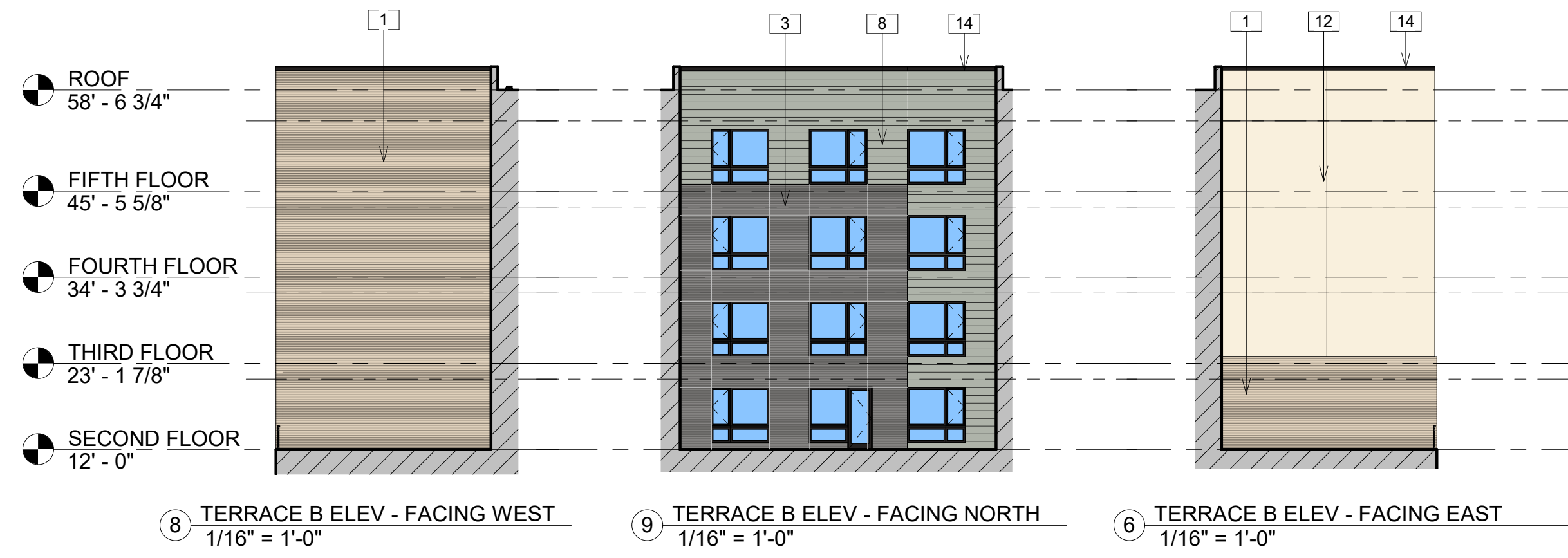
CONSTRUCTION

REVISIONS

SPA Revision 2 - 08/25/2023

EXTERIOR MATERIAL LEGEND (PODIUM - MIXED USE BLDGS.)					
KEY NAME	MATERIAL	MANUFACTURER	NAME/DESCRIPTION/COLOR	SIZE	NOTES
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2	Brick 2	Mora Ceramica Brick	Silver Grey-	Modular	See elevations for additional info.
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18	Door Panels		Black		
19	Windows		Black		
20	Balcony: Fascia & Underside & Railings		Match Sherwin Williams #SW 7005 Pure White		

**Note:** Materials, fixtures and suppliers used for this project may vary based on pricing and availability. All construction materials and fixtures shall be of compatible style, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans that will be submitted to the City for construction. All Window Trim surround to be integral.



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Bloomfield Hills, MI 48302

EXT ELEVATIONS - COURTYARD & TERRACES

CLIENT PROJECT  
BOWMAN  
CENTRAL PARK SOUTH  
NOVI, MI

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08/25/2023

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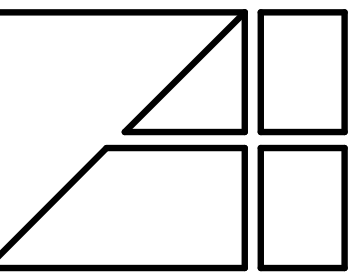


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 Bloomfield Hills, MI 48302  
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CLIENT PROJECT	BOWMAN CENTRAL PARK SOUTH NOVI, MI
PROJECT TITLE	RENDERINGS
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<input type="checkbox"/> PERMITS	
<input type="checkbox"/> CONSTRUCTION	
REVISIONS	SPA Revision 2 - 08/25/2023
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JOB NUMBER	2440
DATE	08/25/2023
SHEET NUMBER	A3



Interior Design  
 2445 Franklin Road  
 Bloomfield Hills, MI 48302  
 248.334.5000

PROJECT TITLE  
 MATERIAL LEGEND

CLIENT PROJECT  
 BOWMAN  
 CENTRAL PARK SOUTH  
 NOVI, MI

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DATE  
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SHEET NUMBER  
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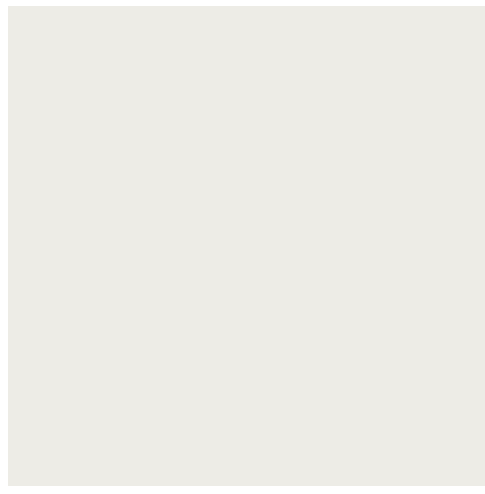
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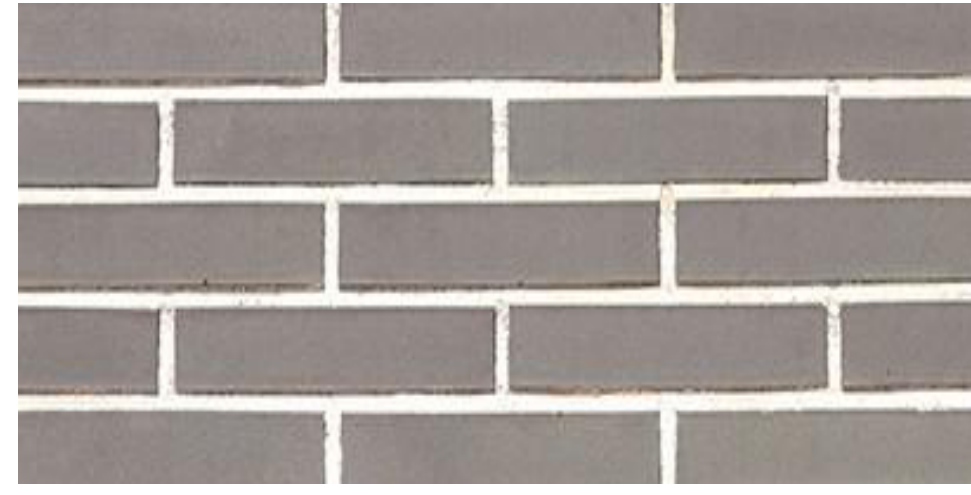
**BRICK A**  
 SUMMIT BRICK, ALASKAN WHITE  
 MODULAR, SMOOTH TEXTURE



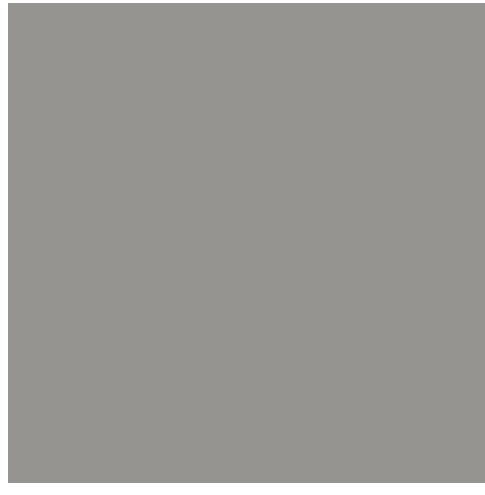
**COLOR A**  
 SW #7005 PURE WHITE



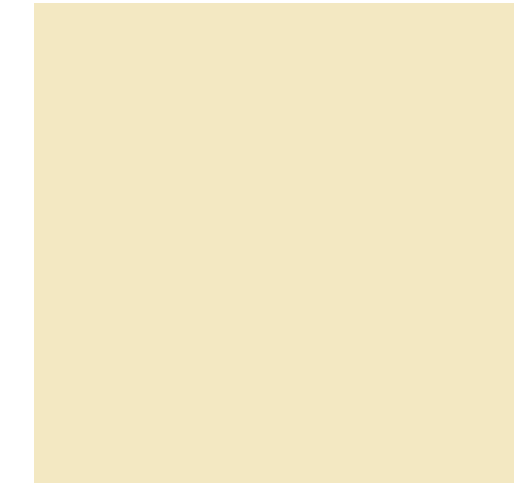
**MESH SCREEN**  
 MECHANICAL UNITS SCREENING



**BRICK B**  
 MORA, SILVER GREY



**COLOR B**  
 SW #7669 SUMMIT GRAY



**COLOR D**  
 SW #6693 LILY



**BRICK C**  
 ENDICOTT CLAY, MANGANESE IRONSPOT  
 VELOUR TEXTURE



**COLOR C**  
 SW #7069 IRON ORE



**COLOR E**  
 SW #6206 OYSTER BAY



**COLOR F**  
 BLACK

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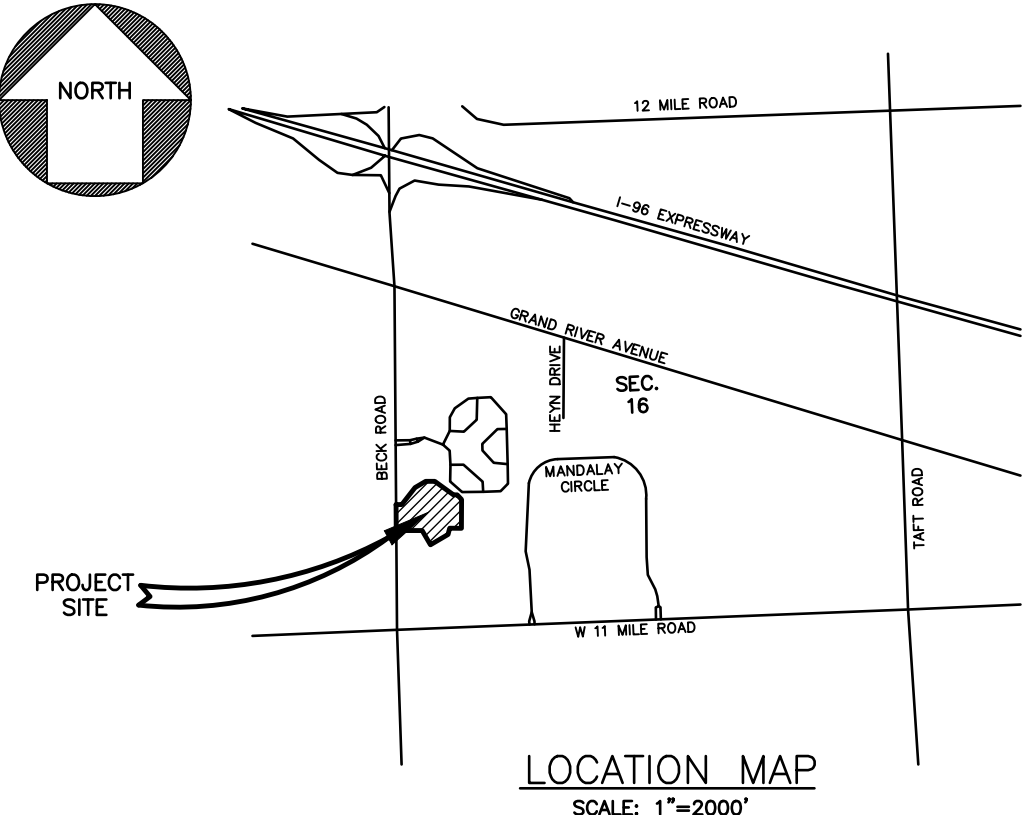
# PROPOSED CENTRAL PARK SOUTH

EAST SIDE OF BECK ROAD NORTH OF 11 MILE ROAD  
NOVI, MICHIGAN 48374

**BENCH MARKS**

- CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NGVD 29 (ELEVATION 960.72 NAVD 88)
- B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63'± SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.94 NGVD 29
- B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NGVD 29
- B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NGVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)



**PROPERTY DESCRIPTION - TAX I.D. #50-22-16-300-055**

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.38°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°56'58"E. 38.05 FEET; THENCE S.42°54'29"E. 66.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.88°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING. CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

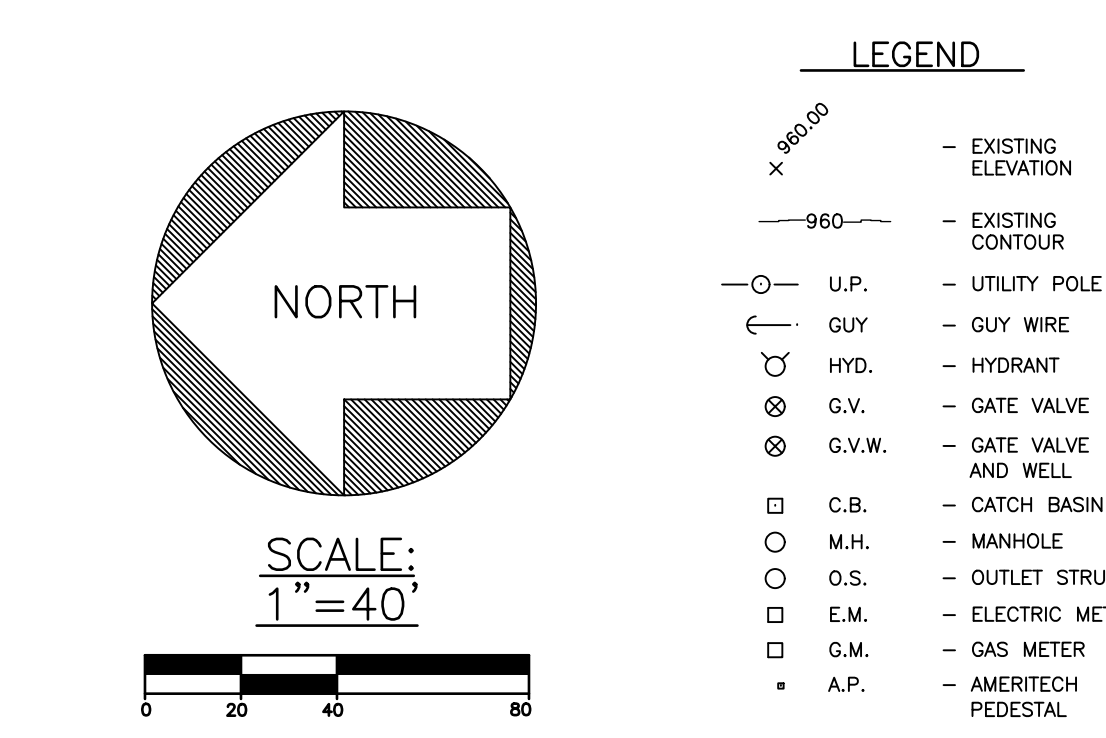
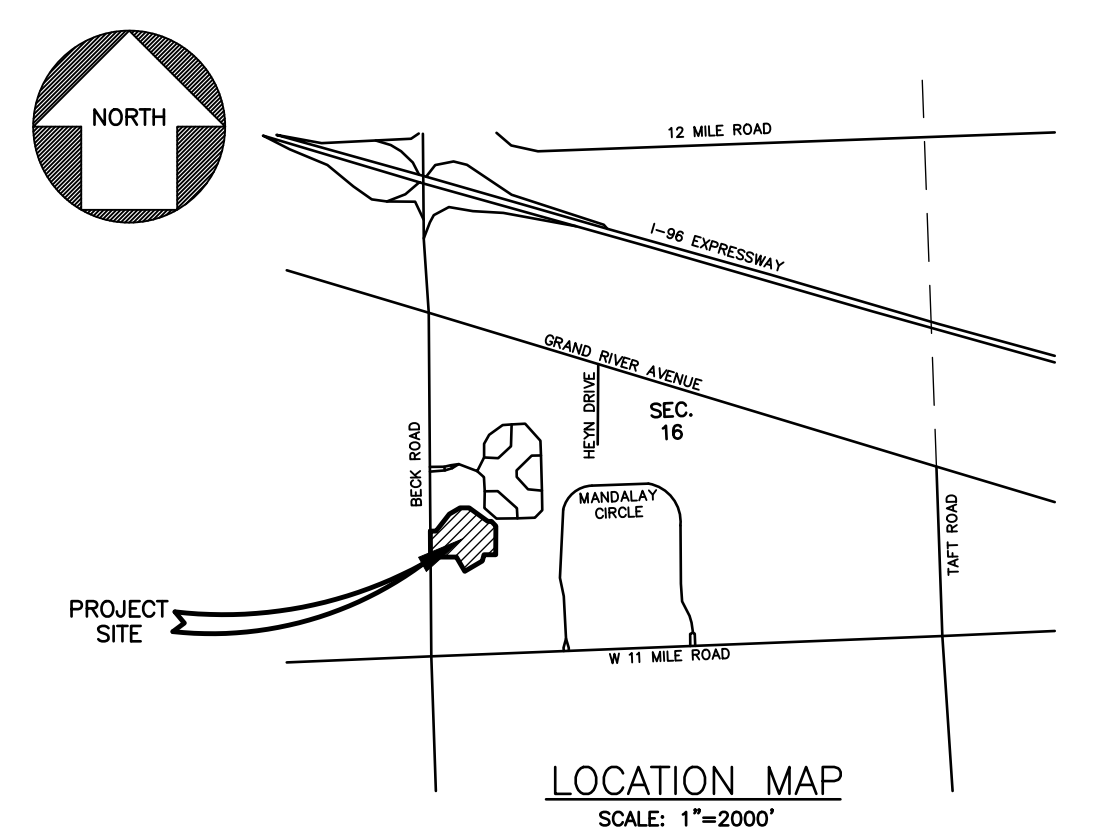
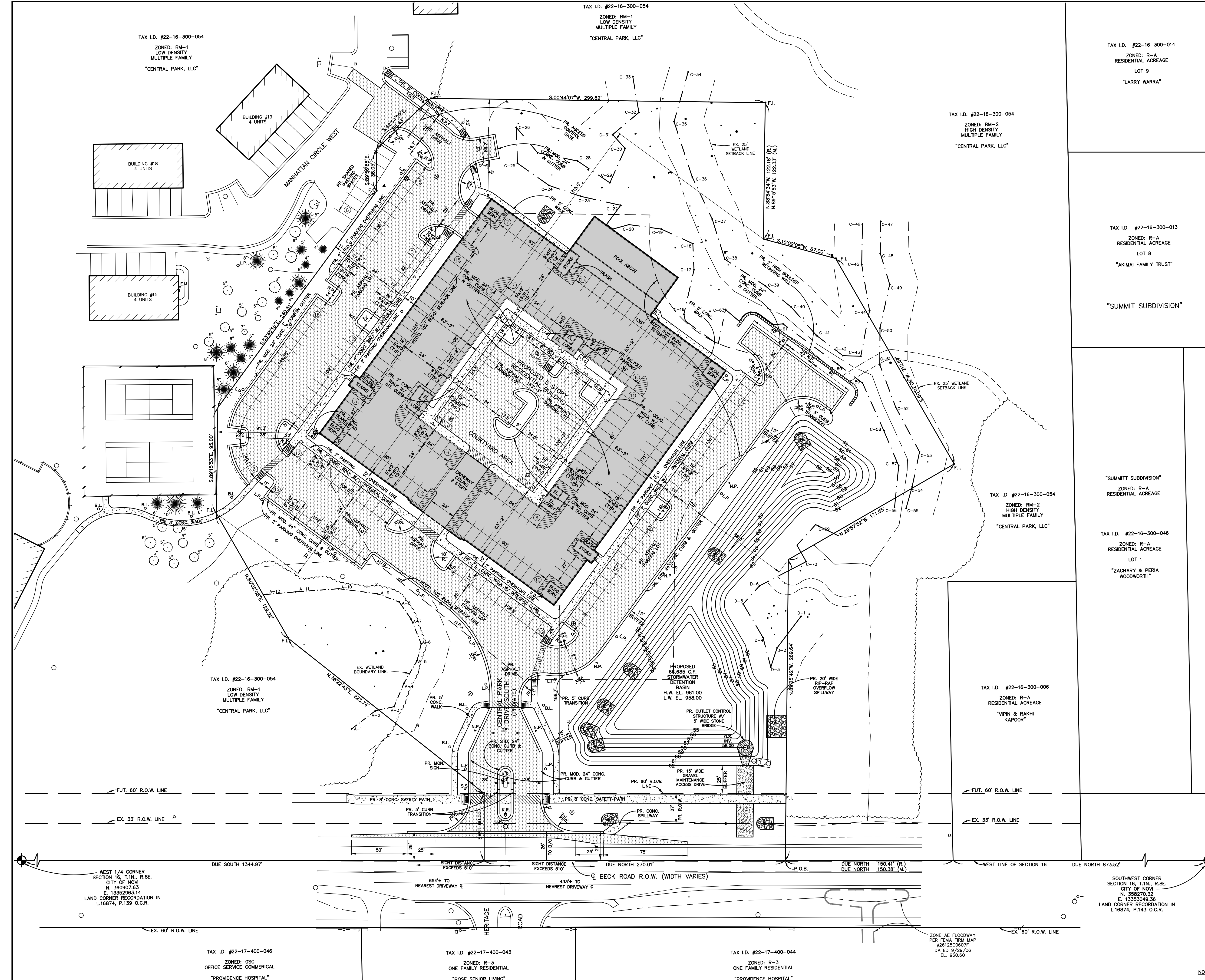
**PRELIMINARY SITE ENGINEERING PLANS SHEET INDEX**

- CS COVER SHEET
- SP-1 PRELIMINARY SITE LAYOUT & TRAFFIC CONTROL PLAN
- C-1 PRELIMINARY SITE DEMOLITION & WETLAND IMPACTS PLAN
- C-2 PRELIMINARY SITE GRADING & PAVING PLAN
- C-3 PRELIMINARY SITE EROSION CONTROL PLAN
- C-4 PRELIMINARY SITE STORMWATER MANAGEMENT PLAN
- C-5 PRELIMINARY SITE UTILITIES PLAN
- C-6 PRELIMINARY SITE ENGINEERING DETAILS
- TS-1 SITE TOPOGRAPHIC/TREE SURVEY
- TS-2 SITE TREE LIST



Know what's below.  
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CLIENT: SOUTH GRAND EQUITIES, LLC 46100 GRAND RIVER AVENUE NOVI, MICHIGAN 48374 PHONE: 248/348-5600 EXT. 211	REVISIONS	REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION	SITE OF THE PROPOSED <b>CENTRAL PARK SOUTH</b> IN SECTION 16 OAKLAND COUNTY	COVER SHEET	CLIENT PROJECT No.	PROJECT No.
						18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075 PHONE: 248/424-9510 FAX: 248/424-2954
			CITY OF NOVI	MICHIGAN	DATE ISSUED	SHEET No.
					08/25/23	



**PROPOSED TRAFFIC CONTROL SIGN LEGEND**

- N.P. - PR. "NO PARKING FIRE LANE" SIGN STD. 12"x18" R7-1
- S.S. - PR. "STOP" SIGN STD. 30"x30" R1-1
- K.R. - PR. "KEEP RIGHT" SIGN STD. 18"x24" R4-7
- B.F. - PR. "BARRIER FREE PARKING" SIGN STD. 12"x18" R7-8
- B.F.V. - PR. "BARRIER FREE PARKING" WITH VAN ACCESSIBLE SIGN STD. 12"x18" R7-8P

**BENCH MARKS**

CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NGVD 29 (ELEVATION 960.72 NAVD 88)

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NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

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**SITE DATA**

SITE AREA: 304,397 S.F. OR 6.988 ACRES GROSS  
288,193 S.F. OR 6.616 ACRES NET

CITY OF NOVI  
N. 369070.63  
E. 13352963.14  
LAND CORNER RECORDATION IN L16874, P.139 C.C.R.

**PROPOSED NUMBER OF UNITS**

2ND FLOOR: 34 UNITS  
3RD FLOOR: 36 UNITS  
4TH FLOOR: 36 UNITS  
5TH FLOOR: 36 UNITS  
TOTAL: 142 UNITS

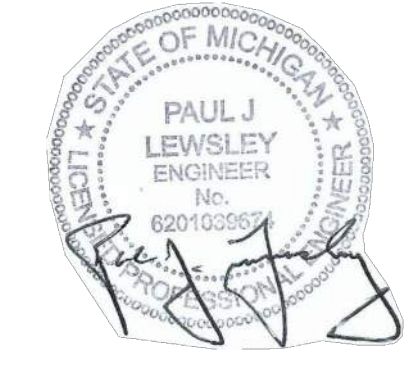
**PARKING PROVIDED**

COURTYARD PARKING: 29 SPACES INCL. 3 B.F.  
PODIUM PARKING: 131 SPACES INCL. 5 B.F.  
EXTERIOR PARKING: 119 SPACES  
SHARED PARKING: 8 SPACES  
TOTAL: 287 SPACES INCL. 8 B.F.

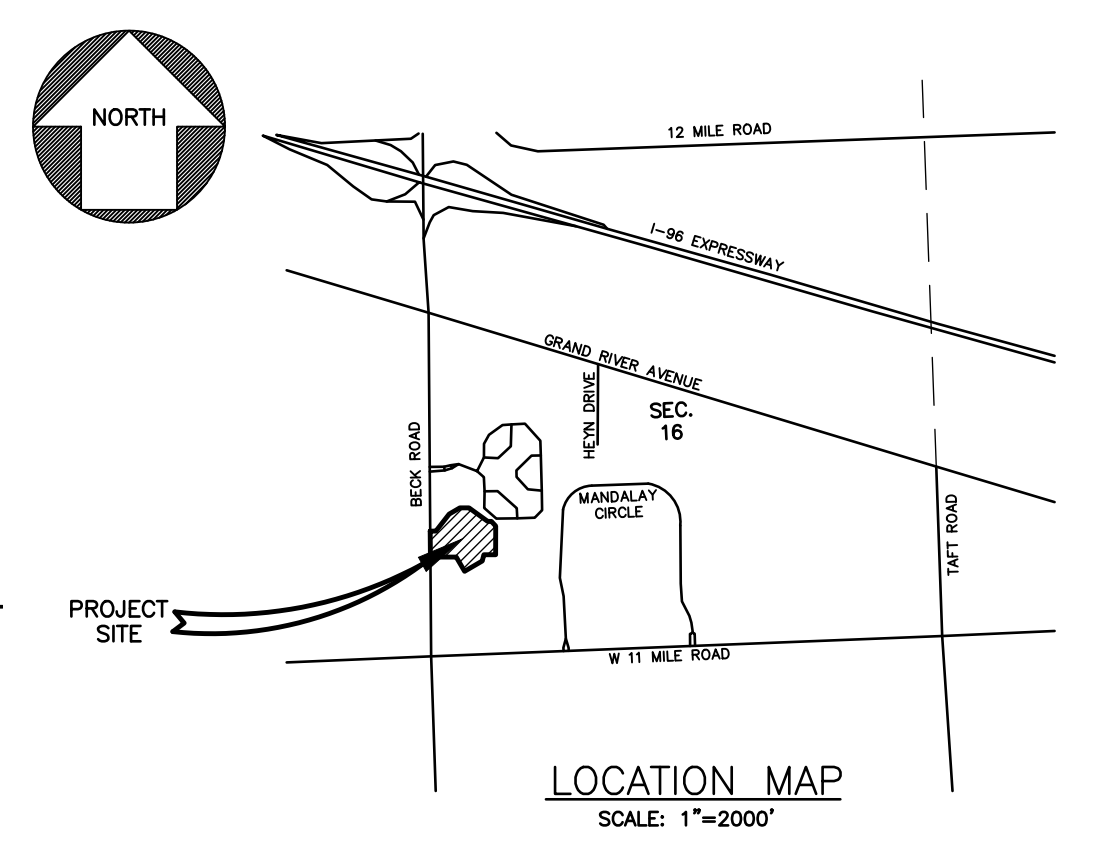
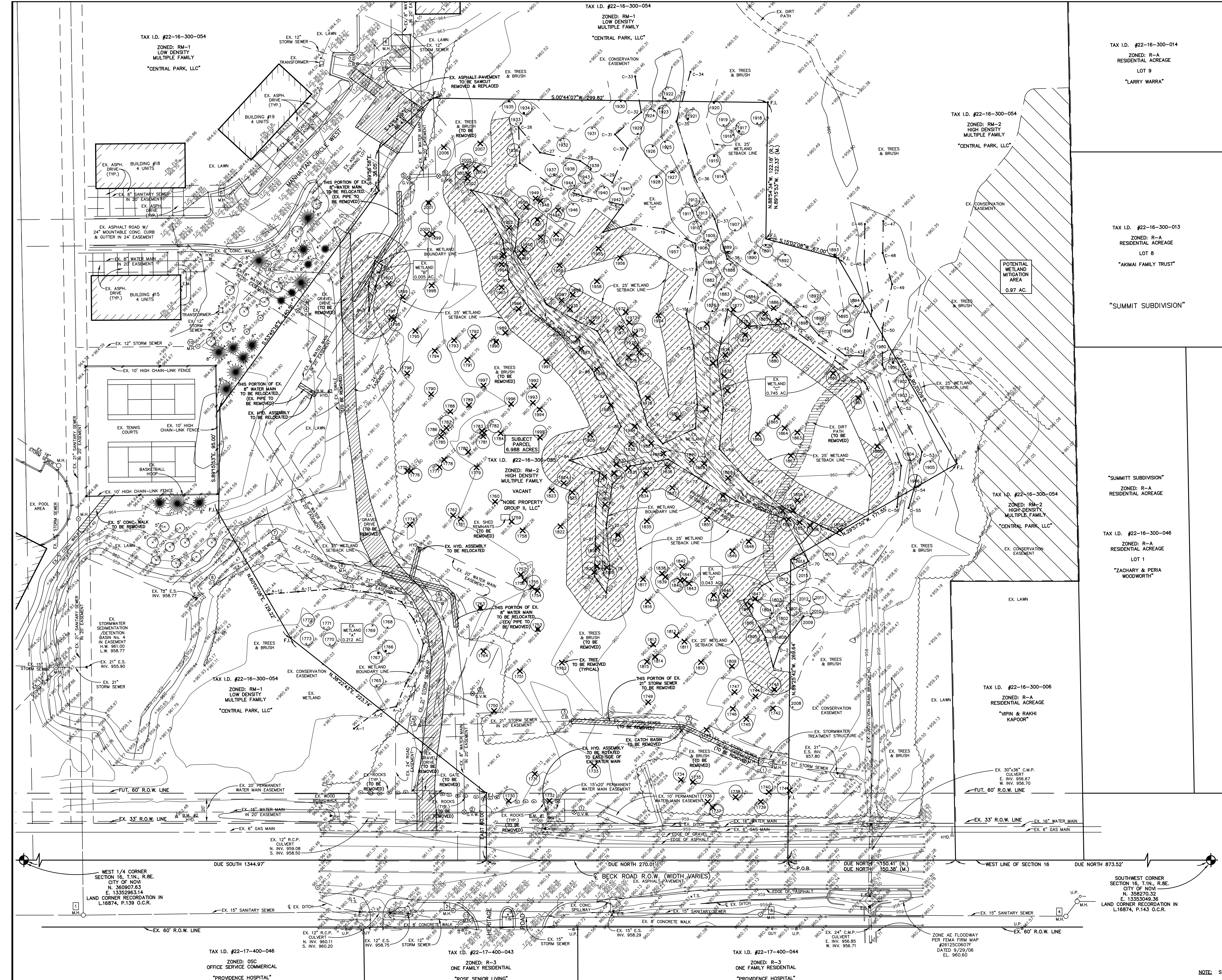
**PROPOSED TRAFFIC CONTROL SIGN QUANTITIES**

2 EA. - STD. 30"x30" "STOP" SIGN (R1-1)  
20 EA. - STD. 12"x18" "NO PARKING FIRE LANE" SIGN (R7-1)  
2 EA. - STD. 18"x24" "KEEP RIGHT" SIGN (R4-7)  
6 EA. - STD. 12"x18" "BARRIER FREE PARKING" SIGNS (R7-8)  
2 EA. - STD. 12"x18" "BARRIER FREE PARKING" SIGNS (R7-8P)  
WITH STD. VAN ACCESSIBLE SIGNS (R7-8P)

NOTE: ALL TRAFFIC CONTROL SIGNAGE SHALL COMPLY WITH THE CURRENT MUTCD STANDARDS.



CLIENT: SOUTH GRAND EQUITIES, LLC 46100 GRAND RIVER AVENUE NOVI, MICHIGAN 48374 PHONE: 248/348-5600 EXT. 211	REVISIONS: REVISED 07/17/23 - PRELIMINARY SPA APPLICATION REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION	TAX I.D. #22-17-400-046 ZONED: OSC OFFICE SERVICE COMMERCIAL "PROVIDENCE HOSPITAL"	TAX I.D. #22-17-400-043 ZONED: R-3 ONE FAMILY RESIDENTIAL "ROSE SENIOR LIVING"	TAX I.D. #22-17-400-044 ZONED: R-3 ONE FAMILY RESIDENTIAL "PROVIDENCE HOSPITAL"	SITE OF THE PROPOSED <b>CENTRAL PARK SOUTH</b> IN SECTION 16 OAKLAND COUNTY	PRELIMINARY SITE LAYOUT & TRAFFIC CONTROL PLAN <b>Environmental engineers, Inc.</b> 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075 PHONE: 248/424-9510 FAX: 248/424-2954	CLIENT PROJECT No. 2235 DATE ISSUED 06/21/23 SHEET No. SP-1
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TAX ID. #22-16-300-013  
 ZONED: R-A  
 RESIDENTIAL ACREAGE  
 LOT 8  
 "AKIMAI FAMILY TRUST"

TAX ID. #22-16-300-014  
 ZONED: R-A  
 RESIDENTIAL ACREAGE  
 LOT 9  
 "LARRY WARRA"

TAX ID. #22-16-300-054  
 ZONED: RM-2  
 HIGH DENSITY  
 MULTIPLE FAMILY  
 "CENTRAL PARK, LLC"

TAX ID. #22-16-300-046  
 ZONED: R-A  
 RESIDENTIAL ACREAGE  
 LOT 1  
 "ZACHARY & PERIA WOODWORTH"

TAX ID. #22-16-300-006  
 ZONED: R-A  
 RESIDENTIAL ACREAGE  
 "VPI & RAKHI KAPOOR"

TAX ID. #22-16-300-054  
 ZONED: RM-2  
 HIGH DENSITY  
 MULTIPLE FAMILY  
 "CENTRAL PARK, LLC"

TAX ID. #22-16-300-054  
 ZONED: RM-1  
 LOW DENSITY  
 MULTIPLE FAMILY  
 "CENTRAL PARK, LLC"

TAX ID. #22-17-400-046  
 ZONED: OSC  
 OFFICE SERVICE COMMERCIAL  
 "PROVIDENCE HOSPITAL"

TAX ID. #22-17-400-043  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL  
 "PROSE SENIOR LIVING"

TAX ID. #22-17-400-044  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL  
 "PROVIDENCE HOSPITAL"

**LEGEND**

⊗ 960.00	EXISTING ELEVATION
— 960 —	EXISTING CONTOUR
— O —	U.P. — UTILITY POLE
— G —	GUY WIRE
⊕	HYD. — HYDRANT
⊕	G.V. — GATE VALVE
⊕	G.V.W. — GATE VALVE AND WELL
⊕	C.B. — CATCH BASIN
⊕	M.H. — MANHOLE
⊕	O.S. — OUTLET STRUCTURE
⊕	E.M. — ELECTRIC METER
⊕	G.M. — GAS METER
⊕	A.P. — AMERITECH PEDESTAL
⊕	T.S. — TRAFFIC SIGN
⊕	COMM. M.H. — COMMUNICATION MANHOLE
⊕	COMM. VAULT
⊕	EXISTING DECIDUOUS TREE DIAMETER
⊕	EXISTING CONIFEROUS TREE DIAMETER
⊕	EXISTING TREE TO BE REMOVED
⊕	F.I. — FOUND IRON

**BENCH MARKS**

CITY OF NOVI #1742  
 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #28270 BECK RD. ELEVATION 961.04 (NGVD 29)

B.M. #1  
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63± SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.94 (NGVD 29)

B.M. #2  
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 (NGVD 29)

B.M. #3  
 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 89± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 (NGVD 29)

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

**PROPERTY DESCRIPTION - TAX ID. #50-22-16-300-055**

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.16N., R.16E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.38°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°56'58"E. 38.05 FEET; THENCE S.42°54'29"E. 66.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.88°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING. CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.



NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022. SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.



CLIENT:  
 SOUTH GRAND EQUITIES, LLC  
 46100 GRAND RIVER AVENUE  
 NOVI, MICHIGAN 48374  
 PHONE: 248/348-5600 EXT. 211

REVISIONS:  
 REVISED 07/17/23 - PRELIMINARY SPA APPLICATION  
 REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

TAX ID. #22-17-400-046  
 ZONED: OSC  
 OFFICE SERVICE COMMERCIAL  
 "PROVIDENCE HOSPITAL"

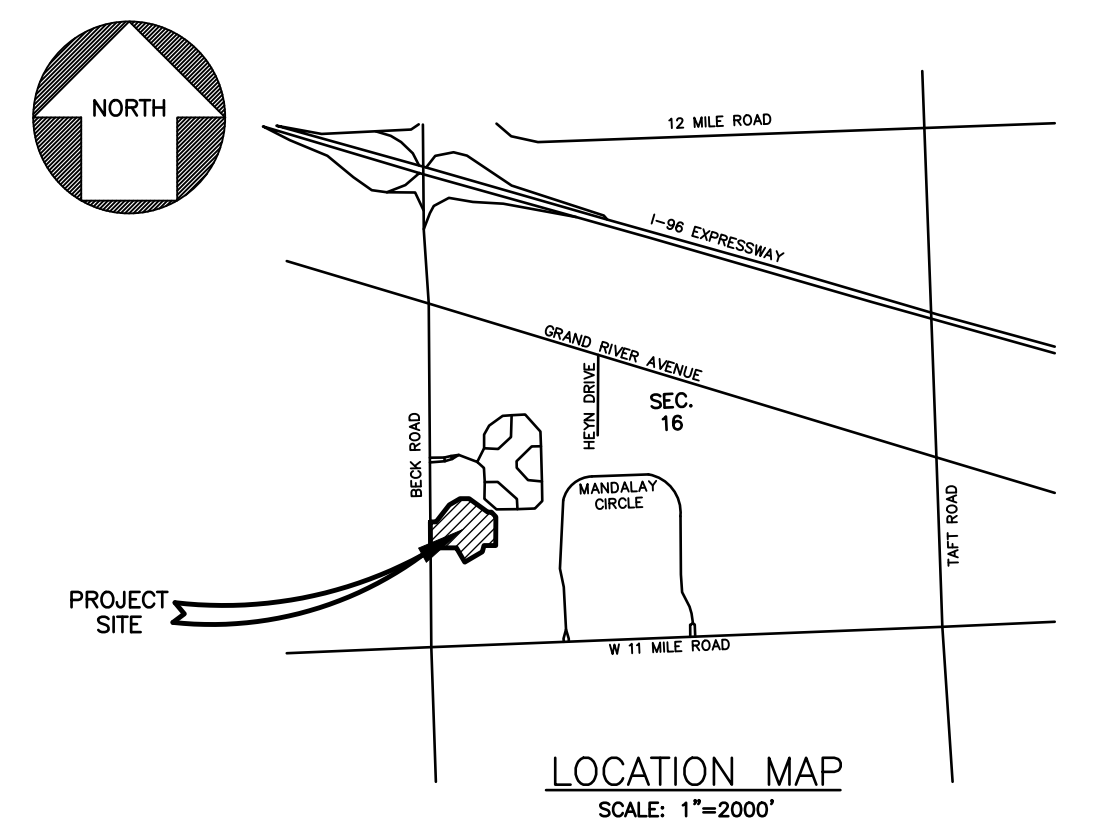
TAX ID. #22-17-400-043  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL  
 "PROSE SENIOR LIVING"

TAX ID. #22-17-400-044  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL  
 "PROVIDENCE HOSPITAL"

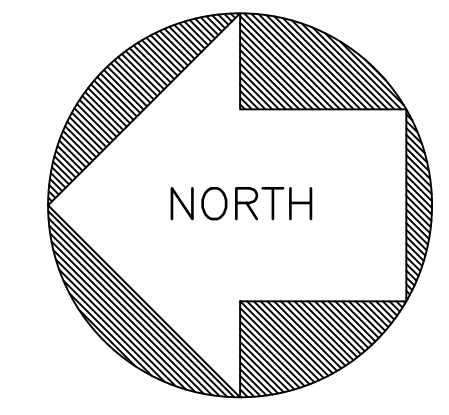
SITE OF THE PROPOSED  
**CENTRAL PARK SOUTH**  
 IN SECTION 16  
 OAKLAND COUNTY  
 MICHIGAN

PRELIMINARY SITE DEMOLITION & WETLAND IMPACT PLAN  
**Environmental engineers, Inc.**  
 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075  
 PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235  
 DATE ISSUED 06/21/23  
 SHEET No. C-1



- LEGEND**
- X 960.00 — EXISTING ELEVATION
  - - - - - EXISTING CONTOUR
  - O — U.P. — UTILITY POLE
  - G — GUY WIRE
  - H — HYDRANT
  - G.V. — GATE VALVE
  - G.V.W. — GATE VALVE AND WELL
  - C.B. — CATCH BASIN
  - M.H. — MANHOLE
  - O.S. — OUTLET STRUCTURE
  - E.M. — ELECTRIC METER
  - G.M. — GAS METER
  - A.P. — AMERICAN PEDESTAL
  - T.S. — TRAFFIC SIGN
  - COMM. M.H. — COMMUNICATION MANHOLE
  - COMM. VAULT — COMMUNICATION VAULT
  - EXISTING DECIDUOUS TREE DIAMETER
  - EXISTING CONIFEROUS TREE DIAMETER
  - EXISTING TREE NUMBER
  - F.I. — FOUND IRON



SCALE:  
1" = 40'



**BENCH MARKS**

CITY OF NOVI #1742  
"X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NAVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63'± SOUTH WEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.84 NAVD 29

B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NAVD 29

B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH WEST OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NAVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

**PROPERTY DESCRIPTION - TAX ID. #50-22-16-300-055**

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.82°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°58'58"E. 38.05 FEET; THENCE S.42°54'29"E. 68.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.85°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING, CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

- CONSTRUCTION NOTES**
- 1.) ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
  - 2.) A NEW SOIL EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED FROM THE CITY OF NOVI. DISTURBED AREA TO BE 5.2± ACRES, THEREFORE A N.P.D.E.S. STORMWATER PERMIT IS REQUIRED.
  - 3.) THE SITE CONSTRUCTION AREAS SHALL BE CLEARED AND STRIPPED OF ALL EXISTING TOPSOIL. THE EXISTING ASPHALT PAVEMENT WITHIN THE CONSTRUCTION AREA SHALL BE SAWCUT & REMOVED AS SHOWN. ALL FILL PLACED UNDER OR WITHIN 6 FEET OF PROPOSED BUILDING OR PAVEMENT AREAS SHALL BE CLEAN SOIL, FREE OF ANY VEGETATION OR ORGANIC MATERIALS AND SHALL BE PLACED IN 8" MAXIMUM LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY PER MODIFIED PROCTOR TEST. THE PROPOSED GRADES SHOWN WITHIN LAWN & LANDSCAPED AREAS ARE FINISHED GRADES & INCLUDE 4" TOPSOIL THICKNESS.
  - 4.) ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. SHALL MAINTAIN A MINIMUM COVER OF 5'-6" IN UNPAVED AREAS, 6'-0" IN PAVED AREAS AND SHALL HAVE MECHANICAL JOINT RESTRAINTS (MEGA-LUG OR APPROVED EQUAL). A M.D.E.Q. PERMIT IS REQUIRED FOR THE PROPOSED WATER MAIN RELOCATION. RESTRAINED JOINT DESIGN SHALL BE PROVIDED TO THE WORKING GRADES PRIOR TO CONSTRUCTION AND SHALL BE PER D.I.R.A. STANDARDS, CURRENT EDITION.
  - 5.) ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE DEPT. APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION WITH THE ADDRESS BEING AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
  - 6.) ALL SANITARY SEWER LEAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS & SPECIFICATIONS. A M.D.E.Q. PERMIT IS NOT REQUIRED. NO DEWATERING IS ANTICIPATED, HOWEVER IF DEWATERING BECOMES NECESSARY, A DEWATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DEPARTMENT.
  - 7.) ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL HAVE M.G.R.L. JOINTS. ALL LOW POINT DRAINAGE STRUCTURES SHALL HAVE 10'-4" P.V.C. DRAINER IN PEA GRAVEL TRENCH IN FOUR DIRECTIONS FROM THE STRUCTURE.
  - 8.) COMPACTED SAND BACKFILL (M.D.O.T. SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
  - 9.) PER THE TEN STATES STANDARD ARTICLE 8.8.3, ONE FULL 20 FOOT PIPE LENGTH OF WATER MAIN SEWER LEAD CONSTRUCTION SHALL BE FINISHED PAVEMENT CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING, IN ORDER TO ENSURE 10 FOOT SEPARATION BETWEEN WATER MAIN AND SEWERS.
  - 10.) TREES SHALL MAINTAIN A MINIMUM 5 FOOT HORIZONTAL SEPARATION DISTANCE FROM THE WATER MAIN AND AT LEAST A 10 FOOT SEPARATION FROM THE SANITARY SEWER.
  - 11.) THE PROPOSED AREAS SHOWN WITHIN PAVED AREAS ARE FINISHED PAVEMENT GRADES. DRIVE AND PARKING LOT PERIMETERS TO HAVE 24" STANDARD OR MODIFIED CONCRETE CURB AND GUTTER OR CONCRETE WALK WITH INTEGRAL CURB WHERE SHOWN. PROPOSED ON-SITE ASPHALT PAVEMENT SHALL BE:  
1-1/2" - M.D.O.T. NO. 5E1 BITUMINOUS WEARING COURSE ON  
2-1/2" - M.D.O.T. NO. 3C BITUMINOUS LEVELING COURSE ON  
8" - M.D.O.T. NO. 21AA LIMESTONE BASE



NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.  
SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.

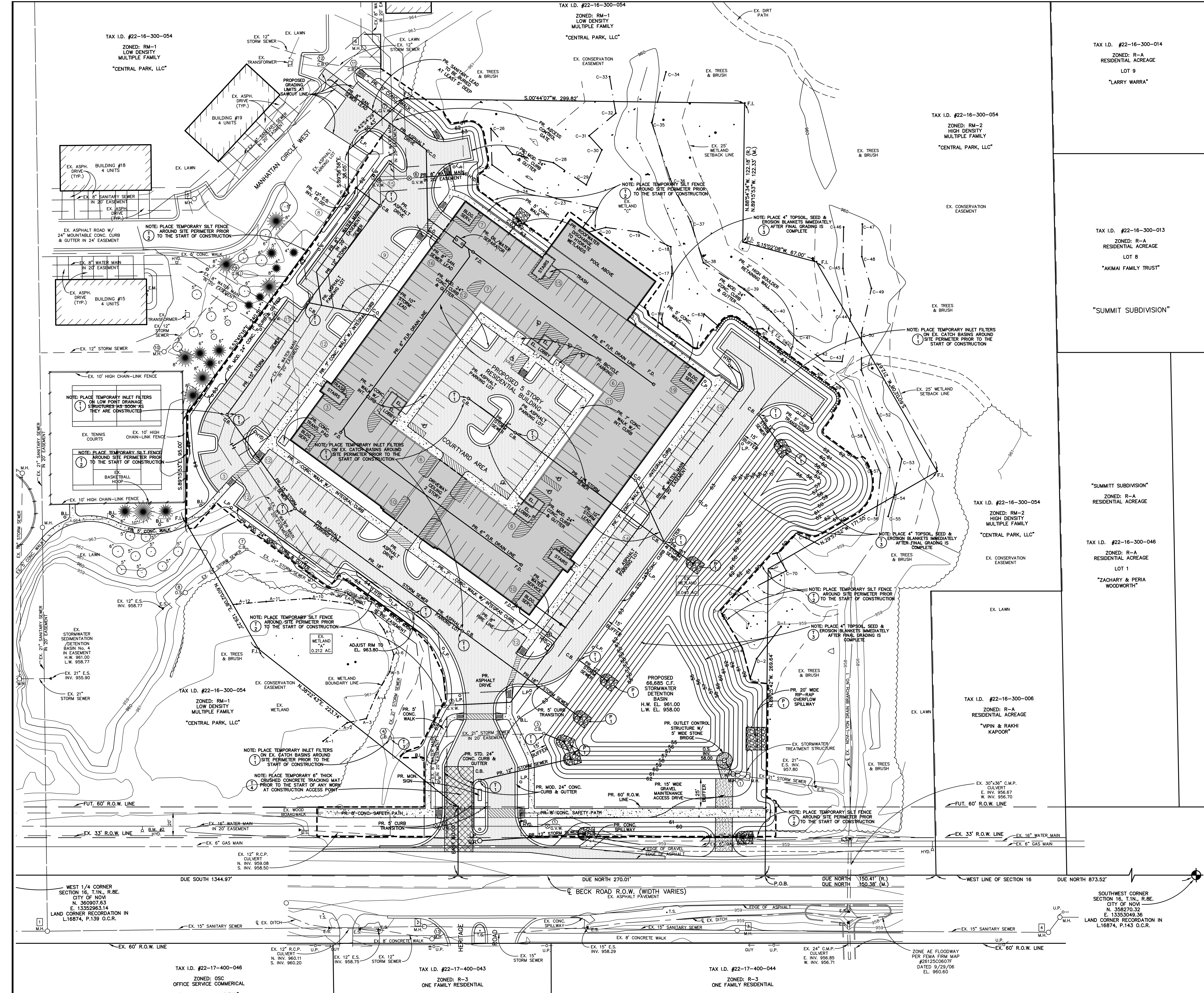
CLIENT: SOUTH GRAND EQUITIES, LLC 46100 GRAND RIVER AVENUE NOVI, MICHIGAN 48374 PHONE: 248/348-5600 EXT. 211	REVISIONS: REVISED 07/17/23 - PRELIMINARY SPA APPLICATION REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION	TAX ID. #22-17-400-046 ZONED: OSC OFFICE SERVICE COMMERCIAL "PROVIDENCE HOSPITAL"	TAX ID. #22-17-400-043 ZONED: R-3 ONE FAMILY RESIDENTIAL "ROSE SENIOR LIVING"	TAX ID. #22-17-400-044 ZONED: R-3 ONE FAMILY RESIDENTIAL "PROVIDENCE HOSPITAL"	SITE OF THE PROPOSED <b>CENTRAL PARK SOUTH</b> IN SECTION 16 OAKLAND COUNTY	CITY OF NOVI	MICHIGAN
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PRELIMINARY SITE GRADING & PAVING PLAN

**Environmental engineers, Inc.**

18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075  
PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235  
DATE ISSUED 06/21/23  
SHEET No. C-2



**LEGEND**

- X — 960.00 — EXISTING ELEVATION
- — — — — EXISTING CONTOUR
- O — U.P. — UTILITY POLE
- — — — — GUY — GUY WIRE
- — — — — HYD. — HYDRANT
- — — — — G.V. — GATE VALVE
- — — — — G.V.W. — GATE VALVE AND WELL
- — — — — C.B. — CATCH BASIN
- — — — — M.H. — MANHOLE
- — — — — O.S. — OUTLET STRUCTURE
- — — — — E.M. — ELECTRIC METER
- — — — — G.M. — GAS METER
- — — — — A.P. — AMERITECH PEDESTAL
- — — — — T.S. — TRAFFIC SIGN
- — — — — COMM. MANHOLE — COMMUNICATION MANHOLE
- — — — — COMM. VAULT — COMMUNICATION VAULT
- — — — — — EXISTING DECIDUOUS TREE DIAMETER
- — — — — — EXISTING CONIFEROUS TREE DIAMETER
- — — — — (750) — EXISTING TREE NUMBER
- — — — — F.I. — FOUND IRON

**BENCH MARKS**

CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NGVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 62.5' SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.84 NGVD 29

B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NGVD 29

B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 962.86 NGVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

**SOIL EROSION & SEDIMENTATION CONTROL MEASURES LEGEND**

- ① — TEMPORARY INLET FILTERS
- ② — TEMPORARY SILT FENCE
- ③ — TEMPORARY EROSION CONTROL BLANKETS
- ④ — TEMPORARY TRACKING MAT
- ⑤ — PERMANENT GRouted RIP-RAP APRON OR SPILLWAY

**SOIL EROSION & SEDIMENTATION CONTROL SEQUENCE & NOTES**

- INSTALL TEMPORARY SILT FENCE ALONG CONSTRUCTION AREA PERIMETER AS SHOWN ON PLAN. INSTALL TEMPORARY STONE TRACKING MAT AT LOCATION SHOWN. PLACE TEMPORARY INLET FILTERS ON ALL EX. DRAINAGE STRUCTURES LOCATED WITHIN OR NEAR THE PROPOSED CONSTRUCTION AREAS AS SHOWN ON PLANS.
- REMOVE EXISTING SITE IMPROVEMENTS AS SHOWN ON SITE DEMOLITION PLAN. CLEAR SITE AND STRIP ANY EXISTING TOPSOIL. EXCAVATE PROPOSED DETENTION BASIN AND IMMEDIATELY STABILIZE ALL SLOPES STEEPER THAN 1V:1H (18%) WITH TOPSOIL, SEED AND MULCH BLANKETS. THE STORMWATER DETENTION BASIN MUST BE STABILIZED PRIOR TO RECEIVING FLOW. ROUGH GRADE SITE. BEGIN BUILDING CONSTRUCTION. REMOVE ANY DIRT WHICH MAY BE TRACKED ONTO ADJACENT PAVEMENT AND ROADWAYS ON A DAILY BASIS.
- INSTALL SITE UTILITIES. PLACE INLET FILTERS ON ALL NEW LOW POINT DRAINAGE STRUCTURES AS SOON AS THEY ARE CONSTRUCTED. TEMPORARY INLET FILTERS AND DETENTION BASIN SUMP TO BE INSPECTED WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED, AND CLEANED AS REQUIRED.
- FINE GRADE PAVEMENT AREAS AND INSTALL PAVEMENT. REPAIR AND/OR REPLACE INLET FILTERS AS REQUIRED.
- FINE GRADE ALL UNPAVED AREAS AND DISTRIBUTE 4" (MIN.) TOPSOIL, SEED AND MULCH (OR SOD) ALL DISTURBED PORTIONS OF SITE WHICH ARE UNPAVED WITHIN FIVE (5) DAYS OF FINAL GRADING OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER.
- COMPLETE BUILDING CONSTRUCTION. CLEAN SITE PAVEMENT, STORM SEWERS AND DETENTION BASIN REMOVING ANY ACCUMULATED SEDIMENT AND DEBRIS. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN ALL AREAS ARE STABILIZED.
- A STREET SWEEPER IS TO REMAIN ON SITE AT ALL TIMES, OR A SUBCONTRACTOR MUST BE ABLE TO MAKE DAILY VISITS TO THE SITE AS NECESSARY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE STREETS CLEAN AND TO CONTROL DUST AT ALL TIMES.
- IT IS THE DEVELOPER'S (OR PERMIT HOLDER'S) ULTIMATE RESPONSIBILITY TO MAINTAIN S.E.S.C. MEASURES THROUGHOUT CONSTRUCTION.
- THE DEVELOPER OR AUTHORIZED AGENT IS THE PERMITTED ENTITY, NOT THE BUILDER, CONTRACTOR OR HOMEOWNER.
- NO DOWATERING IS ANTICIPATED, HOWEVER, IF DOWATERING BECOMES NECESSARY A DOWATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DEPARTMENT. ANY DOWATERING OR RELIEF FROM PONDING SHALL BE DISCHARGED THROUGH AN ADEQUATE FILTER. THE DISCHARGE POINT SHALL BE CAPABLE OF SUSTAINING VOLUMES AND VELOCITIES DOWNSTREAM.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC UTILITIES, I.E. GAS, ELECTRIC, PHONE, CABLE, ETC.
- THE CITY OF NOVI AND ITS DESIGNATED AGENTS, RESERVE THE RIGHT TO INSTITUTE ANY ADDITIONAL S.E.S.C. MEASURES, AT THE DEVELOPER'S SOLE EXPENSE, THAT WERE NOT ORIGINALLY CONSIDERED WITHIN THE APPROVED PLANS, SPECIFICATIONS, PERMITS, ETC., AS NECESSARY TO PROTECT THE WATERS OF THE STATE AND THE SAFETY AND WELFARE OF THE CITY OF NOVI. IF THE INSTRUMENT OR ANY PART THEREOF DOES NOT INCLUDE ANY OF THE FOLLOWING ACTIONS ON BEHALF OF THE DEVELOPER: 1) STREET SWEEPING AND/OR VACUUMING; 2) ADDITIONAL SILT FENCE PLACEMENT; 3) TEMPORARY STABILIZATION, INCLUDING SEED AND STRAW MULCH, HYDROSEED, OR SEED AND STRAW MULCH BLANKET; 4) PLACEMENT OF STORM SEWER INLET FILTRATION; AND 5) PLACEMENT OF CHECK DAMS, SEDIMENT TRAPS AND RIP-RAP.

NOTE: INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF FENCING.

**SOIL EROSION & SEDIMENTATION CONTROL MEASURES INSPECTION AND MAINTENANCE SCHEDULE**

ALL TEMPORARY EROSION CONTROL MEASURES AND DETENTION BASIN FOREBAY SHOULD BE CHECKED ON A WEEKLY BASIS AND IMMEDIATELY AFTER EACH RAINFALL EVENT. ANY MAINTENANCE NEEDED TO KEEP THE MEASURES PERFORMING THEIR INTENDED PURPOSE SHOULD BE DONE IMMEDIATELY AFTER THE SITE INSPECTION. EXAMPLES OF REQUIRED MAINTENANCE INCLUDE THE FOLLOWING:

- INLET FILTERS — SILTSACK INSERTS SHOULD BE CLEANED OUT PERIODICALLY SO AS NOT TO BECOME CLOGGED. ANY DAMAGED FILTERS SHALL BE REPLACED IMMEDIATELY.
- TRACKING MAT — CRUSHED CONCRETE SHOULD BE ADDED TO THE TRACKING MATS AS THEY BECOME COVERED WITH MUD. ADJACENT ROADWAYS SHOULD BE CLEANED ON A DAILY BASIS AS NECESSARY TO REMOVE ANY DIRT WHICH MAY BE TRACKED ONTO THEM.
- SILT FENCE — SOIL ACCUMULATED BEHIND THE SILT FENCE SHOULD BE REMOVED AFTER REACHING A 6" HEIGHT. ANY AREAS WHERE THE SILT FENCE HAS BEEN UNDERCUT SHALL BE REINSTALLED WITH THE REQUIRED 6" MINIMUM ANCHOR TRENCH. ANY DAMAGED SILT FENCE SHALL BE REPLACED IMMEDIATELY.
- SLOPE STABILIZATION BLANKETS — STRAW BLANKETS SHALL BE REPAIRED, REPLACED OR RESTAKED AS NECESSARY TO HOLD THE UNDERLYING TOPSOIL & SEED IN PLACE UNTIL TURF IS ESTABLISHED.
- TOPSOIL, SEED & MULCH — ALL GREENBELT AREAS SHOULD RECEIVE 4" TOPSOIL, SEED AND MULCH (OR HYDRO-SEED OR SOD) WITHIN FIVE (5) DAYS OF REACHING FINAL GRADE. ANY ERODED AREAS SHALL BE IMMEDIATELY REPAIRED BY REGRADING AND PLACING ADDITIONAL SEED & MULCH.

TAX I.D. #22-16-300-014  
ZONED: R-A  
RESIDENTIAL ACREAGE  
LOT 9  
"LARRY WARRA"

TAX I.D. #22-16-300-054  
ZONED: RM-2  
HIGH DENSITY  
MULTIPLE FAMILY  
"CENTRAL PARK, LLC"

TAX I.D. #22-16-300-013  
ZONED: R-A  
RESIDENTIAL ACREAGE  
LOT 8  
"AKIAMI FAMILY TRUST"

"SUMMIT SUBDIVISION"

TAX I.D. #22-16-300-054  
ZONED: RM-2  
HIGH DENSITY  
MULTIPLE FAMILY  
"CENTRAL PARK, LLC"

TAX I.D. #22-16-300-046  
ZONED: R-A  
RESIDENTIAL ACREAGE  
LOT 1  
"ZACHARY & PERIA WOODWORTH"

TAX I.D. #22-16-300-006  
ZONED: R-A  
RESIDENTIAL ACREAGE  
"WPM & RAKH KAPOR"

TAX I.D. #22-17-400-046  
ZONED: OSC  
OFFICE SERVICE COMMERCIAL  
"PROVIDENCE HOSPITAL"

TAX I.D. #22-17-400-043  
ZONED: R-3  
ONE FAMILY RESIDENTIAL  
"ROSE SENIOR LIVING"

TAX I.D. #22-17-400-044  
ZONED: R-3  
ONE FAMILY RESIDENTIAL  
"PROVIDENCE HOSPITAL"

CLIENT: SOUTH GRAND EQUITIES, LLC  
46100 GRAND RIVER AVENUE  
NOVI, MICHIGAN 48374  
PHONE: 248/348-5600 EXT. 211

REVISIONS  
REVISED 07/17/23 - PRELIMINARY SPA APPLICATION  
REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

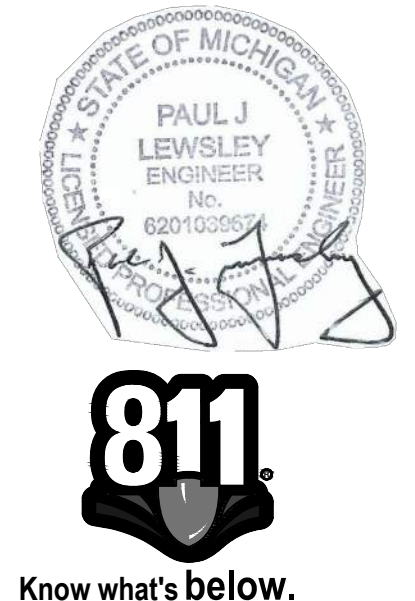
SITE OF THE PROPOSED  
CENTRAL PARK SOUTH  
IN SECTION 16  
OAKLAND COUNTY

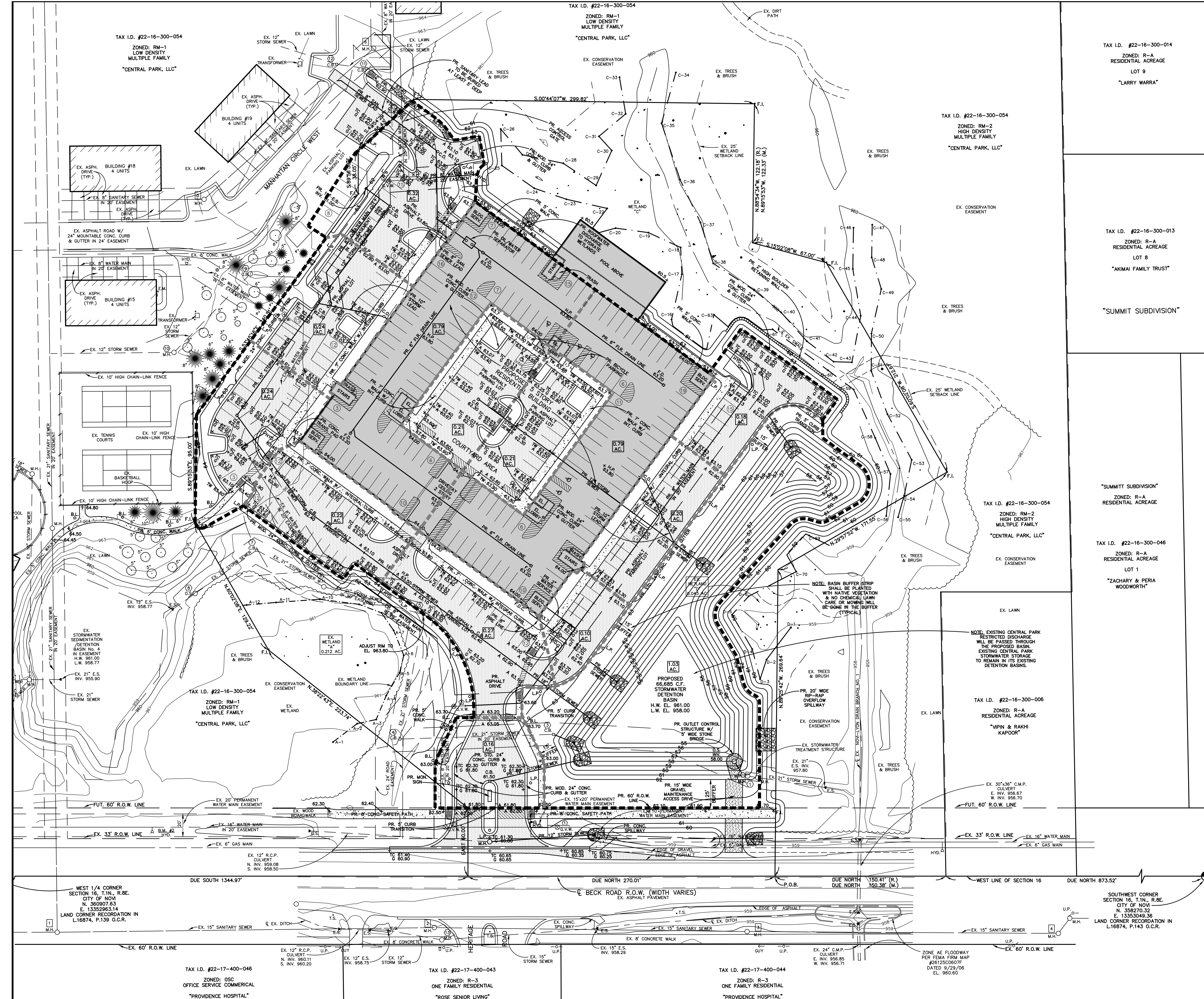
PRELIMINARY SITE SOIL EROSION CONTROL PLAN  
Environmental engineers, Inc.  
18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075  
PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235  
DATE ISSUED 06/21/23  
SHEET No. C-3

NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.  
SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.

Know what's below.  
Call before you dig.





**LEGEND**

- 960.00 — EXISTING ELEVATION
- - - - - EXISTING CONTOUR
- U.P. - UTILITY POLE
- GUY - GUY WIRE
- HYD. - HYDRANT
- G.V. - GATE VALVE
- G.V.W. - GATE VALVE AND WELL
- C.B. - CATCH BASIN
- M.H. - MANHOLE
- O.S. - OUTLET STRUCTURE
- E.M. - ELECTRIC METER
- G.M. - GAS METER
- A.P. - AMERITECH PEDESTAL
- T.S. - TRAFFIC SIGN
- COMM. M.H. - COMMUNICATION MANHOLE
- COMM. VAULT - COMMUNICATION VAULT
- EXISTING DECIDUOUS TREE DIAMETER
- EXISTING CONIFEROUS TREE DIAMETER
- EXISTING TREE TO BE REMOVED
- F.I. - FOUND IRON

**SCALE:**  
1" = 40'

**NORTH**

**PROPOSED STORMWATER DETENTION BASIN DESIGN CALCULATIONS**

**DETENTION VOLUME REQUIRED**

USE OAKLAND COUNTY DRAIN COMMISSIONERS FORMULA TO DETERMINE REQUIRED DETENTION VOLUME FOR 100 YR. STORM PER CITY OF NOVI STORMWATER MANAGEMENT ORDINANCE. CALCULATE FIRST FLUSH & BANK FULL VOLUMES BASED ON CITY OF NOVI STORMWATER MANAGEMENT ORDINANCE FORMULAS.

WEIGHTED =  $3.70 \text{ AC}(0.95) + 0.43 \text{ AC}(0.35) + 0.39(1.00) = 0.90$   
 COEFFICIENT =  $4.52 \text{ AC. TOTAL TRIBUTARY AREA} = 0.1667$

$Q_0 = \frac{\text{ALLOWABLE OUTFLOW } Q_0}{(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})}$  WHERE:  $Q_0 = (\text{ACREAGE})(0.15 \text{ CFS/AC.})$   
 $Q_0 = \frac{(4.52 \text{ AC.})(0.15 \text{ CFS/AC.})}{(4.52 \text{ AC.})(0.90 \text{ AVG. "C"})} = 0.1667$

$T_{100} = -25 + \sqrt{\frac{10,312.5}{0.1667}} = 224 \text{ MIN.}$

$V_{5100} = \frac{16,500(T)}{T + 25} = 40(Q_0)(T)$   
 $V_{5100} = \frac{16,500(224)}{224 + 25} = 40(0.1667)(224) = 13,750 \text{ C.F. /AC. IMP.}$

$V_{1100} = V_{5100}(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})$   
 $V_{1100} = (13,750)(4.42)(0.90) = 54,308 \text{ CU. FT. REQUIRED FOR 100 YR. STORM}$

**FIRST FLUSH VOLUME REQUIRED**

$V_{ff} = 1.815(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})$   
 $V_{ff} = 1.815(4.52)(0.90) = 7,383 \text{ CU. FT. REQUIRED}$

**BANK FULL VOLUME REQUIRED**

$V_{bf} = 5.160(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})$   
 $V_{bf} = 5.160(4.52)(0.90) = 20,991 \text{ CU. FT. REQUIRED}$

**DETENTION VOLUME PROVIDED**

**PERMANENT POOL**

CONTOUR	AREA BELOW CONTOUR	AVERAGE DEPTH	VOLUME BETWEEN CONTOURS	CUMULATIVE VOLUME	FIRST FLUSH
955.0 (BOT.)	5,954 S.F.	6,852 S.F. x 1.0 FT.	6,852 C.F.	18,555 C.F.	EL. 958.40
956.0	7,750 S.F.	8,932 S.F. x 1.0 FT.	8,932 C.F.	40,739 C.F.	BANK FULL 20,991 C.F.
957.0	10,114 S.F.	15,080 S.F. x 1.0 FT.	15,080 C.F.	66,685 C.F.	EL. 959.11
958.0 (L.W.)	16,775 S.F.	29,833 S.F. x 1.0 FT.	29,833 C.F.	96,518 C.F.	100 YR. 54,308 C.F.

PERMANENT POOL VOLUME PROVIDED = 30,864 CU. FT. > 7,383 C.F. ACCEPTABLE

**DETENTION BASIN**

CONTOUR	AREA BELOW CONTOUR	AVERAGE DEPTH	VOLUME BETWEEN CONTOURS	CUMULATIVE VOLUME	FIRST FLUSH
955.0 (L.W.)	16,775 S.F.	18,555 S.F. x 1.0 FT.	18,555 C.F.	40,739 C.F.	EL. 958.40
959.0	20,335 S.F.	22,184 S.F. x 1.0 FT.	22,184 C.F.	62,923 C.F.	BANK FULL 20,991 C.F.
960.0	24,032 S.F.	25,946 S.F. x 1.0 FT.	25,946 C.F.	88,869 C.F.	EL. 959.11
961.0 (H.W.)	27,859 S.F.	29,833 S.F. x 1.0 FT.	29,833 C.F.	118,702 C.F.	100 YR. 54,308 C.F.
962.0	31,807 S.F.			148,535 C.F.	EL. 960.52

DETENTION BASIN VOLUME PROVIDED = 66,685 CU. FT. > 54,308 C.F. ACCEPTABLE

**PRE-DEVELOPMENT/POST-DEVELOPMENT DISCHARGE RATE CALCULATION**

DEVELOPED PORTION OF SITE RUNOFF TO BE DIRECTED TO PROPOSED DETENTION BASIN = 4.52 ACRES  
 UNDEVELOPED PORTION OF SITE RUNOFF TO CONTINUE TO FLOWING TO ADJACENT WETLANDS = 2.10 ACRES  
 TOTAL NET SITE AREA = 6.62 ACRES

PRE-DEVELOPMENT  
 100 YR. STORM DISCHARGE:  $(0.30)(\frac{275}{20+25})(6.62) = 12.14 \text{ CFS}$

POST-DEVELOPMENT  
 100 YR. STORM DISCHARGE:  $(0.30)(\frac{275}{20+25})(2.10) = 3.85 \text{ CFS}$   
 DISCHARGE:  $4.52 \text{ AC.}(0.15 \text{ CFS/AC.}) = +0.68 \text{ CFS}$   
 TOTAL = 4.53 CFS

**PRELIMINARY SITE STORMWATER MANAGEMENT PLAN**

**Environmental engineers, Inc.**

18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075  
 PHONE: 248/424-9510 FAX: 248/424-2954

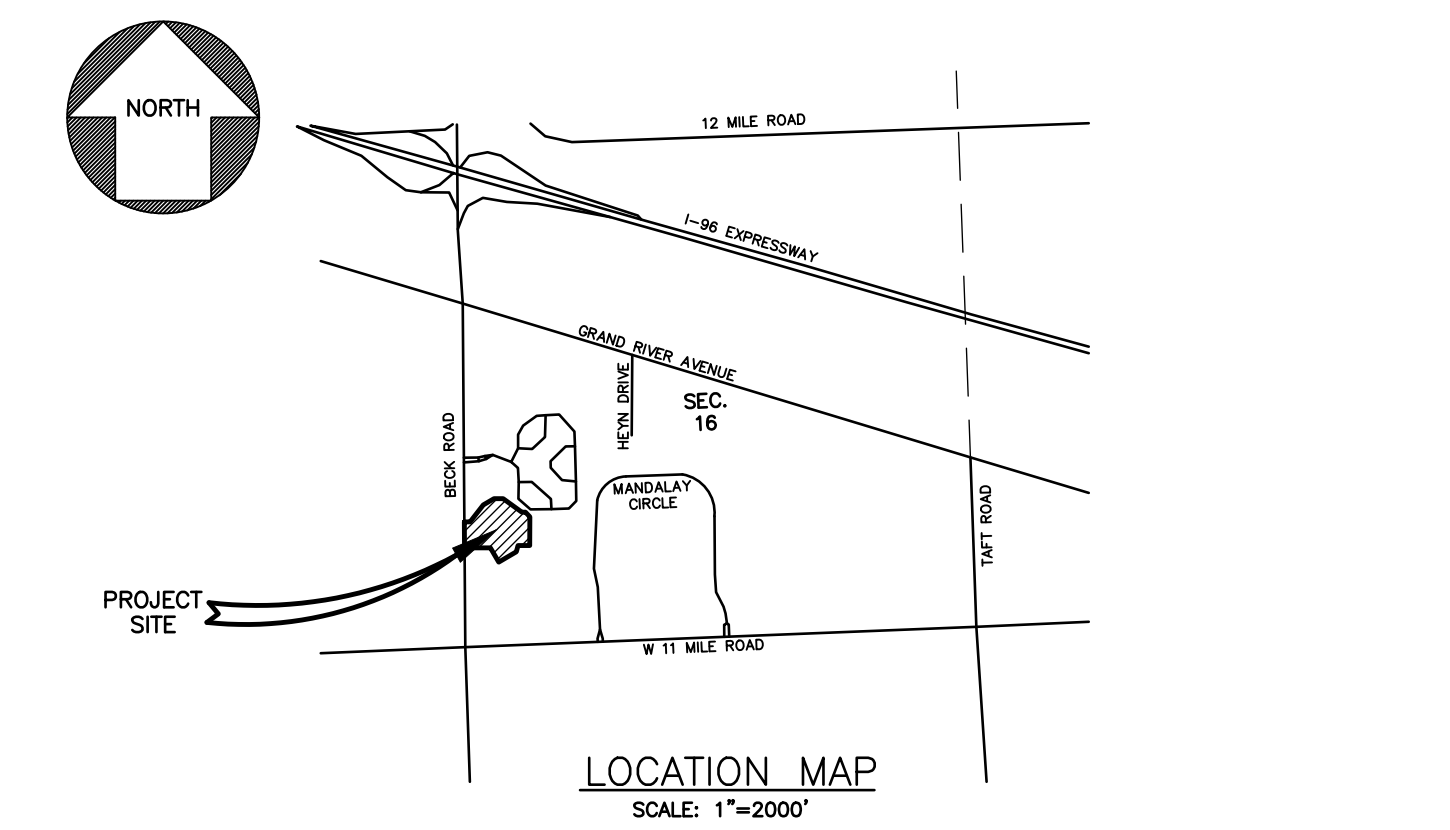
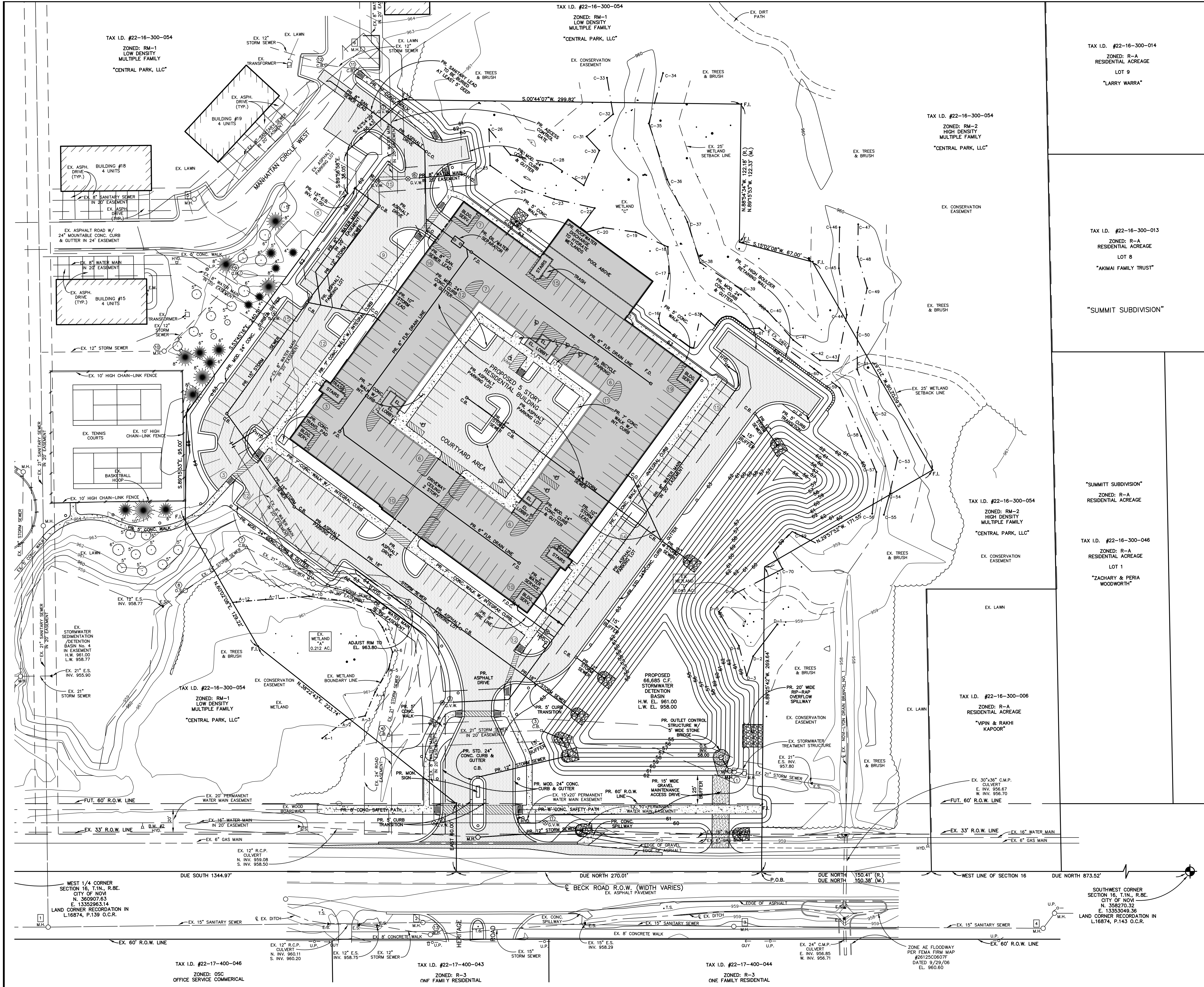
DATE ISSUED: 06/21/23  
 SHEET No.: C-4

CLIENT PROJECT No.: 2235

NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022. SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.

Know what's below. Call before you dig.





**LEGEND**

—	EXISTING ELEVATION
—960—	EXISTING CONTOUR
—○—	UTILITY POLE
—○—	GUY WIRE
—○—	HYDRANT
—○—	G.V.
—○—	GATE VALVE
—○—	AND WELL
—○—	M.H.
—○—	CATCH BASIN
—○—	MANHOLE
—○—	O.S.
—○—	ELECTRIC STRUCTURE
—○—	E.M.
—○—	GAS METER
—○—	AMERICAN PEDESTAL
—○—	T.S.
—○—	TRAFFIC SIGN
—○—	COMM. M.H.
—○—	COMMUNICATION MANHOLE
—○—	COMMUNICATION VAULT
—○—	EXISTING DECIDUOUS TREE DIAMETER
—○—	EXISTING CONIFEROUS TREE DIAMETER
—○—	EXISTING TREE NUMBER
—○—	F.I.
—○—	FOUND IRON

**BENCH MARKS**

CITY OF NOVI #1742  
 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #28270 BECK RD. ELEVATION 961.04 NAVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1  
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63'± SOUTH OF NORTHWEST PROPERTY CORNER. ELEVATION 962.84 NAVD 29

B.M. #2  
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NAVD 29

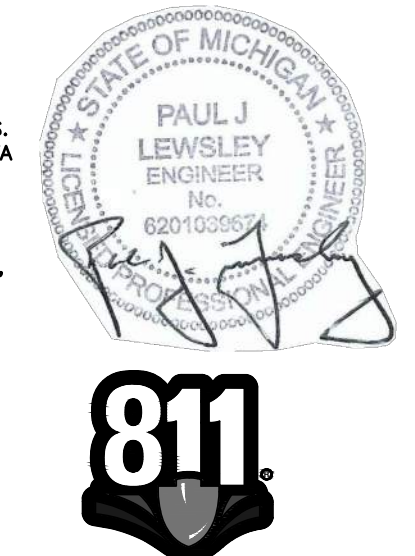
B.M. #3  
 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NAVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

**PROPERTY DESCRIPTION - TAX ID. #50-22-16-300-055**

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST END OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.82°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 90.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°56'58"E. 38.05 FEET; THENCE S.42°54'29"E. 68.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.85°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING, CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

- CONSTRUCTION NOTES**
- 1.) ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
  - 2.) A NEW SOIL EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED FROM THE CITY OF NOVI. DISTURBED AREA TO BE 5.21 ACRES, THEREFORE A N.P.D.E.S. STORMWATER PERMIT IS REQUIRED.
  - 3.) THE SITE CONSTRUCTION AREAS SHALL BE CLEARED AND STRIPPED OF ALL EXISTING TOPSOIL. THE EXISTING ASPHALT PAVEMENT WITHIN THE CONSTRUCTION AREA SHALL BE SAWCUT & REMOVED AS SHOWN. ALL FILL PLACED UNDER OR WITHIN 6 FEET OF PROPOSED BUILDING OR PAVEMENT AREAS SHALL BE CLEAN SOIL, FREE OF ANY VEGETATION OR ORGANIC MATERIALS AND SHALL BE PLACED IN 8" MAXIMUM LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY PER MODIFIED PROCTOR TEST. THE PROPOSED GRADES SHOW LANDSCAPED AREAS ARE FINISHED GRADES & INCLUDE 4" TOPSOIL THICKNESS.
  - 4.) ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. SHALL MAINTAIN A MINIMUM COVER OF 5'-6" IN UNPAVED AREAS, 6'-0" IN PAVED AREAS AND SHALL HAVE MECHANICAL JOINT RESTRAINTS (MEGA-LUG OR APPROVED EQUAL). A M.D.E.Q. PERMIT IS REQUIRED FOR THE PROPOSED WATER MAIN RELOCATION. RESTRAINED JOINT DESIGN SHALL BE PROVIDED TO THE INSPECTING ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE PER D.I.F.R.A. STANDARDS, CURRENT EDITION.
  - 5.) ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE DEPT. APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION WITH THE ADDRESS BEING AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
  - 6.) ALL SANITARY SEWER LEAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS & SPECIFICATIONS. A M.D.E.Q. PERMIT IS NOT REQUIRED. NO DEMURING IS ANTICIPATED, HOWEVER IF DEMURING BECOMES NECESSARY, A DEMATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DEPARTMENT.
  - 7.) ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWER SHALL HAVE M.C.R.J. JOINTS. ALL LOW POINT DRAINAGE STRUCTURES SHALL HAVE 10"-4" P.V.C. BLEEDER DRAIN IN PEA GRAVEL TRENCH IN FOUR DIRECTIONS FROM THE STRUCTURE. ALL STORM SEWER SHALL BE COMPACTED SAND BACKFILL (M.D.O.T. SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
  - 8.) PER THE TEN STATES STANDARDS ARTICLE 8.1.3. ONE FULL 20 FOOT PIPE LENGTH OF WATER MAIN SHALL BE USED WHENEVER STORM SEWER OR SANITARY SEWER IS CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING FROM THE SANITARY SEWER.
  - 9.) ALL WATER MAINS AND SANITARY SEWERS SHALL BE INSTALLED IN ORDER TO ENSURE 10 FOOT SEPARATION BETWEEN WATER MAIN AND SEWERS.
  - 10.) TREES SHALL MAINTAIN A MINIMUM 5 FOOT HORIZONTAL SEPARATION DISTANCE FROM THE WATER MAIN AND SANITARY SEWER.
  - 11.) THE PROPOSED GRADES SHOWN WITHIN PAVEMENT AREAS ARE FINISHED PAVEMENT GRADES. DRIVE AND PARKING LOT PERMITTERS TO HAVE 24" STANDARD OR MODIFIED CONCRETE CURB AND GUTTER OR CONCRETE WALK WITH INTEGRAL CURB WHERE SHOWN. PROPOSED ONSITE ASPHALT PAVEMENT SHALL BE:  
 1-1/2" - M.D.O.T. NO. 5E1 BITUMINOUS WEARING COURSE ON  
 2-1/2" - M.D.O.T. NO. 3C BITUMINOUS LEVING COURSE ON  
 8" - M.D.O.T. NO. 21AA LIMESTONE BASE



Know what's below.  
 Call before you dig.

CLIENT:  
 SOUTH GRAND EQUITIES, LLC  
 46100 GRAND RIVER AVENUE  
 NOVI, MICHIGAN 48374  
 PHONE: 248/348-5600 EXT. 211

TAX ID. #22-17-400-046  
 ZONED: OSC  
 OFFICE SERVICE COMMERCIAL

REVISIONS  
 REVISED 07/17/23 - PRELIMINARY SPA APPLICATION  
 REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

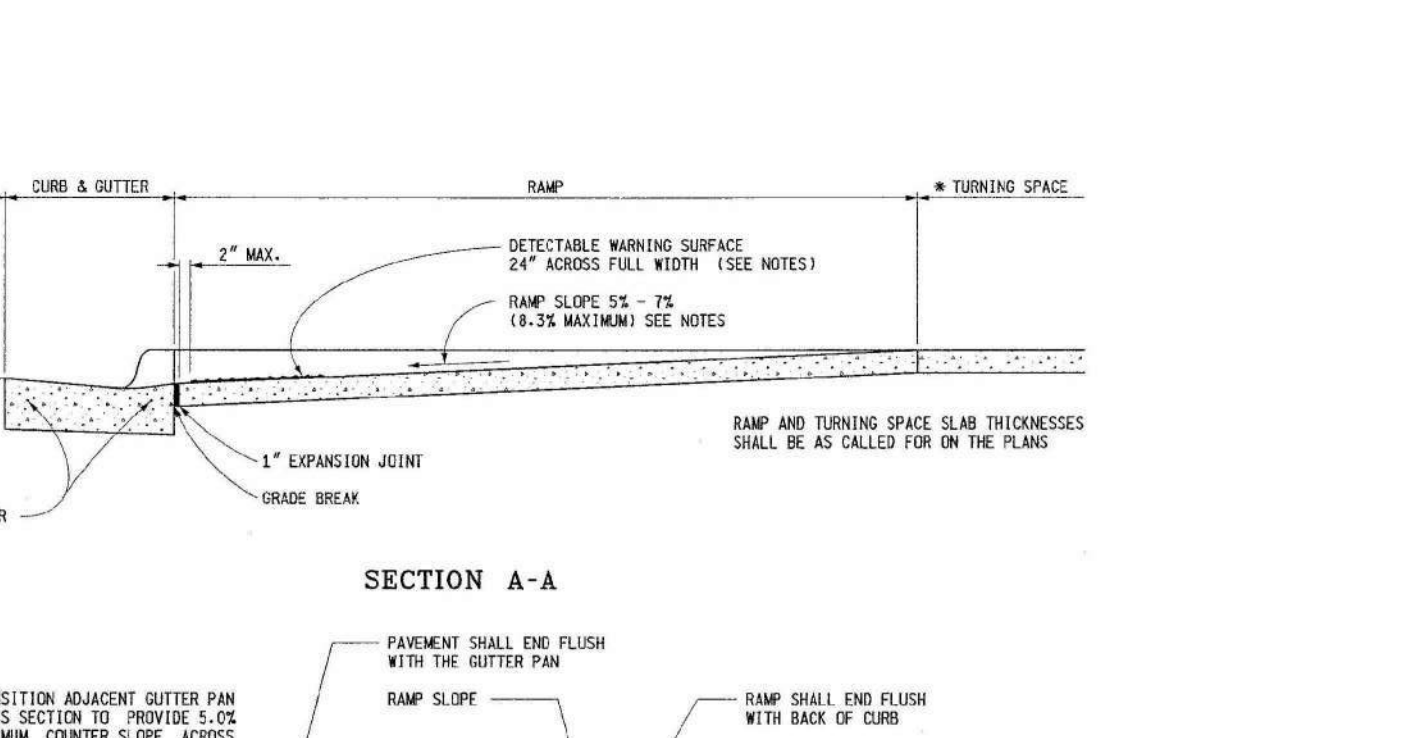
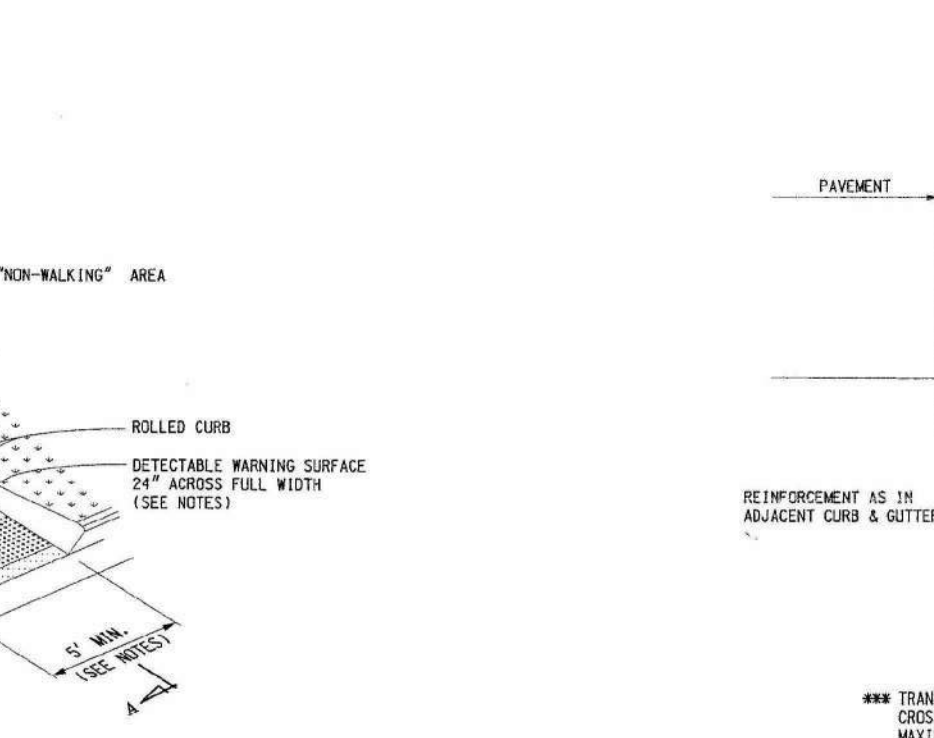
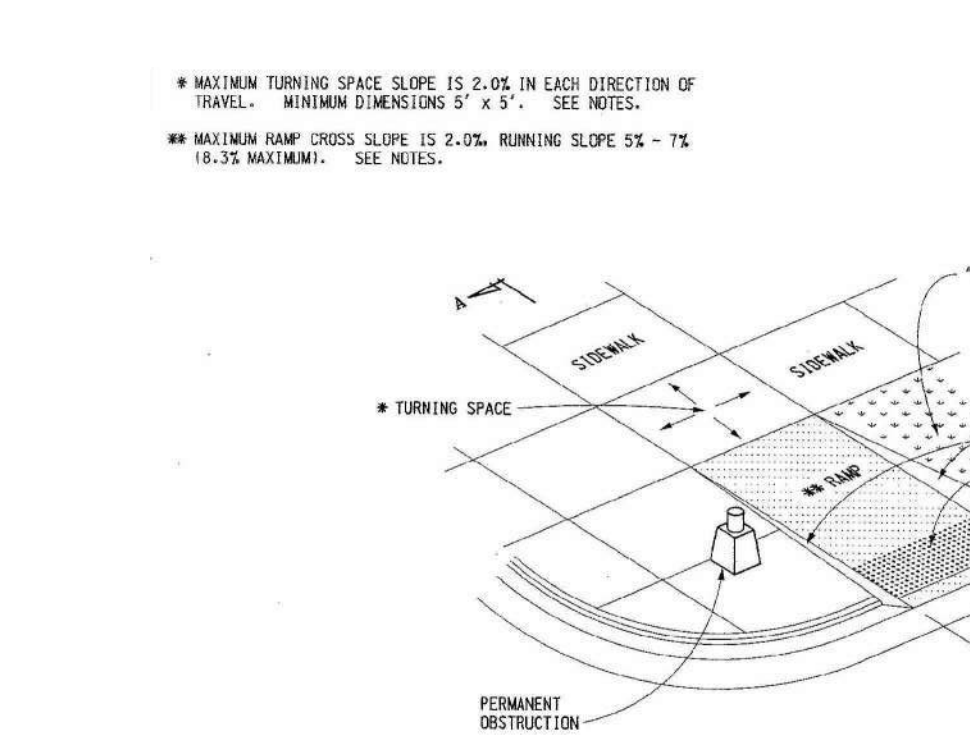
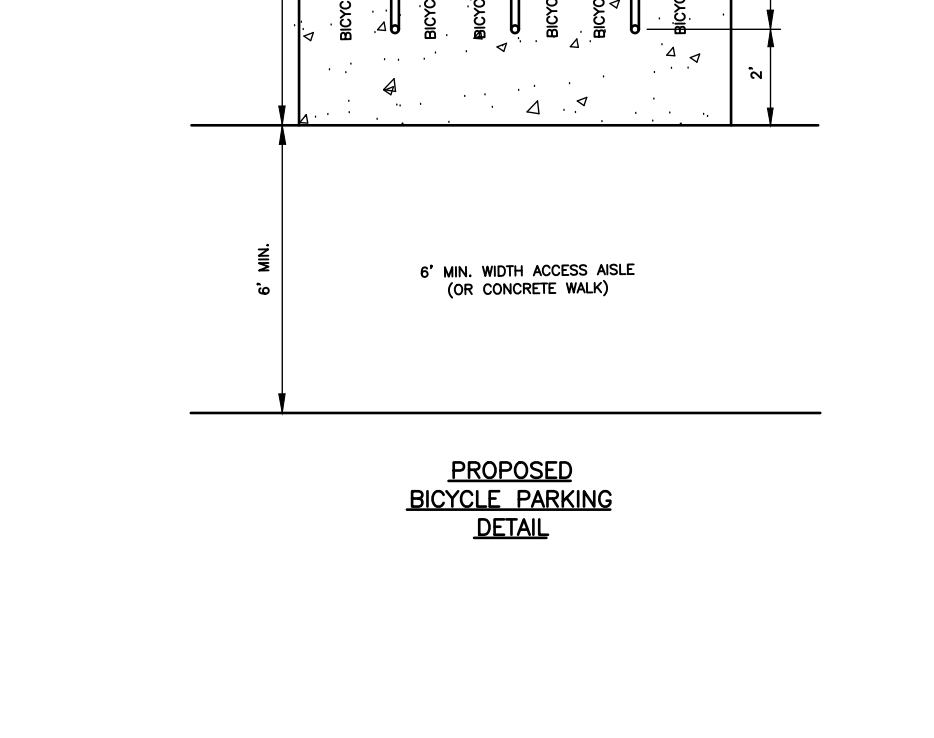
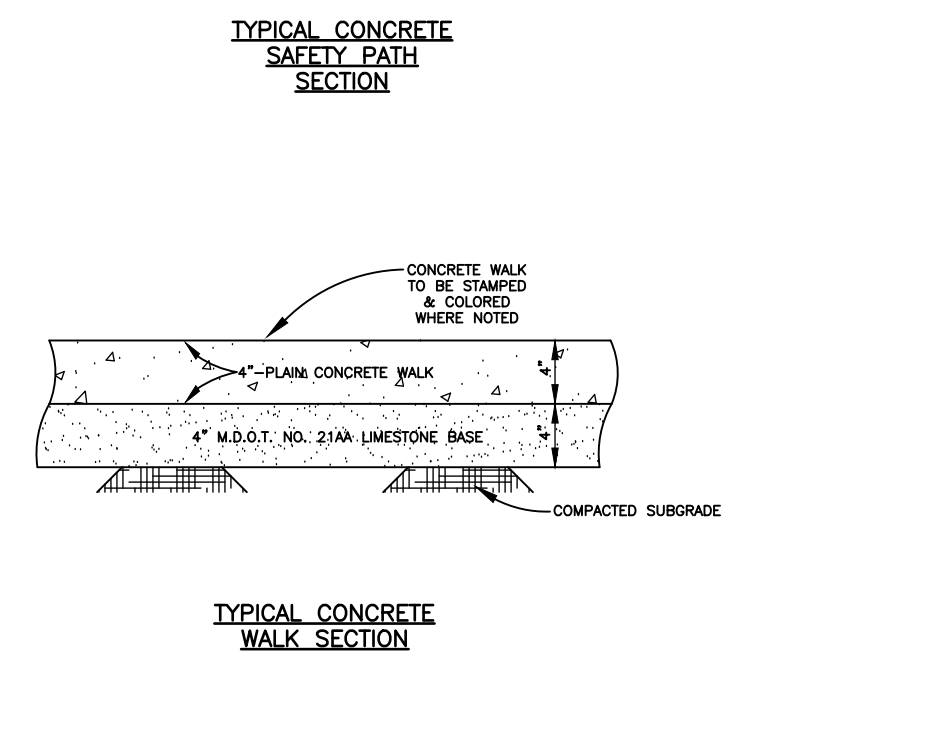
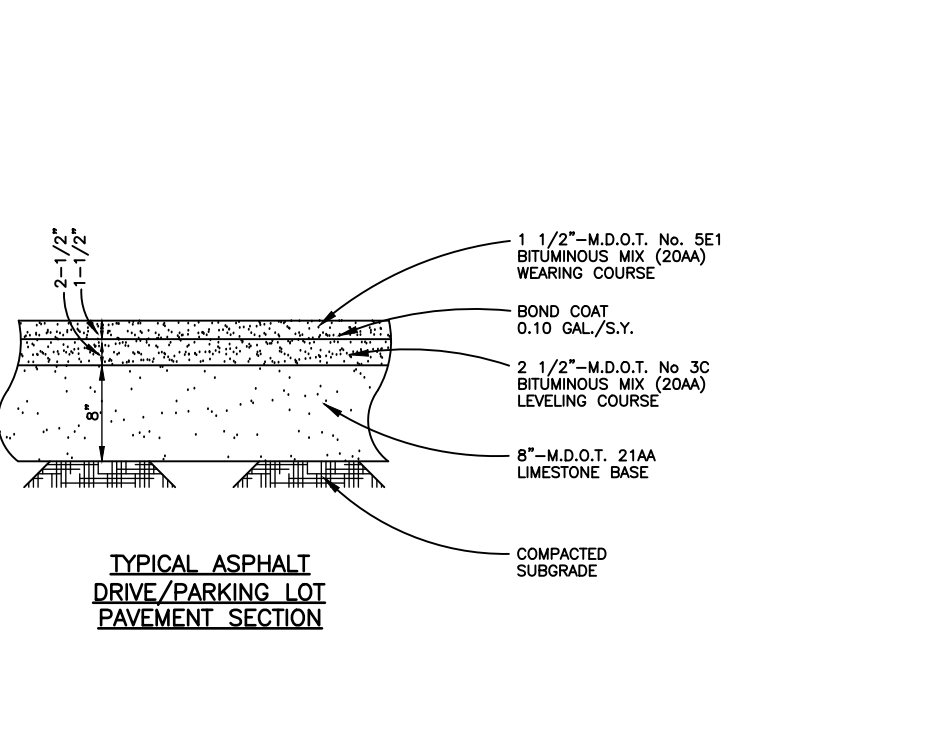
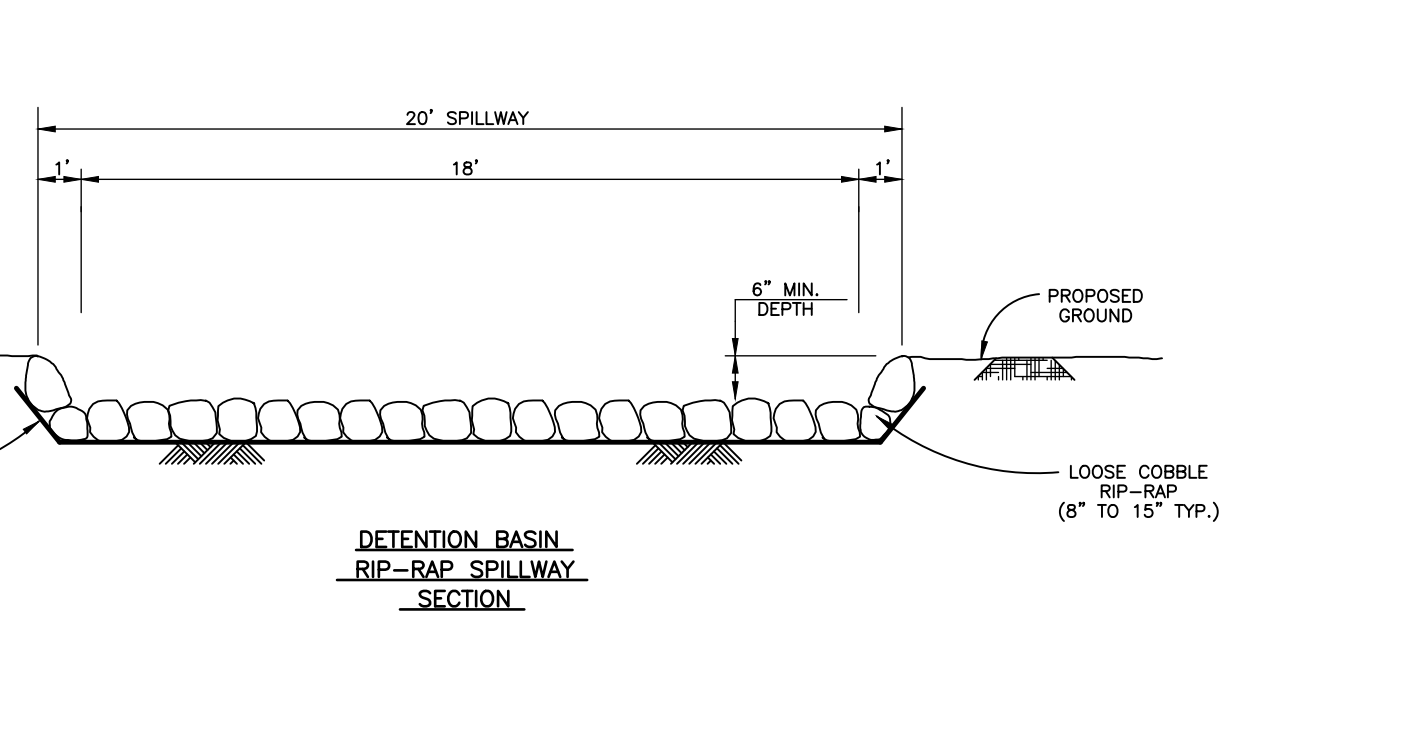
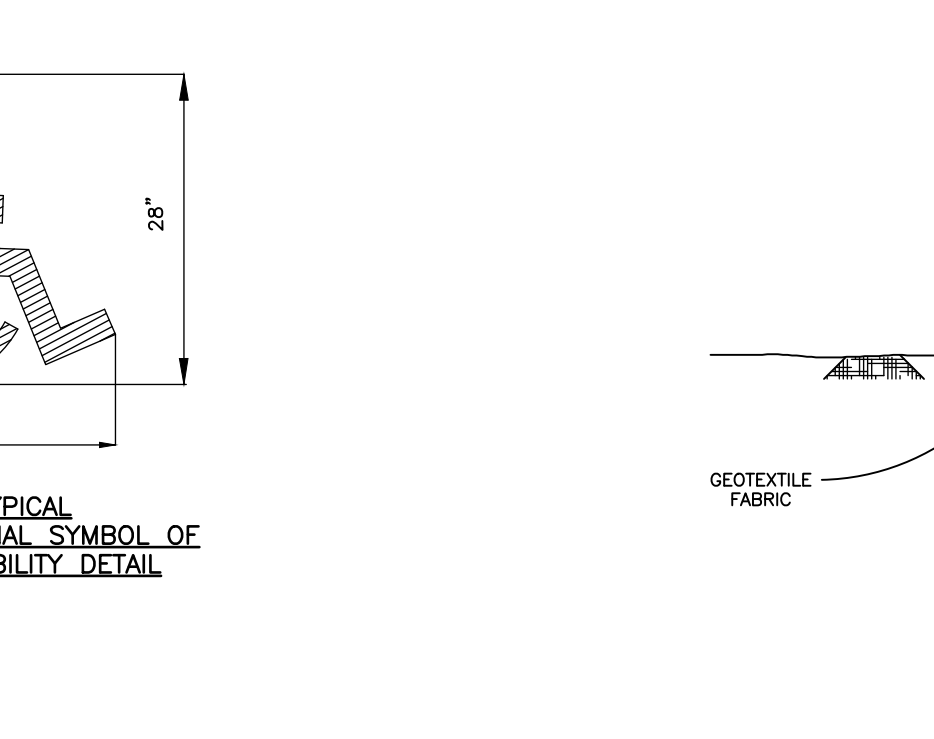
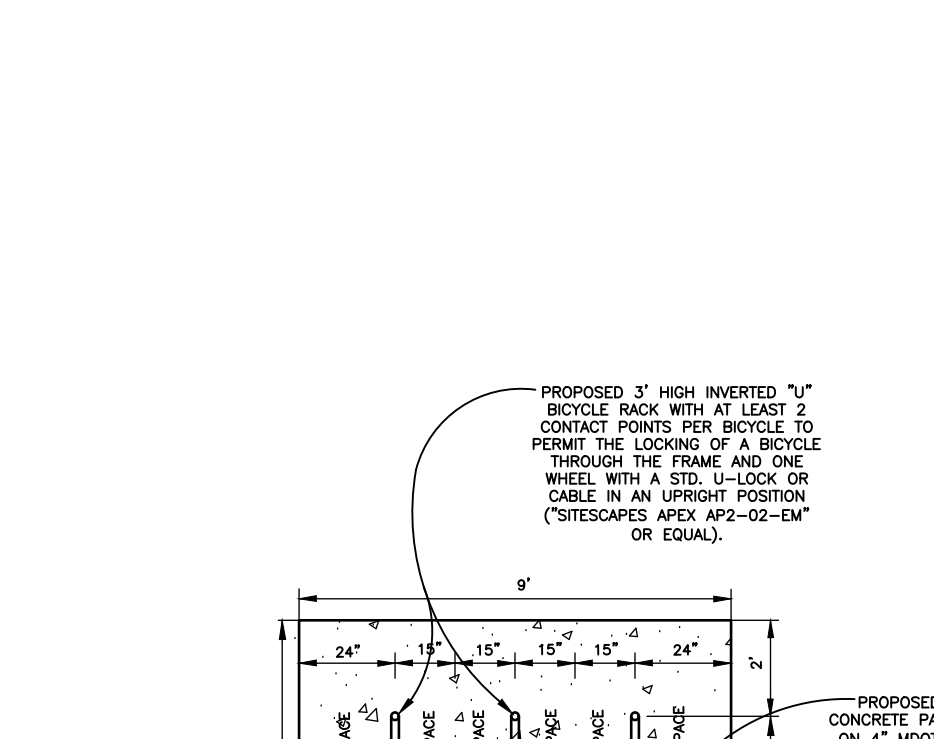
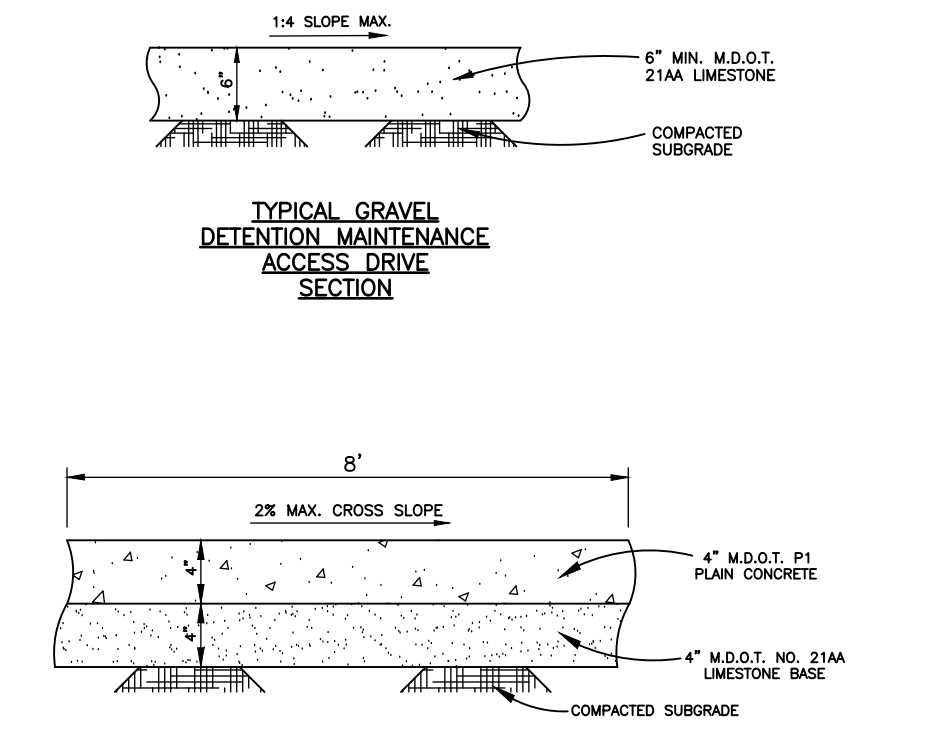
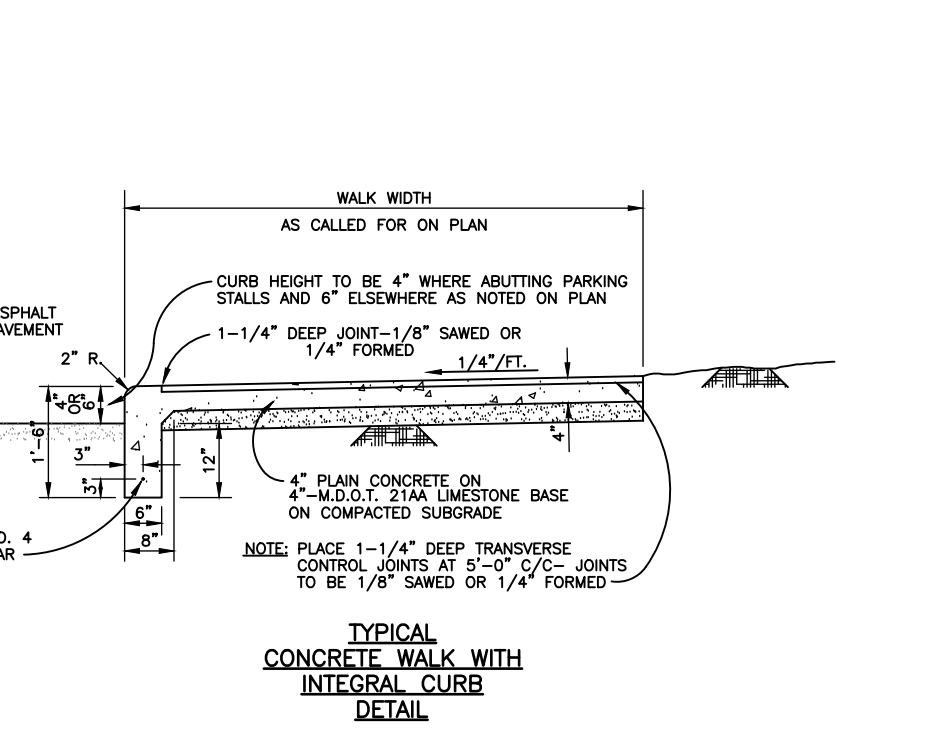
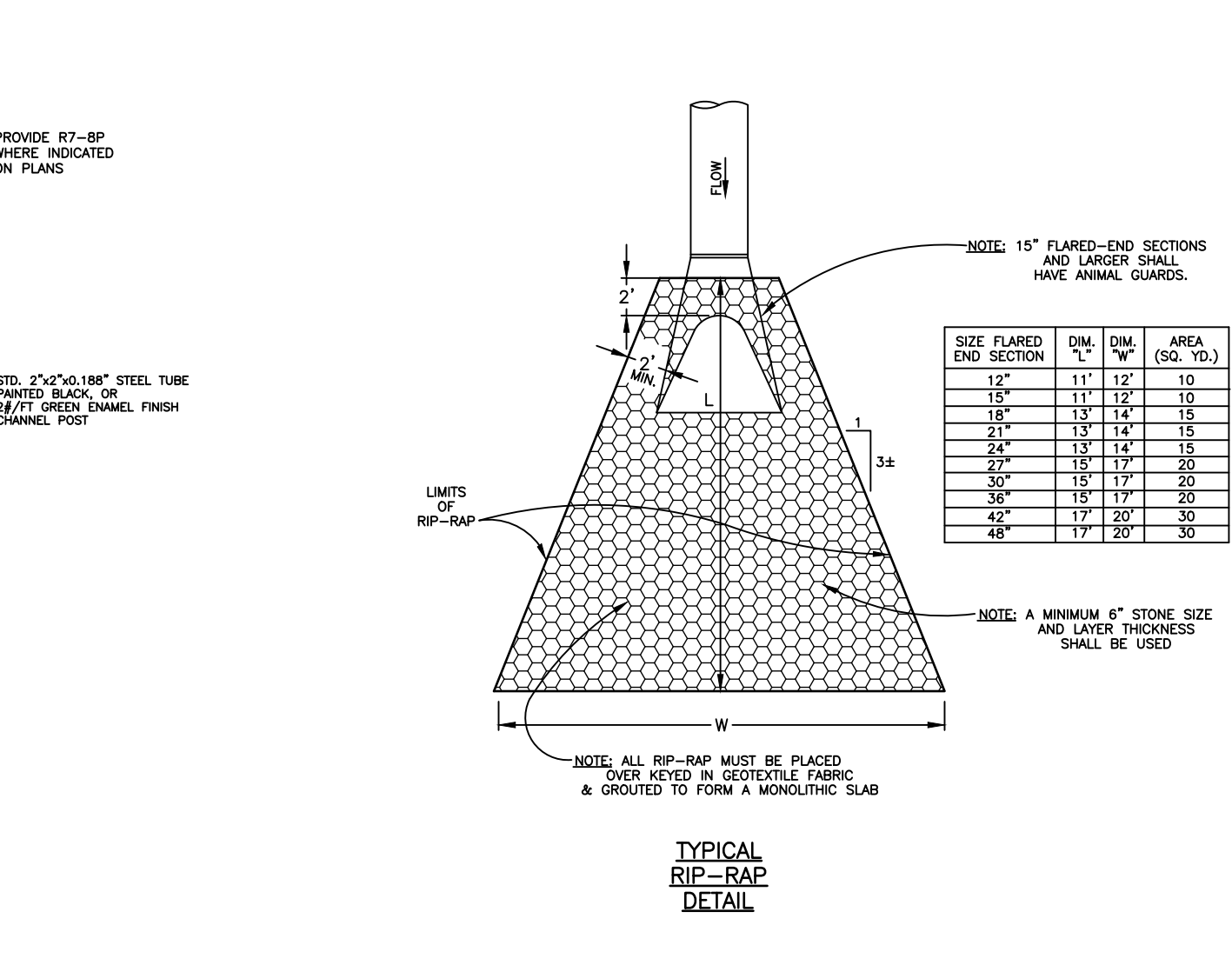
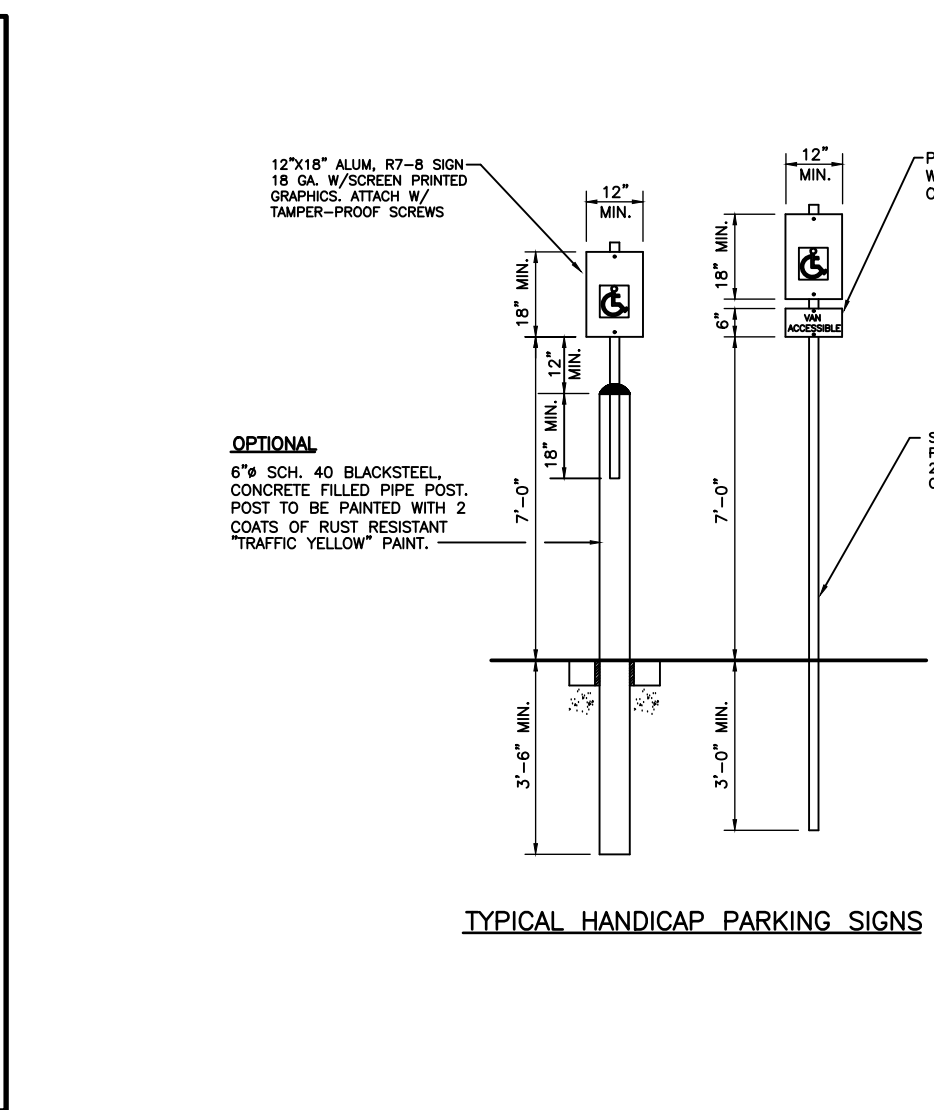
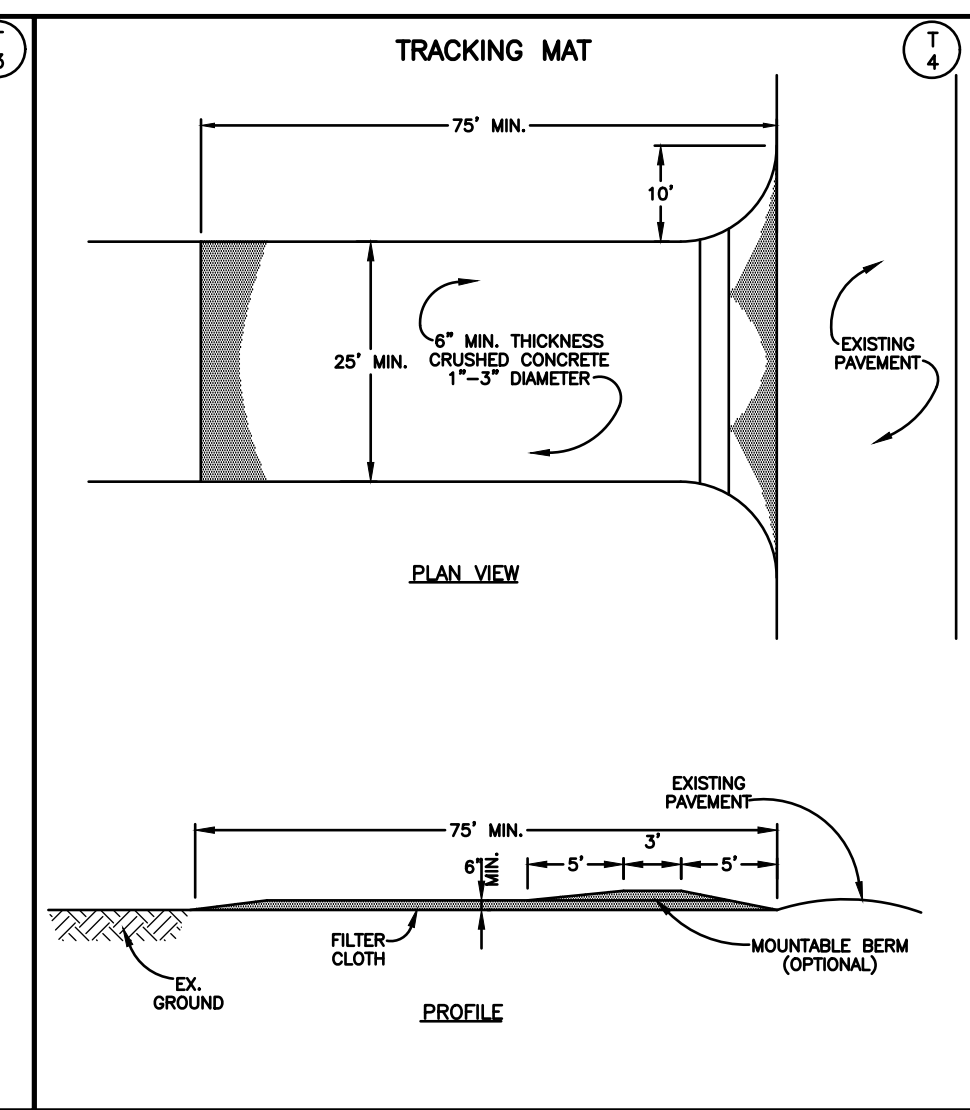
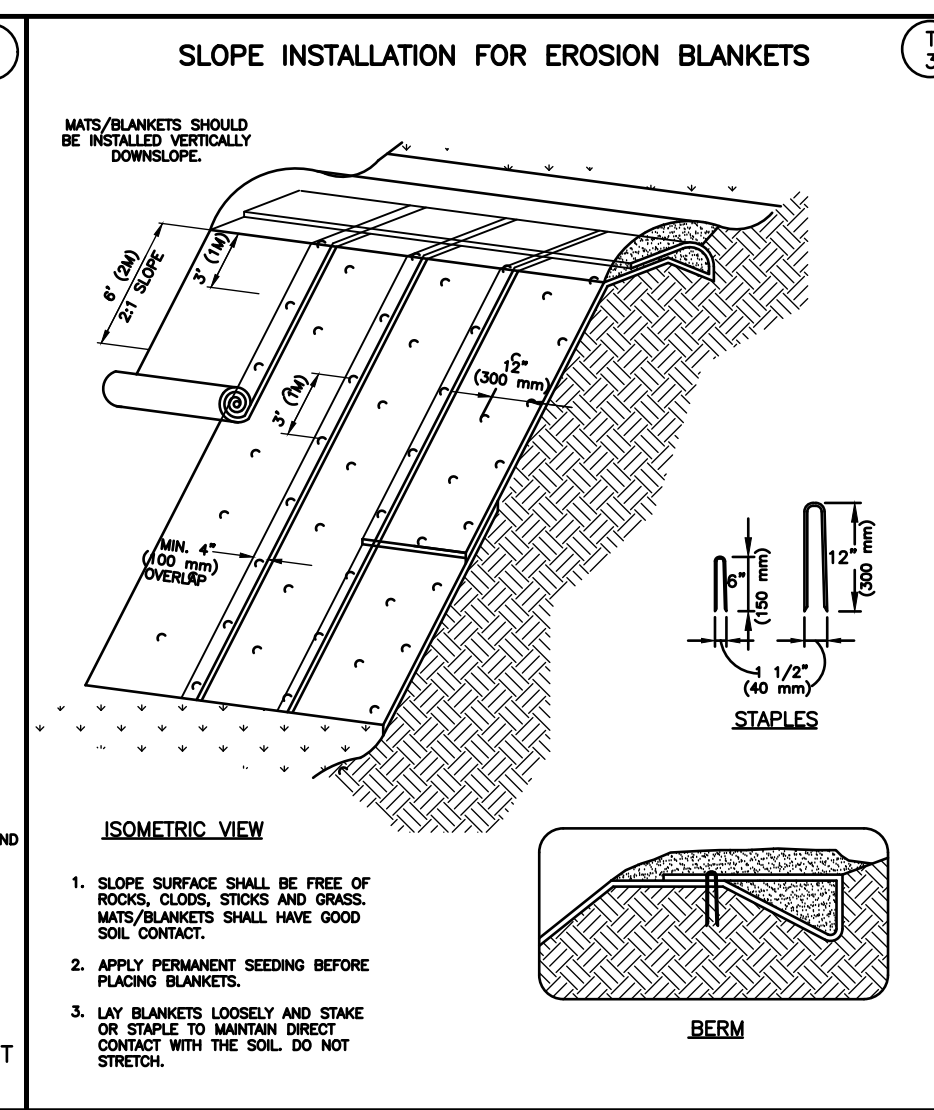
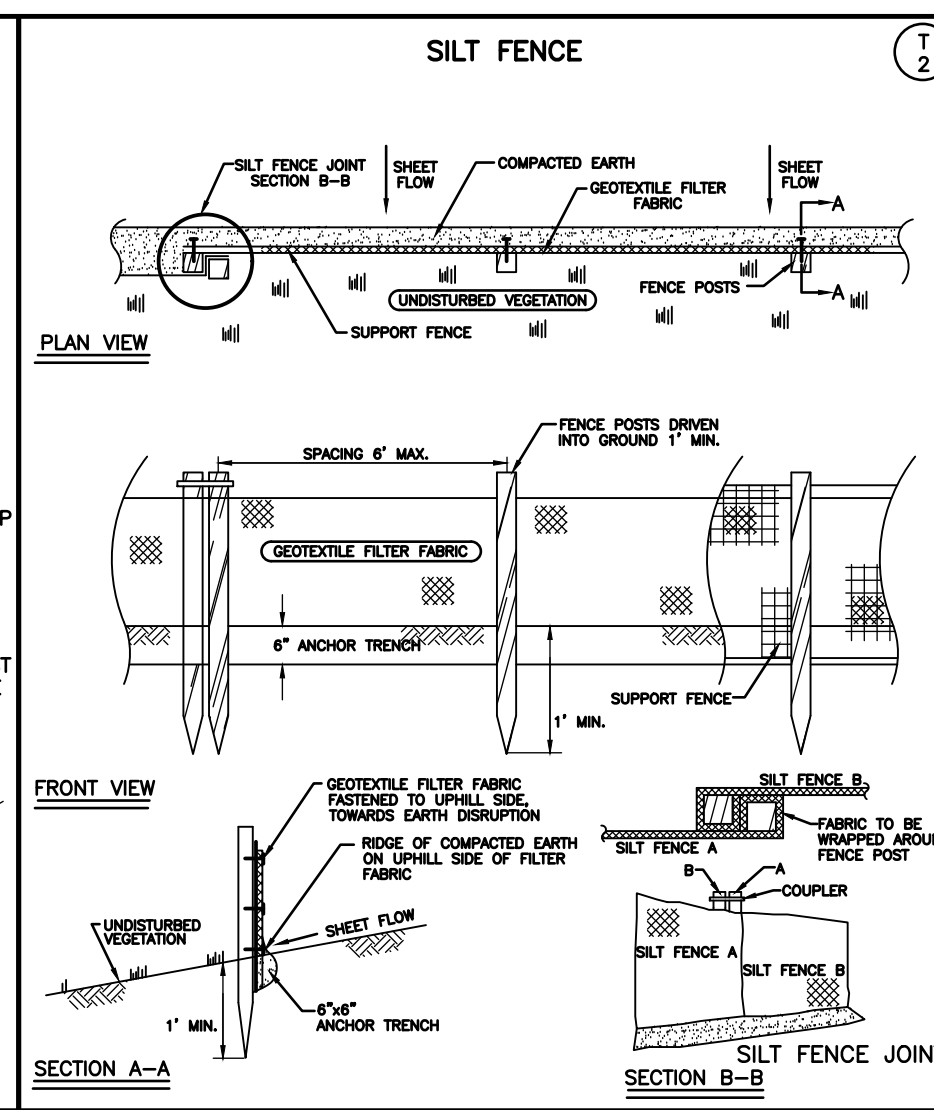
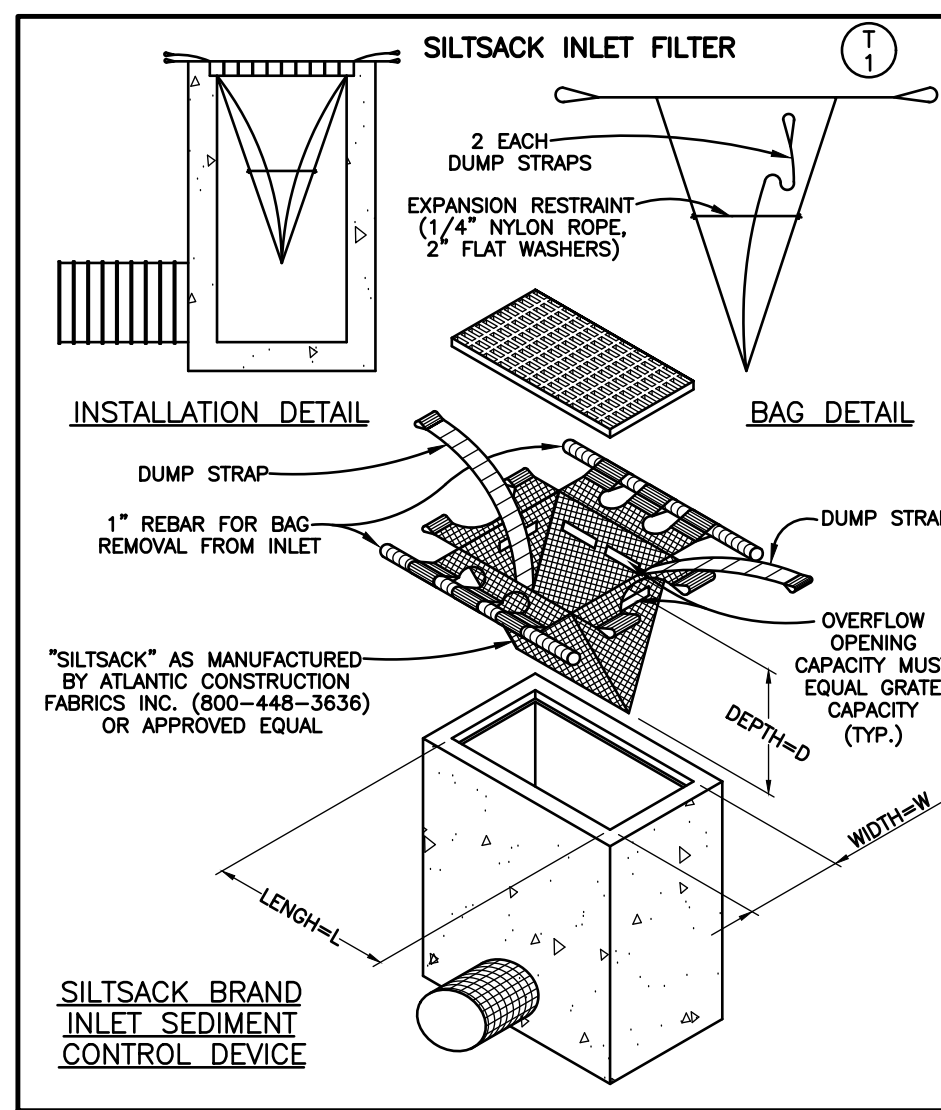
TAX ID. #22-17-400-043  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL

TAX ID. #22-17-400-044  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL

SITE OF THE PROPOSED  
**CENTRAL PARK SOUTH**  
 IN SECTION 16  
 OAKLAND COUNTY  
 MICHIGAN

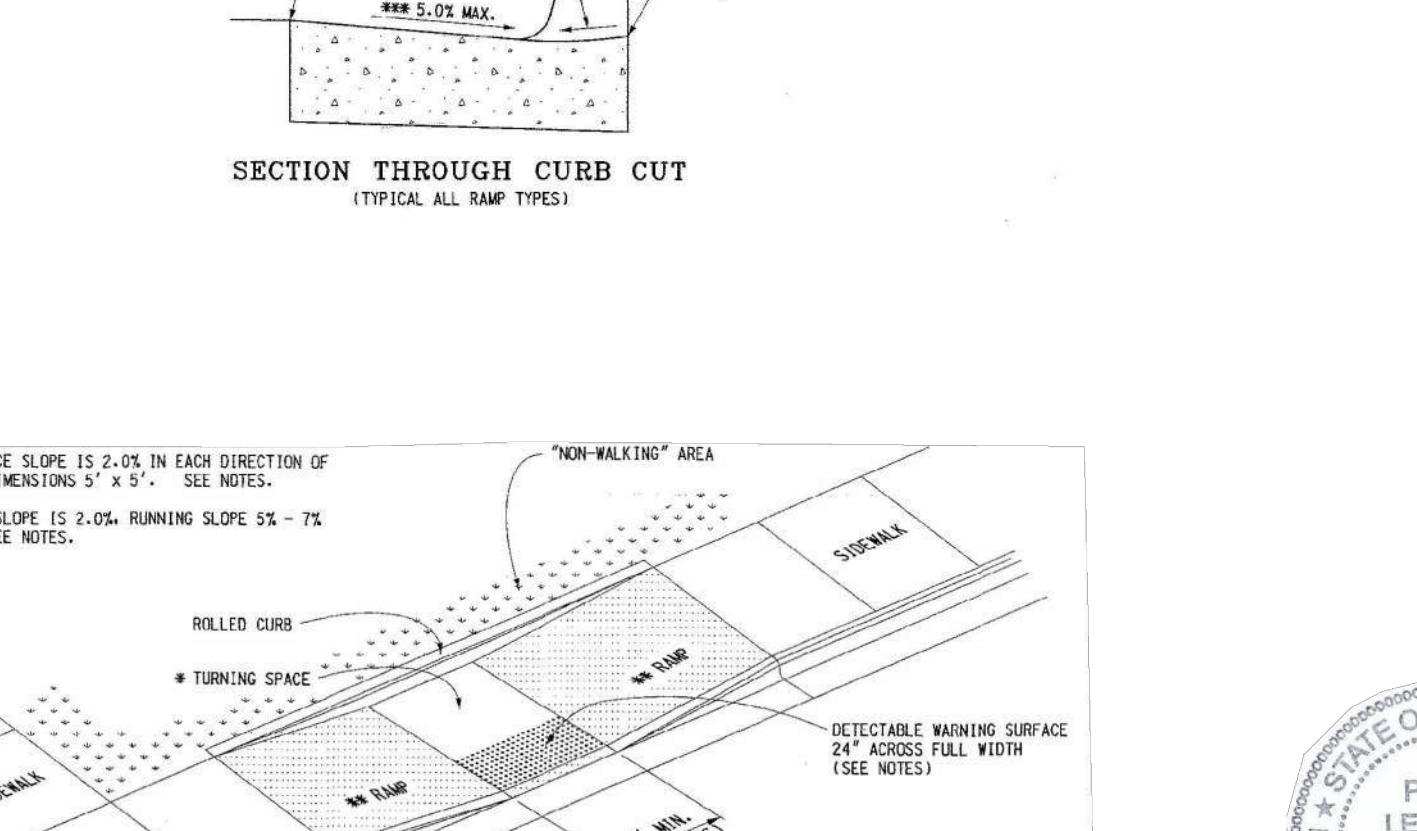
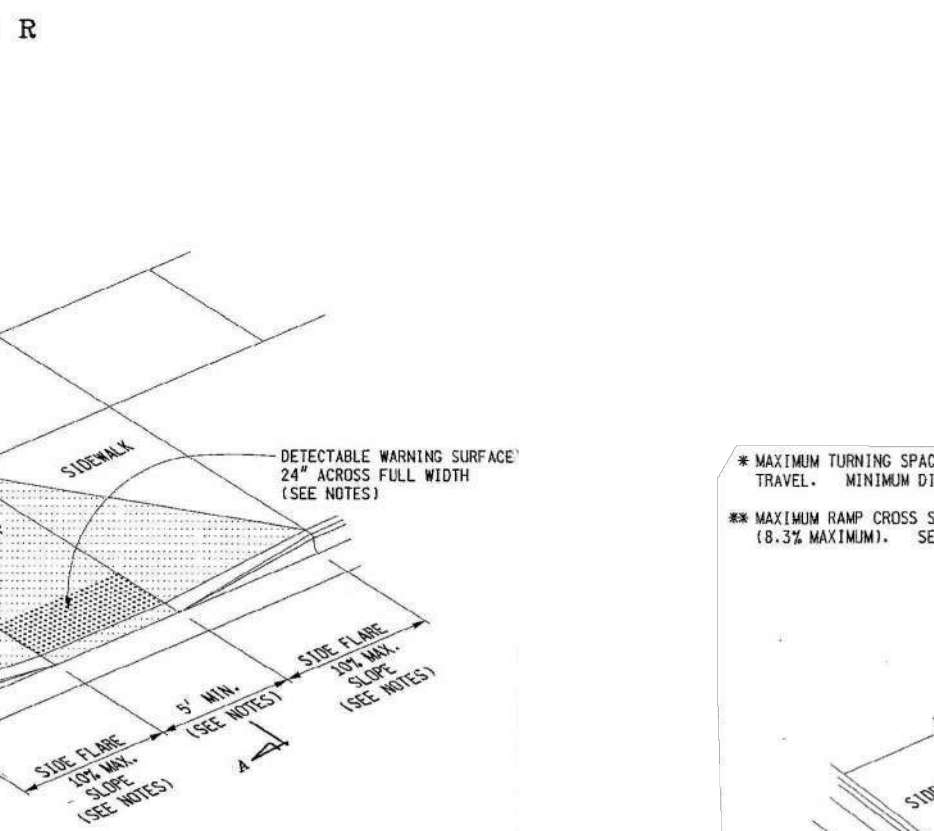
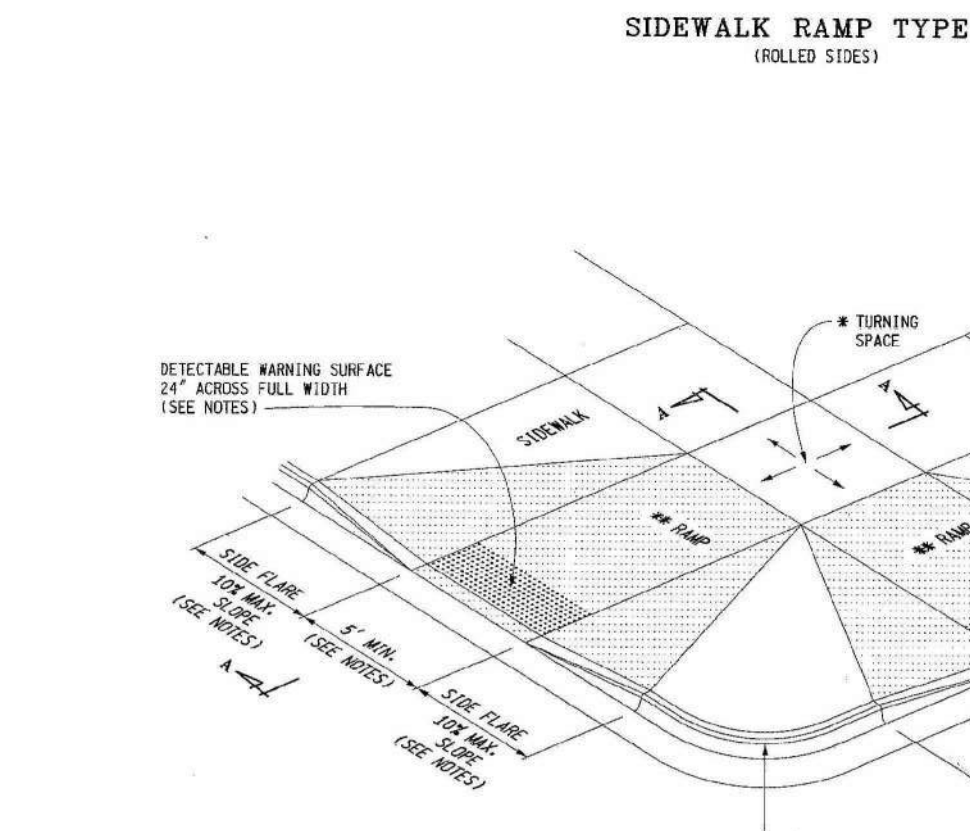
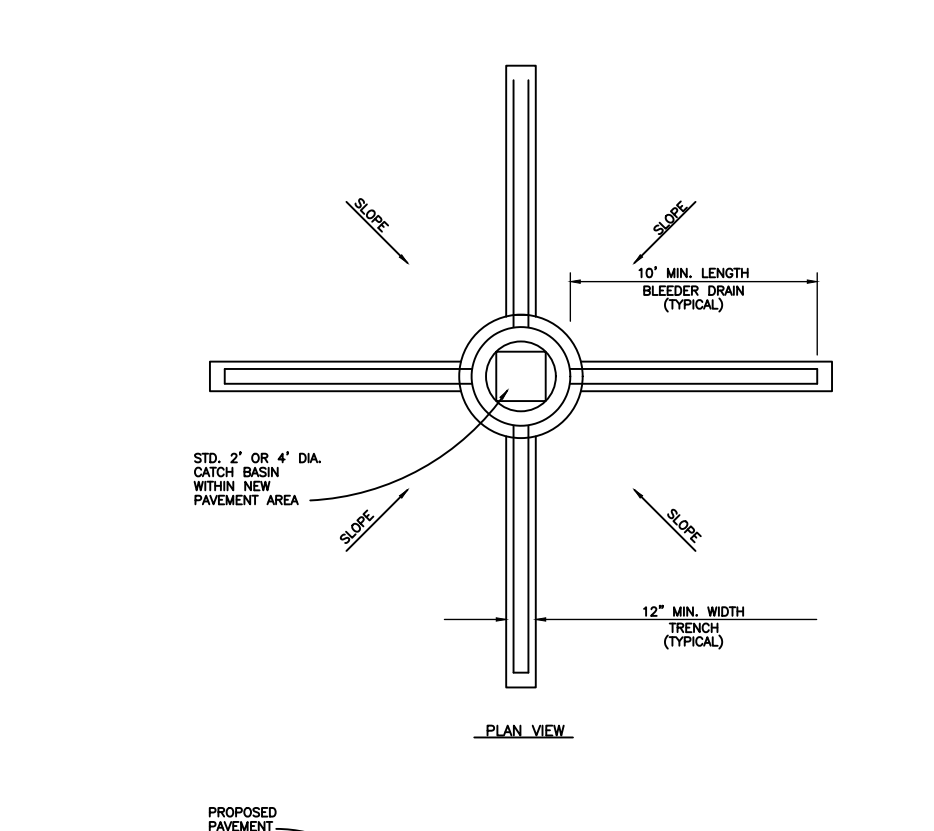
PRELIMINARY SITE UTILITIES PLAN  
**Environmental engineers, Inc.**  
 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075  
 PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235  
 DATE ISSUED 06/21/23  
 SHEET No. C-5



DETAIL	DIMENSIONS	LANE	CONCRETE
	M	N	CU. YD. LIN. FT.
F1	1'-6"	7/8"	AS SHOWN 0.0484
F2	1'-6"	7/8"	OMITTED 0.0484
F3	2'-0"	1 3/8"	AS SHOWN 0.0610
F4	2'-0"	1 3/8"	OMITTED 0.0610
F5	2'-0"	1 7/8"	AS SHOWN 0.0737
F6	2'-0"	1 7/8"	OMITTED 0.0737

DETAIL	DIMENSIONS	LANE	CONCRETE
	M	N	CU. YD. LIN. FT.
F1	1'-6"	7/8"	AS SHOWN 0.0484
F2	1'-6"	7/8"	OMITTED 0.0484
F3	2'-0"	1 3/8"	AS SHOWN 0.0610
F4	2'-0"	1 3/8"	OMITTED 0.0610
F5	2'-0"	1 7/8"	AS SHOWN 0.0737
F6	2'-0"	1 7/8"	OMITTED 0.0737



NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

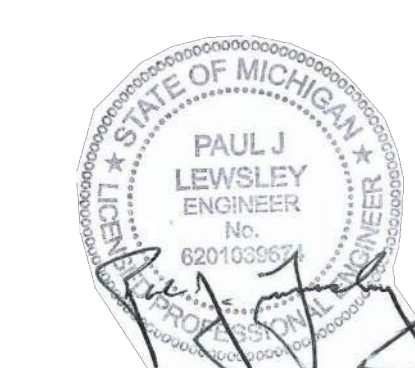
NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

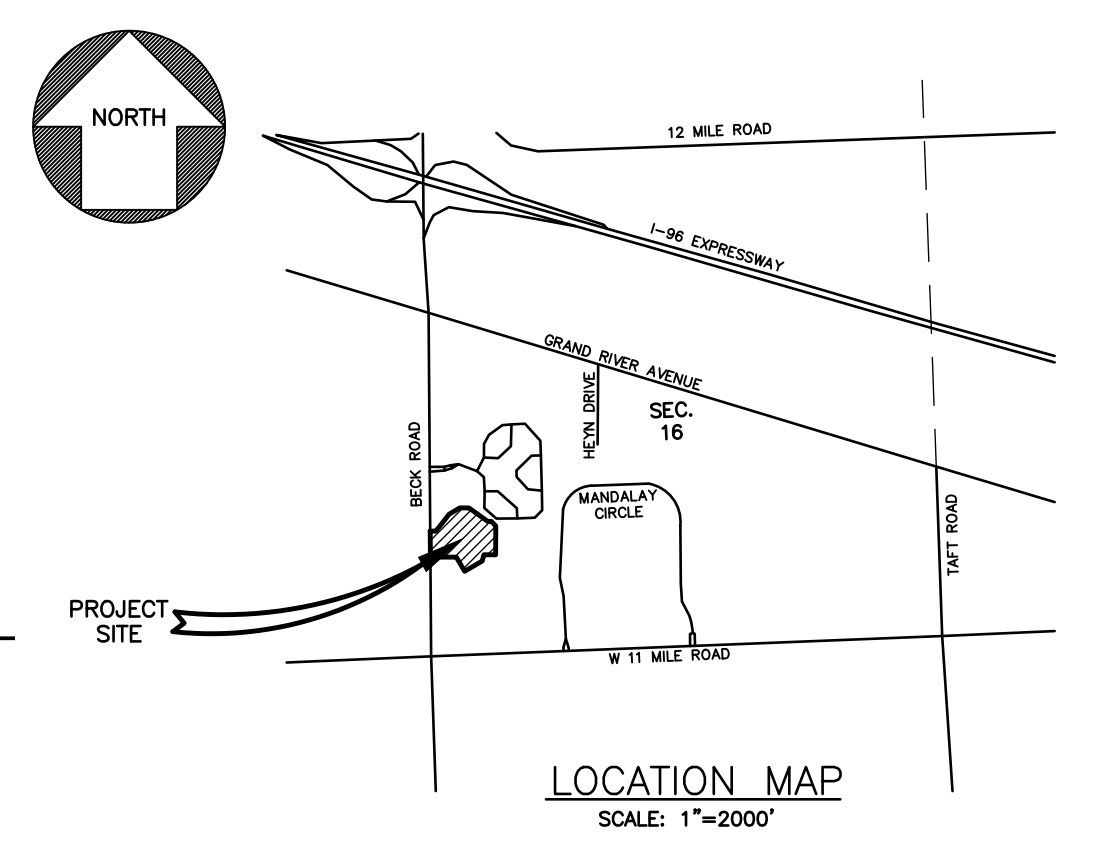
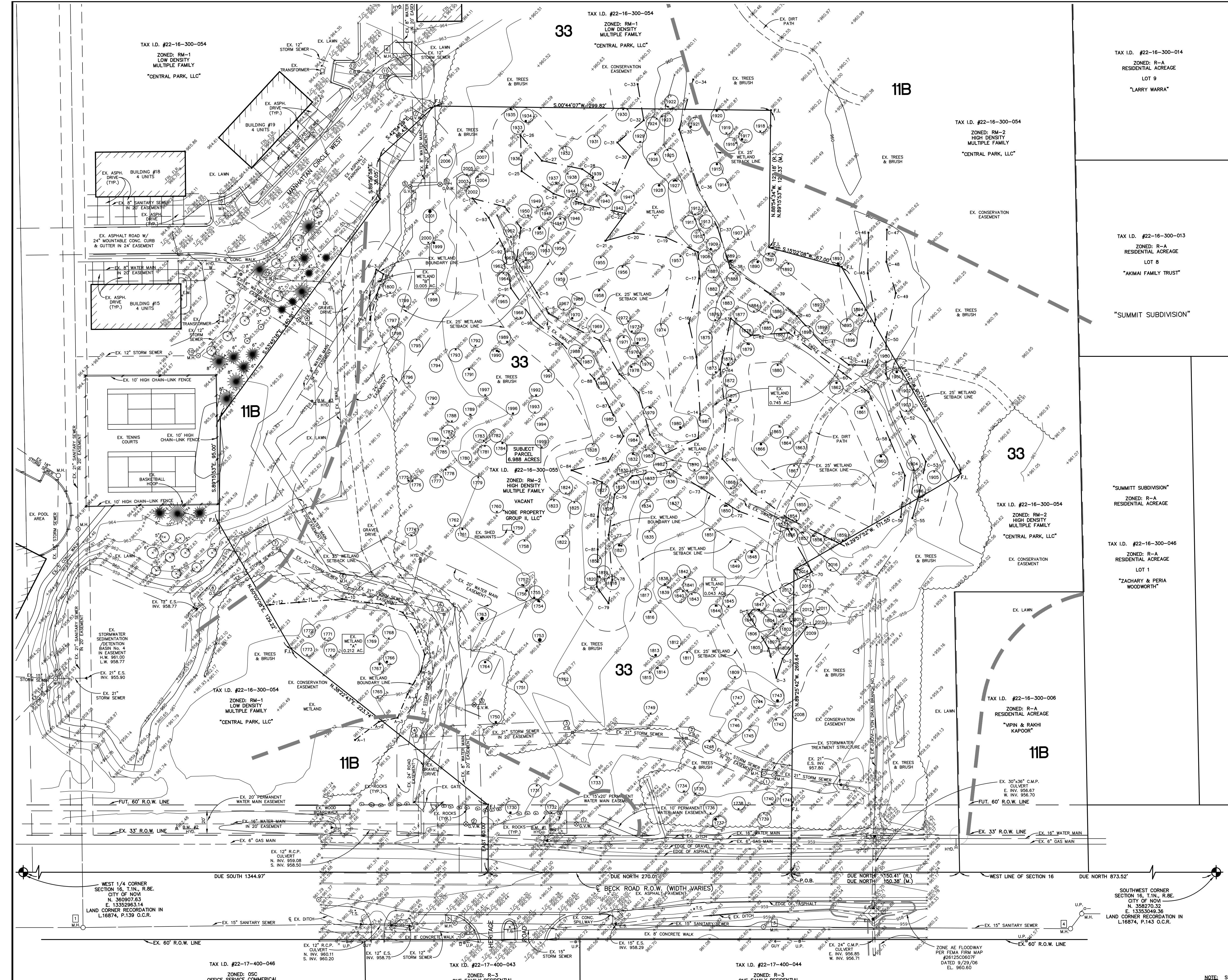
NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.





**LEGEND**

- X — EXISTING ELEVATION
- 960 — EXISTING CONTOUR
- U.P. — UTILITY POLE
- GUY — GUY WIRE
- HYD. — HYDRANT
- G.V. — GATE VALVE
- G.V.W. — GATE VALVE AND WELL
- C.B. — CATCH BASIN
- M.H. — MANHOLE
- O.S. — OUTLET STRUCTURE
- E.M. — ELECTRIC METER
- G.M. — GAS METER
- A.P. — AMERITECH PEDESTAL
- T.S. — TRAFFIC SIGN
- COMM. — COMMUNICATION MANHOLE
- M.F. — COMMUNICATION MANHOLE
- COMM. VAULT — COMMUNICATION VAULT
- EXISTING DECIDUOUS TREE DIAMETER
- EXISTING CONIFEROUS TREE DIAMETER
- EXISTING TREE NUMBER
- F.I. — FOUND IRON

**NRCS SOILS LEGEND**

- 11B — CAPAC SANDY LOAM 0 TO 4% SLOPES
- 33 — LENAWEE SILTY CLAY LOAM 0 TO 1% SLOPES

**BENCH MARKS**

CITY OF NOVI #1742  
 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #28270 BECK RD. ELEVATION 961.04 NAVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1  
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63'± SW OF NORTHWEST PROPERTY CORNER. ELEVATION 962.94 NAVD 29

B.M. #2  
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± SW OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NAVD 29

B.M. #3  
 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NAVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

**PROPERTY DESCRIPTION - TAX I.D. #50-22-16-300-055**

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.38°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.3°45'18"E. 240.51 FEET; THENCE S.89°50'58"E. 38.05 FEET; THENCE S.42°54'29"E. 66.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.88°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING. CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

**EXISTING STORM SEWER STRUCTURE LIST**

- 1 EX. OIL/WATER SEPARATOR  
N. INV. 961.59  
S. INV. 961.65
- 2 EX. CATCH BASIN  
RIM 961.72  
21" INV. N.E. 957.59  
21" INV. S. 957.75
- 3 EX. CATCH BASIN  
RIM 961.72  
21" INV. N. 957.72  
21" INV. S.W. 957.67
- 4 EX. CATCH BASIN  
RIM 962.21  
21" INV. N. 957.94  
21" INV. S. 957.84
- 5 EX. CATCH BASIN  
RIM 962.28  
21" INV. N. 958.26  
21" INV. S. 958.26
- 6 EX. STORM M.H.  
RIM 962.72  
21" INV. N.E. 958.37  
21" INV. S. 958.37
- 7 EX. GATE VALVE & WELL  
RIM 962.27  
16" T/P N.E.S. 955.56  
8" T/P N.E.S. 955.72
- 8 EX. GATE VALVE & WELL  
RIM 962.43  
12" INV. N. 958.67  
8" T/P N.E.S. 955.87
- 9 EX. GATE VALVE & WELL  
RIM 961.37  
12" INV. N. 957.81  
8" T/P N.E.S. 958.23
- 10 EX. STORM M.H.  
RIM 964.08  
12" INV. S.E. 957.33  
12" INV. N. 957.28
- 11 EX. CATCH BASIN  
RIM 962.37  
12" INV. N. 958.57
- 12 EX. CATCH BASIN  
RIM 962.26  
21" INV. N. 958.26  
21" INV. S. 958.26
- 13 EX. STORM M.H.  
RIM 962.72  
21" INV. N.E. 958.37  
21" INV. S. 958.37
- 14 EX. GATE VALVE & WELL  
RIM 961.42  
8" T/P N.E.S. 955.72
- 15 EX. GATE VALVE & WELL  
RIM 962.43  
8" T/P N.E.S. 955.87
- 16 EX. GATE VALVE & WELL  
RIM 961.37  
12" INV. N. 957.81
- 17 EX. GATE VALVE & WELL  
RIM 965.43  
8" T/P N.E.S. 958.23

**EXISTING WATER MAIN STRUCTURE LIST**

- 1 EX. GATE VALVE & WELL  
RIM 961.42  
8" T/P N.E.S. 955.72
- 2 EX. GATE VALVE & WELL  
RIM 962.43  
8" T/P N.E.S. 955.87
- 3 EX. GATE VALVE & WELL  
RIM 961.37  
12" INV. N. 957.81
- 4 EX. GATE VALVE & WELL  
RIM 965.43  
8" T/P N.E.S. 958.23
- 5 EX. CATCH BASIN  
RIM 962.27  
21" INV. N.E. 957.59  
21" INV. S.W. 957.67
- 6 EX. CATCH BASIN  
RIM 961.72  
21" INV. N. 957.72  
21" INV. S.W. 957.67
- 7 EX. CATCH BASIN  
RIM 962.21  
21" INV. N. 957.94  
21" INV. S. 957.84
- 8 EX. CATCH BASIN  
RIM 962.28  
21" INV. N. 958.26  
21" INV. S. 958.26
- 9 EX. STORM M.H.  
RIM 962.72  
21" INV. N.E. 958.37  
21" INV. S. 958.37
- 10 EX. GATE VALVE & WELL  
RIM 961.42  
8" T/P N.E.S. 955.72
- 11 EX. GATE VALVE & WELL  
RIM 962.43  
8" T/P N.E.S. 955.87
- 12 EX. GATE VALVE & WELL  
RIM 961.37  
12" INV. N. 957.81
- 13 EX. GATE VALVE & WELL  
RIM 965.43  
8" T/P N.E.S. 958.23

**EXISTING SANITARY SEWER STRUCTURE LIST**

- 1 EX. SANITARY SEWER M.H.  
RIM 962.80  
15" INV. S. 938.70  
21" INV. N. 938.50
- 2 EX. SANITARY SEWER M.H.  
RIM 961.19  
15" INV. N. 938.89  
15" INV. S. 938.89
- 3 EX. SANITARY SEWER M.H.  
RIM 960.99  
15" INV. S. 939.34  
15" INV. N. 939.34
- 4 EX. SANITARY SEWER M.H.  
RIM 961.61  
15" INV. S.E. 939.56  
15" INV. N. 939.56
- 5 EX. SANITARY SEWER M.H.  
RIM 964.07  
8" INV. S.E. 952.07  
8" INV. N. 951.97
- 6 EX. SANITARY SEWER M.H.  
RIM (PAVED OVER)

NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.  
 SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.

CLIENT:  
 SOUTH GRAND EQUITIES, LLC  
 46100 GRAND RIVER AVENUE  
 NOVI, MICHIGAN 48374  
 PHONE: 248/348-5600 EXT. 211

REVISIONS:  
 REVISED 07/17/23 - PRELIMINARY SPA APPLICATION  
 REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

TAX I.D. #22-17-400-046  
 ZONED: OSC  
 OFFICE SERVICE COMMERCIAL

TAX I.D. #22-17-400-043  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL

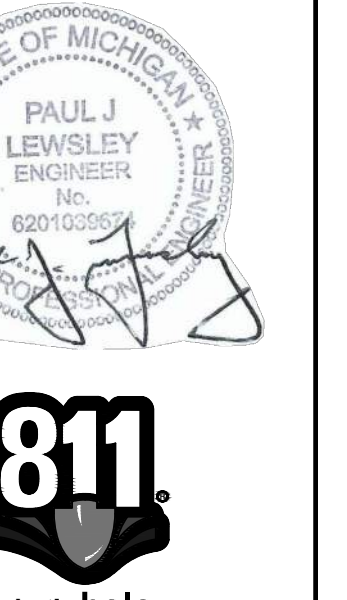
TAX I.D. #22-17-400-044  
 ZONED: R-3  
 ONE FAMILY RESIDENTIAL

CITY OF NOVI  
 MICHIGAN

SITE OF THE PROPOSED  
**CENTRAL PARK SOUTH**  
 IN SECTION 16  
 OAKLAND COUNTY

Environmental engineers, Inc.  
 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075  
 PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235  
 DATE ISSUED 06/21/23  
 SHEET No. TS-1



Know what's below.  
 Call before you dig.

CENTRAL PARK SOUTH TREE INFORMATION					CONDITION KEY:		G=GOOD	F=FAIR	P=POOR											
TREE NUMBER	GENUS/SPECIES	DBH	CONDITION	SAVE/REMOVE	TREE NUMBER	TYPE	DBH	CONDITION	SAVE/REMOVE	TREE NUMBER	TYPE	DBH	CONDITION	SAVE/REMOVE	TREE NUMBER	TYPE	DBH	CONDITION	SAVE/REMOVE	
1730	QUERCUS/OAK SPECIES	21"	F	REMOVE	1800	POPULUS/POPLAR SPECIES	8"	F	REMOVE	1900	ACER/MAPLE SPECIES	8"	F	SAVE	2000	QUERCUS/OAK SPECIES	12"	F	REMOVE	
1731	ACER/MAPLE SPECIES	12"	F	REMOVE	1801	ACER/MAPLE SPECIES	12"	P	SAVE	1901	ACER/MAPLE SPECIES	24"	F	SAVE	2001	QUERCUS/OAK SPECIES	44"	F	REMOVE	
1732	CARYA/HICKORY SPECIES	12"	F	REMOVE	1802	ACER/MAPLE SPECIES	12"	P	SAVE	1902	ULMUS/ELM SPECIES	10"	P	SAVE	2002	QUERCUS/OAK SPECIES	10"	F	REMOVE	
1733	QUERCUS/OAK SPECIES	18"	F	REMOVE	1803	DEAD	15"	D	SAVE	1903	ULMUS/ELM SPECIES	10"	F	SAVE	2003	QUERCUS/OAK SPECIES	8"	P	REMOVE	
1734	ACER/MAPLE SPECIES	10", 6"	F	REMOVE	1804	ACER/MAPLE SPECIES	15"	P	SAVE	1904	ACER/MAPLE SPECIES	8", 6"	F	SAVE	2004	QUERCUS/OAK SPECIES	8"	P	REMOVE	
1735	QUERCUS/OAK SPECIES	10"	F	REMOVE	1805	ACER/MAPLE SPECIES	8"	P	SAVE	1905	ACER/MAPLE SPECIES	10"	F	SAVE	2005	ACER/MAPLE SPECIES	8"	F	REMOVE	
1736	ACER/MAPLE SPECIES	12"	F	REMOVE	1806	DEAD	15"	D	SAVE	1906	ACER/MAPLE SPECIES	12"	F	SAVE	2006	ACER/MAPLE SPECIES	10"	F	REMOVE	
1737	POPULUS/POPLAR SPECIES	27"	F	REMOVE	1807	ACER/MAPLE SPECIES	10"	P	SAVE	1907	ACER/MAPLE SPECIES	10"	F	SAVE	2007	ACER/MAPLE SPECIES	10", 6"x2	F	REMOVE	
1738	ULMUS/ELM SPECIES	12"	F	REMOVE	1808	ACER/MAPLE SPECIES	8"	P	SAVE	1908	ACER/MAPLE SPECIES	8"	P	SAVE	2008	ACER/MAPLE SPECIES	8"	G	SAVE	
1739	ULMUS/ELM SPECIES	8"	F	REMOVE	1809	CARYA/HICKORY SPECIES	15"	F	REMOVE	1909	ACER/MAPLE SPECIES	18", 6"	P	SAVE	2009	ACER/MAPLE SPECIES	21"	G	SAVE	
1740	QUERCUS/OAK SPECIES	10"	F	REMOVE	1810	ULMUS/ELM SPECIES	12"	F	REMOVE	1910	ACER/MAPLE SPECIES	12"	P	SAVE	2010	ACER/MAPLE SPECIES	18"	G	SAVE	
1741	ULMUS/ELM SPECIES	10"	F	REMOVE	1811	QUERCUS/OAK SPECIES	12"	F	REMOVE	1911	DEAD	10"	D	SAVE	2011	ACER/MAPLE SPECIES	15"	G	SAVE	
1742	ACER/MAPLE SPECIES	12"	P	REMOVE	1812	PRUNUS/CHOKECHERRY SPECIES	8"	P	REMOVE	1912	ACER/MAPLE SPECIES	10"	P	SAVE	2012	ACER/MAPLE SPECIES	8"	G	SAVE	
1743	ACER/MAPLE SPECIES	32"	F	REMOVE	1813	QUERCUS/OAK SPECIES	33"	F	REMOVE	1913	ACER/MAPLE SPECIES	10"	P	SAVE	2013	POPULUS/POPLAR SPECIES	10"	G	SAVE	
1744	DEAD	8"	D	REMOVE	1814	QUERCUS/OAK SPECIES	12", 8"	F	REMOVE	1914	ACER/MAPLE SPECIES	8"	F	SAVE	2014	ACER/MAPLE SPECIES	20"	G	SAVE	
1745	ULMUS/ELM SPECIES	10"	P	REMOVE	1815	ACER/MAPLE SPECIES	10"	P	REMOVE	1915	QUERCUS/OAK SPECIES	21"	F	SAVE	2015	ACER/MAPLE SPECIES	20"	G	SAVE	
1746	ACER/MAPLE SPECIES	10"	F	REMOVE	1816	QUERCUS/OAK SPECIES	15"	P	REMOVE	1916	ACER/MAPLE SPECIES	12"	P	SAVE	2016	ACER/MAPLE SPECIES	12"	G	SAVE	
1747	CARYA/HICKORY SPECIES	8"	F	REMOVE	1817	ACER/MAPLE SPECIES	8"	P	REMOVE	1917	ACER/MAPLE SPECIES	24"	F	SAVE						
1748	QUERCUS/OAK SPECIES	15"	F	REMOVE	1818	ACER/MAPLE SPECIES	8"	F	REMOVE	1918	DEAD	12"	D	SAVE						
1749	ACER/MAPLE SPECIES	10"	P	REMOVE	1819	ULMUS/ELM SPECIES	12"x2	F	REMOVE	1919	CARYA/HICKORY SPECIES	10"	P	SAVE						
1750	QUERCUS/OAK SPECIES	21"	F	REMOVE	1820	ACER/MAPLE SPECIES	8"	F	REMOVE	1920	QUERCUS/OAK SPECIES	21"	F	SAVE						
1751	MALUS/APPLE SPECIES	12", 10"	F	REMOVE	1821	ACER/MAPLE SPECIES	24", 18"	F	REMOVE	1921	QUERCUS/OAK SPECIES	21"	F	SAVE						
1752	FRAXINUS/ASH SPECIES	8"	P	REMOVE	1822	ACER/MAPLE SPECIES	12"	F	REMOVE	1922	ULMUS/ELM SPECIES	12", 6"	P	SAVE						
1753	ACER/MAPLE SPECIES	35"	F	REMOVE	1823	ACER/MAPLE SPECIES	10"	F	REMOVE	1923	ULMUS/ELM SPECIES	12", 8"	P	SAVE						
1754	POPULUS/POPLAR SPECIES	24", 6"x2	F	REMOVE	1824	ACER/MAPLE SPECIES	8"	P	REMOVE	1924	ACER/MAPLE SPECIES	8"	P	SAVE						
1755	QUERCUS/OAK SPECIES	18"	F	REMOVE	1825	ACER/MAPLE SPECIES	10"	F	REMOVE	1925	ACER/MAPLE SPECIES	12"	P	SAVE						
1756	QUERCUS/OAK SPECIES	21"	F	REMOVE	1826	ACER/MAPLE SPECIES	12"	F	REMOVE	1926	ACER/MAPLE SPECIES	15"	P	SAVE						
1757	QUERCUS/OAK SPECIES	15", 12"	F	REMOVE	1827	ACER/MAPLE SPECIES	12"	F	REMOVE	1927	ACER/MAPLE SPECIES	18", 15", 12"	F	SAVE						
1758	ACER/MAPLE SPECIES	10"	P	REMOVE	1828	ACER/MAPLE SPECIES	8"	F	REMOVE	1928	QUERCUS/OAK SPECIES	24"	F	SAVE						
1759	QUERCUS/OAK SPECIES	12"	F	REMOVE	1829	ACER/MAPLE SPECIES	10"	P	REMOVE	1929	ACER/MAPLE SPECIES	12", 6"	F	SAVE						
1760	ACER/MAPLE SPECIES	12"	P	REMOVE	1830	ACER/MAPLE SPECIES	10"	F	REMOVE	1930	ACER/MAPLE SPECIES	12"	F	SAVE						
1761	PLATANUS/SYCAMORE SPECIES	18"	P	REMOVE	1831	ACER/MAPLE SPECIES	8"	P	REMOVE	1931	ACER/MAPLE SPECIES	10"	F	SAVE						
1762	QUERCUS/OAK SPECIES	10"	F	REMOVE	1832	ACER/MAPLE SPECIES	18", 8"	F	REMOVE	1932	ACER/MAPLE SPECIES	8"	P	SAVE						
1763	QUERCUS/OAK SPECIES	43"	F	REMOVE	1833	QUERCUS/OAK SPECIES	15"	F	REMOVE	1933	ACER/MAPLE SPECIES	10"	P	SAVE						
1764	QUERCUS/OAK SPECIES	21"	F	REMOVE	1834	ACER/MAPLE SPECIES	8"	P	REMOVE	1934	ACER/MAPLE SPECIES	21"	F	SAVE						
1765	ACER/MAPLE SPECIES	10"	F	SAVE	1835	ACER/MAPLE SPECIES	8"	F	REMOVE	1935	ACER/MAPLE SPECIES	18", 8"	F	SAVE						
1766	ACER/MAPLE SPECIES	21"	F	SAVE	1836	CARYA/HICKORY SPECIES	10"	F	REMOVE	1936	ACER/MAPLE SPECIES	8", 4"x2	F	REMOVE						
1767	ACER/MAPLE SPECIES	21"	F	SAVE	1837	QUERCUS/OAK SPECIES	10"	F	REMOVE	1937	ACER/MAPLE SPECIES	8"	F	SAVE						
1768	ACER/MAPLE SPECIES	10"	F	SAVE	1838	ACER/MAPLE SPECIES	12", 8"	P	REMOVE	1938	ULMUS/ELM SPECIES	8"	P	SAVE						
1769	QUERCUS/OAK SPECIES	10"	F	SAVE	1839	ACER/MAPLE SPECIES	10"	F	REMOVE	1939	DEAD	15"	D	SAVE						
1770	POPULUS/POPLAR SPECIES	8"	F	SAVE	1840	ACER/MAPLE SPECIES	12"	P	REMOVE	1940	ACER/MAPLE SPECIES	12"	F	SAVE						
1771	POPULUS/POPLAR SPECIES	8"	F	SAVE	1841	DEAD	12"	D	REMOVE	1941	DEAD	8"	D	SAVE						
1772	CARYA/HICKORY SPECIES	8"	F	SAVE	1842	ACER/MAPLE SPECIES	18"	F	REMOVE	1942	ULMUS/ELM SPECIES	10"	F	SAVE						
1773	POPULUS/POPLAR SPECIES	8"	F	SAVE	1843	ACER/MAPLE SPECIES	10"	F	REMOVE	1943	ACER/MAPLE SPECIES	10"	P	SAVE						
1774	ACER/MAPLE SPECIES	8"x2	F	REMOVE	1844	ACER/MAPLE SPECIES	18", 8"	F	REMOVE	1944	ACER/MAPLE SPECIES	8"	P	SAVE						
1775	ACER/MAPLE SPECIES	15"	F	REMOVE	1845	ACER/MAPLE SPECIES	15"	P	REMOVE	1945	CARYA/HICKORY SPECIES	12"	F	SAVE						
1776	ACER/MAPLE SPECIES	10"x2	F	REMOVE	1846	ACER/MAPLE SPECIES	8"	P	REMOVE	1946	CARYA/HICKORY SPECIES	8"	P	SAVE						
1777	PLATANUS/SYCAMORE SPECIES	10"	P	REMOVE	1847	ACER/MAPLE SPECIES	21", 8"	F	REMOVE	1947	QUERCUS/OAK SPECIES	15"	F	REMOVE						
1778	ACER/MAPLE SPECIES	15"	P	REMOVE	1848	ACER/MAPLE SPECIES	24"	P	REMOVE	1948	ULMUS/ELM SPECIES	8"	F	REMOVE						
1779	ACER/MAPLE SPECIES	12"	P	REMOVE	1849	ULMUS/ELM SPECIES	15"	F	REMOVE	1949	QUERCUS/OAK SPECIES	8"	P	REMOVE						
1780	ACER/MAPLE SPECIES	10"	F	REMOVE	1850	ACER/MAPLE SPECIES	15"x2, 8"	F	REMOVE	1950	QUERCUS/OAK SPECIES	12"	P	REMOVE						
1781	ACER/MAPLE SPECIES	12"	P	REMOVE	1851	ULMUS/ELM SPECIES	12"	F	REMOVE	1951	QUERCUS/OAK SPECIES	40"	F	REMOVE						
1782	ACER/MAPLE SPECIES	10"	P	REMOVE	1852	ACER/MAPLE SPECIES	8"	F	REMOVE	1952	ACER/MAPLE SPECIES	10"	P	REMOVE						
1783	ACER/MAPLE SPECIES	12"	P	REMOVE	1853	ACER/MAPLE SPECIES	12"	P	REMOVE	1953	QUERCUS/OAK SPECIES	15"	P	REMOVE						
1784	ACER/MAPLE SPECIES	18"	P	REMOVE	1854	ACER/MAPLE SPECIES	15"	F	REMOVE	1954	QUERCUS/OAK SPECIES	12"	F	REMOVE						
1785	ACER/MAPLE SPECIES	12"	F	REMOVE	1855	DEAD	12"	D	REMOVE	1955	QUERCUS/OAK SPECIES	12"	F	REMOVE						
1786	DEAD	8"	D	REMOVE	1856	ACER/MAPLE SPECIES	21"	F	REMOVE	1956	CARYA/HICKORY SPECIES	15"	F	REMOVE						
1787	ACER/MAPLE SPECIES	12"	F	REMOVE	1857	DEAD	12"x2	D	REMOVE	1957	CARYA/HICKORY SPECIES	12"	F	REMOVE						
1788	ACER/MAPLE SPECIES	12"	F	REMOVE	1858	DEAD	12"x2	D	REMOVE	1958	CARYA/HICKORY SPECIES	21"	F	REMOVE						
1789	ACER/MAPLE SPECIES	12", 8"	F	REMOVE	1859	ACER/MAPLE SPECIES	18"	F	REMOVE	1959	CARYA/HICKORY SPECIES	12", 8"	F	REMOVE						
1790	ACER/MAPLE SPECIES	12"	F	REMOVE	1860	QUERCUS/OAK SPECIES	24"	F	REMOVE	1960	QUERCUS/OAK SPECIES	10"	F	REMOVE						
1791	ACER/MAPLE SPECIES	18"	F	REMOVE	1861	QUERCUS/OAK SPECIES	24"	F	REMOVE	1961	QUERCUS/OAK SPECIES	10"	F	REMOVE						
1792	ACER/MAPLE SPECIES	12"	F	REMOVE	1862	QUERCUS/OAK SPECIES	21"	F	REMOVE	1962	ACER/MAPLE SPECIES	10"	P	REMOVE						
1793	CARYA/HICKORY SPECIES	15"	F	REMOVE	1863	ACER/MAPLE SPECIES	8"	F	REMOVE	1963	ULMUS/ELM SPECIES	8"	P	REMOVE						
1794	ACER/MAPLE SPECIES	10"	F	REMOVE	1864	ULMUS/ELM SPECIES	12"	F	REMOVE	1964	ACER/MAPLE SPECIES	10"	P	REMOVE						
1795	DEAD	10"	D	REMOVE	1865	ULMUS/ELM SPECIES	10"x2	F	REMOVE	1965	MALUS/APPLE SPECIES	8"	P	REMOVE						
1796	POPULUS/POPLAR SPECIES	8"	F	REMOVE	1866	QUERCUS/OAK SPECIES	24"	F	REMOVE	1966	ULMUS/ELM SPECIES	12"	F	REMOVE						
1797	POPULUS/POPLAR SPECIES	8"	F	REMOVE	1867	QUERCUS/OAK SPECIES	12"	F	REMOVE	1967	ULMUS/ELM SPECIES	8"	P	REMOVE						
1798	ACER/MAPLE SPECIES	8"	F	REMOVE	1868	ACER/MAPLE SPECIES	10"	F	REMOVE	1968	ACER/MAPLE SPECIES	8"	F	REMOVE						
1799	ACER/MAPLE SPECIES	12"	F	REMOVE	1869	ACER/MAPLE SPECIES	12"	F	REMOVE	1969	ULMUS/ELM SPECIES	10"	P	REMOVE						
					1870	ACER/MAPLE SPECIES	12"	F	REMOVE	1970	QUERCUS/OAK SPECIES	21"	F	REMOVE						
					1871	ACER/MAPLE SPECIES	24"	F	REMOVE	1971	QUERCUS/OAK SPECIES	15"	P	REMOVE						
					1872	DEAD	8"	D	REMOVE	1972	QUERCUS/OAK SPECIES	12"	F	REMOVE						
					1873	ACER/MAPLE SPECIES	15"	F	REMOVE	1973	ACER/MAPLE SPECIES	15"	P	REMOVE						
					1874	ULMUS/ELM SPECIES	24"	F	REMOVE	1974	CARYA/HICKORY SPECIES	10"	F	REMOVE						
					1875	DEAD	8"	D	REMOVE	1975	QUERCUS/OAK SPECIES	21"	F	REMOVE						
					1876	ULMUS/ELM SPECIES	12"	F	SAVE	1976	QUERCUS/OAK SPECIES	15"	F	REMOVE						
					1877	ULMUS/ELM SPECIES	10"	F	REMOVE	1977	ULMUS/ELM SPECIES	8"	P	REMOVE						
					1878	ULMUS/ELM SPECIES	8"	P	REMOVE	1978	QUERCUS/OAK SPECIES	21"	F	REMOVE						
					1879	ACER/MAPLE SPECIES	15"x2, 8"	F	REMOVE	1979	ACER/MAPLE SPECIES	15", 12"	F	REMOVE						
					1880	ULMUS/ELM SPECIES	15"	F	REMOVE	1980	QUERCUS/OAK SPECIES	24"	F	REMOVE						
					1881	DEAD	8"	D	SAVE	1981	ACER/MAPLE SPECIES	10"	F	REMOVE						
					1882	ACER/MAPLE SPECIES	10"	F	SAVE	1982	ACER/MAPLE SPECIES	8"	P	REMOVE						
					1883	DEAD	12"	D	SAVE	1983	DEAD	15"	D	REMOVE						
					1884	DEAD	10"	D	SAVE	1984										

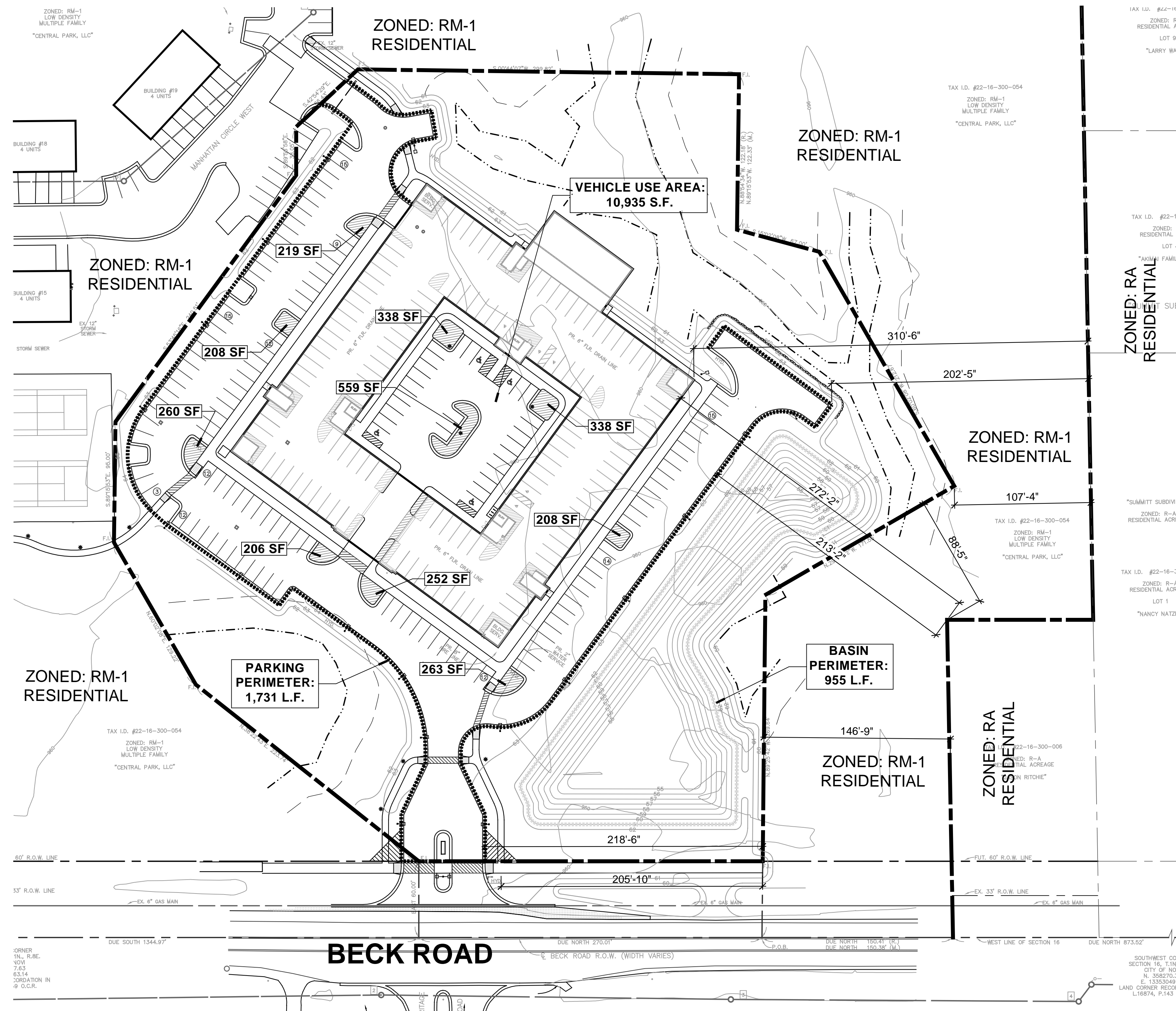
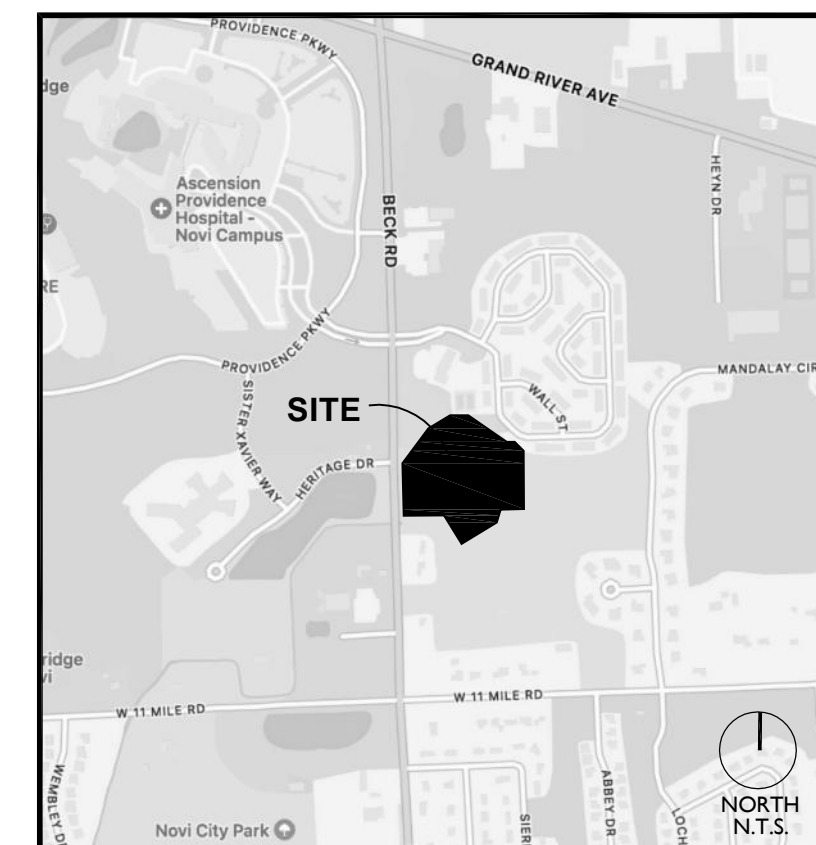


### AERIAL OVERLAY MAP

SCALE: 1" = 80'

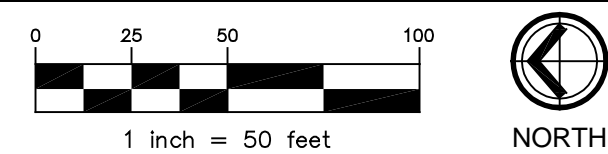


### LOCATION MAP



### LANDSCAPE REQUIREMENT MAP

SCALE: 1" = 50'



### LANDSCAPE DATA

<b>R.O.W. Greenbelt</b> Twelve Mile Road Frontage: 219 in. ft. Canopy/Evergreen Trees Req.: 7 Trees (1 Tree/ 35 in. ft.) Canopy/ Evergreen Trees Prov.: 8 Trees Sub-Canopy Trees Req.: 9 Trees (1 Tree/ 25 in. ft.) Sub-Canopy Trees Prov.: 12 Trees	<b>PARKING LOT</b> <b>PARKING PERIMETER LANDSCAPING</b> Parking Lot Perimeter: 1731 l.f. Canopy/Evergreen Trees Req.: 50 Trees* (1 Tree/ 35 in. ft.) <b>Trees Provided:</b> 50 Trees (*Unit Trees provided as permitted.)	<b>STORM WATER</b> <b>BASIN PERIMETER LANDSCAPING</b> Basin Perimeter: 955 l.f. Canopy/Evergreen Trees Req.: 27 Trees* (1 Tree/ 35 in. ft.) <b>Trees Provided:</b> 27 Trees (*Unit Trees and Woodland Replacement Trees provided.)
<b>Street Trees</b> Beck Road Frontage: 206 in. ft. (1 Tree/ 35 in. ft.) Trees Required: 6 Trees <b>Trees Provided:</b> 6 Trees	<b>COURTYARD PARKING LOT LANDSCAPING</b> Total Courtyard Parking Area: 10,935 s.f. Required Landscape Area: V.U.A. x 0.075 s.f. (up to 50,000 s.f.): 820 s.f. (10,935 s.f. x 0.075) Total s.f. of Landscape Area Req.: 820 s.f. Total s.f. of Landscape Area Prov.: 1,235 s.f.	<b>BUFFERS</b> <b>Northeast &amp; NW Buffer (RM-1 zoning):</b> 638 l.f. (Central Park Multi Family) Required: None Proposed: None - Preserved Existing Trees and Existing Landscaping <b>East &amp; SE Buffer (RM-1 zoning):</b> 702 l.f. (Central Park Multi Family) Required: None Proposed: None - Preserved Existing Trees <b>South Buffer (RM-1 zoning):</b> 441 l.f. (Central Park Multi Family) Required: None Proposed: None - Preserved Existing Trees
<b>BUILDING</b> <b>FOUNDATION/ SITE LANDSCAPING</b> Building - 34 Units "First" Floor Trees Required (3 Trees per Unit): 102 Trees Foundation Plantings: 35% (Facade facing road) <b>Trees Provided:</b> 102 Trees	<b>Parking Lot Tree Requirement:</b> Total Trees Required (1 per 200 s.f.): 4 Trees* <b>Total Trees Provided:</b> 4 Trees (*Unit Trees provided as permitted.)	

NOT TO BE USED AS CONSTRUCTION DRAWING

# CENTRAL PARK SOUTH

Novi, Michigan



project sponsor:  
 Noble Property Group II, LLC  
 46100 Grand River Ave.  
 Novi, MI 48374

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revisions:

PRELIM. SPA APP.	07/17/23
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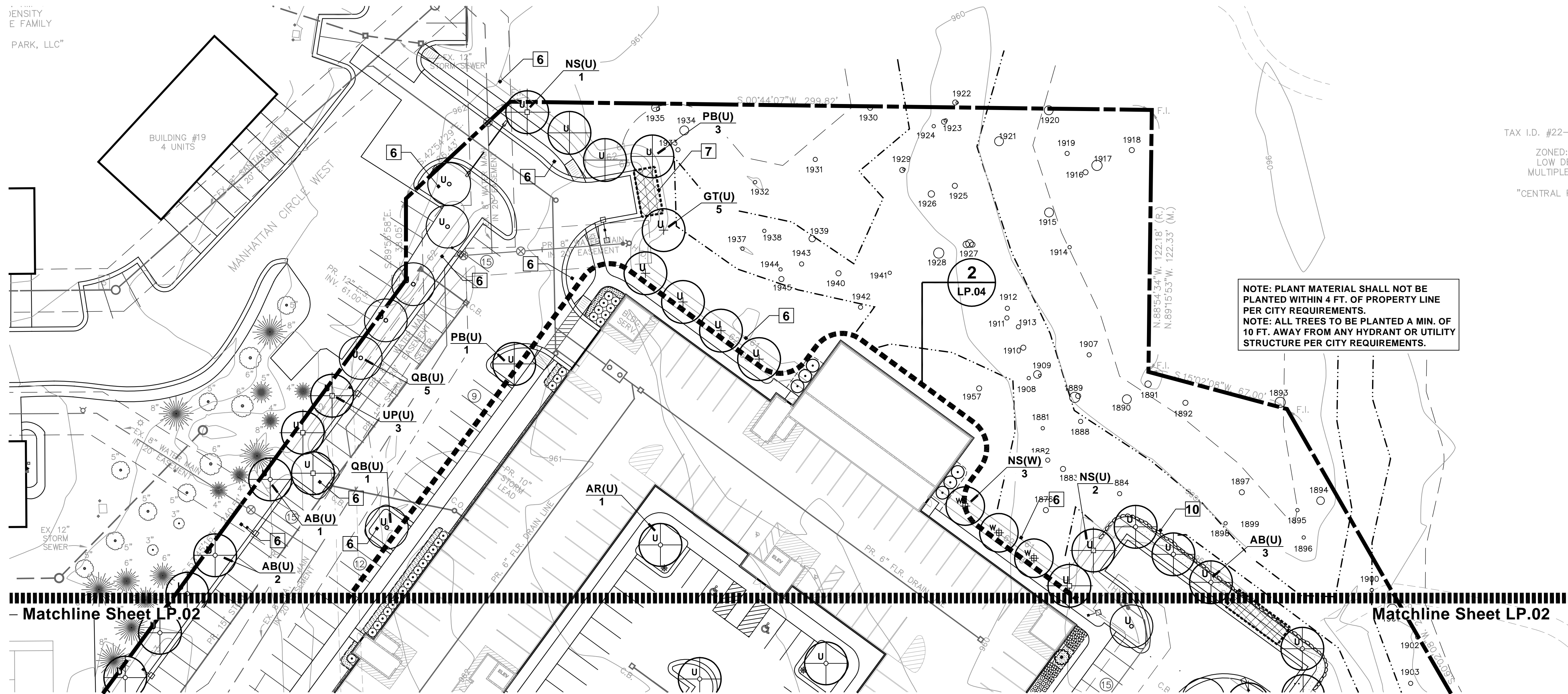
sheet title:  
**LANDSCAPE DATA**

project no.  
**182302**

sheet no.  
**LP.01**







**NOTE KEY:**

- 1 WETLAND LIMITS
- 2 25 FT. WETLAND SETBACK
- 3 25' CLEAR VISION TRIANGLE
- 4 PROPOSED BIKE RACKS - SEE CIVIL DWGS.
- 5 2" DIA. EGGSTONE OVER FILTER MAT
- 6 SEEDED LAWN OVER MINIMUM 4" DEPTH TOPSOIL. SEE TOPSOIL NOTE BELOW
- 7 SNOW DEPOSIT AREA
- 8 SHOVEL CUT BED EDGE - TYP.
- 9 EDGE OF MOWED LAWN
- 10 BOULDER WALL - SEE CIVIL PLANS
- 11 TRANSFORMER PAD - SEE ARCH. DWGS.

**GENERAL PLANTING REQ.:**

- A THE WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIAL, LABOR, EQUIPMENT, TOOLS, AND SUPERVISION REQUIRED FOR THE COMPLETION AS SHOWN ON THE DRAWING.
- B ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE STATED ON THE PLANT LIST. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A" N. STANDARDS FOR GRADE NO. 1 NURSERY STOCK AND NORTHERN NURSERY GROWN.
- C ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- D ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- E ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- F ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- G THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT GRADES AND SPACING. THE PLANTS SHALL BE ORIENTED AS TO GIVE THE BEST APPEARANCE.
- H WHEN THE PLANT HAS BEEN PROPERLY SET, THE PIT SHALL BE BACKFILLED WITH A TOPSOIL AND NATIVE SOIL MIXTURE, GRADUALLY FILLING, PATTING AND SETTLING WITH WATER.
- I ALL PLANT MATERIALS SHALL BE PRUNED AND INJURIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR INJURED TWIGS AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. CUTS SHOULD BE FLUSH, LEAVING NO STUBS.
- J THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS. ALL PLANT MATERIAL SHALL HAVE A MINIMUM OF ONE CULTIVATION IN JUNE, JULY, AND AUGUST FOR THE TWO YEAR WARRANTY. AT THAT TIME THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT FOR A FINAL INSPECTION. PLANT MATERIAL WITH 25% DIE BACK, AS DETERMINED BY THE OWNER'S REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
- K TOPSOIL SHALL BE FRIABLE, FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. SOIL SHALL BE FREE FROM CLAY LUMPS, COARSE SAND, PLANT ROOTS, STICKS AND OTHER FOREIGN MATERIALS.
- L NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRIP LINE OF EXISTING TREES.
- M IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
- N ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
- O SOD/ SEED LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS, DISK SOIL TO 4" DEEP BEFORE TOPSOIL PLACEMENT
- P SOD SHALL BE TWO YEAR OLD "BARONCHERIDELPHI" KENTUCKY BLUE GRASS GROWN IN A SOD NURSERY ON LOAM SOIL.

**PLANT MIX**

ALL PLANTING/ PERENNIAL BEDS TO RECEIVE:

- 1 - 6 CU FT. QTY. OF COMPOST
- 1 - 40 LB BAG DRIMANURE
- 1 - 1 LB BAG SHERMANS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA, HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM

**MULCH**

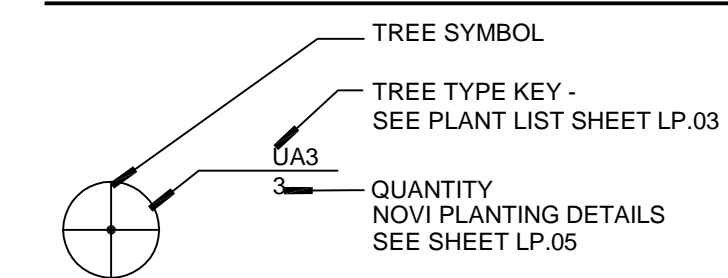
MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH

NO GROUND WOOD PALETTE MULCH PERMITTED

**TOPSOIL**

CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

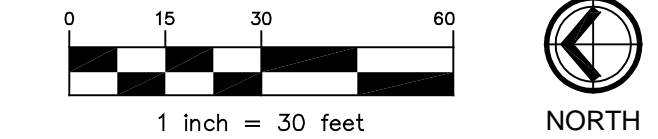
**PLANT KEY**



**IRRIGATION**

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.

NOTE: PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 4 FT. OF PROPERTY LINE PER CITY REQUIREMENTS. NOTE: ALL TREES TO BE PLANTED A MIN. OF 10 FT. AWAY FROM ANY HYDRANT OR UTILITY STRUCTURE PER CITY REQUIREMENTS.



**SITE PLANTING PLAN**

SCALE: 1" = 30'

**NOVI SPECIFICATIONS**

1. Whenever in this Ordinance landscape plantings are required or permitted, they shall be planted in accordance with the approved final stamped landscape plan.
2. All plant materials shall be installed between April 15th and November 15th. All installed landscapes including plant materials, mulch, staking, irrigation, and sodding, must be installed and inspected by the City prior to issuance of a Temporary Certificate of Occupancy. At that time, a financial guarantee of 1.2 times the cost of any deficiencies will be held until inspection occurs for a Final Certificate of Occupancy. In order to receive a Final Certificate of Occupancy, the deficiencies must be addressed within 30 days during the April 15th to November 15th planting season. If the deficiencies are not addressed in the time period outlined above, the City will cash in the amount being held for the outstanding items and remedy those items.
3. A City representative will perform landscape inspections following a request from the developer or owner. The inspection time period is from April 15th to November 15th. If an inspection is requested between November 16 and April 31, a financial guarantee is to be provided based on 1.2 times the percent incomplete for a Temporary Certificate of Occupancy as outlined above. Beginning April 31st, the Applicant then has 30 days to complete items or the City will cash in the amount being held and finish the job.
4. The establishment period for the plant material guarantee will occur beginning at the Final Certificate of Occupancy inspection approval to 2 years from that date. All plantings shall be properly planted as to be in a healthy, growing condition at the commencement of the establishment period. At the end of the establishment period, any plantings, which are 20% dead or greater, shall be replaced.
5. **Notice of Installation/Minor changes:**
  - (1) The owner or developer must notify the City of the installation schedule. The City may reject any material which is defective or in generally poor condition.
  - (2) Minor changes regarding plant materials per the approved and stamped landscape plan may be altered upon written notification to, and written sign-off by, the City Landscape Architect of species, size, change, and location.
  - (3) Minor changes due to seasonal planting problems and lack of plant availability may be approved in writing by the City Landscape Architect when there is no reduction in the quality of plant materials, no significant change in size or location of plant material, the new plant material is compatible with the area and is the same general type (deciduous/evergreen), exhibiting same design characteristics (mature height, crown), as the material being replaced. If these criteria are not fulfilled or changes are significant from approved plan, the landscape plan shall be revised and resubmitted for plan approval.
6. **Maintenance:**
  - (a) Maintenance of required plantings by the owner shall be carried out so as to present a healthy, neat and orderly appearance, free from refuse and debris.
  - (b) To insure proper maintenance and as a condition of Final Site Plan approval, the property owner shall enter into and record with the office of the Oakland County Register of Deeds a Landscape Maintenance Agreement, or include such provisions as part of subdivision restrictions or condominium master deed, each of which shall be approved by the City Attorney. Such instrument shall identify the minimum plan of maintenance, the person or entity responsible for maintenance, and shall provide the procedure, authority and finance for City cure of breaches by the responsible entity. Such instrument shall also include provisions that all unhealthy and dead material shall be replaced within one (3) months, or the next appropriate planting period, whichever occurs first, all landscaped areas shall be provided with an irrigation system; tree stakes, guy wires and tree wrap are to be removed after one winter season; plantings shall be guaranteed for two (2) growing seasons after date of the acceptance of the installation; if grass or weeds exceed the height specified in Chapter 21 of the Novi Code of Ordinances, or if shrubs are allowed to obstruct vision across any portion of the island and the responsible party is unwilling to rectify the problem, the City will abate such violations and shall assess the cost of such abatement measures in the manner proposed by the developer and approved by the City in such instrument.
7. **Responsibility and Certificates of Occupancy.** The owner of the property subject to the requirements of this Section shall be responsible for installing and maintaining per landscaping the approved final landscape plan as specified in this Section. Where the property is occupied by a person other than the owner, the occupant shall also be responsible for maintenance. All landscaping work required pursuant to this Section shall be treated as a site improvement for purposes of Subsections 3005-8 and 9.

\* These requirements supersede all other planting requirements or specifications.

**PLANT LIST - Common Trees**

QUAN.	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
6	LT(S)	Tulip Tree <i>Liriodendron tulipifera</i>	N	3" Cal.	B&B	\$ 400.00	\$ 2,400.00
2		SHREDDED HARD BARK MULCH (C.Y.)				\$ 35.00	\$ 70.00
							TOTAL: \$ 2,470.00

**PLANT LIST - Greenbelt**

QUAN.	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
8	LT(G)	Tulip Tree <i>Liriodendron tulipifera</i>	N	2.5" cal.	B&B	\$ 400.00	\$ 3,200.00
1	MIS(G)	Ivory Spear Crabapple <i>Malus Ivory Spear</i>		2" cal.	B&B	\$ 375.00	\$ 375.00
12	MS(G)	Sargent Crab <i>Malus Sargentii</i>		2" cal.	B&B	\$ 375.00	\$ 4,500.00
30	SBB(G)	Double Play Big Bang Spirea <i>Spirea japonica Tracy</i>		3 gal.	Cont.	\$ 50.00	\$ 1,500.00
117	SS(G)	Little Bluestem <i>Schizachyrium scoparium</i>	N	1 gal.	Cont.	\$ 15.00	\$ 1,755.00
406	EDS(G)	Dark Shadows Wicked Coneflower <i>Echinacea Dark Shadows Wicked</i>		1 gal.	Cont.	\$ 15.00	\$ 6,090.00
40		SHREDDED HARD BARK MULCH (C.Y.)				\$ 35.00	\$ 1,400.00
							TOTAL: \$ 18,820.00

**PLANT LIST - Unit Trees**

QUAN.	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
14	AB(U)	Autumn Blaze Maple <i>Acer x. 'freemanii Autumn Blaze'</i>		3" cal.	B&B	\$ 400.00	\$ 5,600.00
19	AR(U)	Redpointe Red Maple <i>Acer x. 'Redpointe'</i>	N	3" cal.	B&B	\$ 400.00	\$ 7,600.00
19	GT(U)	Skyline Thimbleless Honeylocust <i>Gleditsia L. 'Skyline'</i>	N	3" cal.	B&B	\$ 400.00	\$ 7,600.00
15	PB(U)	Bloodgood Plane Tree <i>Platanus x. acerifolia 'Bloodgood'</i>		3" Cal.	B&B	\$ 400.00	\$ 6,000.00
21	QB(U)	Swamp White Oak <i>Quercus bicolor</i>	N	3" cal.	B&B	\$ 400.00	\$ 8,400.00
6	NS(U)	Sour Gum <i>Nyssa sylvatica</i>	N	3" Cal.	B&B	\$ 400.00	\$ 2,400.00
8	UP(U)	Princeton Elm <i>Ulmus americana 'Princeton'</i>		3" Cal.	B&B	\$ 400.00	\$ 3,200.00
35		SHREDDED HARD BARK MULCH (C.Y.)				\$ 35.00	\$ 1,225.00
							TOTAL: \$ 42,025.00

NOTE:  
1. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES ON PLANS.  
2. PLANT SPECIES SELECTIONS PROVIDED TO MEET CITY REQUIREMENTS.  
3. DO NOT USE DWARF SPECIES OF CORNUS SERICEA.

**PLANT LIST - Detention Basin Shrubs**

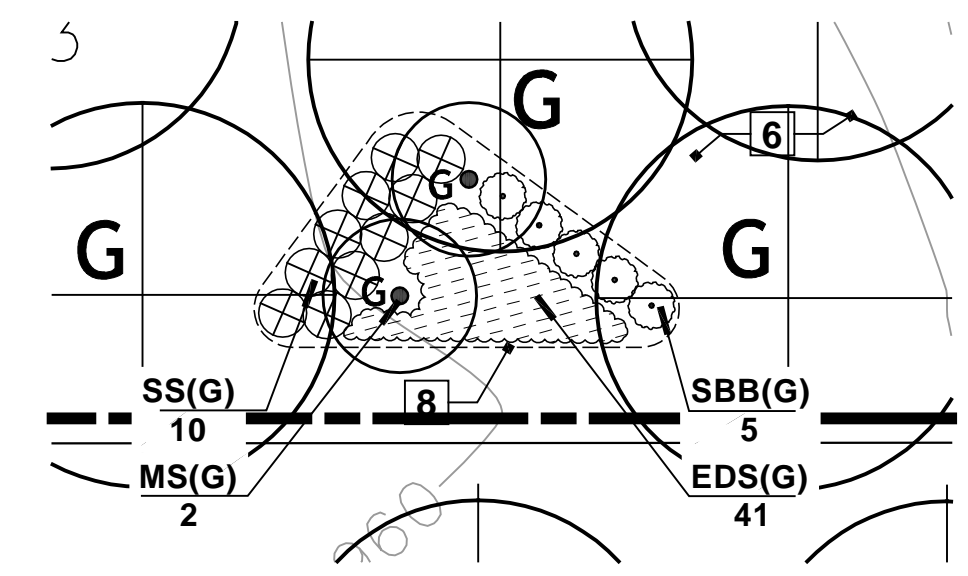
QUAN.	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
81	AM(D)	Iriquois Beauty Chokeberry <i>Aronia m. 'Iriquois Beauty'</i>	N	36" ht.	Cont.	\$ 50.00	\$ 4,050.00
80	CS(D)	Red Osier Dogwood <i>Cornus sericea</i>	N	36" ht.	Cont.	\$ 50.00	\$ 4,000.00
78	LB(D)	Spicebush <i>Lindera benzoin</i>	N	36" ht.	Cont.	\$ 50.00	\$ 3,900.00
8	BSD(D)	Basin Slope Seed Mix		32.5 lbs/ac.	LBS.	\$ 300.00	\$ 2,400.00
48		SHREDDED HARD BARK MULCH (C.Y.)				\$ 35.00	\$ 1,680.00
							TOTAL: \$ 16,030.00

**PLANT LIST - Woodland**

QUAN.	KEY	COMMON BOTANICAL NAME	NATIVE	SIZE	SPEC.	UNIT	TOTAL
9	QA(W)	White Oak <i>Quercus alba</i>	N	2.5" Cal.	B&B	\$ 400.00	\$ 3,600.00
4	AS(W)	Sugar Maple <i>Acer saccharum</i>	N	2.5" Cal.	B&B	\$ 400.00	\$ 1,600.00
5	NS(W)	Sour Gum <i>Nyssa sylvatica</i>	N	2.5" Cal.	B&B	\$ 400.00	\$ 2,000.00
5	QM(W)	Burr Oak <i>Quercus macrocarpa</i>	N	2.5" cal.	B&B	\$ 400.00	\$ 2,000.00
3	PS(W)	White Pine <i>Pinus strobus</i>	N	6" Pine	B&B	\$ 400.00	\$ 1,200.00
11	AL(W)	Serviceberry <i>Amelanchier laevis</i>	N	8" Ht.	B&B	\$ 375.00	\$ 4,125.00
7.5	WNM(W)	Woodland NaturalizeSeed Mix		37.7 lbs/ac.	LBS.	\$ 300.00	\$ 2,250.00
13		SHREDDED HARD BARK MULCH (C.Y.)				\$ 35.00	\$ 455.00
							TOTAL: \$ 17,230.00

SEED CONVERSION:  
S.Y. = LBS./ (LBS. PER AC. - I.E. 37.7) x 43,560 / 9

EXAMPLE:  
58.6 LBS. / 37.7 x 43,560 / 9 = 7,523 S.Y.



**PLANTING DETAIL**

SCALE: 1" = 10'

NOTE: GREENBELT PLANTING BED TYPICAL. REPEAT SIX(6) TIMES - SEE PLANT LIST FOR TOTAL QUANTITIES.

- NOTES:  
1. NO OVERHEAD UTILITIES EXIST OR ARE PROPOSED ON SITE.  
2. SEE CIVIL DRAWINGS FOR SOIL MAP AND TYPES PRESENT ON SITE.

NOT TO BE USED AS CONSTRUCTION DRAWING



project sponsor:  
Nobe Poverty Group II, LLC  
41600 Grand River Ave.  
Novi, MI 48374

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RVSD PER CMNTS. 8/25/23

sheet title:  
**SITE LANDSCAPE PLAN**

project no.  
**182302**

sheet no.  
**LP.03**











PLANNING + DESIGN

143 cadycentre #79  
northville, mi 48167

deakplanningdesign.com

CENTRAL PARK SOUTH  
Novi, Michigan

Table with 7 columns: Tree ID #, Tree Type, Diameter, Health Condition, Remove, Multi Stem Replac. Credits, Replacement Credits. Rows 1730-1845.

Table with 7 columns: Tree ID #, Tree Type, Diameter, Health Condition, Remove, Multi Stem Replac. Credits, Replacement Credits. Rows 1846-1976.

Table with 7 columns: Tree ID #, Tree Type, Diameter, Health Condition, Remove, Multi Stem Replac. Credits, Replacement Credits. Rows 1977-2016.

seal:



project sponsor:

Nobe Poverty Group II, LLC  
46100 Grand River Ave.  
Novi, MI 48374

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sheet title:

TREE INVENTORY  
& REMOVAL LIST

project no.

182302

sheet no.

TL.01

TREE INVENTORY, IDENTIFICATION AND SURVEY  
PROVIDED BY ENVIRONMENTAL ENGINEERS, INC.



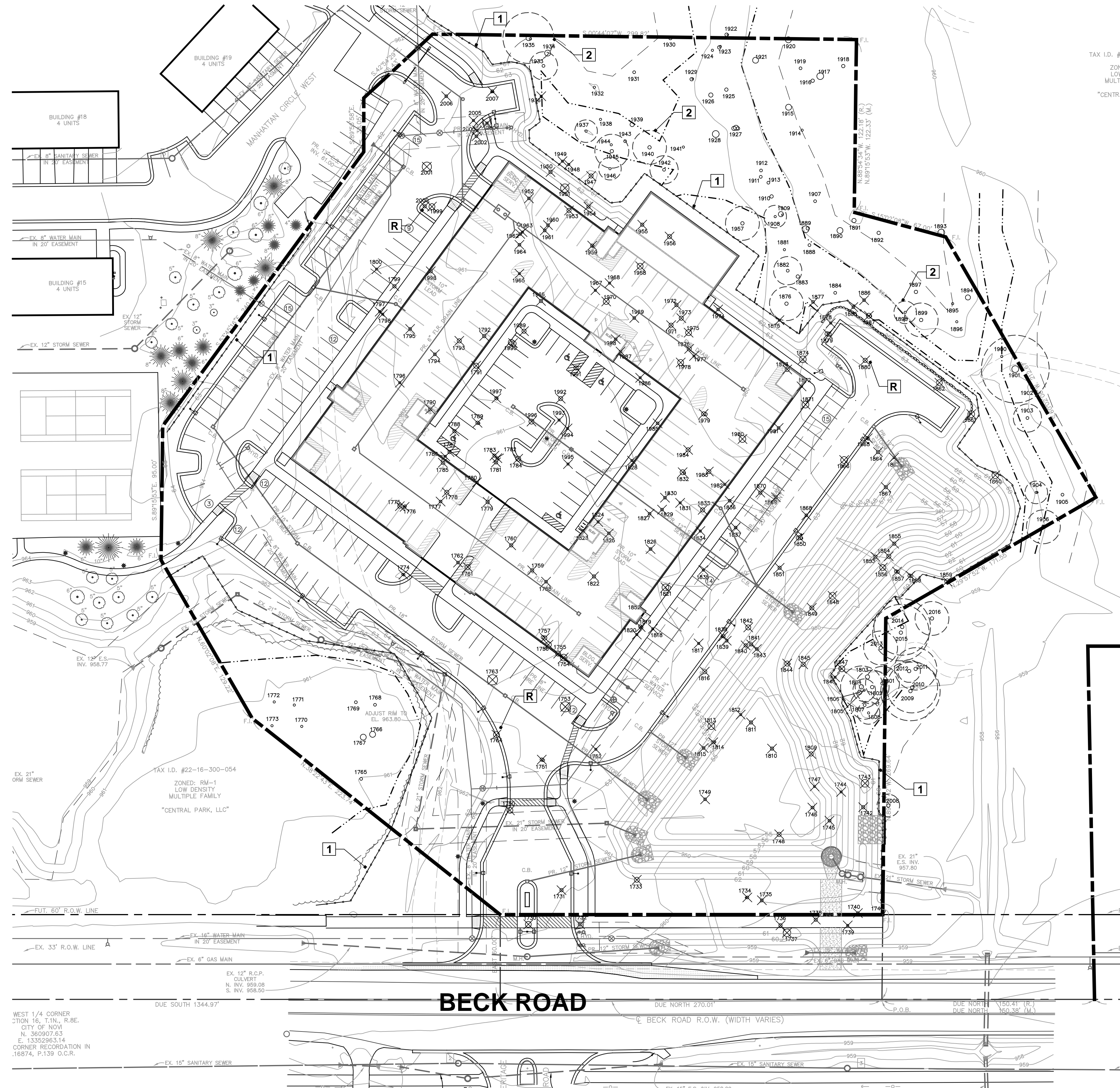
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\*CENTRAL

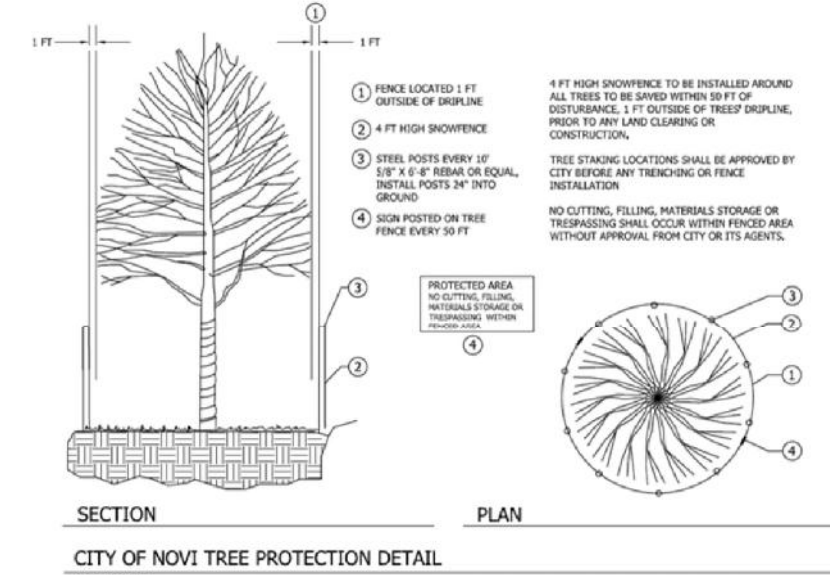


Figure 2. Tree Protection Detail  
City of Novi

NOTES

- 1 4 HT. PROTECTIVE SNOW FENCE - METAL STAKES 10' O.C. MAXIMUM. PLACE NO CLOSER THAN 6' FROM TRUNK OF PRESERVED TREE
- 2 CRITICAL ROOT ZONE - 1 FT. RADIUS PER 1" OF DBH.
- R REMOVE - TREES TO BE MARKED BY LANDSCAPE ARCHITECT FOR REMOVAL

WOODLAND DATA

Total Trees Surveyed:	278 Trees
Total Trees Preserved:	83 Trees

WOODLAND IMPACT

Trees Removed:	
Dead Trees Removed:	11 Trees
Very Poor Cond. Trees Removed:	0 Trees
Trees Req. Replc. Removed:	162 Trees
Multi Stem Trees Req. Replc. Removed:	22 Trees

WOODLAND REPLACEMENT

Replacement Trees:	
Trees 8"-10.9": 70 Trees x 1 Credit =	70 Credits
Trees 11"-19.9": 67 Trees x 2 Credit =	134 Credits
Trees 20"-29.9": 19 Trees x 3 Credit =	57 Credits
Trees 30" or Greater: 6 Trees x 4 Credit =	24 Credits
Trees Multi Stem Req. Credits:	81 Credits

TOTAL CREDITS REQUIRED:

366 Credits

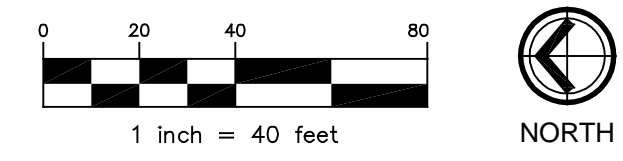
PROPOSED REPLC. CREDITS:

Deciduous Trees:	23 Credits
23 Trees Proposed (2.5" cal. Tree = 1 Credit)	
Understory Trees:	14 Credits
14 Trees Proposed (8 Ft. Ht. Tree = 1 Credit)	
Native Seed Area:	13 Credits
(70 s.y. = 1 Credit - 960 s.y. provided)	
(5% of total max. = 19 cr. = 1,330 s.y.)	
<b>Total Proposed Credits:</b>	<b>50 Credits</b>
Balance of Credits:	316 Credits
(Paid to City Tree Fund)	

NOTE: Additional replacement trees to be planted in existing Central Park Conservation Easement as coordinated with city officials and credited toward balance at that time.

WOODLAND IMPACT PLAN

SCALE: 1" = 40'



CENTRAL PARK SOUTH  
Novi, Michigan

seal:



project sponsor:

Nobe Poperty Group II, LLC  
46100 Grand River Ave.  
Novi, MI 48374

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PRELIM. SPA APP.	07/17/23
RVSD PER CMNTS.	8/25/23

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WOODLAND IMPACT PLAN

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