



CITY of NOVI CITY COUNCIL

Agenda Item 2
December 19, 2016

SUBJECT: Approval at the request of McBride Dale Clarion for the Speedway at 14 Mile and Haggerty, JSP 16-13, with Zoning Map Amendment 18.714, to rezone property in Section 1, located at the southwest corner of Fourteen Mile Road and Haggerty Road from OST (Planned Office Service Technology) and B-3 (General Business) to B-3 (General Business) subject to the related Planned Rezoning Overlay (PRO) Agreement and corresponding PRO Plan. The property totals 2.03 acres and the applicant is proposing to update and rebuild the whole site.

SUBMITTING DEPARTMENT: Community Development Department - Planning *Baus*

CITY MANAGER APPROVAL: *PR*

BACKGROUND INFORMATION:

The petitioner is requesting a Zoning Map amendment for a 2.03 acre property at the southwest corner of Fourteen Mile Road and Haggerty Road from OST (Office Service Technology) and B-3 (General Business) to B-3 (General Business) using the City's Planned Rezoning Overlay (PRO) option. The applicant states that the rezoning request is necessary to allow the rebuild of the Speedway gas station and convenience store on a larger site. This will allow the applicant to update and rebuild the whole site.

The applicant has proposed a 4,000 square foot convenience store and 5,400 square foot fuel canopy over 8 double-sided fuel dispensers. The plan will raze the existing 2,417 square foot building and 6 double-sided fuel dispensers. As part of the redevelopment, existing driveways will be shifted away from the intersection and aligned with the driveways across 14 Mile Road and Haggerty Road. Speedway is proposing to dedicate approximately 10 feet of ROW along 14 Mile Road. There will be an above-ground detention basin in the southwest corner of the enlarged property.

Ordinance Deviations Requested

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. These deviations must be accompanied by a finding by City Council that *"each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."*

The deviations requested are the following:

- a. A same side driveway spacing waiver to allow the driveway on 14 Mile Road to be located approximately 121 feet (200 feet required) from the neighboring driveway to the west to align with existing driveway on the north side of 14 Mile Road.

- b. An opposite side driveway spacing waiver to allow the driveway on Haggerty Road to be located approximately 40 feet (200 feet required) from the driveway to the south in order to align with the existing driveway on the east side of Haggerty Road.
- c. Section 9 Façade Waiver for the overage of Asphalt Shingles on the building (maximum 25 percent permitted; proposed 51 percent on east, 35 percent on west, 30 percent on south and north).
- d. Section 9 Façade Waiver for the overage of Flat Metal Panels on the fuel canopy (maximum 50 percent permitted; proposed 71 percent on east and west, 59 percent on south and north), and the underage of Brick (minimum 30 percent; proposed 20% on east and west).
- e. Proposed loading zone is located in the front yard, the ordinance indicates it should be located in the interior side yard of a double frontage lot.
- f. Proposed dumpster is located in the front yard, the ordinance indicates it should be located in the interior side yard of a double frontage lot.

Public Benefit under PRO Ordinance

Section 7.13.2.D.ii states that the City Council must determine that the proposed PRO rezoning would be in the public interest and the public benefits of the proposed PRO rezoning would clearly outweigh the detriments. The applicant has offered the following as public benefits:

- 1. Install a "Welcome to Novi" sign along the 14 Mile Road property line.
- 2. Dedicate 10 feet of right-of-way along 14 Mile Road.
- 3. Redevelop the site with a building and canopy that is architecturally consistent with current zoning regulations.
- 4. Pedestrian access is improved: (a) Sidewalks will be extended the length of the expanded property and will close gaps in the sidewalk system and (b) sidewalk connections from the convenience store to 14 Mile Road and Haggerty Road are provided.
- 5. Safety improvements: (a) relocation of driveway away from 14 Mile and Haggerty intersection and to align with opposing driveway and (b) on-site circulation and visibility with new canopy.
- 6. Construction of approximately 18-foot long 6-foot wide sidewalk across the adjacent development to the west. The Applicant shall obtain all easements at its own expense that are necessary for construction of the off-site sidewalk and dedication of the sidewalk for public use.

Previous City Council Consideration

The City Council granted tentative approval of the request at the September 26, 2016 meeting, and directed the City Attorney's Office to prepare a PRO Agreement.

City Council Action

Because the attached draft PRO Agreement is consistent with the rezoning with PRO requested, and tentatively approved by the City Council at the September 26, 2016 meeting, the City Council is now asked to consider the actual text of the Planned Rezoning Overlay Agreement and give final approval of the agreement, the PRO Plan and the rezoning. Following Council's final approval, the applicant will submit for Preliminary and Final Site Plan approval under standard site plan review procedures.

RECOMMENDED ACTION:

Final approval at the request of McBride Dale Clarion for the Speedway at 14 Mile & Haggerty, JSP 16-13, with Zoning Map Amendment 18.714, to rezone property in Section 1, located at the southwest corner of Fourteen Mile Road and Haggerty Road from OST

(Office Service Technology) and B-3 (General Business) to B-3 (General Business) **subject to the related Planned Rezoning Overlay (PRO) Agreement and corresponding PRO Plan**, and subject to the conditions listed in the staff and consultant review letters, and with any changes and/or conditions as discussed at the City Council meeting, with any final minor alterations required in the determination of the City Manager and City Attorney to be incorporated by the City Attorney's office prior to the execution of the final agreement. This motion is made for the following reasons:

- a. The Master Plan for Land Use objective to foster a favorable business climate is fulfilled by allowing an existing business to expand and provide 5 more jobs, \$235,000 in sales tax, and \$3.1 million in investment.
- b. The Master Plan for Land Use objective to support and strengthen existing businesses is fulfilled by allowing an existing business to expand and develop a vacant parcel.
- c. The concept plan improves existing non-conformities (minimum site size from 0.7 acres to 2.03 acres, location of driveways away from intersection, and upgraded stormwater management).
- d. There is a negligible impact on the utilities due to expected utility demand reduced from 4 residential equivalent units to 3, minimal impact on available water capacity, pressure, and flow, and no apparent impact of the downstream sanitary sewer.
- e. The rebuild and expansion of this site provides an update to the visual aesthetic at an entryway to the City, modern fuel dispensers and convenience store, and replacement of underground storage tanks.

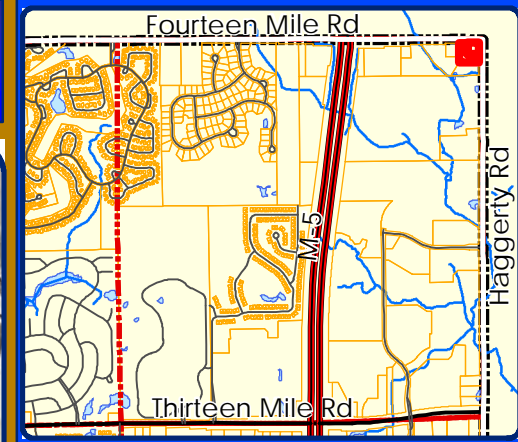
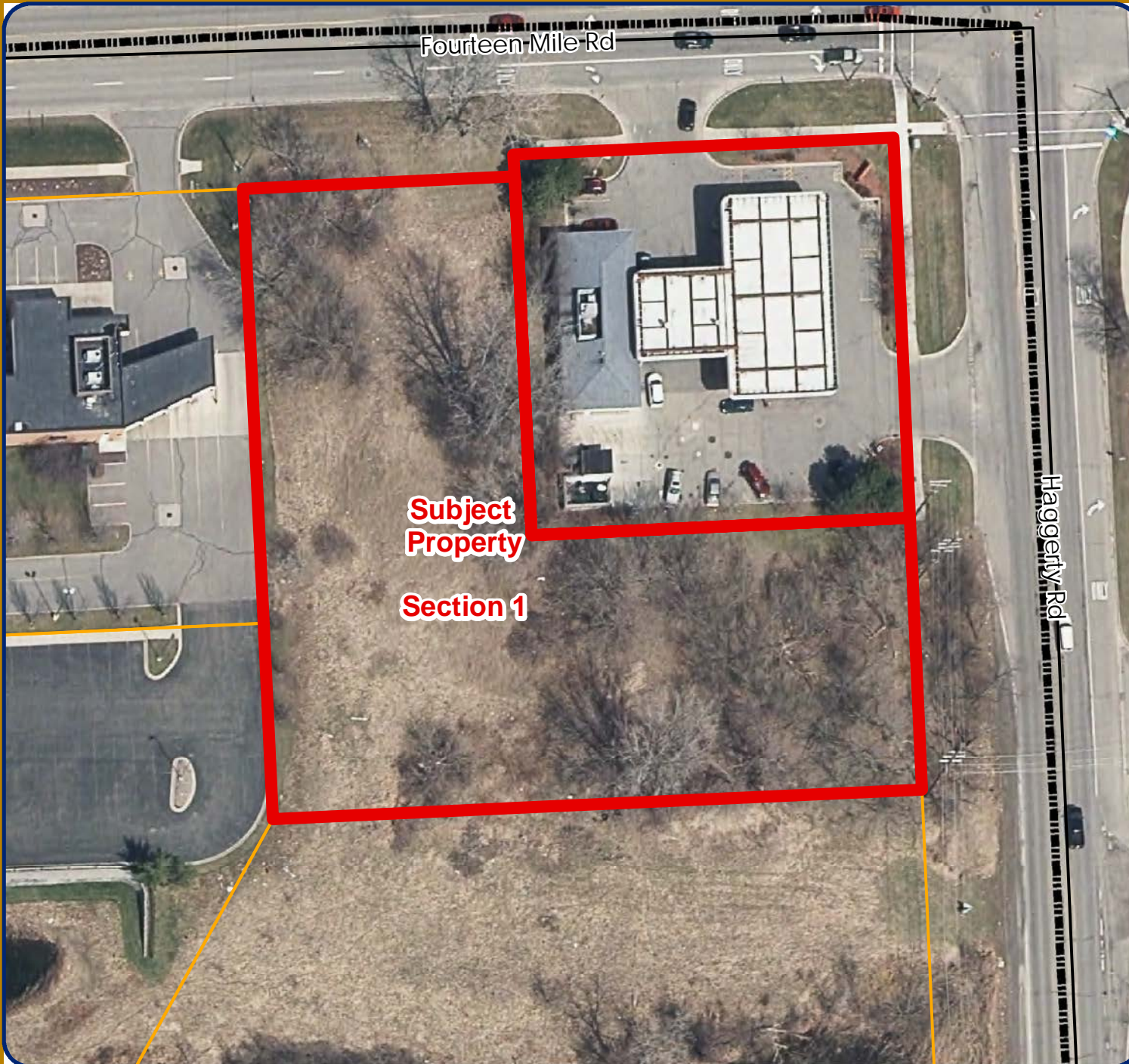
	1	2	Y	N
Mayor Gatt				
Mayor Pro Tem Staudt				
Council Member Burke				
Council Member Casey				

	1	2	Y	N
Council Member Markham				
Council Member Mutch				
Council Member Wrobel				


Maps
Location
Zoning
Future Land Use
Natural Features

JSP16-13: Speedway 14 Mile/Haggerty - PRO

Location



LEGEND


 Sections



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Kirsten Mellem
Date: 08/02/16
Project: JSP16-13 Speedway 14 Mile/Haggerty - PRO
Version #: 1

0 12.5 25 50 75 Feet
1 inch = 67 feet

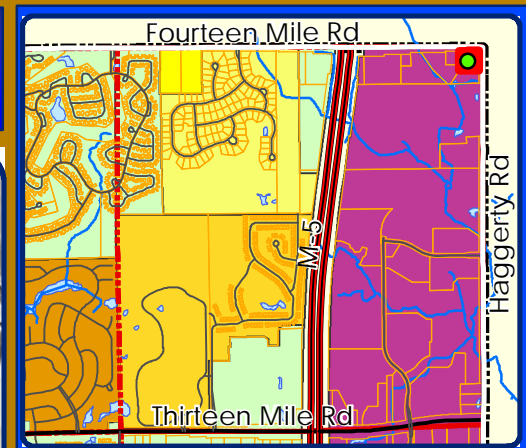
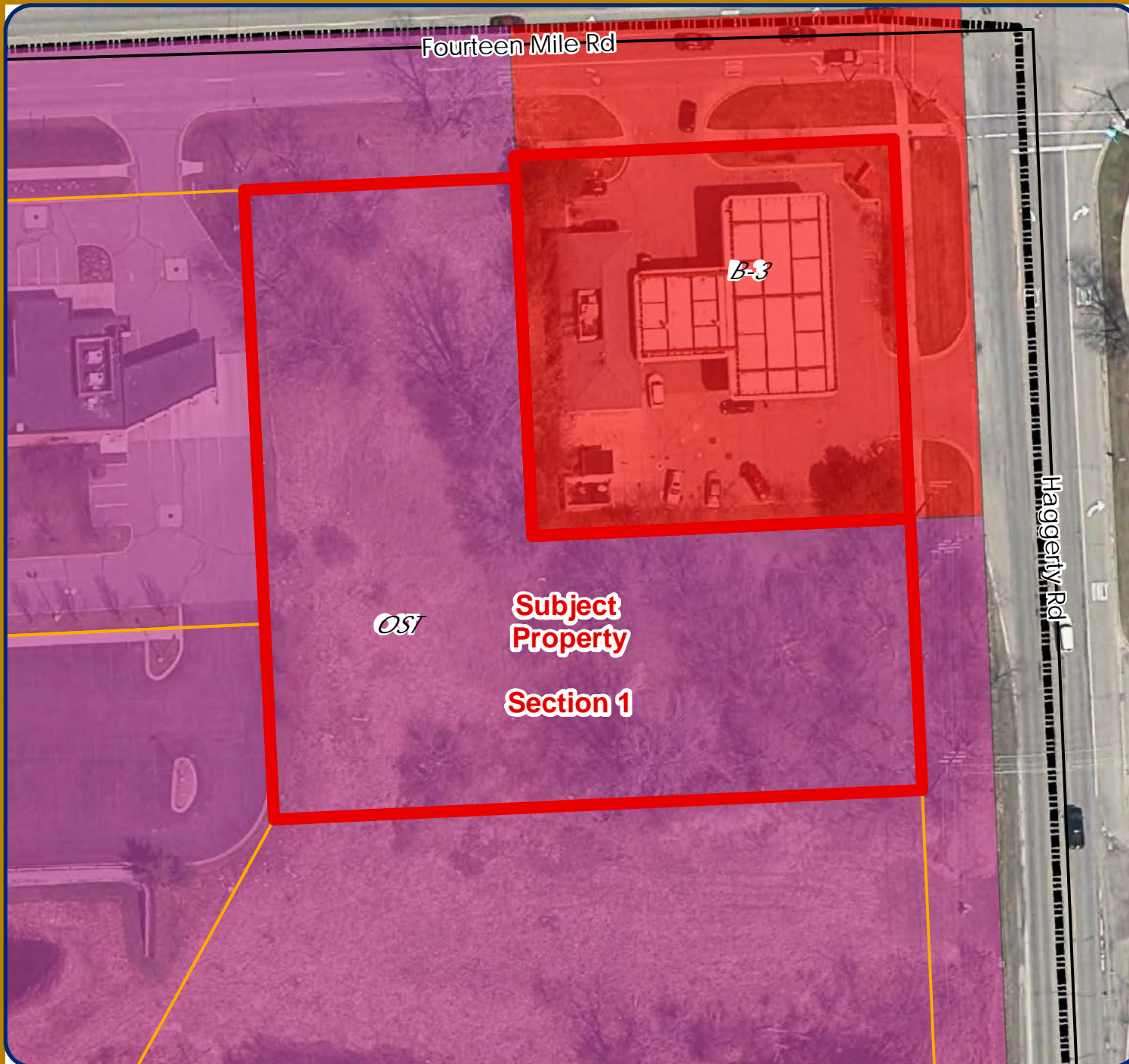


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP16-13: Speedway 14 Mile/Haggerty - PRO

Zoning



LEGEND

- Sections
- R-A: Residential Acreage
- R-2: One-Family Residential
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- MH: Mobile Home District
- B-3: General Business District
- OST: Office Service Technology



City of Novi

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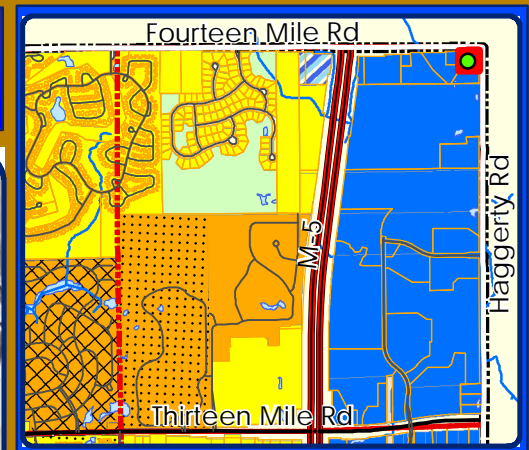


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JSP16-13: Speedway 14 Mile/Haggerty - PRO

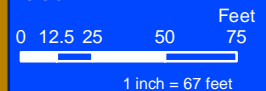
Future Land Use



- LEGEND**
- Sections
 - FUTURE LAND USE**
 - Single Family
 - PUD
 - Multiple Family
 - PD1
 - Mobile Home Park
 - Community Office
 - Office RD Tech
 - Private Park
 - Utility

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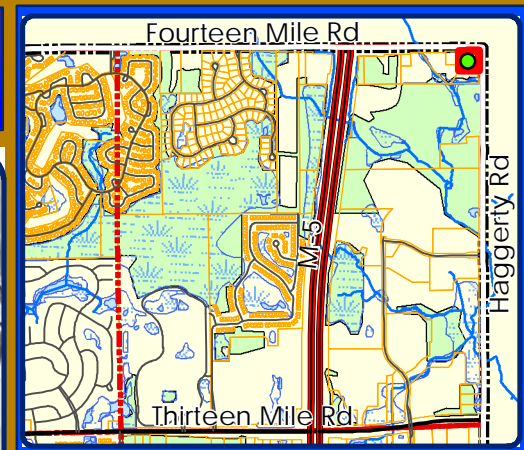


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JSP16-13: Speedway 14 Mile/Haggerty - PRO

Natural Features



LEGEND

- Sections
- WETLANDS
- WOODLANDS

CITY OF NOVI
City of Novi logo
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PRO AGREEMENT

PLANNED REZONING OVERLAY (PRO) AGREEMENT
SPEEDWAY

AGREEMENT, by and between Speedway, a Delaware corporation, whose address is 500 Speedway Drive, Enon, OH 45323 (“**Applicant**”) and the City of Novi, 45175 Ten Mile Road, Novi, MI 48375-3024 (“**City**”).

RECITATIONS:

- I. Owner is the owner and developer of an approximately 2.03-acre parcel of property located on the southwest corner of Fourteen Mile and Haggerty Road, herein known as the “Land” or the “Development” and described on **Exhibit A**, attached and incorporated herein. Owner is hereinafter referred to as “Applicant.”
- II. For purposes of improving and using the Land by rebuilding and expanding an existing Speedway gas station and convenience store on a larger site, the Applicant has petitioned the City for an amendment of the Zoning Ordinance, as amended, so as to reclassify the Land from OST (Office Service Technology) and B-3 (General Business) to entirely B-3 (General Business). The OST and B-3 classifications shall be referred to as the “**Existing Classification**” and B-3 shall be referred to as the “**Proposed Classification**.”
- III. The Proposed Classification would provide the Applicant with certain material development options not available under the Existing Classification, and would be a distinct and material benefit and advantage to the Applicant.
- IV. The City has reviewed and approved the Applicant’s proposed petition to amend the zoning district classification of the Land from the Existing Classification to the Proposed Classification under the terms of the Planned Rezoning Overlay (PRO) provisions of the City’s Zoning Ordinance, and has reviewed the Applicant’s proposed PRO Plan, including building elevations, attached hereto and incorporated herein as **Exhibit B** (the “PRO Plan”). The PPO Plan is a conceptual or illustrative plan for the potential development of the Land under the Proposed Classification, and not an approval to construct the proposed improvements as shown. The City has further reviewed the proposed PRO conditions offered or accepted by the Applicant.

- V. In proposing the Proposed Classification to the City, Applicant has expressed as a firm and unalterable intent that Applicant will develop and use the Land in conformance with the following undertakings by Applicant, as well as the following forbearances by the Applicant (each and every one of such undertakings and forbearances shall together be referred to as the “Undertakings”):
- A. Applicant shall develop and use the Land solely to rebuild and expand an existing gas station, to include a 4,000 square foot convenience store and 5,400 square foot fuel canopy over 8 double-sided fuel dispensers, in accordance with the PRO Plan, including but not limited to the architectural renderings made a part hereof. Applicant shall forbear from developing and/or using the Land in any manner other than as authorized and/or limited by this Agreement.
 - B. Applicant shall develop the Land in accordance with all applicable laws and regulations, and with all applicable ordinances, including all applicable setback requirements of the Zoning Ordinance with respect to the Proposed Classification, except as expressly authorized herein or as shown on the PRO Plan. The PRO Plan is acknowledged by both the City and Applicant to be a conceptual plan for the purpose of depicting the general area contemplated for development. Some deviations from the provisions of the City’s ordinances, rules, or regulations that are depicted in the PRO Plan are approved by virtue of this Agreement; however, except as to such specific deviations enumerated herein, the Applicant’s right to develop the gas station and convenience store under the requirements of the Proposed Classification shall be subject to and in accordance with all applications, reviews, approvals, permits, and authorizations required under applicable laws, ordinances, and regulations, including, but not limited to, site plan approval, storm water management plan approval, woodlands and wetlands permits, façade approval, landscape approval, and engineering plan approval, except as expressly provided in this Agreement.
 - C. In addition to any other ordinance requirements, Applicant shall comply with all applicable ordinances for storm water and soil erosion requirements and measures throughout the site during the design and construction phases, and subsequent use, of the development contemplated in the Proposed Classification.
 - D. Applicant shall provide the following Public Benefits/Public Improvements in connection with the development of the Land:
 - 1. Installation of a “Welcome to Novi” sign along the 14 Mile Road property line.

2. Dedication of 10 ft. of right-of-way along 14 Mile Road.
3. Redevelopment of the site with a building and canopy that is architecturally consistent with current zoning regulations.
4. Provision of improved pedestrian access: (a) Sidewalks will be extended the length of the expanded property and will close gaps in the sidewalk system, and (b) sidewalk connections from the convenience store to 14 Mile Road and Haggerty Road are provided.
5. Provision of safety improvements: (a) relocation of driveway away from 14 Mile and Haggerty intersection and to align with opposing driveway, and (b) on-site circulation and visibility with new canopy.
6. Construction of an approximately 6' x 18' sidewalk across the adjacent property to the west. The Applicant shall obtain, and submit for review and approval by the City, prior to final stamping set approval all required off-site easements, at its own expense that are necessary for construction of the off-site sidewalk and dedication of the sidewalk for public use.

E. The following PRO Conditions shall apply to the Land and/or be undertaken by Applicant:

1. Acceptance of applicant's offer of public benefits as proposed in Section D.1 through D.6, above.
2. Applicant shall provide a Noise Impact Statement with the Preliminary Site Plan submittal.
3. All grades of drive approaches shall not exceed 2-percent within the first 25 feet of the intersection, as demonstrated with the next sit plan submittal.
4. All grading, storm sewer, and drainage areas shall meet all applicable City of Novi standards.
5. Applicant shall comply with the conditions listed in the staff and consultant review letters.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

1. Upon the Proposed Classification becoming final following entry into this Agreement:
 - a. The Undertakings and PRO Conditions shall be binding on Applicant and the Land;

- b. Applicant shall act in conformance with the Undertakings; and
 - c. Applicant shall forbear from acting in a manner inconsistent with the Undertakings;
2. The following deviations from the standards of the zoning ordinance are hereby authorized pursuant to §7.13.D.i.c (2) of the City's Zoning Ordinance:
- a. A same side driveway spacing waiver to allow the driveway on 14 Mile Road to be located approximately 121 ft. (200 ft. required) from the neighboring driveway to the west to align with existing driveway on the north side of 14 Mile Road.
 - b. An opposite side driveway spacing waiver to allow the driveway on Haggerty Road to be located approximately 40 ft. (200 ft. required) from the driveway to the south in order to align with the existing driveway on the east side of Haggerty Road.
 - c. Section 9 Façade Waiver for the overage of Asphalt Shingles (maximum 25%; proposed 51% on east, 35% on west, 30% on south, 30% on north) on the building.
 - d. Section 9 Façade Waiver for the overage of Flat Metal Panels (maximum 50%; proposed 71% on east, 71% on west, 59% on south, and 59% on north), and the underage of Brick (minimum 30%; proposed 20% on east, 20% on west) on the fuel canopy.
 - e. Proposed loading zone is located in the front yard; the ordinance indicates it should be located in the interior side yard of a double frontage lot.
 - f. Proposed dumpster is located in the front yard; the ordinance indicates it should be located in the interior side yard of a double frontage lot.
3. In the event Applicant proceeds with actions to complete improvement of the Land in any manner other than as a 4,000 square foot convenience store and 5,400 square foot fuel canopy over 8 double-sided fuel dispensers, as shown on **Exhibit B**, the City shall be authorized to revoke all outstanding building permits and certificates of occupancy issued for such building and use.
4. Applicant acknowledges and agrees that the City has not required the Undertakings. The Undertakings have been voluntarily offered by Applicant in order to provide an enhanced use and value of the Land, to protect the public safety and welfare, and to induce the City to rezone the Land to the Proposed Classification so as to provide material advantages and development options for the Applicant.

5. All of the Undertakings represent actions, improvements, and/or forbearances that are directly beneficial to the Land and/or to the development of and/or marketing of a 4,000 square foot convenience store and 5,400 square foot fuel canopy over 8 double-sided fuel dispensers. The burden of the Undertakings on the Applicant is roughly proportionate to the burdens being created by the development, and to the benefit which will accrue to the Land as a result of the requirements represented in the Undertakings.
6. In addition to the provisions in Paragraph 2, above, in the event the Applicant, or its respective successors, assigns, and/or transferees proceed with a proposal for, or other pursuit of, development of the Land in a manner which is in material violation of the Undertakings, the City shall, following notice and a reasonable opportunity to cure, have the right and option to take action using the procedure prescribed by law for the amendment of the Master Plan and Zoning Ordinance applicable to the Land to amend the Master Plan and zoning classifications of the Land to a reasonable classification determined appropriate by the City, and neither the Applicant nor their respective successors, assigns, and/or transferees, shall have any vested rights in the Proposed Classification and/or use of the Land as permitted under the Proposed Classification, and Applicant shall be estopped from objecting to the rezoning and reclassification to such reasonable classifications based upon the argument that such action represents a “downzoning” or based upon any other argument relating to the approval of the Proposed Classification and use of the Land; provided, this provision shall not preclude Applicant from otherwise challenging the reasonableness of such rezoning as applied to the Land. In the event the City rezones the Land to a use classification other than the Proposed Classification, this Agreement shall terminate and be null and void.
7. By execution of this Agreement, Applicant acknowledges that it has acted in consideration of the City approving the Proposed Classification on the Land, and Applicant agree to be bound by the provisions of this Agreement.
8. After consulting with an attorney, the Applicant understands and agrees that this Agreement is authorized by and consistent with all applicable state and federal laws and Constitutions, that the terms of this Agreement are reasonable, that it shall be estopped from taking a contrary position in the future, and, that the City shall be entitled to injunctive relief to prohibit any actions by the Applicant inconsistent with the terms of this Agreement.
9. This Agreement shall run with the land and shall be binding upon and inure to the benefit of the parties to this Agreement and their respective heirs, successors, assigns and transferees, and shall be recorded by either party with the office of the Oakland County Register of Deeds.

10. The Zoning Board of Appeals (ZBA) shall have no jurisdiction over the Property or the application of this Agreement until after site plan approval and construction of the development as approved therein.
11. No waiver of any breach of this Agreement shall be held to be a waiver of any other or subsequent breach. All remedies afforded in this Agreement shall be taken and construed as cumulative, that is, in addition to every other remedy provided by law.
12. This Agreement shall be governed by the laws of the State of Michigan, both as to interpretation and performance. Any and all suits for any and every breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the County of Oakland, State of Michigan.
13. This Agreement may be signed in counterparts.

{Signatures begin on following page}

WITNESSES:

Kathy L. Sewell

Print Name: Kathy Sewell

Mary E. Bergman

Print Name: Mary E. Bergman

APPLICANT/DEVELOPER

SPEEDWAY

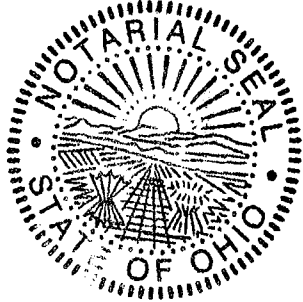
By: Gregory S. Whitman

Its: Gregory S. Whitman
Director, Real Estate & Operations
Planning



STATE OF OHIO)
) ss
COUNTY OF CLARK)

On this 28th day of November, 2016, before me appeared Gregory S. Whitman, Director, Real Estate and Operations Planning, who states that he has signed this document of his own free will duly authorized on behalf of the Developer.



Katherine S. Borgwald

Katherine S. Borgwald (Notary Public
Greene County
Acting in Clark County
My commission expires: 3-16-19

KATHERINE S. BORGWALD
NOTARY PUBLIC • STATE OF OHIO
My commission expires 3/16/19

CITY OF NOVI

Print Name:

By: _____
Robert J. Gatt, Mayor

Print Name:

Print Name:

By: _____
Cortney Hanson, Clerk

Print Name:

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

On this ___ day of _____, 2016, before me appeared Robert J. Gatt and Cortney Hanson, who stated that they had signed this document of their own free will on behalf of the City of Novi in their respective official capacities, as stated above.

_____, Notary Public
County
Acting in _____ County
My commission expires:

Drafted by:

Elizabeth Kudla Saarela
Johnson, Rosati, Schultz & Joppich
27555 Executive Drive, Suite 250
Farmington Hills, MI 48331

When recorded return to:
Cortney Hanson, Clerk
City of Novi
45175 Ten Mile Road
Novi, MI 48375-3024

EXHIBIT A

COMBINED PARCEL DESCRIPTION

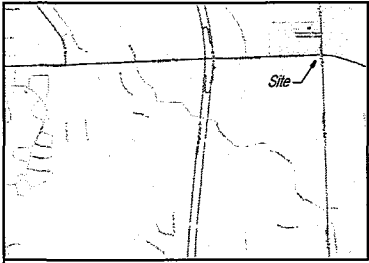
Land situated in the City of Novi, County of Oakland, and State of Michigan, described as:

Part of the Northeast 1/4 of Section 1, Township 1 North, Range 8 East, City of Novi, County of Oakland, State of Michigan, and being more particularly described as follows:

Commencing at a 1/2" iron pin in a monument box found at the Northeast corner of said Section 1, also being the intersection of Haggerty Road (width varies) and W. 14 Mile Road (width varies); thence South 87°24'30" West, along the North line of said Section 1 and the centerline of W. 14 Mile Road, a distance of 235.00 feet; thence South 02°30'19" East, a distance of 60.00 feet to a 5/8" iron pin set with cap marked "CESO, Inc." on the south right-of-way line of 14 Mile Road and the TRUE PLACE OF BEGINNING of the parcel herein described; thence North 87°24'30" East, along the south right-of-way line of 14 Mile Road, a distance of 175.00 feet the west right-of-way line of Haggerty Road and a 5/8" iron pin set with cap marked "CESO, Inc."; thence South 02°30'19" East, along the west right-of-way line of Haggerty Road, a distance of 300.00 feet to the northeast corner of a parcel conveyed to Rebel Realty (Liber 40742, Page 317 - 12/01/2008), referenced by a 1/2" iron pin found North 42°10'33" West, 0.26'; thence South 87°24'30" West, along the north line of said Rebel Realty parcel, a distance of 300.00 feet to a northwesterly corner thereof, a southeasterly corner of a parcel conveyed to North Novi Investors (Liber 48608, Page 669 - 04/04/2013) and a 1/2" iron pin found; thence North 02°30'19" West, along the easterly line of said North Novi Investors parcel and the east line of a parcel conveyed to Behavioral Care Solutions for Adult's and Seniors, Inc. parcel (Liber 48620, Page 386 - 09/21/2015), a distance of 290.00 feet to the northeast corner thereof, the south right-of-way line of 14 Mile Road and a 5/8" iron pin set with cap marked "CESO, Inc."; thence North 87°24'30" East, along the south right-of-way line of 14 Mile Road, a distance of 125.00 feet to a deflection therein and a 5/8" iron pin set with cap marked "CESO, Inc."; thence North 02°30'19" West, continuing along the south right-of-way line of 14 Mile Road, a distance of 10.00 feet to the TRUE PLACE OF BEGINNING and containing 2.0375 acres, more or less.

EXHIBIT B

PRO PLAN



LOCATION MAP
W/10 TO SCALE

SURVEYOR NOTES

- North and bearing system based upon NAD 83, MICHIGAN SOUTH
Vertical datum based on NAVD 88 and made in conjunction with GPS observation on February 18, 2016.
- This survey does not constitute a title search by the surveyor. All information regarding record encumbrances, and other documents that might affect the quality of title to the parcel shown hereon was obtained through a certified title commitment conducted by Fidelity National Title Group, commitment number 16-110078 & 16-110077 dated January 16, 2016 at 8:00 a.m.
- All underground utilities are shown to the best of our knowledge and are based on locations taken from observed evidence. No certification is made or implied that the utilities shown are correct or that all underground utilities are shown. Miss/Dig Ticket Number #AG0500037-00A
- All data sources, documents and records shown hereon are on file in the Oakland County register of deeds.
- All monumentation shown hereon is in good condition unless otherwise noted.
- Access to the sub ect parcel is available along Haggerty Road and W. 14 Mile Road (public). No roadway improvement plans were disclosed to CESO during the survey.
- Utilities in the form of water, electric, natural gas, telephone, cable, storm sewer, sanitary sewer are all located either on the sub ect property or within the public right-of-way adjoining said parcel.
- Structures are as shown hereon, no evidence of recent earthwork and recent building construction.
- No evidence that sub ect property is being used as a sanitary landfill.
- No evidence of wetland delineation areas were evident at the time of the survey.
- This is not a recordable document for transfer of title.
- Parcel is located within "ONE X" (Areas determined to be outside the 0.2 annual chance floodplain) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 91500499F, effective date: September 23, 2005, published by the Federal Emergency Management Agency.
- Site Location: LAT 42.526748°, LONG -83.438022°
- The current Conting of the sub ect parcels are shown below:
Owned
Owned Parcel - B-3, General Business
front yard setback: 30'
front yard canopy (attached to building) setback: 30'
side yard building setback: 15'
side yard canopy setback (attached to building) setback: 15'
rear yard building setback: 20'
rear yard canopy setback (attached to building) setback: 15'
Second Parcel - OST, Office Service Technology
front yard building setback: 50'
side yard building setback: 50'
rear yard building setback: 50'
- There currently exist 15 improved parking spaces & 2 handicap parking spaces on site.

UTILITY COMPANIES

WATER & SEWER
COPR Water Service
3630 Lee Rd Drive
West MI
Department Phone: 248-755-6566

ELECTRIC
WESTERN
WESTERN
WESTERN

CSL
Central Service Power Co.

STORM SEWERS
Oakland County Drain Commission

COMMUNICATIONS
American

TITLE COMMITMENT LEGAL DESCRIPTION (owned)

Land situated in the City of Novi, County of Oakland, and State of Michigan, described as:
Part of the Northeast 1/4 of Section 1, Township 1 North, Range 8 East, City of Novi, County of Oakland, State of Michigan, and being more particularly described as follows:

Commencing at a point being the Northeast corner of said Section 1 ;

thence due West on and along the Section line (being also the centerline of 14 Mile Road) a distance of 235.00 feet to a point

thence South 00 degrees 03 minutes 30 seconds East, a distance of 60.00 feet to a point being the intersection with the Southerly right-of-way line of 14 Mile Road and being the true point of beginning;

thence continuing South 00 degrees 03 minutes 30 seconds East, a distance of 175.00 feet to a point;

thence due East a distance of 175.00 feet to a point being the intersection with the Westerly right-of-way line of Haggerty Road ;

thence North 00 degrees 03 minutes 30 seconds West on and along said right-of-way line (being also parallel to and 60 feet Westerly from the centerline of Haggerty Road and the East line of Section 1), a distance of 175.00 feet to a point being the intersection with the Southerly right-of-way line of 14 Mile Road;

thence due West, on and along said right-of-way line, a distance of 175.00 feet to the true point of beginning.

TITLE COMMITMENT LEGAL DESCRIPTION

Land situated in the Township of Novi, County of Oakland and State of Michigan, described as follows:

Part of the Northeast One-Quarter of Section 1, Township 1 North, Range 8 East, Township of Novi, County of Oakland, State of Michigan, and being more particularly described as follows:
Commencing at a point being the Northeast corner of said Section 1 ;

thence due West on and along the section line (being also the centerline of 14 Mile Road) a distance of 235.00 feet to a point ;Thence South 00 deg, 03' 30" East, a distance of 60.00 feet to a point being the intersection with the Southerly right-of-way line of 14 Mile Road and being the "True Point of Beginning";Thence continuing South 00 deg, 03' 30" East a distance of 175.00 feet

Thence due East a distance of 175.00 feet to a point being the intersection with the Westerly right-of-way line of Haggerty Road ;Thence South 00 deg, 03' 30" East on and along said right-of-way line (being also parallel to and 60 feet Westerly from the centerline of Haggerty Road and the East line of Section 1) a distance of 175.00 feet;

Thence due West a distance of 300.00 feet ;

Thence North 00 deg, 03' 30" West a distance of 300.00 feet to a point being the intersection with the Southerly right-of-way line of 14 Mile Road

Thence due East, on and along said right-of-way, a distance of 125.00 feet to the point of beginning.

EXCEPT that part which lies Northerly of a line described as: Commencing at the North One-Quarter corner of Section 1, Township 1 North, Range 8 East, City of Novi, Oakland County, Michigan 1

Thence North 87 24' 30" East along the North line of said Section 1, a distance of 2,225 feet ;

Thence South 02 deg, 35' 30" East, 70.00 feet to the point of beginning of this described line ;

Thence North 87 deg, 24' 30" East, 550 feet to a point of ending this described line, as conveyed to Michigan Department of Transportation by Deed recorded in Liber 16224, Page 586.

SCHEDULE B - SECTION II (owned):

THIS ALTA/ACSM SURVEY IS EXECUTED HEREON PER TITLE COMMITMENT PROVIDED BY FIDELITY NATIONAL TITLE GROUP, FOR THE PROPOSED INSURED SPEEDWAY, LLC.

THE POLICY OR POLICIES TO BE ISSUED WILL CONTAIN EXCEPTIONS TO THE FOLLOWING UNLESS THE SAME ARE DISPOSED OF TO THE SATISFACTION OF THE COMPANY:

COMMITMENT NO.: 16-110078
EFFECTIVE DATE: January 22, 2016 at 8:00 a.m.

8. Right of way vested in The Detroit Edison Company by instrument recorded in Liber 3247, Page 56.

- The description of this right-of-way is ambiguous therefore we are unable to determine if it affects the sub ect parcel.

9. Easement to The Detroit Edison Company recorded in Liber 4378, Page 536.

- The description of this easement is ambiguous therefore we are unable to determine if it affects the sub ect parcel.

10. Easement to The Buckeye Pipe Line Company recorded in Liber 3902, Page 305.

- This item lies within the right-of-way of Haggerty Road. During initial utility research Buckeye Pipeline stated that they would need to be notified of any work with 25' of line.

11. Easement to Buckeye Pipe Line Company recorded in Liber 4786, Page 8.

- This item lies within the right-of-way of Haggerty Road. During initial utility research Buckeye Pipeline stated that they would need to be notified of any work with 25' of line.

12. Highway Easement in favor of the Michigan Department of Transportation, as recorded in Liber 16538, Page 110.

- This item does affect the sub ect parcel and is plotted.

13. Underground Easement (Right of Way) No. R-17697-2 in favor of The Detroit Edison Company, a Michigan corporation, as recorded in Liber 18703, Page 301.

- This item does affect the sub ect parcel and is plotted.

14. Agreement to Supply Water to Speedway Supermarkets, LLC by the Charter Township of Commerce and the City of Novi, as recorded in Liber 18726, Page 158.

- This item does affect the sub ect parcel, no items to plot.

15. Easement for Water Line in favor of the City of Novi, Michigan, as recorded in Liber 10312, Page 24 and re-recorded in Liber 10450, Page 33.

- This item does affect the sub ect parcel and is plotted.

16. Easement for Sewer Line in favor of the Charter Township of Commerce, Michigan, as recorded in Liber 10327, Page 141.

- This item does affect the sub ect parcel and is plotted.

SCHEDULE B - SECTION II:

THIS ALTA/ACSM SURVEY IS EXECUTED HEREON PER TITLE COMMITMENT PROVIDED BY FIDELITY NATIONAL TITLE GROUP, FOR THE PROPOSED INSURED SPEEDWAY, LLC.

THE POLICY OR POLICIES TO BE ISSUED WILL CONTAIN EXCEPTIONS TO THE FOLLOWING UNLESS THE SAME ARE DISPOSED OF TO THE SATISFACTION OF THE COMPANY:

COMMITMENT NO.: 16-110077
EFFECTIVE DATE: January 22, 2016 at 8:00 a.m.

7. Easement to the Detroit Edison Company recorded in Liber 3247, Page 56.

- The description of this right-of-way is ambiguous therefore we are unable to determine if it affects the sub ect parcel.

8. Easement to Buckeye Pipeline Company, as recorded in Liber 4786, Page 8.

- This item lies within the right-of-way of Haggerty Road. During initial utility research Buckeye Pipeline stated that they would need to be notified of any work with 25' of line.

ALTA/ACSM LAND TITLE SURVEY
SPEEDWAY STORE #2224 - 31275 HAGGERTY ROAD NOVI, MI
CONTAINING TOTAL ACRES OF LAND
CITY OF NOVI, OAKLAND COUNTY, STATE OF MICHIGAN AND BEING PART OF
NORTHEAST QUARTER SECTION 1

DEVELOPER:
SPEEDWAY LLC
500 SPEEDWAY DR.
EMON, OHIO 43029
1.800.643.1948

OWNER:
SPEEDWAY, L.L.C.
500 SPEEDWAY DR.
EMON, OHIO 43029
1.800.643.1948



SURVEYOR
CESO INC.
4254 VANDEE STREET
DAYTON, OH 45424
PHONE: 937.458.8844

SURVEYOR'S CERTIFICATION:

TO SPEEDWAY LLC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY ITS SUCCESSORS AND/OR ASSIGNS AS THEIR RESPECTIVE INTEREST MAY APPEAR.
I HEREBY CERTIFY THAT THE MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MICHIGAN STANDARD DETAIL REQUIREMENTS FOR ALL TOWNSHIP LAND TITLE SURVEYS, AND WERE ESTABLISHED AND MONITORED BY ALTA AND ACSP, AND INCORPORATED INTO 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36 AND 37 TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 23, 2016.

DATE OF PLAN OR MAP: 2/23/2016

PRELIMINARY DATE _____
SIGNATURE: [Signature]
PROJECT: 161078 W/PLS/PS/ASB
CESO, INC.
154 EAST QUINCY COURT, SUITE B
MARIETTA, OH 45757

ALTA/ACSM LAND TITLE SURVEY			
SPEEDWAY LLC - STORE #2224			
31275 Haggerty Road Novi, MI		Section 1, T1N, R8E City of Novi, Oakland County	
SCALE: as shown	DATE: February 2016	JOB NO.: 732141	SHEET NO.: 1 OF 3
DESIGN: CESO	 CREATION TO COMPLETION www.ceso.com		SHEET NO.: 1 OF 3
DRAWN: [Signature]			
CHECKED: [Signature]			

ALTA/ACSM LAND TITLE SURVEY
 SPEEDWAY STORE #2224 - 31275 HAGGERTY ROAD NOVI, MI
 CONTAINING TOTAL ACRES OF LAND
 CITY OF NOVI, OAKLAND COUNTY, STATE OF MICHIGAN AND BEING PART
 OF NORTHEAST QUARTER SECTION 1

STRUCTURE SCHEDULE			
#	TYPE	RIM + ELEV	INV SIZE/TYPE/DIRECTION + ELEV
7257	SANITARY MANHOLE	RIM + 963.51	INV 8IN PVC ENE = 943.66 INV 8IN PVC W = 943.55 INV 10IN PVC E = 943.14 INV 8IN PVC S = 944.29 INV 10IN PVC W = 943.05
7251	SANITARY MANHOLE	RIM + 963.54	INV 8IN PVC WSW = 946.04 INV 72IN RCP N = 947.01
8040	STORM MANHOLE	RIM + 964.41	INV 30IN RCP N = 956.26 INV 30IN RCP SSE = 962.26
7480	STORM MANHOLE	RIM + 964.02	INV 48IN PVC S = 957.85 INV 12IN RCP NWN = 957.83 INV 30IN RCP NWN = 956.19
7312	CATCH BASIN	RIM + 962.08	INV 12IN RCP SSE = 956.19 INV 30IN RCP N = 957.39 INV 30IN RCP E = 956.19
7884	CATCH BASIN	RIM + 964.54	INV 48IN RCP W = 958.34 INV 10IN RCP S = 963.07
7726	CATCH BASIN	RIM + 962.21	INV 48IN RCP E = 956.68 INV 10IN RCP S = 963.07
7539	SANITARY MANHOLE	RIM + 964.57	INV 12" 777 N = 956.51 INV 12" 777 E = 956.55
3340	SANITARY MANHOLE	RIM + 965.84	INV 8IN PVC E = 958.14 INV 8IN PVC N = 947.32
3122	CATCH BASIN	RIM + 966.01	INV 4IN HDPE S = 963.11 INV 12IN RCP NW = 962.06 INV 4IN HDPE NW = 963.11

LEGEND

- Power / Telephone Pole
- Signal Pole
- Water Valve
- Valve
- Clean Out
- Sanitary Manhole
- Catchbasin
- Storm Man Basin
- Structure Number
- Electric Box (access)
- Sign
- Rebar
- Sharp
- Gas Valve
- Gas Meter
- Electric Meter
- Gas Meter
- Air Conditioner
- Man Box
- Unmarked Valve
- Demisepost
- Traffic Control Box
- Monitoring Well



SURVEY LEGEND

- 5/8" Iron Pin Set w/isp CESA, Inc
- Iron Pin Found & Described
- Iron Pipe Found & Described
- Railroad Spike Found
- Monument Found & Used
- Found (F) - Found
- Mod. (M) - Measured
- Used. (U) - Used
- Obs. (O) - Observed
- Rec. (R) - Deed
- Calc. (C) - Calculated

BASIS OF BEARINGS

The Basis of Bearings for this survey is
 NAD 83, MICHIGAN SOUTH

BM "A" - Spike in NE side of signal pole at southwest
 corner of W. 14 Mile Road and Haggerty Road
 Elevation = 965.67'

ALTA/ACSM LAND TITLE SURVEY

SPEEDWAY LLC - STORE #224

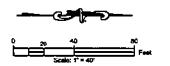
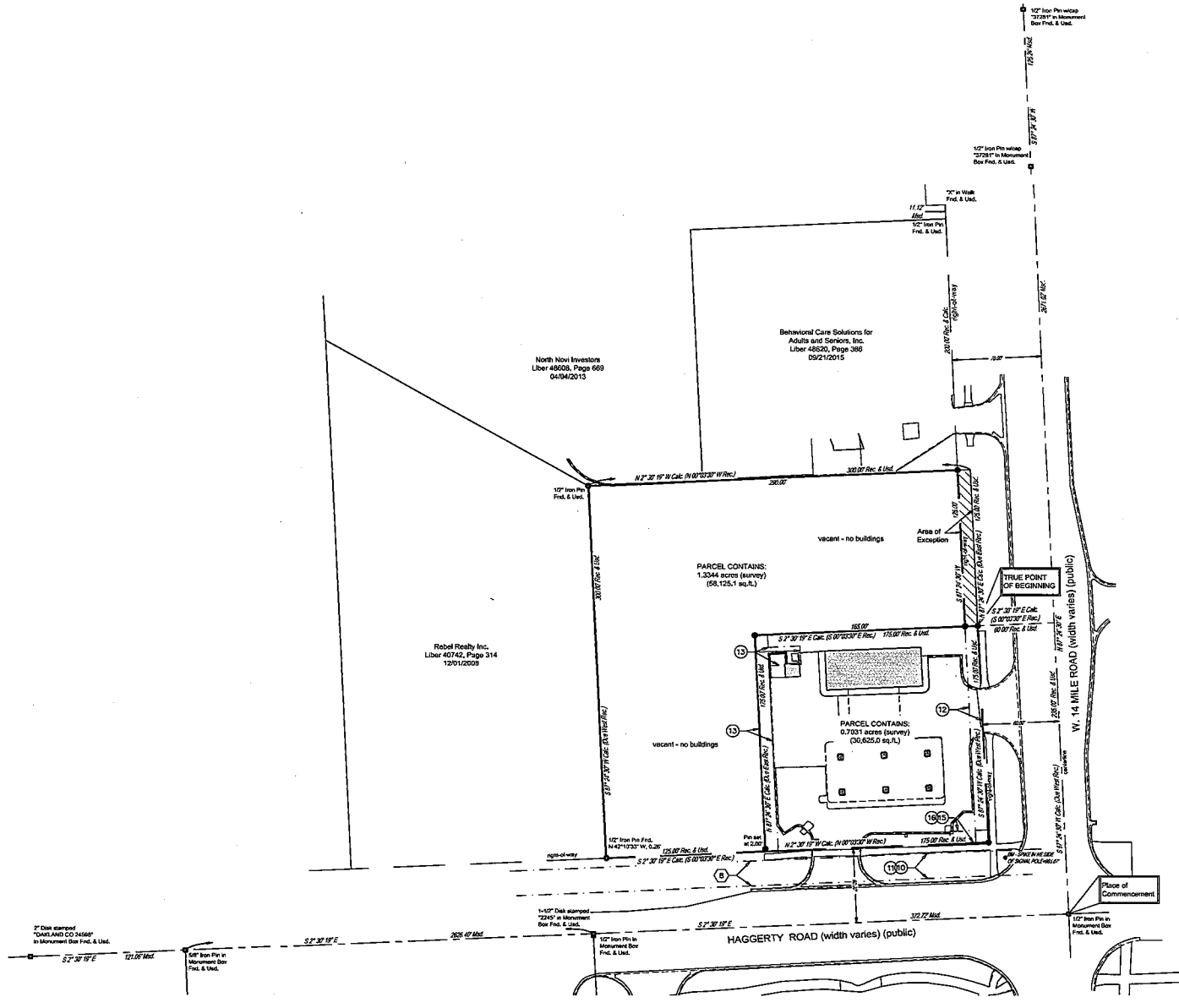
31275 Haggerty Road, Novi, MI Section 1, T1N, R9E
 City of Novi, Oakland County

SCALE: 1" = 20' DATE: February 2016

DESIGN:	ceso CREATION TO COMPLETION www.cesoinc.com	JOB NO.:
DRAWN:		752141
CHECKED:		SHEET NO.:

2 of 3

ALTA/ACSM LAND TITLE SURVEY
 SPEEDWAY STORE #2224 - 31275 HAGGERTY ROAD NOVI, MI
 CONTAINING TOTAL ACRES OF LAND
 CITY OF NOVI, OAKLAND COUNTY, STATE OF MICHIGAN AND BEING PART OF
 NORTHEAST QUARTER SECTION 1



LEGEND

- | | |
|------------------------|---------------------|
| Power / Telephone Pole | Sign |
| Power Pole | Shield |
| Signal Pole | Shump |
| Water Valve | Gas Valve |
| Hydrant | Gay Wire |
| Chain Out | Electric Meter |
| Sanitary Manhole | Gas Meter |
| Catchbasin | Air Conditioner |
| Storm Meter Basin | Heat Box |
| Telephone Manhole | Utility Valve |
| Structure Number | Downspout |
| Electric Box (access) | Traffic Control Box |
| | Monitoring Well |

SURVEY LEGEND

- - 5/8" Iron Pin Set w/ cap C&S, Inc.
 - - Iron Pin Found & Described
 - - Iron Pipe Found & Described
 - ⊕ - Railroad Spike Found
 - - Monument Found & Used.
- Frnd. (F) - Found Obs. (O) - Observed
 Meas. (M) - Measured Rec. (R) - Deed
 Used. (U) - Used Calc. (C) - Calculated

BASIS OF BEARINGS

The Basis of Bearings for this survey is
 NAD 83, MICHIGAN SOUTH

♦ BM "A" - Spike in NE side of signal pole at southwest
 corner of W. 14 Mile Road and Haggerty Road
 Elevation = 965.67'

ALTA/ACSM LAND TITLE SURVEY
SPEEDWAY LLC - STORE #2224

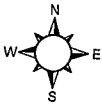
31275 Haggerty Road Section 1, T1N, R9E
 Novi, MI City of Novi, Oakland County

SCALE: 1" = 40' DATE: February 2016

DESIGN:	ceso CREATION TO COMPLETION www.cesoinc.com	JOB NO.:
DRAWN:		752141
CHECKED:		SHEET NO.:

3 OF 3

W:\PRODUCTS\SPEEDWAY\CONVEYERS\HAGGERTY\MI\2224\SURVEY\PLAN\SET1\SPEEDWAY 31275 HAGGERTY RD #2224 SURVEY AREA.DWG - 3/10/16 17:41



Speedway
Prepared by:
Speedway
Engineering and Construction Dept.
Evan, OH 43023

NO. 1	REVISION	DATE
NO. 2	REVISION	DATE
NO. 3	REVISION	DATE
NO. 4	REVISION	DATE
NO. 5	REVISION	DATE
NO. 6	REVISION	DATE
NO. 7	REVISION	DATE
NO. 8	REVISION	DATE
NO. 9	REVISION	DATE
NO. 10	REVISION	DATE

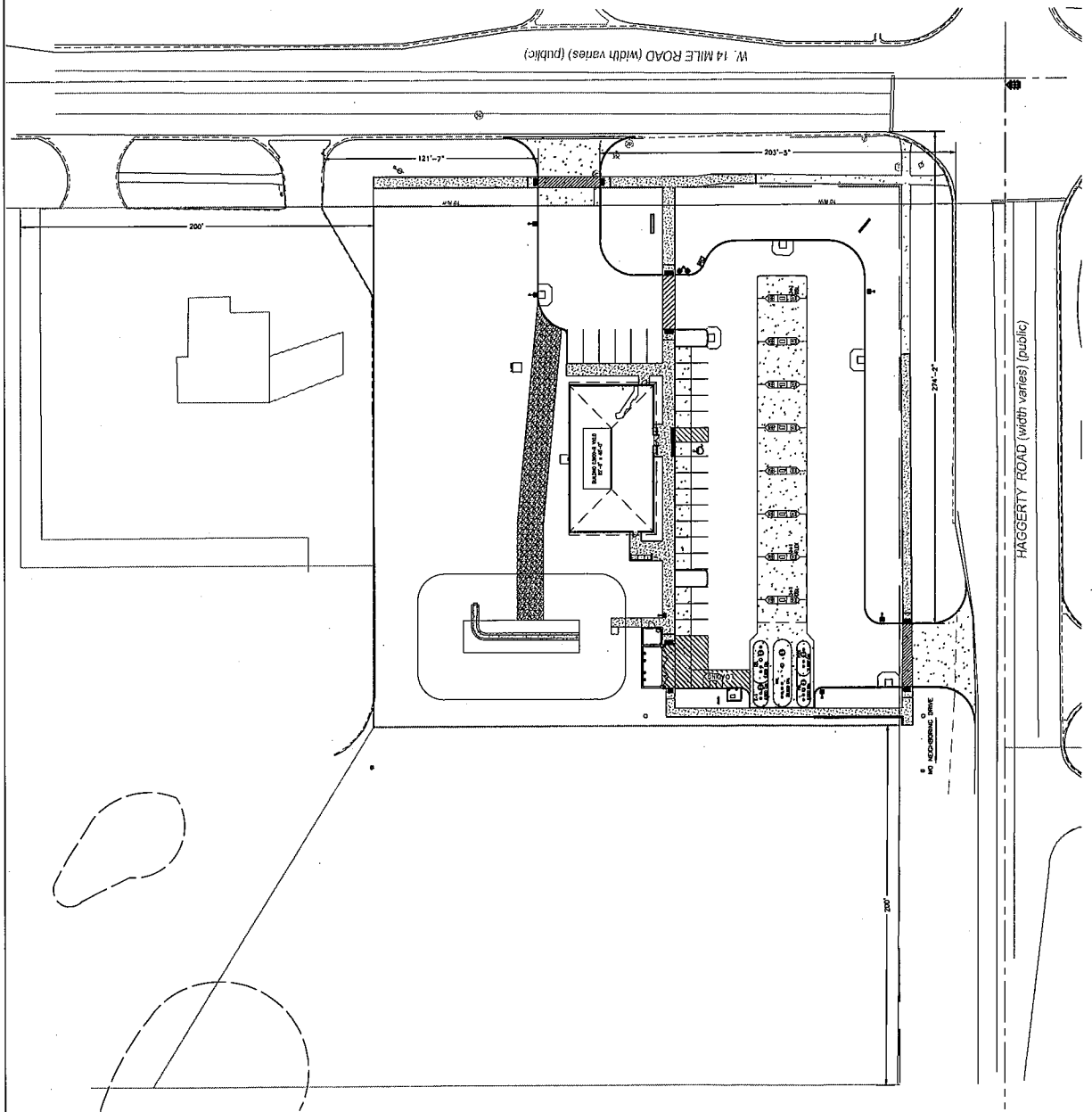
DRIVEWAY LOCATION PLAN
REBUILD
31275 HAGGERTY ROAD
OKLAHOMA COUNTY
NOVA, MI

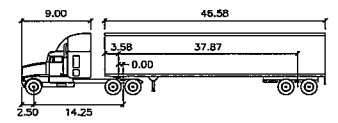
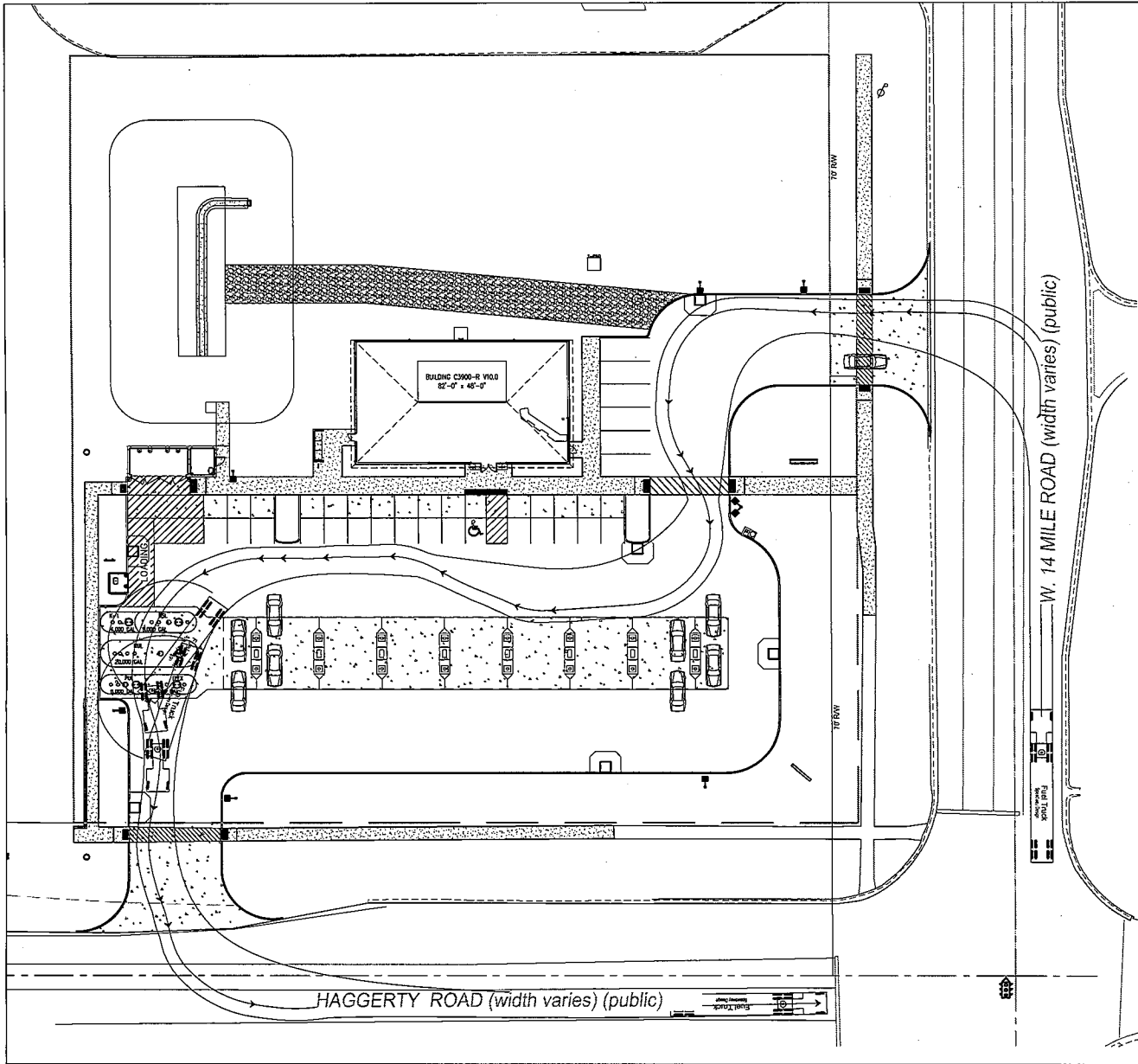
DATE OF 0002224
DATE OF 95505
NOVA 95505

2224 - CS1

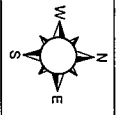
MICHIGAN 811
BEFORE YOU DIG
CALL MISS DIG
1-800-482-4000

NOTE: AS A PART OF THE CONTRACTOR'S OBLIGATIONS UNDER THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES AND AGENCIES OF THE STATE OF MICHIGAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES AND AGENCIES OF THE STATE OF MICHIGAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES AND AGENCIES OF THE STATE OF MICHIGAN.





Fuel Truck	feet		
Tractor Width	: 9.00	Lock to Lock Time	: 6.0
Trailer Width	: 37.87	Steering Angle	: 26.0
Tractor Track	: 2.50	Articulating Angle	: 70.0
Trailer Track	: 14.25		



Speedway
 Prepared by:
 Engineering and Construction Dept.
 Elyria, OH 44025

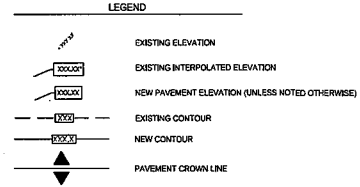
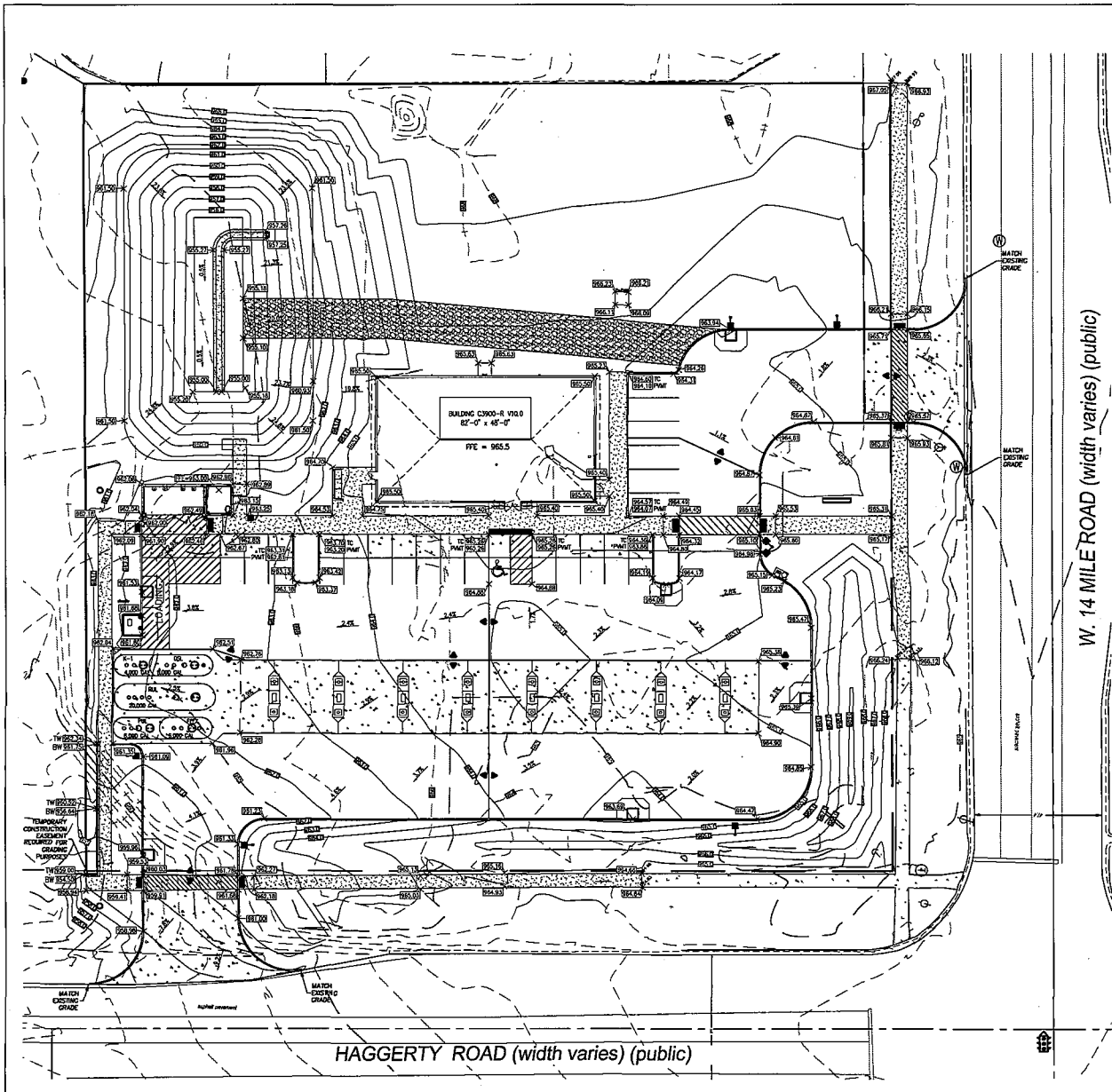
NO.	REVISIONS	DATE	BY	CHKD.
1	ISSUE FOR CONSTRUCTION			
2	ISSUE FOR CONSTRUCTION			
3	ISSUE FOR CONSTRUCTION			
4	ISSUE FOR CONSTRUCTION			
5	ISSUE FOR CONSTRUCTION			
6	ISSUE FOR CONSTRUCTION			
7	ISSUE FOR CONSTRUCTION			
8	ISSUE FOR CONSTRUCTION			
9	ISSUE FOR CONSTRUCTION			
10	ISSUE FOR CONSTRUCTION			

CIRCULATION PLAN
REBUILD
 31275 HAGGERTY ROAD
 OAKLAND COUNTY
 NOVI, MI

STAKE OR
 PLAC NO. 0002224
 PROJECT NO. 95505
 SCALE 1"=20'-0"

NOTE: AS AN AID TO THE CONTRACTOR, VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THE PLANS AND PROFILES IS TO BE OBTAINED FROM FIELD TOPOGRAPHIC AVAILABLE RECORDS, BUT THE OWNER AND ENGINEER DO NOT GUARANTEE THEIR LOCATION OR DEPTH. IN ADDITION, UNDERGROUND STRUCTURES OR SERVICES MAY NOT BE ENCOUNTERED IF THE CONTRACTOR DOES NOT ENCOUNTER A PREVIOUSLY UNRECORDED UTILITY OR STRUCTURE. ON EXCAVATION, IF ONE OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS IS INCORRECTLY LOCATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION ON HOW TO PROCEED. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES. NOTIFY MISS 907 AT 1-800-482-2771, 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.

MICHIGAN 811	3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG	1-800-482-2771
2224 - CR	

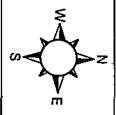


A. GENERAL NOTES

1. CONTRACTOR TO USE EXTREME CAUTION WHEN GRADING IN AND AROUND EXISTING UTILITIES. CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH PRIOR TO START OF CONSTRUCTION.
2. EXCAVATE SOILS AS NECESSARY TO COMPLETE PROPOSED CONSTRUCTION. UNLESS OTHERWISE DIRECTED (REFER TO GEOTECHNICAL REPORT), USE ALL EXCAVATED SOILS AS FILL ON SITE. ANY SOILS THAT CANNOT BE UTILIZED ON SITE SHALL BE LOADED DIRECTLY ONTO TRANSPORT TRUCKS AND HAULED TO OWNERS' APPROVED LOCATION. ANY IMPACTED SOILS ENCOUNTERED SHALL BE LOADED SEPARATELY AND SHALL NOT BE COMINGLED WITH CLEAN SOILS. ANY EXCAVATED SOIL OR MATERIALS THAT LEAVE THE SITE MUST GO TO AN APPROVED LANDFILL LOCATION OR BE ACCOMPANIED BY AN APPROVED BILL OF SALE.
3. BID AS ALTERNATE A: IMPACTED SOILS SHALL BE PLACED ON MINIMUM 6 MIL. VISQUEEN AND COVERED WITH 40' X 100' SHEETS OF 4 MIL. VISQUEEN. A SAND BERM SHALL BE CONSTRUCTED AROUND ENTIRE PILE OF SOIL TO HOLD THE VISQUEEN DOWN. ALL SEAMS OR OVERLAP OF MINIMUM IN THE VISQUEEN COVERING SHALL BE SECURED WITH WEIGHTED MATERIAL.
4. BID AS ALTERNATE B: PROVIDE DEWATERING NECESSARY FOR ANY EXCAVATIONS AND TO PREVENT TANKS FROM FLOATING WHILE THE TANKS ARE NOT COVERED BY PROPER OVERBURDEN. DEWATERING SHALL CONSIST OF SURPUMPING EQUIPMENT AND LABOR TO MAINTAIN PUMPING ACTIVITIES AS NECESSARY. COORDINATE WITH OWNERS' REPRESENTATIVE TO DETERMINE WHERE WATER CAN BE PUMPED. IDENTIFY THIS COST AS A SPECIFIC LINE ITEM IN THE BID. DISPOSAL OF CONTAMINATED WATER SHALL BE THE OWNER'S RESPONSIBILITY.
5. THE ENVIRONMENTAL CONSULTANT AND THE CONTRACTOR SHALL USE THE 'SOILS WORKSHEET' TO ACCOUNT FOR ALL EXCAVATED SOILS.
6. A REPORT OF THE SUBSURFACE INVESTIGATION IS MADE AVAILABLE TO THE CONTRACTOR AT TIME OF BIDDING. THE BASE BID SHALL INCLUDE LAND BALANCING ACTIVITIES BASED ON THE ASSUMPTION THAT EXCAVATED SOIL CAN BE REUSED AS NECESSARY FOR CONSTRUCTION. UPON REVIEWING THE SUBSURFACE INVESTIGATION, CONTRACTOR SHALL INCLUDE THE FOLLOWING AS ALTERNATE: OVER-EXCAVATE AREAS OF UNSUITABLE SOILS AND STABLE E AREAS PER THE SUBSURFACE INVESTIGATION. ESTIMATE QUANTITY OF OVER-EXCAVATED AREAS AND REPLACEMENT BACKFILL IN EACH AREA, ALONG WITH THE TYPE OF BACKFILL. ACTUAL QUANTITIES WILL BE VERIFIED DURING CONSTRUCTION PER THE DIRECTION OF THE GEOTECH CONSULTANT AND OWNERS' REPRESENTATIVE, WITH DETAILED CHANGE ORDERS SUBMITTED TO OWNER.
7. ANY DISCREPANCIES BETWEEN ELEVATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE AND THE DESIGN ENGINEER.

W. 14 MILE ROAD (width varies) (public)

HAGGERTY ROAD (width varies) (public)



Speedway®
 Provided by:
 Engineering and Construction Dept.
 ENCL. 011-15253

NO.	REVISIONS	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR PERMIT				
2	ISSUED FOR PERMIT				
3	ISSUED FOR PERMIT				
4	ISSUED FOR PERMIT				
5	ISSUED FOR PERMIT				
6	ISSUED FOR PERMIT				
7	ISSUED FOR PERMIT				
8	ISSUED FOR PERMIT				
9	ISSUED FOR PERMIT				
10	ISSUED FOR PERMIT				

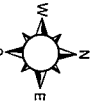
**GRADING PLAN
 REBUILD**
 31275 HAGGERTY ROAD
 OAKLAND COUNTY
 NOVI, MI

STAGE OR BLDG. NO. 0002224
 VERSION OR PROJECT NO. 95505
 SCALE 1"=20'-0"

NOTE: AS AN AID TO THE CONTRACTOR, VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL UTILITIES SHOWN ON THESE PLANS AND PROFILES IS TAKEN FROM FIELD TOP AND/OR AVAILABLE RECORDS. BUT THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND/OR STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND/OR STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND/OR STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND/OR STRUCTURES PRIOR TO CONSTRUCTION.

MICHIGAN 811
 3 WORKING DAYS BEFORE YOU DIG
 CALL MESS DIG
 1-800-487-7271

DESIGN TEAM DATE
 DORR: FL THORNTON 04/15/15
 PARK: J. COUCH 04/15/15
 ENGR: B. BAIRD 04/15/15
 2224 - CG



- PLAN NOTES**
1. WATER CONNECTION
 2. GAS CONNECTION
 3. ELECTRIC CONNECTION
 4. TELEPHONE CONNECTION
 5. SANITARY SERVICE CONNECTION (MONITORING MANHOLE)
 6. PROPOSED ABOVEGROUND DETENTION

EXISTING LEGEND	PROPOSED LEGEND
--- S	--- SW
--- SS	--- SAN
--- G	--- G
--- W	--- W
--- OE	--- OE
	--- S
	--- SAN
	--- G
	--- W
	--- OE

DETENTION BASIN CALCULATION

ASSUMPTION:
 1. THE DETENTION SYSTEM WAS DESIGNED USING THE FLOOD STORAGE VOLUME REQUIREMENT CALCULATIONS AS PROVIDED IN THE ENGINEERING DESIGN MANUAL FOR THE CITY OF NOKIA.

Mathematical Equations:

$$V = C_d A \sqrt{2gh}$$

$$Q = \frac{dV}{dt} = C_d A \sqrt{2g} \frac{dh}{dt}$$

$$\int_0^H Q dt = C_d A \sqrt{2g} \int_0^H dh$$

$$V = C_d A \sqrt{2g} H$$

$$H = \frac{V}{C_d A \sqrt{2g}}$$

$$H = \frac{965.50}{0.6 \times 100 \times \sqrt{2 \times 32.2}}$$

$$H = 1.47 \text{ ft}$$

$$V = 0.6 \times 100 \times 1.47 \times 100 = 8820 \text{ cu ft}$$

$$V = 965.50 \text{ cu ft}$$

$$V_{\text{required}} = 965.50 \text{ cu ft}$$

$$V_{\text{available}} = 8820 \text{ cu ft}$$

$$V_{\text{available}} > V_{\text{required}}$$
 Therefore, the detention basin is adequate for the design flow.

STORMSEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	GRATE	INVERT
1	4X4 CB	960.00	958.00 (12') S
2	4X4 CB	963.69	963.69 (12') W
3	4X4 CB	961.56	959.56 (12') N
4	4X4 CB	965.38	965.38 (12') SW
			958.59 (12') S
5	4X4 CB	964.09	964.09 (12') NE
			958.59 (12') W
6	4X4 CB	963.95	958.09 (12') E
			958.09 (12') S
7	AQUA SWIRL UNIT	965.09	957.97 (12') N
			957.97 (12') S
8	HEADWALL	959.79	959.79 (12') E
9	HEADWALL	955.00	955.00 (12') E
10	OUTLET CONTROL STRUCTURE	960.15	954.91 (12') W
			954.91 (12') S
11	YARD DRAIN	960.62	954.66 (12') E
			954.66 (12') E
12	YARD DRAIN	958.52	958.52 (12') NW
			953.87 (12') S
13	HEADWALL	953.72	953.72 (12') S

Materials List		
Type	Size	Material
Sanitary	6"	PVC
Water	1" or 1.5"	Copper
Gas	1.25"	Polyethylene
Storm	Varies	HDPE

W. 14 MILE ROAD (width varies) (public)

HAGGERTY ROAD (width varies) (public)

NOTE: AS AN AID TO THE CONTRACTOR, VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL UTILITIES SHOWN ON THESE PLANS AND PROFILES ARE TAKEN FROM FIELD TOPOGRAPHIC RECORDS, BUT THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES SHOWN ON THESE PLANS AND PROFILES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.

MICHIGAN 811
 3 WORKING DAYS BEFORE YOU DIG
 CALL MESS DIG
 1-800-487-7171

UTILITIES PLAN REBUILD
 31275 HAGGERTY ROAD
 OAKLAND COUNTY
 NOKIA, MI

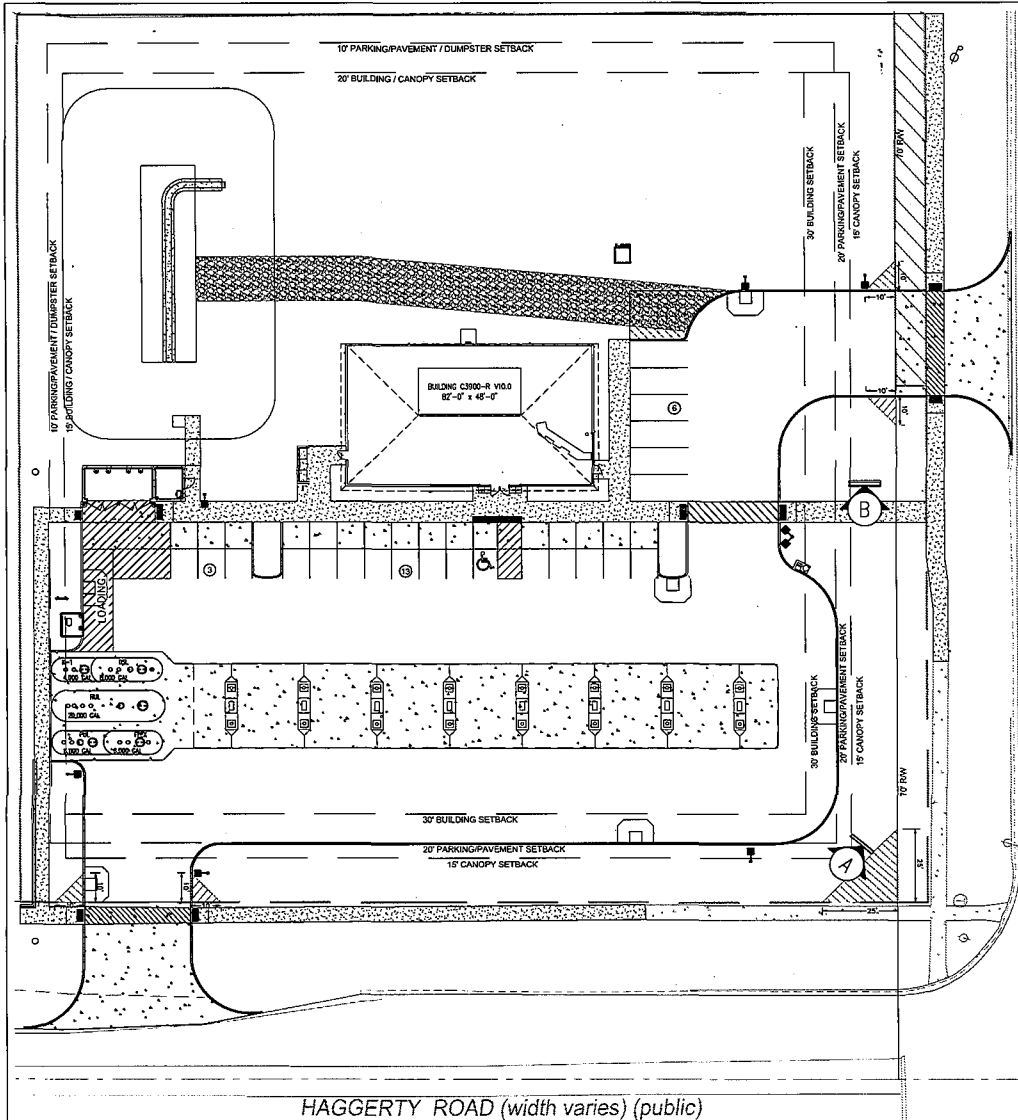
DATE OF RUC NO. 0002224
 VERSION OF 95505
 PROJECT NO. 2224-CU

NO.	NAME	DATE
1	R. THORNTON	04/15/16
2	J. COUCH	04/15/16
3	B. BAIRD	04/15/16
4		
5		

2224 - CU



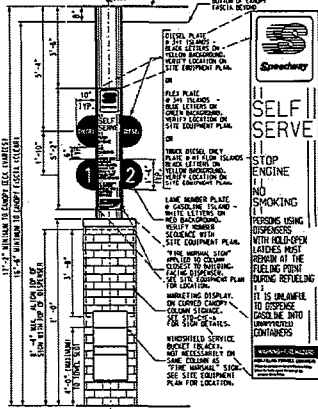
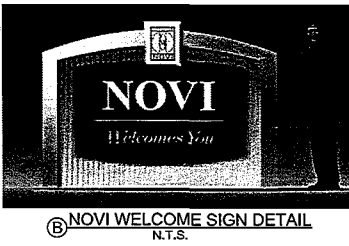
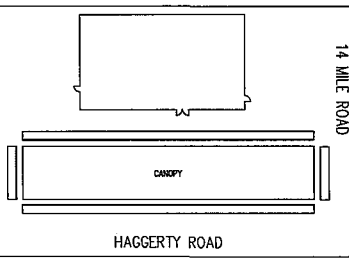
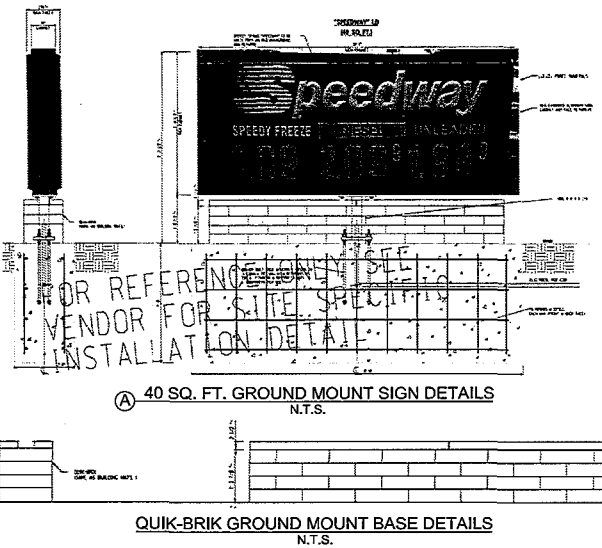
NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS			
2	ISSUED FOR CONSTRUCTION			
3	ISSUED FOR RECORD			
4	ISSUED FOR AS-BUILT			
5	ISSUED FOR FINAL RECORD			
6	ISSUED FOR FINAL RECORD			
7	ISSUED FOR FINAL RECORD			
8	ISSUED FOR FINAL RECORD			
9	ISSUED FOR FINAL RECORD			
10	ISSUED FOR FINAL RECORD			
11	ISSUED FOR FINAL RECORD			
12	ISSUED FOR FINAL RECORD			
13	ISSUED FOR FINAL RECORD			
14	ISSUED FOR FINAL RECORD			
15	ISSUED FOR FINAL RECORD			
16	ISSUED FOR FINAL RECORD			
17	ISSUED FOR FINAL RECORD			
18	ISSUED FOR FINAL RECORD			
19	ISSUED FOR FINAL RECORD			
20	ISSUED FOR FINAL RECORD			



SIGNAGE TOTALS

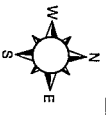
REF. KEY	LOCATION	MESSAGE	ILLUMINATION	DIMENSION	AREA
A	NORTHEAST CORNER	TRADEMARK/PRICE	ILLUMINATED	3'-1 1/2" X 10'-1"	40 SF
				SITE TOTAL	40 SF

W. 14 MILE ROAD (width varies) (public)



NOTE: AS AN ADD TO THE CONTRACTOR, VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL INFORMATION CONTAINED ALL UTILITIES SHOWN ON THE PLANS AND PROFILES IS TAKEN FROM FIELD TOPOGRAPHIC AVAILABLE RECORDS, BUT THE OWNER AND ENGINEER DO NOT WARRANT THEIR LOCATION, DEPTH OR THE ACCURACY OF THESE UNDERGROUND STRUCTURES OR UTILITIES MAY NOT BE ENCOUNTERED. IF THE CONTRACTOR DOES ENCOUNTER A PREVIOUSLY UNKNOWN UTILITIES OR UNDERGROUND STRUCTURES, OR OTHERWISE, ONE OF THE CONTRACTOR'S CONTRACTORS SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTIONS ON HOW TO PROCEED. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO UTILITIES. NOTIFY "SEE DWP" AT 1-800-487-7171 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.

MICHIGAN 811
 3 WORKING DAYS BEFORE YOU DIG
 CALL MISS DIG 1-800-487-7171



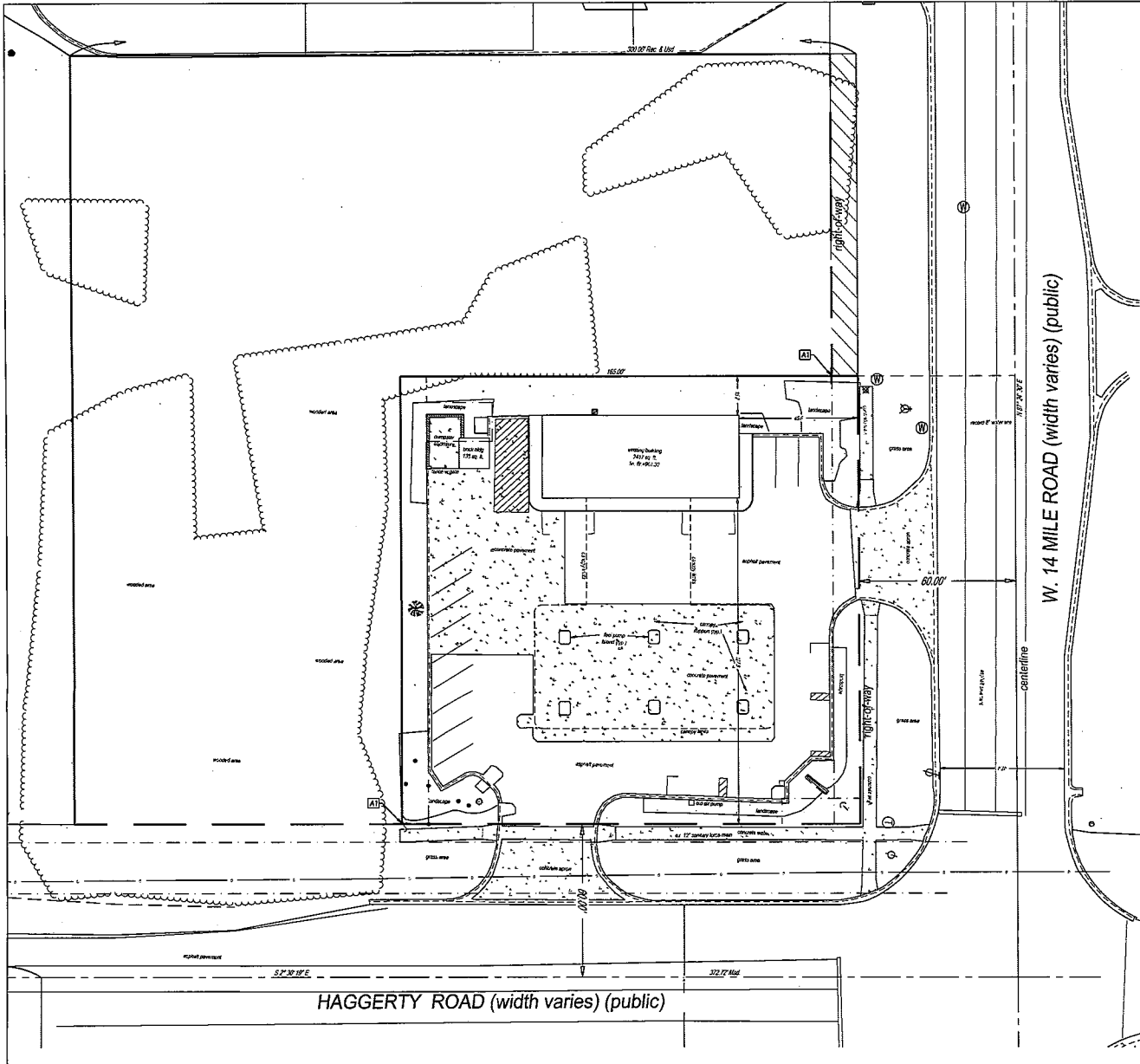
Speedway®
 Prepared by:
 Engineering and Construction Dept.
 Eshon, OH 45833

SIGNAGE PLAN
 REBUILD
 3125 HAGGERTY ROAD
 OAKLAND COUNTY
 NOVI, MI

NO.	PROJECT	DATE	DESCRIPTION
1	NOVI WELCOME SIGN	11/20/24	FOR SITE PLAN
2	NOVI WELCOME SIGN	11/20/24	FOR SIGNAGE PLAN
3	NOVI WELCOME SIGN	11/20/24	FOR CONSTRUCTION SET

PROJECT NO.	0002224
VERSION NO.	95505
SCALE	1" = 20'-0"
DRAWN BY	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

2224 - SS

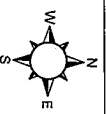


- A. GENERAL NOTES**
1. THE ONING SIGNS TO BE INSTALLED ON VACANT LOT.

**ZONING CHANGE PROPOSED
 FROM OFFICE SERVICE
 TECHNOLOGY (OST) AND
 GENERAL BUSINESS (B-3)
 TO GENERAL BUSINESS DISTRICT
 PLAN REZONING OVERLAY
 (B-3/PRO)**

FOR MORE INFORMATION CALL:
 NOV1 COMMUNITY DEVELOPMENT DEPARTMENT
 248-347-0475

REZONING SIGN DETAIL



Speedway
 Prepared by:
 Engineering and Construction Dept.
 Elyria, OH 44022

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	11/11/11
2	REVISED PER CITY COMMENTS	11/11/11
3	REVISED PER CITY COMMENTS	11/11/11
4	REVISED PER CITY COMMENTS	11/11/11
5	REVISED PER CITY COMMENTS	11/11/11
6	REVISED PER CITY COMMENTS	11/11/11
7	REVISED PER CITY COMMENTS	11/11/11
8	REVISED PER CITY COMMENTS	11/11/11
9	REVISED PER CITY COMMENTS	11/11/11
10	REVISED PER CITY COMMENTS	11/11/11

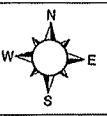
REZONING SIGN PLAN
REBUILD
 31275 HAGGERTY ROAD
 OAKLAND COUNTY
 NOV1, MI

STATE OR BLCK NO. 0002224
 COUNTY NO. 95505
 PROJECT NO. 11-20-0

DESIGN TEAM	DATE
ENGINEER: R. THORNTON CHECKER: J. COUCH DESIGNER: S. BAIRD	3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-1311
SHEET NO. 2224 - SS1	

NOTE: AS AN AID TO THE CONTRACTOR, VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THESE PLANS AND PROFILES IS TAKEN FROM FIELD TOPO AND/OR AVAILABLE RECORDS, BUT THE OWNER AND ENGINEER DO NOT WARRANT THEIR ACCURACY OR LOCATION. ON THIS DATE, THE CONTRACTOR HAS BEEN ADVISED THAT THERE MAY BE AN UNDERGROUND STRUCTURE OR UTILITY IN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR DIRECTION ON HOW TO PROCEED. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES. NOTIFY MISS DIG AT 1-800-482-1311, 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.





Speedway
Landscape Architecture
12055 Grand River Ave. #100
Grand Rapids, MI 49506
(616) 878-7777
www.speedwayla.com

REBUILD
LANDSCAPE PLAN
2175 HACKBERRY ROAD
OKLAND COUNTY
HOW, MI
PROJECT NO. 0002224
DATE: 09/09/03
SHEET NO. 2 OF 2

DATE: 09/09/03
SHEET NO. 2 OF 2
PROJECT NO. 0002224

GENERAL NOTES

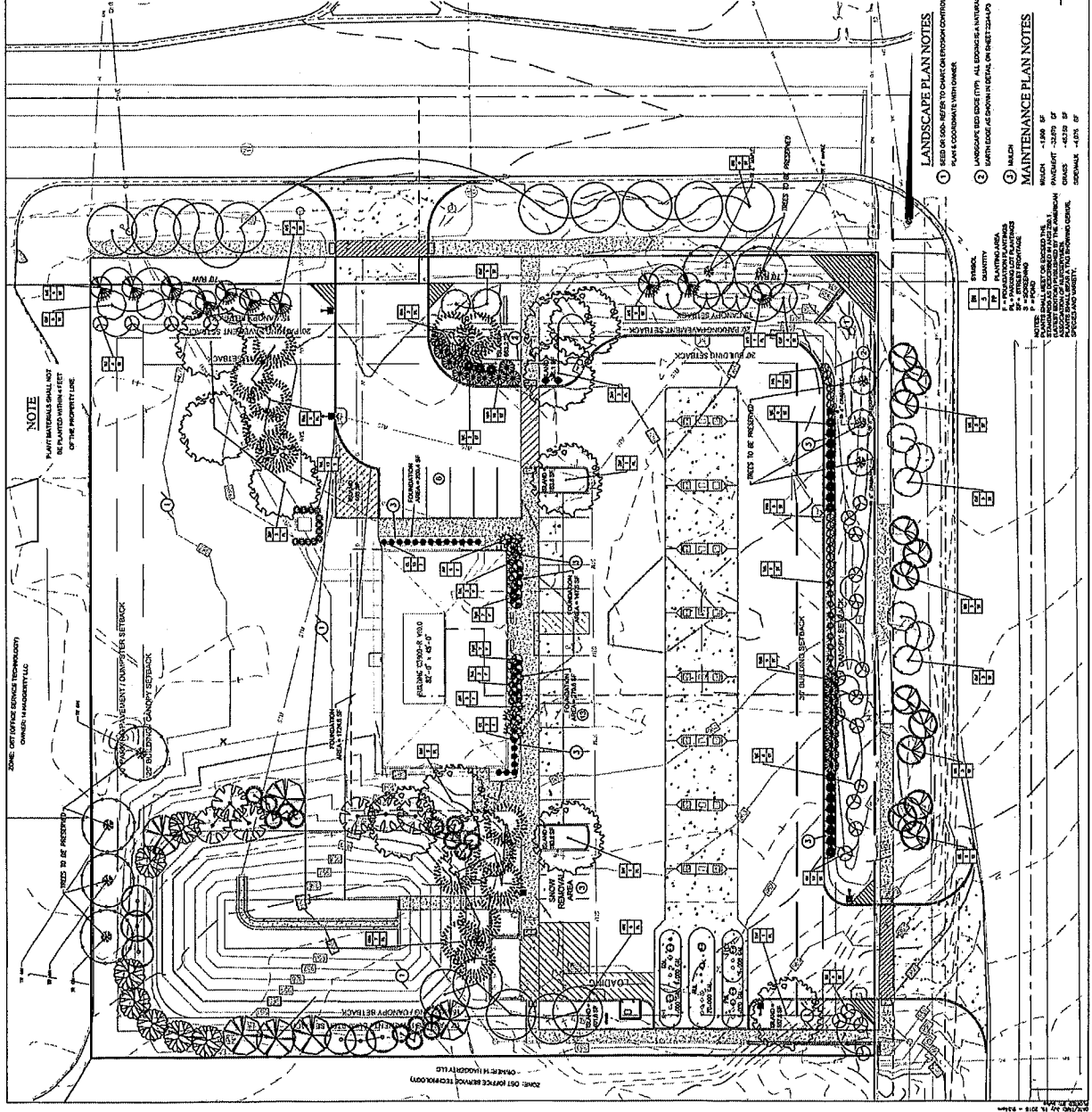
- ALL EXISTING UTILITIES AND OBSTRUCTIONS SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND DEPTH OF ALL EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINMENT AND MAINTENANCE OF ALL NECESSARY PERMITS AND APPROVALS THROUGHOUT THE PROJECT.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE RECOMMENDATIONS OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL PLANTING THROUGHOUT THE PROJECT.
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PLANT SCHEDULE

SYM	POTENTIAL NAME	COMMON NAME	SIZE	PLANTING NOTES	PLANTING NOTES	PLANTING NOTES
00	GRASS/STRAW	GRASS/STRAW	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
01	SHRUBS	SHRUBS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
02	TREES	TREES	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
03	ROCKS	ROCKS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
04	WATER	WATER	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
05	PAVING	PAVING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
06	CONCRETE	CONCRETE	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
07	IRRIGATION	IRRIGATION	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
08	FURNITURE	FURNITURE	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
09	ART	ART	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
10	SCULPTURE	SCULPTURE	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
11	BENCHES	BENCHES	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
12	STAIRS	STAIRS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
13	RAMP	RAMP	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
14	WALKWAYS	WALKWAYS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
15	DRIVEWAYS	DRIVEWAYS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
16	ROADS	ROADS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
17	ALLEYS	ALLEYS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
18	DECKING	DECKING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
19	PERGOLAS	PERGOLAS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
20	SCREENS	SCREENS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
21	PARTIAL ROOF	PARTIAL ROOF	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
22	FULL ROOF	FULL ROOF	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
23	WALLS	WALLS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
24	DOORS	DOORS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
25	WINDOWS	WINDOWS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
26	CEILING	CEILING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
27	FLOORS	FLOORS	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
28	ROOFING	ROOFING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
29	MECHANICAL	MECHANICAL	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
30	ELECTRICAL	ELECTRICAL	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
31	PLUMBING	PLUMBING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
32	CONCRETE	CONCRETE	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
33	FOUNDATION	FOUNDATION	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
34	FRAMING	FRAMING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
35	CLADDING	CLADDING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
36	INSULATION	INSULATION	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
37	MECHANICAL	MECHANICAL	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
38	ELECTRICAL	ELECTRICAL	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
39	PLUMBING	PLUMBING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
40	CONCRETE	CONCRETE	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
41	FOUNDATION	FOUNDATION	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
42	FRAMING	FRAMING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
43	CLADDING	CLADDING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
44	INSULATION	INSULATION	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
45	MECHANICAL	MECHANICAL	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
46	ELECTRICAL	ELECTRICAL	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
47	PLUMBING	PLUMBING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
48	CONCRETE	CONCRETE	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
49	FOUNDATION	FOUNDATION	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN
50	FRAMING	FRAMING	2.00' X 2.00'	SEE PLAN	SEE PLAN	SEE PLAN

REQUIREMENTS:

- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE RECOMMENDATIONS OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL PLANTING THROUGHOUT THE PROJECT.
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LANDSCAPE PLAN NOTES

- SEE GROUND REFERENCE TO OTHER ORIGINATOR CONTROL.
- SEE GROUND REFERENCE TO OTHER ORIGINATOR CONTROL.
- SEE GROUND REFERENCE TO OTHER ORIGINATOR CONTROL.

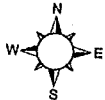
MAINTENANCE PLAN NOTES

- SEE GROUND REFERENCE TO OTHER ORIGINATOR CONTROL.
- SEE GROUND REFERENCE TO OTHER ORIGINATOR CONTROL.
- SEE GROUND REFERENCE TO OTHER ORIGINATOR CONTROL.

DATE: 09/09/03
SHEET NO. 2 OF 2
PROJECT NO. 0002224

MICHIGAN 811
BEFORE YOU DIG
CALL 811
1-800-487-3373

DATE: 09/09/03
SHEET NO. 2 OF 2
PROJECT NO. 0002224



Speedway
 Registered Professional Engineering Firm
 1225 Haggerty Road, Suite 100
 Oakland County, MI 48866
 Phone: 248-582-3300

DATE: 12/20/2021
 DRAWN BY: J. B. BISHOP
 CHECKED BY: J. B. BISHOP
 PROJECT NO: 2021-0002224
 SHEET NO: 2224-EX

EXISTING TREE SURVEY
 REBUILD
 1225 HAGGERTY ROAD
 OAKLAND COUNTY
 NOM, MI

PROJECT NO: 2021-0002224
 SHEET NO: 2224-EX

ESTIMATE TABLE

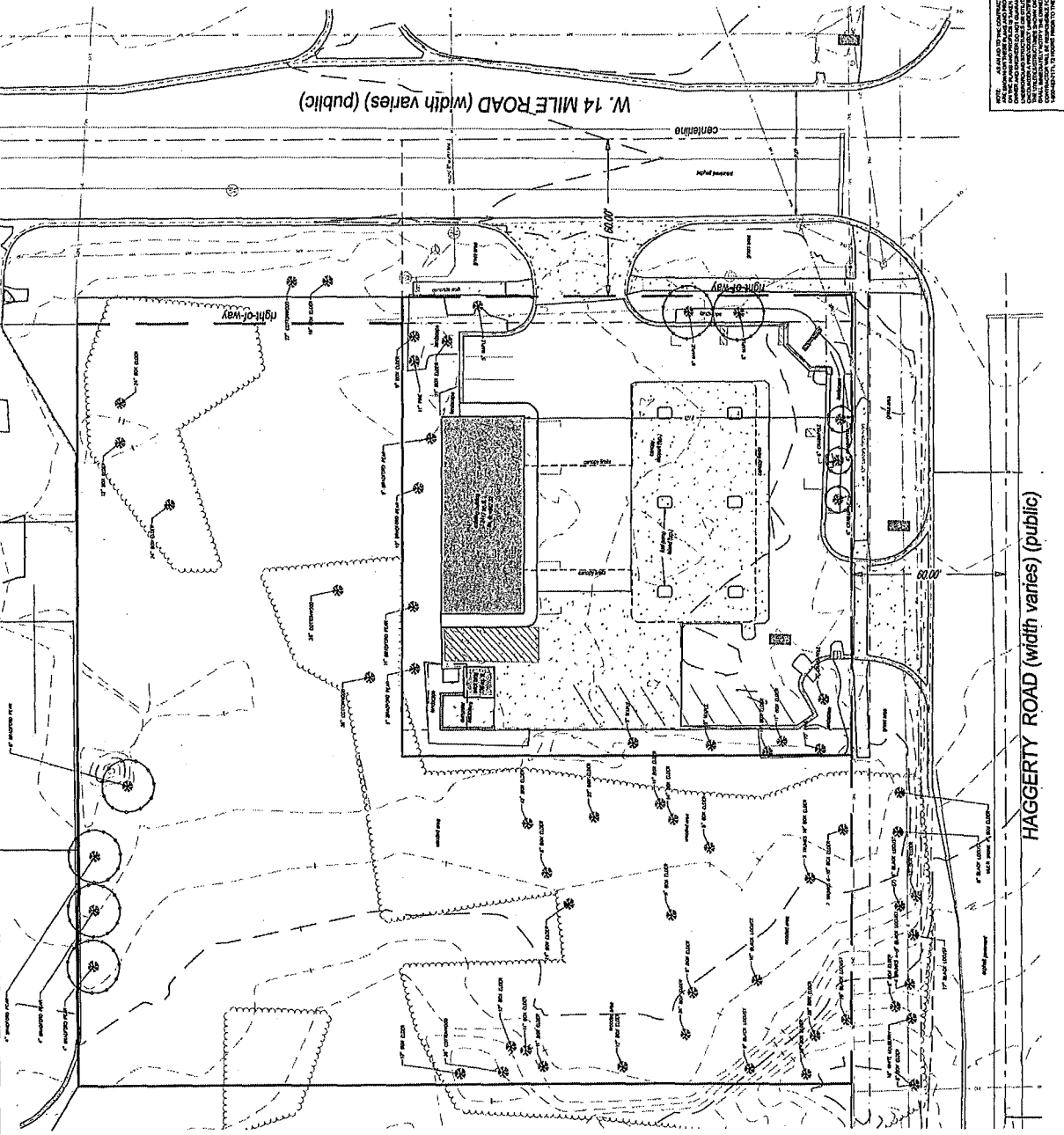
NO.	DESCRIPTION	AMOUNT
1	DESIGN	10,000.00
2	CONSTRUCTION	100,000.00
3	MAINTENANCE	50,000.00
4	TOTAL	160,000.00

MICHIGAN 811
 BEFORE YOU DIG
 CALL 811
 1-800-487-8847

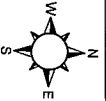
PRESERVATION LEGEND
 THIS LEGEND IS TO BE USED TO IDENTIFY THE LOCATION AND SPECIES OF TREES TO BE PRESERVED. ALL TREES TO BE PRESERVED SHALL BE IDENTIFIED BY CALIPER AND TAG. THE TAG SHALL BE PLACED IN THE NEAREST CONSPICUOUS LOCATION TO THE TREE. THE TAG SHALL BE PLACED AT THE CALIPER LOCATION.

PRESERVATION CREDIT TABLE

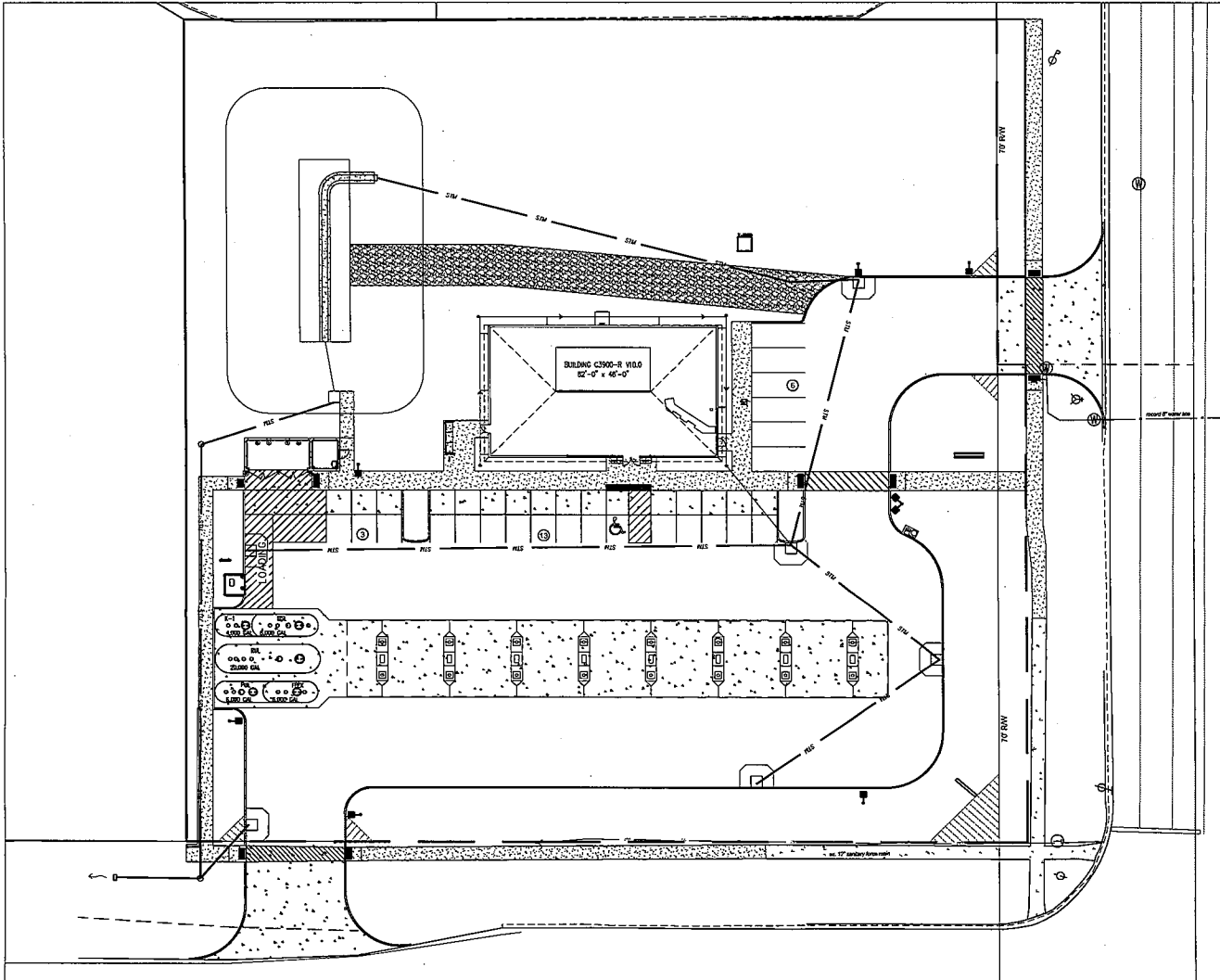
TREES TO BE PRESERVED	CALIPER	CREDIT PROVIDED
BRADFORD PEAR	4"	1
BRADFORD PEAR	4"	1
BRADFORD PEAR	4"	1
BRADFORD PEAR	4"	1
MAPLE	4"	1
MAPLE	4"	1
CHAMPAINE	4"	1
CHAMPAINE	4"	1
DOGWOOD	4"	1
TOTAL CREDIT PROVIDED		9



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Speedway
 Surveying
 Engineering
 ERIE, OH 43023 Construction Dept.



DETENTION BASIN CALCULATION

ASSUMPTION:
 1. THE DETENTION SYSTEM WAS DESIGNED USING THE FLOOD STORAGE VOLUME REQUIREMENT CALCULATIONS AS PROVIDED IN THE ENGINEERING DESIGN MANUAL FOR THE CITY OF NOVI.

Design Data
 C = 0.015
 C₁ = 0.015
 C₂ = 0.015
 C₃ = 0.015
 C₄ = 0.015
 C₅ = 0.015
 C₆ = 0.015
 C₇ = 0.015
 C₈ = 0.015
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STORM WATER MANAGEMENT PLAN REBUILD
 31275 HARGRETT ROAD
 CHAGUINANT
 NOVI, MI

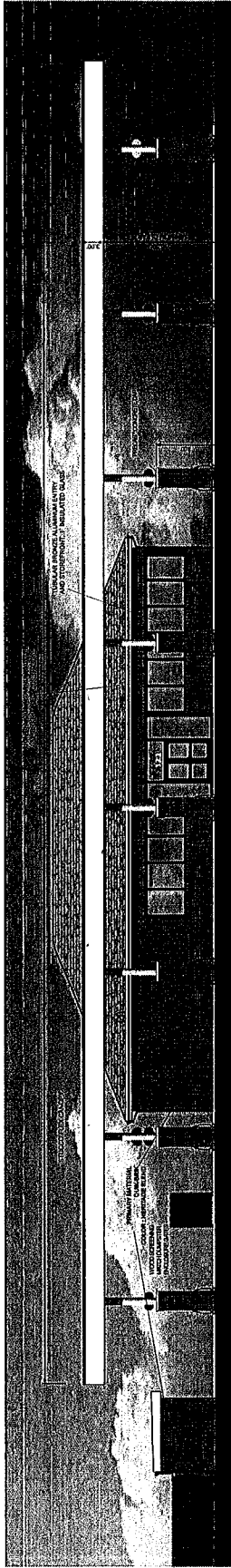
STATE OR BLDG NO. 0002224
 REGION OR PROJECT ID 95505
 SCALE 1"=20'-0"

NOTE: AS AN AID TO THE CONTRACTOR, VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THE PLANS AND PROFILES IS TAKEN FROM FIELD TOPO AND/OR AVAILABLE RECORDS, BUT THE OWNER AND ENGINEER DO NOT GUARANTEE THEIR LOCATION, DEPTH, OR ANY ADDITIONAL UNDERGROUND STRUCTURES OR UTILITIES MAY NOT BE ENCOUNTERED BY THE CONTRACTOR OR A SUBCONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THESE PLANS BY CONDUCTING A UTILITY LOCATING SURVEY PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR DIRECTION IN THE EVENT OF ANY UNEXPECTED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES. WORKY SHALL BE AT 1-800-482-7374 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.

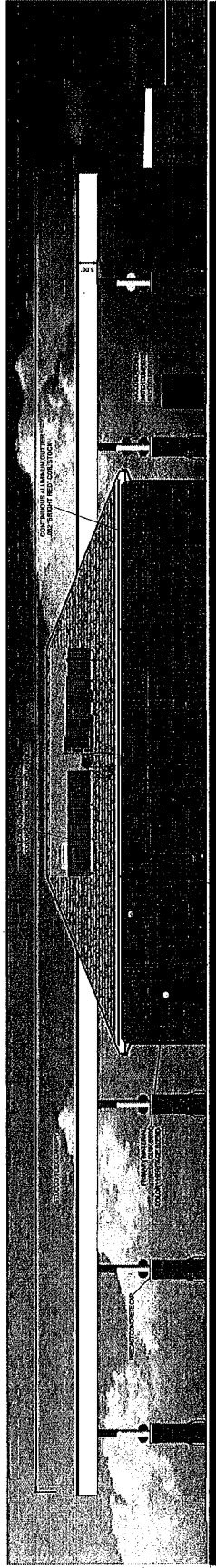
MICHIGAN 811

DESIGN TEAM	DATE
OWNER: R. THORNTON	04/15/16
DESIGNER: J. COUCH	04/15/16
CHECKER: B. BAIRD	04/15/16
PROJECT NO.	2224 - SWMP

WORKING DAYS BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7374



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

Primary Material Breakout (Category)

Area / Item	Percentage	Volume
Asph Sheds (Sheds)	66%	20,275
Asph Shed (Roof)	20.25%	6,516
Roof Columns	18%	5,508
Total	100.00%	32,299

Area / Item	Percentage	Volume
Asph Sheds (Sheds)	95%	29,085
Asph Shed (Roof)	15%	4,587
Roof Columns	10%	3,027
Total	100.00%	36,700

Primary Material Breakout (Per Elevation)

Elevation	Sheds	Roof	Columns	Total	Percentage
Front	12	1	1	14	43.8%
Right	12	1	1	14	43.8%
Left	12	1	1	14	43.8%
Back	12	1	1	14	43.8%
Total	48	4	4	56	100.00%

Elevation	Sheds	Roof	Columns	Total	Percentage
Front	12	1	1	14	43.8%
Right	12	1	1	14	43.8%
Left	12	1	1	14	43.8%
Back	12	1	1	14	43.8%
Total	48	4	4	56	100.00%

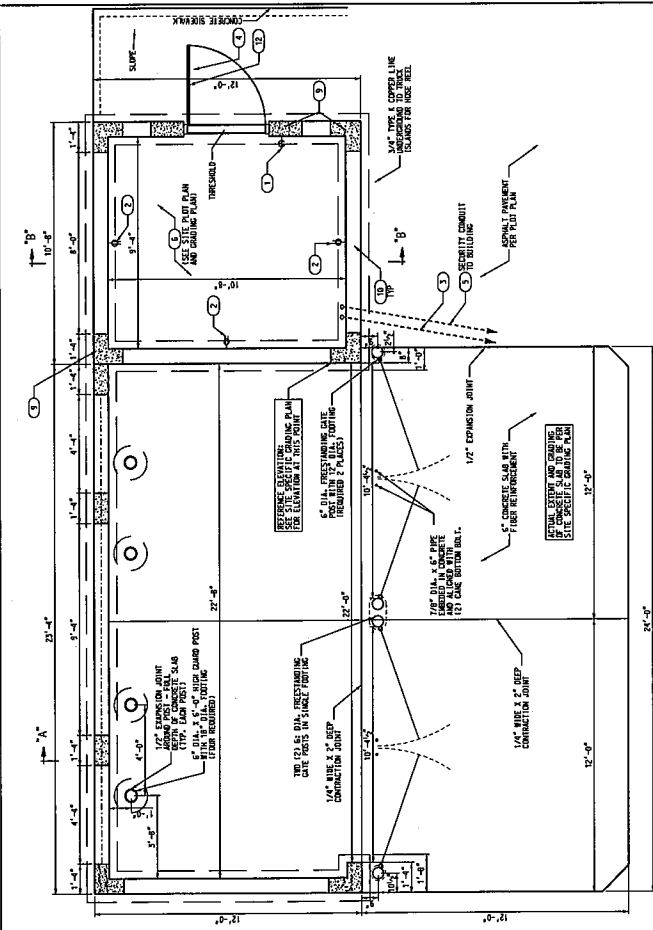
Speedway
 31722 Haggerty Road
 Dublin, OH 43022

Area / Item	Percentage	Volume
Asph Sheds (Sheds)	95%	29,085
Asph Shed (Roof)	15%	4,587
Roof Columns	10%	3,027
Total	100.00%	36,700

BUILDING ELEVATIONS
 REBUILD
 31722 Haggerty Road
 DUBLIN, OH, MI

2224
 PROJECT # 95505
 SCALE 1/8" = 1'-0"
 DATE 11/18/11
 DRAWN BY JTP
 CHECKED BY JTP
 DATE 11/18/11
 2224-ELE

FOUNDATION PLAN AND FRONT ELEVATION



1. GATES SHALL BE CONSTRUCTED WITH 3\"/>

2. GATES SHALL BE CONSTRUCTED WITH 3\"/>

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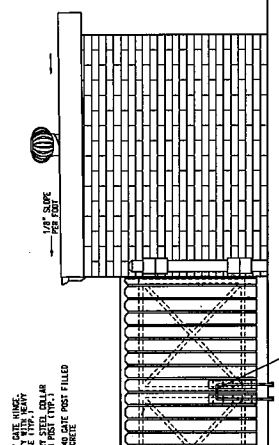
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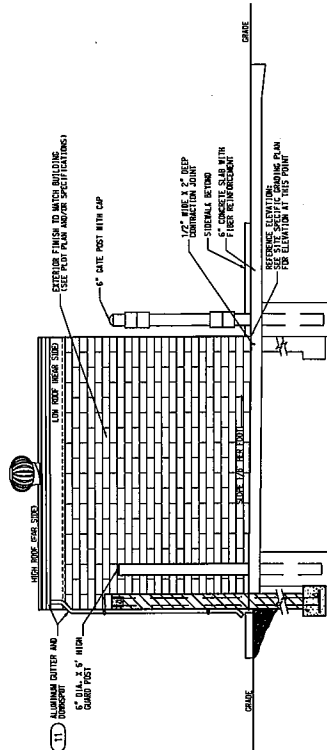
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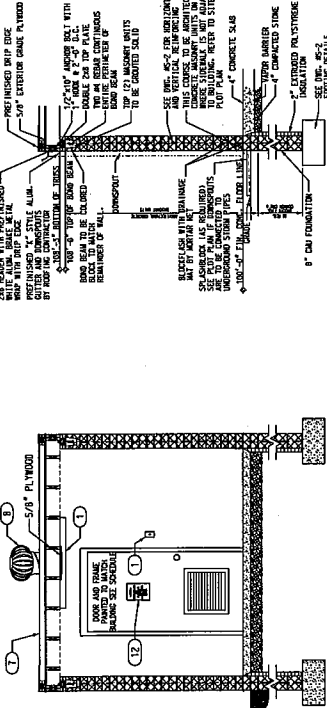
FRONT ELEVATION



SECTIONS



SECTION 'A-A'



SECTION 'B-B'

CONSTRUCTION NOTES

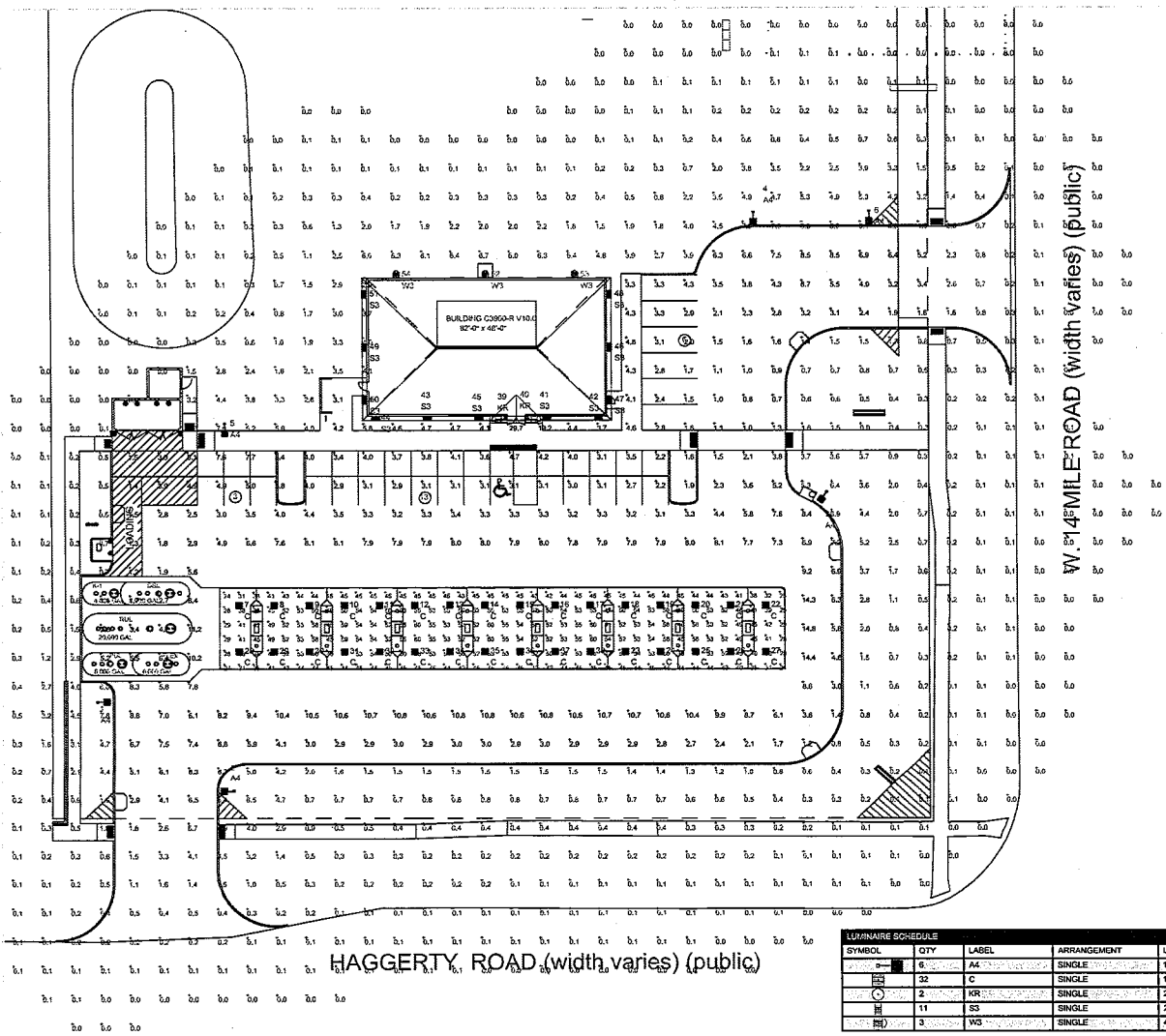
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GENERAL NOTES

1. THE FOUNDATION SHALL BE CONSTRUCTED WITH 12\"/>
- 2. THE GATE SHALL BE CONSTRUCTED WITH 12\"/>
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DOOR AND HARDWARE SCHEDULE

NO.	DESCRIPTION
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LUMINAIRE LOCATION SUMMARY		
LUM. NO.	LABEL	MTG. HT.
1	A4	17
2	A4	17
3	A4	17
4	A4	17
5	A4	17
6	A4	17
7	C	16.5
8	C	16.5
9	C	16.5
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37	C	16.5
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39	KR	10
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41	S3	12
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45	S3	12
46	S3	12
47	S3	12
48	S3	12
49	S3	12
50	S3	12
51	S3	12
52	W3	10.5
53	W3	10.5
54	W3	10.5

NOTE:
 - ALL AREA LIGHTS ON 15 FT. POLE MOUNTED ON 2 FT. CONCRETE BASE

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	5.05	29.7	0.7	7.21	42.43
UNDEFINED	0.85	8.4	0.0	N.A.	N.A.
UNDER CANOPY	47.47	60	24	1.98	2.50

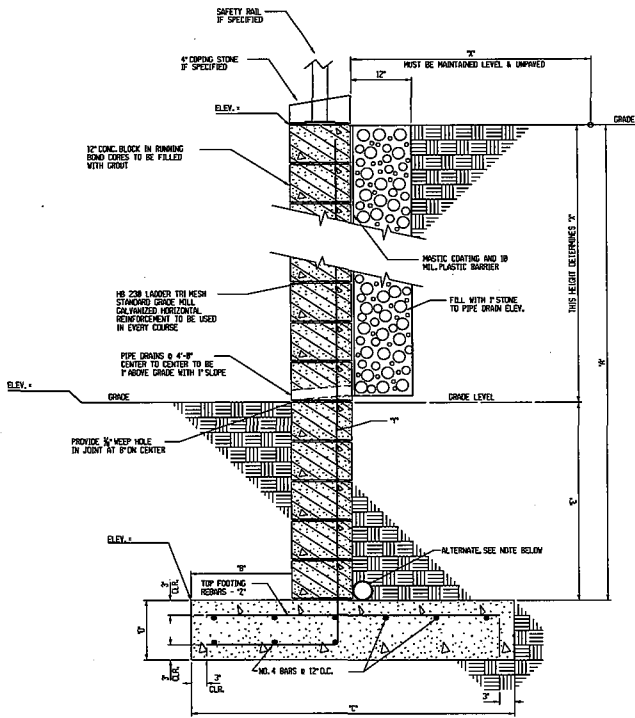
LUMINAIRE SCHEDULE									
SYMBOL	IDTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
[Symbol]	6	A4	SINGLE	14251	1.040	139	834	Cree Inc	BXSOPHTAMEFKNJLBZ
[Symbol]	32	C	SINGLE	13221	1.040	104	4288	CREE, INC.	CAN-304-SL-R5-05-E-LH-WH-700-FXK
[Symbol]	2	KR	SINGLE	2483	1.040	37.4	74.8	Cree Inc	RLA-KR6-SL-0K-120V-10V
[Symbol]	11	S3	SINGLE	2950	1.040	37	407	Cree Inc.	SFT-22B-SM-RM-03-D-LH-WH-350-IC
[Symbol]	3	W3	SINGLE	4931	1.040	42.96	128.88	Cree Inc	XSPW403MCUZ

REV.	BY	DATE	DESCRIPTION
01	PNE	02/20/16	REVISED PER NEW SITE PLAN

SCALE: 1" = 20'
 LAYOUT BY: PNE
 DATE: 02/20/16
 DWG SIZE: D

PROJECT NUMBER:
SPEEDWAY #2224
 NOVI, MI
 DRAWING NUMBER:
RL-3637-S1-R1

WALL SECTIONS



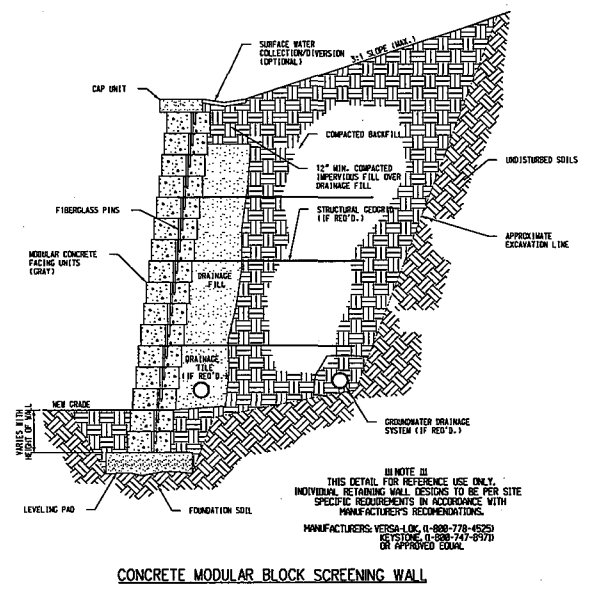
STANDARD CONCRETE MASONRY UNIT (CMU) RETAINING WALL SECTION

ALTERNATE: AN UNDERDRAIN SYSTEM SHALL BE USED INSTEAD OF THE PIPE DRAINS - WHEN SPECIFIED, THE UNDERDRAIN SHALL BE 4" PERFORATED AND FILTERED P.V.C. PIPE. THE PIPE SHALL BE LOCATED ON TOP OF THE BASE BEHIND THE WALL AS SHOWN, OR AS OTHERWISE SPECIFIED, THE PIPE SHALL OUTLET TO THE STORM DRAINAGE AS INDICATED ON THE PLOT PLAN, THE 1" STONE SHALL CONTINUE TO THE BOTTOM OF THE 4" PIPE.

REINFORCEMENT DETAILS

VERTICAL REINFORCEMENT - " #4 "			TOP FOOTING REINFORCEMENT - " #2 "			
A	B	C	D	E	F	G
2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"
3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"
4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"
5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"
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7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"
7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"
8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
8'-6"	8'-6"	8'-6"	8'-6"	8'-6"	8'-6"	8'-6"
9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"
9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"

NOTE:
IF THE NOTES SHOWN ON THESE DRAWINGS CONFLICT WITH SPECIFICATIONS, STANDARDS, SPECIFICATIONS, AND CODES, THE NOTES OR SPECIFICATIONS TAKE PRECEDENCE. PROJECT MANAGER SHALL BE NOTIFIED.



CONCRETE MODULAR BLOCK SCREENING WALL

NOTES AND DETAILS

WALL PREFERENCE:
ATTEMPT TO GRADE SITE SO THAT NO RETAINING WALL IS REQUIRED

GENERAL GUIDELINE TO FOLLOW (SEE MANUFACTURER'S DRAWINGS FOR SITE SPECIFIC DESIGN):
WALL HEIGHT 0'-6" - USE MODULAR RETAINING WALL SYSTEM (KEYSTONE BLOCK OR EQUIVALENT DESIGN)
WALL HEIGHT 6" AND HIGHER - USE MODULAR BLOCK RETAINING WALL (REDI-ROCK OR EQUIVALENT DESIGN) OR
- CAST-IN-PLACE RETAINING WALL

OTHER DESIGN CONSIDERATIONS:
EASE OF INSTALLATION
- POURED IN-PLACE CONCRETE - ON SITE CONTRACTORS HOWEVER WILL REQUIRE SIGNIFICANT PREP TIME
- MODULAR BLOCK WALL - QUICK PROCESS ONCE BASE LAYER IS COMPLETE HOWEVER GEGRIDDS AND OTHER AMENITIES (POLES, GUIDE RAIL POSTS, ETC.) MAY BE NECESSARY

SURROUNDING CONDITIONS
IS WALL COMPLETELY VERTICAL OR DOES WALL SKEWED BACK AT AN ANGLE
- NEARBY PROPERTY LINES AND EXISTING STRUCTURES WILL AFFECT WALL SLOPE AND SHOULD BE CONSIDERED IN DESIGN

NOTE
A VEHICULAR GUARD RAIL OR PEDESTRIAN HAND RAIL SHALL BE ADDED TO THE PLAN WHEN A 24" MINIMUM DROP RETAINING WALL IS USED IN PROXIMITY TO FREQUENTLY TRAVELED AREAS. ANY DROP OVER 10' SHALL REQUIRE SPECIAL CONSIDERATION AND CONSULT WITH A PE FOR APPROPRIATE DESIGN.

- WHEN DIRECTION OF TRAFFIC IS PARALLEL TO RETAINING WALL:
ADD GUARD RAIL WHEN DROP IS GREATER THAN 24"

- WHEN DIRECTION OF TRAFFIC IS PERPENDICULAR TO RETAINING WALL WITH ADJACENT SIDEWALK BETWEEN PAVEMENT AND RETAINING WALL:
ADD A NON-IMPACT PEDESTRIAN HAND RAIL ON TOP OF THE RETAINING WALL WHEN DROP IS GREATER THAN 2' AND LESS THAN 10"

- WHEN DIRECTION OF TRAFFIC IS PERPENDICULAR TO RETAINING WALL WITH ONLY GRASSSED AREA BETWEEN PAVEMENT AND RETAINING WALL:
ADD GUARD RAIL IN YARD AREA PAST THE CURB THEN ADD A HAND RAIL ON TOP OF THE RETAINING WALL OR LANDSCAPING FEATURE AS A VISUAL DETERRENT WHEN DROP IS GREATER THAN 2' AND LESS THAN 10"

MASONRY:
MASONRY WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE CURRENT ACI/ASCE 530 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" AND "SPECIFICATION FOR MASONRY STRUCTURES", WITH THE FOLLOWING SUPPLEMENTAL REQUIREMENTS:

- A. MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE MASONRY (f_m) SHALL BE 1,500 PSI.
- B. HOLLOW CONCRETE MASONRY UNITS SHALL BE GRADE N, TYPE 1, NORMAL WEIGHT, IN ACCORDANCE WITH ASTM C90. MINIMUM 28-DAY COMPRESSIVE STRENGTH OF UNITS SHALL BE 2,000 PSI BASED ON THE NET AREA.
- C. MORTAR FOR EXTERIOR CONCRETE MASONRY SHALL BE TYPE S, IN ACCORDANCE WITH ASTM C270.
- D. MORTAR FOR INTERIOR MASONRY SHALL BE TYPE N IN ACCORDANCE WITH ASTM C270.
- E. MORTAR FOR SETTING BED AND GROUT SHALL BE TYPE M IN ACCORDANCE WITH ASTM C270.
- F. REINFORCING STEEL SHALL BE DEFORMED AND CONFORM TO ASTM A615, A616, OR A617, GRADE 60, WITH A MINIMUM YIELD STRESS (f_y) OF 60,000 PSI. REINFORCING SHALL BE HELD IN POSITION AT INTERVALS NOT TO EXCEED 192 BAR DIAMETERS.
- G. WIRE REINFORCING SHALL CONFORM TO ASTM A82, STANDARD TRUSS-TYPE DWR-D-WAL REINFORCING (OR APPROVED EQUAL). SEE GENERAL NOTES FOR PLACEMENT.

CONCRETE:
CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE CURRENT ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", WITH THE FOLLOWING SUPPLEMENTAL REQUIREMENTS:

- A. ALL CONCRETE SHALL BE NORMAL WEIGHT, WITH AGGREGATES CONFORMING TO ASTM C33.
- B. CONCRETE SHALL DEVELOP THE FOLLOWING 28-DAY COMPRESSIVE STRENGTH (f_c) = 4,000 PSI. :
FLOOR SLABS - 4,000 PSI
FOUNDATIONS - 4,000 PSI
- C. REINFORCING STEEL SHALL BE DEFORMED AND CONFORM TO A615, A616, OR A617, GRADE 60, WITH A MINIMUM YIELD STRESS (f_y) OF 60,000 PSI.
- D. CONCRETE COVER ON REINFORCING STEEL SHALL BE 3" UNLESS OTHERWISE NOTED.



RETAINING WALL WORKSHEET
MECHANICALLY STABILIZED BARTH INSERT WALLS

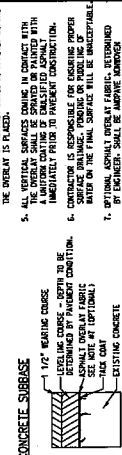
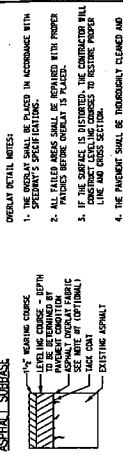
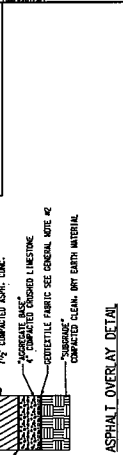
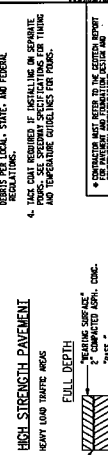
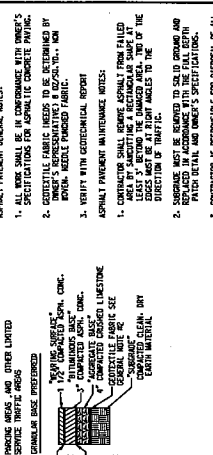
SCALE
1" = 1'-0"

DESIGN TEAM	DATE
DRWN. G. MEDALA	REVISED
P. DESP. J. FREY	REVISED
INSTR. S. BRAD	REVISED

STD-SRW-1

ASPHALT SEALING

1. SURFACE SEALING:
THE SURFACE TO BE SEALED SHALL BE FREE FROM DIRT AND OTHER FOREIGN MATTER AND ACCUMULATIONS OF OIL. BEFORE SEALING, THE SURFACE SHALL BE CLEANED WITH A HIGH PRESSURE WATER JET. THE SEALANT IS APPLIED AS FOLLOWS:
2. SEALING:
THE SEALANT SHALL BE APPLIED TO THE SURFACE IN TWO COATS AT THE RATE OF 1.0 TO 1.2 GAL. PER SQ. YD. PER COAT. THE SEALANT SHALL BE APPLIED TO THE SURFACE WITH A TROWEL OR RAKE. THE SEALANT SHALL BE APPLIED TO THE SURFACE WITH A TROWEL OR RAKE. THE SEALANT SHALL BE APPLIED TO THE SURFACE WITH A TROWEL OR RAKE.

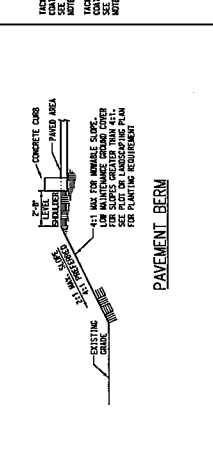
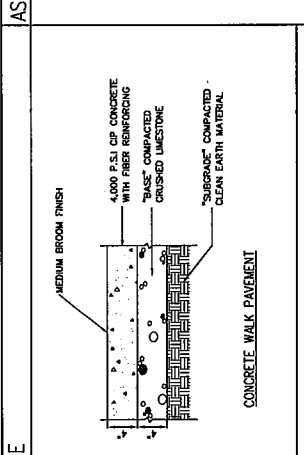


PAVEMENT & CURBING DETAILS

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 DRAWN BY: _____
 CHECKED BY: _____
 IN CHARGE: _____

AS SHOWN

SCALE: _____

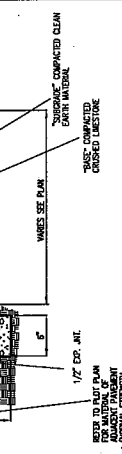
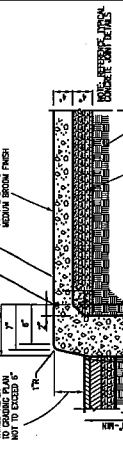
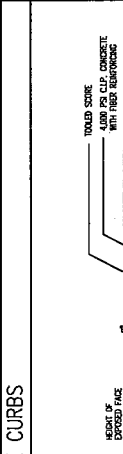
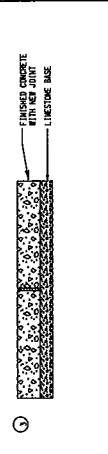
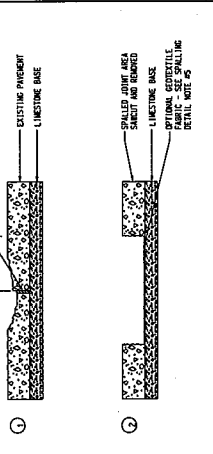


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CONCRETE PAVEMENT INSTALLATION AND MAINTENANCE

SEALING DETAIL

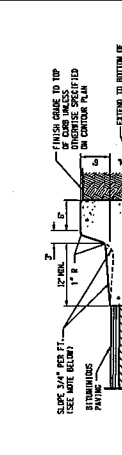
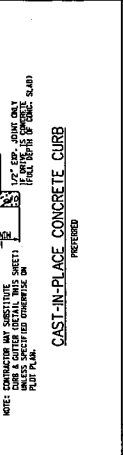
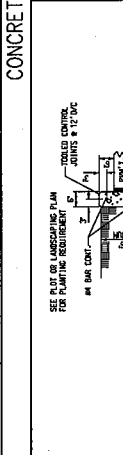
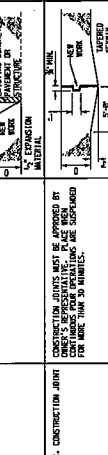
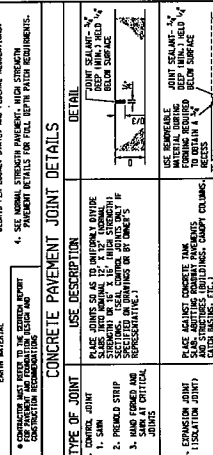
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NORMAL STRENGTH PAVEMENT DETAIL

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CONCRETE PAVEMENT JOINT DETAILS
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ATTORNEY LETTER



JOHNSON ROSATI SCHULTZ JOPPICH PC

34405 W. Twelve Mile Road, Suite 200 ~ Farmington Hills, Michigan 48331-5627
Phone: 248.489.4100 | Fax: 248.489.1726

Elizabeth Kudla Saarela
esaarela@jrsjlaw.com

www.jrsjlaw.com

December 5, 2016

Barb McBeth, City Planner
CITY OF NOVI
45175 Ten Mile Road
Novi, MI 48375

Re: Speedway

Dear Ms. McBeth:

Enclosed please find the final executed version of the Speedway PRO Agreement, which has been prepared by our office and approved by the Applicant's attorney. The attached PRO Concept Plan and corresponding Landscape Plans have been reviewed and approved by Community Development and the City's Consulting Engineer Division. The PRO Agreement may be placed on the next available City Council Agenda for approval.

The PRO Agreement includes and incorporates all of the terms and conditions of the rezoning to B-3 (from B-3 and OST) with the Planned Rezoning Overlay, including the final version of the PRO Concept Plan. In addition to compliance with applicable ordinance standards, the Developer is required to complete the following specific undertakings with respect to the Development:

1. Installation of a "Welcome to Novi" sign along the 14 Mile Road property line.
2. Dedication of 10 ft. of right-of-way along 14 Mile Road.
3. Redevelopment of the site with a building and canopy that is architecturally consistent with current zoning regulations.
4. Provision of improved pedestrian access: (a) sidewalks will be extended the length of the expanded property and will close gaps in the sidewalk system, and (b) sidewalk connections from the convenience store to 14 Mile Road and Haggerty Road are provided.
5. Provision of safety improvements: (a) relocation of driveway away from 14 Mile and Haggerty intersection and to align with opposing driveway, and (b) on-site circulation and visibility with new canopy.

6. Construction of an approximately 6' x 18' sidewalk across the adjacent property to the west. The Applicant shall obtain, and submit for review and approval by the City, prior to final stamping set approval all required off-site easements, at its own expense that are necessary for construction of the off-site sidewalk and dedication of the sidewalk for public use.
7. Applicant shall provide a Noise Impact Statement with the Preliminary Site Plan submittal.
8. All grades of drive approaches shall not exceed 2 percent within the first 25 feet of the intersection, as demonstrated with the next site plan submittal.
9. All grading, storm sewer, and drainage areas shall meet all applicable City of Novi standards.
10. Applicant shall comply with the conditions listed in the staff and consultant review letters.

The PRO Agreement grants the Developer the following deviations from City ordinance standards without seeking further waivers or variances:

- a. A same side driveway spacing waiver to allow the driveway on 14 Mile Road to be located approximately 121 ft. (200 ft. required) from the neighboring driveway to the west to align with existing driveway on the north side of 14 Mile Road.
- b. An opposite side driveway spacing waiver to allow the driveway on Haggerty Road to be located approximately 40 ft. (200 ft. required) from the driveway to the south in order to align with the existing driveway on the east side of Haggerty Road.
- c. Section 9 Façade Waiver for the overage of Asphalt Shingles (maximum 25%; proposed 51% on east, 35% on west, 30% on south, 30% on north) on the building.
- d. Section 9 Façade Waiver for the overage of Flat Metal Panels (maximum 50%; proposed 71% on east, 71% on west, 59% on south, and 59% on north), and the underage of Brick (minimum 30%; proposed 20% on east, 20% on west) on the fuel canopy.
- e. Proposed loading zone is located in the front yard; the ordinance indicates it should be located in the interior side yard of a double frontage lot.

- f. Proposed dumpster is located in the front yard; the ordinance indicates it should be located in the interior side yard of a double frontage lot.

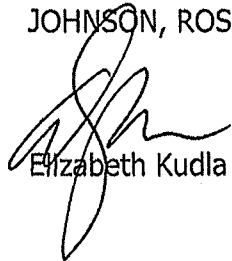
The PRO Agreement and all of its terms, including the incorporated plan approvals, are enforceable in Circuit Court. In the event that the PRO Property is developed in a manner other than as set forth in the PRO Agreement, the City may rezone the property to an appropriate zoning classification.

Once approved by City Council, the PRO Agreement should be recorded with the Oakland County Register of Deeds.

Please feel free to contact me with any questions or concerns in regard to this matter.

Very truly yours,

JOHNSON, ROSATI, SCHULTZ & JOPPICH, P.C.



Elizabeth Kudla Saarela

EKS

Enclosure

- C: Cortney Hanson, Clerk (w/Original Enclosure)
Charles Boulard, Community Development Director (w/Enclosure)
Sri Komaragiri, Planner (w/Enclosure)
Kirsten Mellem, Planner (w/Enclosure)
Adrian Jordan, Planner (w/Enclosure)
Angie Pawlowski, Community Development Bond Coordinator (w/Enclosure)
Aaron Staup, Construction Engineering Coordinator (w/Enclosure)
Theresa Bridges, Construction Engineer (w/Enclosure)
Sarah Marchioni, Community Development Building Project Coordinator (w/Enclosure)
Brittany Allen and Ted Meadows, Spalding DeDecker (w/Enclosure)
Sue Troutman, City Clerk's Office (w/Enclosure)
Thomas R. Schultz, Esquire (w/Enclosure)

CITY COUNCIL MEETING MINUTES
September 26, 2016

- A) Approval of a request for Special Land Use approval for service of alcoholic beverages, for the reasons stated by the Committee.**

- B) Approval of a request to transfer ownership of escrowed 2016 Class C License with New SDM and Sunday Sales Permit (AM & PM) from San Diego Sushi, LLC, 30701 Dequindre, Madison Heights to X-Golf Novi, LLC, a new business to be located at 44325 W. Twelve Mile Road, Suite H-179, Novi, MI 48377, because the concept is unique to the area, would assist the economic health of the businesses in the area, and would not result in an excessive amount of similar licensed establishments in that area of the City.**

Member Markham questioned the liquor license itself. She said typically if someone is starting a business they take a liquor license from another business in town, but this one is coming from another community. She wondered if this license would be considered another permanent liquor license for the City, or if something happened to the business and the liquor license becomes available could it move around in Novi. City Attorney Schultz replied to the question and said it is here as long as the business is here, if they put it into escrow someone can purchase it back and it can be moved around outside of Novi. Member Markham confirmed with Mr. Schultz that it could be moved anywhere in Oakland County.

Roll call vote on CM 16-09-130

**Yeas: Markham, Mutch, Wrobel, Gatt, Staudt,
Burke, Casey
Nays: None**

3. Consideration of tentative approval of the request of McBride Dale Clarion for Speedway at 14 Mile and Haggerty, JSP 16-13, with Zoning Map Amendment 18.714, to rezone property in Section 1, located at the southwest corner of Fourteen Mile Road and Haggerty Road from OST (Planned Office Service Technology) and B-3 (General Business) to B-3 (General Business) subject to a Planned Rezoning Overlay (PRO) Plan Agreement, and corresponding PRO Concept Plan. The property totals 2.03 acres and the applicant is proposing to update and rebuild the whole site.

Member Mutch said he had a question regarding the development to the west of this property. He said when the site to the west of this development was developed they did not construct the sidewalk all the way to the property line and he asked Planning Director, Barb McBeth if that could be included in this development. Ms. McBeth thanked him for bringing this to their attention and asked the applicant to respond to the question, in which he stated they would be willing to do that. Member Mutch also mentioned that anything to help improve the traffic flow at that intersection, such as moving the driveways further away from the intersection, would be a big improvement. He noted he was in support of the tentative approval of this motion, but commented

that he had been corresponding back and forth with staff addressing a question he had about the road condition and at one point he thought they had mentioned a possible roundabout at the intersection at 14 Mile and Haggerty Rd. He said initially they came back and said no, we are no longer looking at that. He then mentioned he got another response from staff and they said they were not looking at it right now due to funding, but possibly down the road in the future it may be something that might happen. He said between now and the point that we approve this and go through the site plan review, it might be worth their while to go back and look at what they previously planned for that intersection. He said if they do run into a situation where the Road Commission for Oakland County says that they need to come in and take a portion of their property they should check to see if it will impact the operation of their business. He said we are dealing with another business at an intersection in the City where the Road Commission has to take some property and it has been kind of contentious. He noted it looked like they have some room to work with, but he thought he should put that out there. Member Mutch felt this was a good plan with the site that they have to work with now that they have consolidated the two properties together.

CM 16-09-131 Moved by Mutch, seconded by Staudt; UNANIMOUSLY CARRIED:

To tentatively indicate that Council approve the request of McBride Dale Clarion for Speedway at 14 Mile & Haggerty, JSP 16-13, with Zoning Map Amendment 18.714, to rezone property in Section 1, located at the southwest corner of Fourteen Mile Road and Haggerty Road from OST (Office Service Technology) & B-3 (General Business) to B-3 (General Business) subject to the related Planned Rezoning Overlay (PRO) Plan Agreement, and corresponding PRO Concept Plan as reviewed by the Planning Commission on September 14, 2016 and direction to the City Attorney to prepare a proposed PRO Agreement with the following ordinance deviations:

- a. A same side driveway spacing waiver to allow the driveway on 14 Mile Road to be located approximately 121 feet (200 feet required) from the neighboring driveway to the west to align with existing driveway on the north side of 14 Mile Road.**
- b. An opposite side driveway spacing waiver to allow the driveway on Haggerty Road to be located approximately 40 feet (200 feet required) from the driveway to the south in order to align with the existing driveway on the east side of Haggerty Road.**
- c. Section 9 Façade Waiver for the overage of Asphalt Shingles on the building (maximum 25 percent permitted; proposed 51 percent on east, 35 percent on west, 30 percent on south and north).**

- d. Section 9 Façade Waiver for the overage of Flat Metal Panels on the fuel canopy (maximum 50 percent permitted; proposed 71 percent on east and west, 59 percent on south and north), and the underage of Brick (minimum 30 percent; proposed 20 percent on east and west).**
- e. Proposed loading zone is located in the front yard, the ordinance indicates it should be located in the interior side yard of a double frontage lot.**
- f. Proposed dumpster is located in the front yard, the ordinance indicates it should be located in the interior side yard of a double frontage lot.**

If the City Council approves the rezoning, the following conditions shall be requirements of the Planned Rezoning Overlay Agreement:

- a. Acceptance of applicant's offer of public benefits as proposed:
 - i. Installation of a "Welcome to Novi" sign along the 14 Mile Road property line.**
 - ii. Dedication of 10 feet of ROW along 14 Mile Road to the Road Commission of Oakland County.**
 - iii. Redevelop the site with a building and canopy that is architecturally consistent with current zoning regulations.**
 - iv. Pedestrian access is improved: (a) sidewalks will be extended the length of the expanded property and will close gaps in the sidewalk system and (b) sidewalk connections from the convenience store to 14 Mile Road and Haggerty Road are provided.**
 - v. Safety improvements: (a) relocation of driveway away from 14 Mile and Haggerty intersection and to align with opposing driveway and (b) on-site circulation and visibility with new canopy.**
 - vi. Preservation of a 10 foot wide wooded buffer along the east property line.****
- b. Applicant shall provide a Noise Impact Statement with the Preliminary Site Plan submittal.**
- c. All grades of drive approaches shall not exceed 2-percent within the first 25 feet of the intersection, as demonstrated with the next site plan submittal.**
- d. All grading, storm sewer, and drainage areas shall meet all applicable City of Novi standards.**
- e. Applicant complying with the conditions listed in the staff and consultant review letters.**

This motion is made because:

- a. ***The Master Plan for Land Use objective to foster a favorable business climate is fulfilled by allowing an existing business to expand and provide 5 more jobs, \$235,000 in sales tax, and \$3.1 million in investment.***
- b. ***The Master Plan for Land Use objective to support and strengthen existing businesses is fulfilled by allowing an existing business to expand and develop a vacant parcel.***
- c. ***The concept plan improves existing non-conformities (minimum site size from 0.7 acres to 2.03 acres, location of driveways away from intersection, and upgraded stormwater management).***
- d. ***There is a negligible impact on the utilities due to expected utility demand reduced from 4 residential equivalent units to 3, minimal impact on available water capacity, pressure, and flow, and no apparent impact of the downstream sanitary sewer.***
- e. ***The rebuild and expansion of this site provides an update to the visual aesthetic at an entryway to the City, modern fuel dispensers and convenience store, and replacement of underground storage tanks.***

Roll call vote on CM 16-09-131

**Yeas: Mutch, Wrobel, Gatt, Staudt, Burke,
Casey, Markham**

Nays: None

4. Consideration of the request of Feldman Automotive, JSP 16-31, for Zoning Map Amendment 18.713 to rezone property in Section 23, located on the south side of Grand River Avenue, between Novi Road and Meadowbrook Road, from the RM-1, Low-Density Multiple-Family District to the P-1, Vehicular Parking District, and a waiver of the required Rezoning Traffic Impact Study. The subject property is 1.67 acres and rezoning approximately 0.9 acres.

Member Casey wanted to disclose for the record that she works for the Global Connected Customer Experience Team at General Motors and her work does not have any involvement with the GM dealers. She said Feldman is a third party franchise owner so they are not General Motors employees and she gains no benefit from any proposal that they have brought forward.

Mayor Pro Tem Staudt said this is a great example of a good local business expanding in our city.

CM 16-09-132

Moved by Staudt, seconded by Wrobel; UNANIMOUSLY CARRIED:

To approve the request of Feldman Automotive, JSP 16-31, for Zoning Map Amendment 18.713 to rezone property in Section 23, located on the south side of Grand River Avenue, between Novi

PLANNING COMMISSION MEETING MINUTES
September 14, 2016

1 motion by Member Lynch, second by Member
2 Baratta. Any other comments?

3 MS. MELLEEM: Member Baratta?

4 MR. BARATTA: Yes.

5 MS. MELLEEM: Member Giacobetti?

6 MR. GIACOPELTI: Yes.

7 MS. MELLEEM: Member Greco?

8 MR. GRECO: Yes.

9 MS. MELLEEM: Member Lynch?

10 MR. LYNCH: Yes.

11 MS. MELLEEM: Chair Pehrson?

12 CHAIRPERSON PEHRSON: Yes.

13 MS. MCBETH: Member Zuchlewski?

14 MR. ZUCHLEWSKI: Yes.

15 MS. MCBETH: Member Anthony?

16 MR. ANTHONY: Yes.

17 MS. MELLEEM: Motion passes.

18 CHAIRPERSON PEHRSON: Thank you

19 very much. We come down to our public
20 hearings.

21 The first public hearing is
22 Speedway at Fourteen Mile and Haggerty,
23 JSP16-13, with rezoning 18.714. Public
24 hearing at the request of McBride Dale
25 Clarion for Planning Commission's

1 recommendation to City Council to rezone the
2 property in Section 1 located at the
3 southwest corner of Fourteen Mile and
4 Haggerty Road from B3 general business and
5 OST, office service technology to B3, general
6 business with a planned rezoning overlay PRO
7 concept plan.

8 The subject property is
9 approximately 2.03 acres. The applicant is
10 proposing to raise the existing fuel station
11 and construct a new 14,000 square foot
12 convenience store and 4,500 square foot fuel
13 canopy over eight double sided full
14 dispensers.

15 MS. MELLEEM: So the subject
16 property is 2.03 acres with approximately
17 1.33 acres which are being requested for
18 rezoning, which is the L shaped parcel behind
19 the current square shaped parcel that the
20 Speedway is on.

21 The current zoning is OST
22 for the L shaped parcel and B3 for the square
23 parcel.

24 The future land use map
25 indicates office R and D technology for both

1 parcels, and the surrounding parcels in that
2 area.

3 The natural features, there
4 are no regulated woodlands or wetlands on the
5 site.

6 So for this project, the
7 applicant is requesting rezoning using a PRO,
8 planned rezoning overlay option. The
9 applicant has proposed to raise the existing
10 24/7 square foot building and six double
11 sided fuel dispensers and replace it with a
12 4,000 square foot convenience store and 5,400
13 square feet fuel canopy over eight
14 double-sided fuel dispensers.

15 As part of the
16 redevelopment, existing driveways will be
17 shifted away from the intersection and
18 aligned with the driveway across Fourteen
19 Mile and Haggerty.

20 The applicant is proposing
21 as the public benefit dedication of
22 approximately 10 feet of right-of-way along
23 Fourteen Mile Road to the RCOC. Installation
24 of a welcome to Novi sign at the intersection
25 and improved pedestrian access and safety to

1 the site.

2 All reviewers are
3 recommending approval of the request.
4 Planning recommends because of rezoning
5 request fulfills two objectives of the master
6 plan for land use. One fostering a favorable
7 business climate and strengthening the
8 existing business. The rebuild and expansion
9 of the site provides an update to the visual
10 esthetic of an entryway to the city, modern
11 fuel dispensers and a convenience store and
12 replacement of the underground storage tanks.

13 The plan also improves on
14 existing non-conformities, we would have
15 minimum site acreage will be increased to two
16 acres, and will feature the driveways away
17 from the intersection and also upgraded
18 stormwater management.

19 Traffic states that the
20 initial trip generation estimate does not
21 warrant a rezoning traffic impact study for
22 this expansion and the applicant should seek
23 a waiver.

24 Traffic supports the
25 driveway spacing waivers which will increase

1 safety by moving the drives away from the
2 intersection and align with the opposite side
3 driveways along Fourteen Mile and Haggerty.

4 Facade recommends a Section
5 9 facade waiver which will be addressed in
6 the PRO agreement for the underage of brick,
7 overage of flat metal and overage of asphalt
8 shingles.

9 Engineering states that
10 there will be no negligible impacts on
11 utilities with this rezoning. However at the
12 time of the concept plan review, at the time
13 of these motion sheets, engineering was not
14 recommending approval. All of those issues
15 have been resolved. Engineering, they have
16 submitted new driveway grading plans that
17 will meet our ordinance, and then additional
18 items on the stormwater management plan will
19 be addressed with the next submittal.

20 The Planning Commission is
21 asked tonight to consider the PRO rezoning
22 request, with the recommendation to City
23 Council. The applicant and I are here to
24 answer any questions you may have.

25 CHAIRPERSON PEHRSON: Thank you,

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Kirsten.

Does the applicant wish to address the Planning Commission at this time?

MR. SWEET: Good evening. My name is Rob Sweet, with McBride Dale Clarion. My address is 5721 Dragon Way, Suite 220, Cincinnati, Ohio 45227.

Here tonight on behalf of Speedway. Before I get started, I'd like to thank staff.

It took us a while to get to where we are here today. We met with staff originally back in February, and met with them, revised the drawings, brought this back, met with them again, revised the drawings again, did our land use committee meeting and then we are here tonight requesting approval.

I don't think I could say it any better than Kirsten did. We are proposing to basically raise the site, redevelop it with a 4,000 square foot convenience store, 5,400 square foot fuel canopy, eight double sided dispensers, 21 parking spaces, relocated driveways and

1 updated landscape and architectural features.

2 We are asking for the
3 rezoning with the PRO. I think the biggest
4 change in this plan that you will see is that
5 the driveways are now aligning and they now
6 have put a bad position better, if you will.

7 We are now aligning across
8 the street. You know, it took us a while to
9 get there, but we made it work.

10 See what else is here. We
11 feel that this is a great investment for us.
12 Speedway is not just somebody that just goes
13 around and rebuilds sites. The site has
14 performed well for us. We want to reward
15 that with a brand new store. We are making,
16 you know, the pedestrian connections, the
17 bicycle improvements.

18 Basically we're scraping it
19 and rebuilding it. And as part of the
20 request, you know, the welcome signage, it's
21 our understanding there is about three or
22 four jurisdictions in this area. We really
23 want to put on a good face for Novi.

24 I'm here to answer any
25 questions you may have.

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CHAIRPERSON PEHRSON: Thank you,
sir.

This is a public hearing.
Is there anyone in the audience that wishes
to address the Planning Commission on this
matter, please step forward.

(No audible responses.)

CHAIRPERSON PEHRSON: Seeing no
one in the audience, any correspondence?

MR. LYNCH: No correspondence.

CHAIRPERSON PEHRSON: Close the
public hearing.

Open it up to the Planning
Commission for their consideration. Member
Zuchlewski.

MR. ZUCHLEWSKI: I have a few
questions for Ross (sic), if I may.

Ross, looking in the site
plan, if we could go back to that, looking at
the number of MPDs that you have, how many
MPDs are on site that exist currently?

MR. SWEET: We have six. MPDs,
you mean the fuel dispensers?

MR. ZUCHLEWSKI: Yes. I think
that's traditionally what they are called.

1 MR. SWEET: I believe so. We
2 have six on-site. And those are what we call
3 stacked position. We are now doing that. We
4 are now moving those to eight. We are adding
5 two, and we configuring the canopy to
6 increase site visibility.

7 MR. ZUCHLEWSKI: Okay. My
8 concern is the eighth MPD or the MPD to the
9 south. All right. Which is closest to the
10 tanks, this is the storage tanks.

11 I am just looking there, and
12 I was looking at the turning radius of the
13 vehicles coming in your tanker to discharge,
14 it looks like it's coming in off Fourteen
15 Mile discharging, off onto Haggerty.

16 At the point that -- those
17 tanks are being filled, we lose all
18 circulation around that site, all right.

19 And so I am wondering what
20 the potential is to give up that last MPD
21 short of the canopy or take it and rotate the
22 storage tanks, so that they are parallel with
23 the south of the property line.

24 Has there been any
25 discussion on that with engineering or any

1 concerns about traffic flow and fire
2 department and moving around?

3 If there is a fire there,
4 there is no way to get into there, to, you
5 know -- I know you have got all the safety
6 controls and all that sort of stuff. I'm
7 just wondering about traffic flow around that
8 site, and even getting into the site, off of
9 Haggerty Road, you come in and you're facing
10 automatically all of those MPDs and a canopy,
11 if there is a truck there.

12 So how do you plan on
13 addressing that? I mean, it's going to be a
14 concern.

15 MR. SWEET: Sure. And typically,
16 it all comes down to the timing of the
17 fueling drops, if you will.

18 The reason the tanks are set
19 up the way they are is we off-load on the
20 passenger side. So that has to be that way
21 and we do that as a safety precaution for
22 Speedway. The deliveries we probably
23 anticipate in the morning before the peak
24 hours, so I believe that that's the right way
25 to go with that, is that they will be early

1 in the morning before we hit our seven to
2 nine rush.

3 And again, having it
4 reconfigured that helps provide better
5 visibility. Right now you have a similar
6 situation on-site as it is. And by
7 reconfiguring that and adding more space in
8 there, it doesn't seem like a lot, but it is
9 a lot. It's a lot more than what we have
10 there now.

11 MR. ZUCHLEWSKI: What do you mean
12 it's a lot more than you have now?

13 MR. SWEET: Right now I believe
14 the fuel tanker off loads and goes underneath
15 the fuel canopy and it creates an unsafe
16 advantage or unfair -- I wouldn't say unsafe
17 but --

18 MR. ZUCHLEWSKI: It puts the
19 canopy at risk.

20 MR. SWEET: Correct. So right
21 now, by changing that we now minimize that
22 risk of tankers going underneath it. With
23 the traffic flow and the timing we have fuel
24 deliveries, that should minimize the risk of
25 having somebody parked on that dispenser

1 fueling.

2 MR. ZUCHLEWSKI: Do you know how
3 many gallons of fuel are being sold annually
4 there?

5 MR. SWEET: Don't know the
6 annual.

7 MR. ZUCHLEWSKI: Approximately.
8 Do you know what the increase is expected to
9 be? Do we know that.

10 UNKNOWN AUDIENCE MEMBER: I think
11 it's about 340,000.

12 MR. ZUCHLEWSKI: That is a month?

13 MR. SWEET: That's monthly.

14 MR. ZUCHLEWSKI: Do we know the
15 increase -- so almost 4 million gallons a
16 year roughly?

17 MR. SWEET: Right. That's at the
18 old store. The new store would double that.

19 UNKNOWN AUDIENCE MEMBER: No,
20 it's not going to double.

21 MR. SWEET: I will just take a
22 look at that.

23 MR. ZUCHLEWSKI: That was my only
24 concern if engineering or fire marshals don't
25 have a problem and the fire department

1 doesn't have a problem with it. I just see,
2 you know, it could be catastrophic, all those
3 MPDs so close to when they are getting
4 filled, and the overhead canopy is like
5 20-foot in height.

6 MR. SWEET: It's 16.5 to the
7 bottom deck.

8 MR. ZUCHLEWSKI: 16.5 to the
9 underside, okay.

10 All right, and then traffic
11 flow around the site, you're saying seven to
12 nine would be --

13 MR. SWEET: That's the typical
14 peak.

15 MR. ZUCHLEWSKI: Any time before
16 or after that --

17 MR. SWEET: Before or after that.

18 MR. ZUCHLEWSKI: All right.

19 CHAIRPERSON PEHRSON: Thank you,
20 Mr. Zuchlewski.

21 Member Baratta.

22 MR. BARATTA: Thank you,
23 Mr. Chairman.

24 Jeremy, maybe you can help
25 me on this. And Mr. Zuchlewski made some

1 interesting comments.

2 The turning radius, has that
3 been looked at, is that an issue? Is that an
4 issue from our perspective?

5 MR. MILLER: No, it's not. The
6 turning radius has been reviewed by traffic
7 and fire at this point and hopefully -- if
8 they have any comments?

9 MS. MELLEEM: No.

10 MR. BARATTA: How about the
11 height -- excuse me, the length of the
12 vehicle, how it's going to dispense the fuel,
13 is that issue -- does it get close to the
14 entrance to Haggerty Road at that point?
15 Does anybody know?

16 MR. SWEET: I believe we have got
17 a CR plan.

18 MR. ZUCHLEWSKI: Ross, you don't
19 have that --

20 MR. SWEET: It's Rob.

21 MS. MELLEEM: It's on page 54 in
22 the packet.

23 MR. LYNCH: Let me go to page 54.

24 MR. BARATTA: What is the height
25 of the vehicle, the tanker?

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MR. SWEET: Nineteen feet.

MR. BARATTA: Is there a difference in grade elevation -- probably -- little bit of concrete curved --

MR. SWEET: Right.

MR. BARATTA: So it would fit under that crown of the canopy --

MR. SWEET: Plus it's rounded at the top, so --

MR. BARATTA: And you're not going to have a license for alcohol or anything with this facility?

MR. SWEET: No, sir.

MR. BARATTA: Thank you very much.

CHAIRPERSON PEHRSON: Thank you, Member Baratta.

Anyone else? Member Greco.

MR. GRECO: I'd like to make a motion in the matter of the request of McBride Dale Clarion for Speedway, Fourteen Mile and Haggerty, JSP16-30, with a zoning map amendment 18.714, motion to recommend approval to City Council to rezone the subject property from B3 general business, to

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OST, office service technology, to B3 general business with a planned rezoning overlay.

The recommendations shall include the following ordinance deviations for consideration by City Council set forth in A through F of the motion sheet, and if the City Council approves the rezoning, the Planning Commission recommends the following conditions be required of the planned rezoning overlay agreement as set forth in A through E of the motion, and this motion is made because the master plan for land use objective to foster a favorable business climate is fulfilled by allowing an existing business to expand and five more jobs to \$235 million in sales tax and 3.1 million in investment.

The master plan for land use objective to support and strengthen the existing businesses is fulfilled by allowing an existing business to expand and develop a vacant parcel.

The concept plan improves the existing non-conformities, minimum site size of .7 acres to 2.03 acres, location of

1 the driveways, away from intersections and
2 upgrade of the stormwater management.

3 There is a negligible impact
4 on the utilities due to the expected utility
5 demand to reduce from four residential
6 equivalent units to three. Minimal impact on
7 available water capacity, pressure and flow,
8 and no apparent impact on the downstream
9 sanity sewer. And the rebuild expansion of
10 the site provides an update to the visual
11 esthetic at an entryway to the city modern
12 fuel dispensers and a convenience store and
13 replacement of underground storage tanks.

14 MR. LYNCH: Second.

15 MR. BARATTA: Can I ask for a
16 clarification.

17 CHAIRPERSON PEHRSON: Motion by
18 Member Greco, second by Member Lynch.

19 Member Baratta?

20 MR. BARATTA: In the motion you
21 say about \$235 million in sales tax. Is that
22 an accurate number or is that 2 million less
23 than that. I don't have -- what is the
24 number there?

25 MS. MCBETH: Through the Chair, I

1 think the applicant has provided the numbers
2 that were in the report.

3 MR. BARATTA: Can we have motion
4 to correct the number then.

5 MR. SWEET: 235 million, that's
6 quite a number of gas that we are providing
7 there. I think we are improving it, but, you
8 know --

9 MR. GRECO: That's why I made the
10 motion.

11 MR. SWEET: Let me pull that up.
12 It should be 235,000.

13 MR. GRECO: I accept the
14 amendment.

15 CHAIRPERSON PEHRSON: Thank you.

16 MR. BARATTA: I'm sorry -- okay.

17 CHAIRPERSON PEHRSON: Any other
18 comments?

19 (No audible responses.)

20 CHAIRPERSON PEHRSON: Call the
21 roll, please.

22 MS. JORDAN: Commissioner
23 Zuchlewski?

24 MR. ZUCHLEWSKI: Yes.

25 MS. JORDAN: Commissioner

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Anthony?

MR. ANTHONY: Yes.

MS. JORDAN: Commissioner

Baratta?

MR. BARATTA: Yes.

MS. JORDAN: Commissioner

Giacopetti?

MR. GIACOPETTI: Yes.

MS. JORDAN: Commissioner Greco?

MR. GRECO: Yes.

MS. JORDAN: Commissioner Lynch?

MR. LYNCH: Yes.

MS. JORDAN: Chair Pehrson?

CHAIRPERSON PEHRSON: Yes.

MS. JORDAN: Motion carries.

CHAIRPERSON PEHRSON: Thank you.

Good luck.

MR. SWEET: Thank you all very much. We appreciate it.

CHAIRPERSON PEHRSON: Next on the agenda is Feldman Automotive, JSP16-31, rezoning 18.731.

It's a public hearing at the request of Feldman Automotive to the Planning Commission, recommendation to City Council

**MASTER PLAN AND ZONING COMMITTEE
DRAFT MEETING MINUTES
AUGUST 17, 2016**



MASTER PLAN AND ZONING COMMITTEE
City of Novi Planning Commission
August 17, 2016 at 6:00 p.m.
Novi Civic Center – Mayor’s Conference Room
45175 W. Ten Mile, Novi, MI 48375
(248) 347-0475
DRAFT Minutes

CALL TO ORDER

The meeting was called to order at 6:00 p.m.

ROLL CALL

Present: Members Robert Giacopetti and Mark Pehrson

Not Present: Member Michael Lynch

Staff Present: Barbara McBeth, Kirsten Mellem, David Gilliam

APPROVAL OF AGENDA

Moved by Pehrson, seconded by Giacopetti.

**VOICE VOTE ON AGENDA APPROVAL, MOTION MADE BY MEMBER GIACOPETTI AND
SECONDED BY MEMBER PEHRSON:**

A motion to approve the August 17, 2016 Master Plan and Zoning Committee agenda. *Motion carried 2-0.*

AUDIENCE PARTICIPATION AND CORRESPONDENCE

None

DISCUSSION ITEMS

- A. Rezoning request from RM-1, Low-Density Multiple-Family to P-1, Vehicular Parking
Review and provide comments on the rezoning request for property east of Novi Road and south of Grand River Ave.

City Planner Barb McBeth presented the application from Feldman Automotive to rezone 0.9-acre of a 1.67-acre property on the south side of Grand River Ave. between Novi Road and Meadowbrook Road (Section 23) from RM-1 (Low-Density Multiple-Family) to P-1 (Vehicular Parking). The Future Land Use Map recommends TC Gateway as the anticipated future use of the property. Since the rezoning is not consistent with the Future Land Use Map, the request has been brought before the Master Plan and Zoning Committee for discussion.

Member Giacopetti commented on the vision and future of the Grand River Corridor and the TC district stating that a dealership is not necessarily one of the uses in that vision. He asked if the property owners had any intentions of moving to another location that is larger and could accommodate the parking needs. The applicant stated that there are limited areas in Novi that would provide the required features. Member Pehrson stated that the parcel is an odd shape and would be limited on its development potential. He mentioned another property in the area that has sat vacant for many years because of its odd shape and location; it is not the intent to see that happen again. The Members were in consensus that the PRO option doesn't make sense for this property. The Traffic Impact Study would also

be unnecessary since there would be less trips made since the vehicles would be closer to the dealership and not at an off-site facility. The Members ultimately had no objection to the proposed rezoning application. The required public hearing will be held on September 14, 2016 at 7:00pm.

B. Rezoning request from OST, Office Service Technology to B-3, General Business with Planned Rezoning Overlay (PRO)

Review and provide comments on the rezoning request for property at the southwest corner of 14 Mile Road and Haggerty Road.

Planner Kirsten Mellem presented the application for rezoning from OST and B-3 to B-3 with PRO. The petitioner is requesting to rezone a 2.03 acre property on the west of Haggerty Road and south of 14 Mile Road (Section 1) from OST (Office Service Technology) and B-3 (General Business) to B-3 (General Business) utilizing the Planned Rezoning Overlay (PRO) option. The Future Land Use Map recommends Office Research Technology as the zoning. Since the rezoning is not consistent with the Future Land Use Map, the request has been brought before the Master Plan and Zoning Committee for discussion.

The applicant has proposed a 4,000 square foot convenience store and 5,400 square foot fuel canopy over 8 double-sided fuel dispensers. This would include razing the existing 2,417 square foot building and 6 double-sided fuel dispensers. As part of the redevelopment, existing driveways will be shifted away from the intersection and aligned with the driveways across 14 Mile Road and Haggerty Road. Speedway is proposing to dedicate approximately 10 feet of ROW along 14 Mile Road to the Road Commission for Oakland County. There will be an above-ground detention basin in the southwest corner of the enlarged property.

Member Giacopetti asked about the aesthetics of the new building stating that this location is very prominent and we would expect a great look at this entry point into the city. The sheets with the elevations were reviewed and the applicant stated that this is one of the top 10 locations in the state. All Speedway stations are corporate owned, which provides quality assurance of product and brand. The investment by Speedway will result in additional employees.

Another question was raised regarding the 30 feet of landscaped area that will be undeveloped on the west side of the parcel. The applicant stated that they intent to landscape and keep as a buffer since the site grades and other constraints prevent them from developing it. Staff pointed out that while this buffer is not required, it is a nice feature to buffer between the proposed development and the existing bank and office building, which currently provide no buffer at the property line. Member Pehrson stated that this proposal fits the area, is a great upgrade for the corner, and has no other concerns. The required public hearing will be held on September 14, 2016 at 7:00pm.

C. Approval of the February 17, 2016 Master Plan and Zoning Committee meeting minutes

VOICE VOTE ON MEETING MINUTES APPROVAL, MOTION MADE BY MEMBER GIACOPETTI AND SECONDED BY MEMBER PEHRSON:

A motion to approve the February 17, 2016 Master Plan and Zoning Committee Meeting minutes. Motion carried, 2-0.

ADJOURN

Moved by Giacopetti, seconded by Pehrson. The meeting was adjourned at 6:39pm.

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

August 11, 2016

Planning Review

Speedway at 14 Mile & Haggerty
JSP16-13 with PRO Rezoning 18.714

Petitioner

McBride Dale Clarion

Review Type

Rezoning Request from OST (Office Service Technology) & B-3 (General Business) to B-3 (General Business) with Planned Rezoning Overlay (PRO)

Property Characteristics

- Site Location: Southwest corner of 14 Mile Rd. and Haggerty Rd. (Section 1)
- Site Zoning: OST – Office Service Technology
- Adjoining Zoning: North: Commercial (Commerce Charter Township);
Northeast: Commercial (West Bloomfield Township);
East: Commercial (Farmington Hills);
South: OST
West: OST
- Current Site Use: Speedway Gas Station and Convenience Store & Undeveloped
- Adjoining Uses: North: Shopping plaza;
Northeast: Shopping Plaza;
East: CVS, Shopping plaza;
South: Undeveloped
West: Flagstar Bank and Office plaza
- School District: Walled Lake Consolidated School District
- Site Size: 0.70 Acres (Existing) + 1.33 Acres (Rezoning) = 2.03 Acres (Total)

Project Summary

The petitioner is requesting a Zoning Map amendment for a 2.03 acre property on the west of Haggerty Road and south of 14 Mile Road (Section 1) from OST (Office Service Technology) & B-3 (General Business) to B-3 (General Business) utilizing the Planned Rezoning Overlay (PRO) option. The applicant states that the rezoning request is necessary to allow the rebuild of the Speedway gas station and convenience store on a larger site. This will allow the applicant to update and rebuild the whole site.

The PRO option creates a “floating district” with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case from OST to B-3) and the applicant enters into a PRO agreement with the City, whereby the City and the applicant agree to tentative approval of a conceptual plan for development of the site. Following final approval of the PRO concept plan and PRO agreement, the applicant will submit for Preliminary and Final Site Plan approval under standard site plan review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two (2) years, the rezoning and PRO concept plan expires and the agreement becomes void.

The applicant has proposed a 4,000 sq. ft. convenience store and 5,400 sq. ft. fuel canopy over 8 double-sided fuel dispensers. Razing the 2,417 sq. ft. existing building and 6 double-sided fuel

dispensers. As part of the redevelopment, existing driveways will be shifted away from the intersection and aligned with the driveways across 14 Mile Road and Haggerty Road. Speedway is proposing to dedicate approximately 10 ft. of ROW along 14 Mile Road. There will be an above-ground detention basin in the southwest corner of the enlarged property.

The **Master Plan and Zoning Committee** met on **August 17, 2016** to discuss the rezoning because it does not follow the Future Land Use Map recommendation for the site. The committee provided some comments regarding the plan.

Master Plan for Land Use

The Future Land Use Map of the 2010 City of Novi Master Plan for Land Use identifies this property and all adjacent land within the City as office research development technology. The proposal would follow objectives listed in the Master Plan for Land Use including the following:

1. Objective: The City, working with the development community and partners, should continue to foster a favorable business climate. The proposal would allow an existing business to expand, provide an update to the visual aesthetic at an entryway to the City, and provide an estimated 5 more jobs, \$5 million in sales volume, \$235 million in sales tax, and \$3.1 million in investment.

2. Objective: Support and strengthen existing businesses, as it is easier to keep a business in the City than attract a new one to fill a vacant facility. The proposal would allow an existing business to expand and develop a vacant parcel.

Existing Zoning and Land Use

The following table summarizes the zoning and land use status for the subject property and surrounding properties.

Land Use and Zoning: For Subject Property and Adjacent Properties

	Existing Zoning	Existing Land Use	Master Plan Land Use Designation
Subject Property	OST: Office Service Technology	Undeveloped	Office Research Technology Development
Northern Parcels	B-2: Community Business (Commerce Charter Twp)	Shopping Plaza (Grocery, Bank, Cleaners, Restaurants)	Community Commercial
Northeast Parcels	B-1: Local Business (West Bloomfield Twp)	Shopping Plaza	General Business
Eastern Parcels	B-2: Community Business (Farmington Hills)	Commercial (CVS), Shopping Plaza	Shopping Center Type Business
Southern Parcels	OST: Office Service Technology	Undeveloped	Office Research Technology Development
Western Parcels	OST: Office Service Technology	Bank, Office Plaza	Office Research Technology Development

Compatibility with Surrounding Land Use

The surrounding land uses are shown on the above chart. The compatibility of the proposed PRO concept plan with the zoning and uses on the adjacent properties should be considered by the Planning Commission in making the recommendation to City Council on the rezoning request with the PRO option.



The properties to the north, northeast, and east are developed commercial. All properties immediately adjacent to the south of the subject property are predominantly underdeveloped or vacant. The properties to the west are developed office.

The properties to the **north** across 14 Mile Rd. have a shopping plaza with a Kroger, Bank, and various other retail and restaurants.

The properties to the **northeast** across 14 Mile Rd. and Haggerty Rd. have a shopping plaza with a Walgreens, FedEx, and various other retail and restaurants.

The properties to the **east** across Haggerty Rd. have a stand-alone CVS and a shopping plaza with an animal hospital and various retail and restaurants.

The properties to the **south** are vacant, undeveloped land with some wetlands and woodlands.

The properties immediately adjacent to the **west** have a bank and medical office building.

Comparison of Zoning Districts

The following table provides a comparison of the current (OST) and proposed (B-3) zoning classifications.

	OST Zoning (Existing)	B-3 Zoning (Proposed)
Principal Permitted Uses	<ol style="list-style-type: none"> 1. Professional office buildings, offices, and office sales and service activities 2. Data processing and computer centers 3. Laboratories 4. Research, testing, design, and development, technical training, an design of pilot or experimental products 5. Hotels and business motels 6. Colleges, universities, and other such post-secondary institutions of higher learning, public or private, offering courses in general, technical, or religious education 	<ol style="list-style-type: none"> 1. Retail businesses use 2. Retail business service uses 3. Dry cleaning establishments, or pick-up stations, dealing directly with the consumer 4. Business establishments which perform services on the premises 5. Professional services 6. Retail business or retail business service establishments 7. Professional and medical offices including laboratories 8. Fueling station

	OST Zoning (Existing)	B-3 Zoning (Proposed)
	7. Motion picture, television, radio and photographic production facilities 8. Medical offices, including laboratories and clinics 9. Facilities for human care 10. Off-street parking lots 11. Publicly owned and operated parks, parkways and outdoor recreational facilities 12. Publicly-owned buildings, telephone exchange buildings, and public utility offices, but no including storage yard, transformer stations, substations or gas regulator stations 13. Financial institution uses with drive-in facilities as an accessory use only 14. Public or private indoor and private outdoor recreational facilities 15. Day care centers and adult day care centers 16. Secondary uses 17. Site down restaurants 18. Other uses similar to the above uses and subject to the same conditions noted 19. Accessory building and uses customarily incidental and integral to any of the above permitted uses	9. Auto wash 10. Bus passenger stations 11. New and used car salesroom, showroom, or office 12. Other uses similar to the above uses 13. Tattoo parlors 14. Publicly owned and operated parks, parkways, and outdoor recreational facilities 15. Accessory structures and uses customarily incidental to the above permitted uses 16. Public or private health and fitness facilities and clubs 17. Microbreweries 18. Brewpubs
Special Land Uses	1. Retail businesses use 2. Retail business service uses 3. Restaurants, including sit down 4. Fast food drive-through restaurants	1. Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile home, or rental or trailers or automobiles 2. Motel 3. Business in the character of a drive-in or open front store 4. Veterinary hospitals or clinics 5. Plant materials nursery 6. Public or private indoor and private outdoor recreational facilities 7. Mini-lube or oil change establishments 8. Sale of produce and seasonal plant materials outdoors 9. Restaurant in the character of a fast food carryout, drive-in, fast food drive-through, or fast food sit-down
Building Height	46 ft. or 3 stories, whichever is less	30 ft.
Building Setbacks	All: 50 ft.	Front: 30 ft. Side: 15 ft. Rear: 20 ft.
Parking Setbacks	All: 20 ft.	Front: 20 ft. Side/Rear: 10 ft.

Infrastructure Concerns

• **Engineering**

The Staff Engineer has reviewed the PRO Concept Plan and request for rezoning. In summary, the concept plan provided with the request proposed a 3,936 sq. ft. retail building with a

demand of 3 REUs which is less than the current zoning. Therefore, the plan would have negligible impact on the utilities.

- **Traffic**

The City's traffic consultant has reviewed the PRO Concept Plan and performed an initial trip generation estimate and a Rezoning Traffic Impact Study is not warranted for this expansion.

Major Conditions of Planned Rezoning Overlay Agreement

The Planned Rezoning Overlay process involves a PRO concept plan and specific PRO conditions in conjunction with a rezoning request. The submittal requirements and the process are codified under the PRO ordinance (Section 7.13.2). Within the process, which is completely voluntary by the applicant, the applicant and City Council can agree on a series of conditions to be included as part of the approval.

The applicant is required to submit a conceptual plan and a list of terms that they are willing to include with the PRO agreement. The applicant has submitted a conceptual plan showing the general layout of the rebuilt convenience store and fuel station, detention pond, and landscaping. The applicant has provided a narrative describing the proposed public benefits.

1. Install a "Welcome to Novi" sign along the 14 Mile Road property line.
2. Dedicate 10 ft. of ROW along 14 Mile Road.
3. Redevelop the site with a building and canopy that is architecturally consistent with current zoning regulations.
4. Pedestrian access is improved: (a) Sidewalks will be extended the length of the expanded property and will close gaps in the sidewalk system and (b) sidewalk connections from the convenience store to 14 Mile Road and Haggerty Road are provided.
5. Safety improvements: (a) relocation of driveway away from 14 Mile and Haggerty intersection and to align with opposing driveway and (b) on-site circulation and visibility with new canopy.

Ordinance Deviations

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. These deviations must be accompanied by a finding by City Council that *"each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."* Such deviations must be considered by City Council, who will make a finding of whether to include those deviations in a proposed PRO agreement. The proposed PRO agreement would be considered by City Council after tentative approval of the proposed concept plan and rezoning.

The concept plan submitted with an application for a rezoning with a PRO is not required to contain the same level of detail as a preliminary site plan. Staff has reviewed the concept plan inasmuch detail as possible to determine what deviations from the Zoning Ordinance are currently shown. In many cases, additional information is required to make a determination if a deviation is required. The applicant may choose to revise the concept plan to better comply with the standards of the Zoning Ordinance, or may proceed with the plan as submitted with the understanding that those deviations would have to be approved by City Council in a proposed PRO agreement. The following are deviations from the Zoning Ordinance and other applicable ordinances requested by the applicant:

1. Asphalt shingle, flat metal panel, and brick Section 9 façade waiver.
2. Deviation to allow the driveway on 14 Mile Road to be located approximately 121 ft. from the neighboring driveway to the west. The variation is requested to allow the existing driveway on 14 Mile Road to align with the opposing driveway on the north side of 14 Mile Road. The

current driveway is approximately 119 ft. from the intersection, while the relocated driveway is approximately 203 ft. from the intersection. The new driveway location will improve safety and site distance at the intersection.

Applicant Burden under PRO Ordinance

The Planned Rezoning Overlay ordinance requires the applicant to demonstrate that certain requirements and standards are met. The applicant should be prepared to discuss these items, especially in part a, where the ordinance suggests that the enhancement under the PRO request would be unlikely to be achieved or would not be assured without utilizing the Planned Rezoning Overlay. Section 7.13.2.D.ii states the following:

- a. *Approval of the application shall accomplish, among other things, and as determined in the discretion of the City Council, the integration of the proposed land development project with the characteristics of the project area, and result in an enhancement of the project area as compared to the existing zoning, and such enhancement would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.*
- b. *Sufficient conditions shall be included on and in the PRO Plan and PRO Agreement on the basis of which the City Council concludes, in its discretion, that, as compared to the existing zoning and considering the site specific land use proposed by the applicant, it would be in the public interest to grant the Rezoning with Planned Rezoning Overlay; provided, in determining whether approval of a proposed application would be in the public interest, the benefits which would reasonably be expected to accrue from the proposal shall be balanced against, and be found to clearly outweigh the reasonably foreseeable detriments thereof, taking into consideration reasonably accepted planning, engineering, environmental and other principles, as presented to the City Council, following recommendation by the Planning Commission, and also taking into consideration the special knowledge and understanding of the City by the City Council and Planning Commission.*

Public Benefit under PRO Ordinance

Section 7.13.2.D.ii states that the City Council must determine that the proposed PRO rezoning would be in the public interest and the public benefits of the proposed PRO rezoning would clearly outweigh the detriments:

1. Install a "Welcome to Novi" sign along the 14 Mile Road property line.
2. Dedicate 10 ft. of right-of-way along 14 Mile Road.
3. Redevelop the site with a building and canopy that is architecturally consistent with current zoning regulations.
4. Pedestrian access is improved: (a) Sidewalks will be extended the length of the expanded property and will close gaps in the sidewalk system and (b) sidewalk connections from the convenience store to 14 Mile Road and Haggerty Road are provided.
5. Safety improvements: (a) relocation of driveway away from 14 Mile and Haggerty intersection and to align with opposing driveway and (b) on-site circulation and visibility with new canopy.

The proposed benefits should be weighed against the proposal to determine if they clearly outweigh any detriments of the proposed rezoning. Of the 5 benefits listed, three – architectural improvements, pedestrian access, and safety improvements – would be requirements of any new development on the subject property under the existing zoning. The two others – "Welcome to Novi" sign and right-of-way dedication along 14 Mile Road – would be considered enhancements that would benefit the public that would not be required as part of a development under the

existing zoning. However, it should be noted that while it is not required the dedication of right-of-way is typical of developments.

Recommendation

Approval of the **PRO Concept Plan is recommended** because the rezoning request fulfills two objectives of the Master Plan for Land Use by fostering a favorable business climate and strengthening an existing business. The rebuild and expansion of this site provides an update to the visual aesthetic at an entryway to the City, modern fuel dispensers and convenience store, and replacement of underground storage tanks. The rezoning will also have negligible impact on the utilities due to expected utility demand reduced from 4 residential equivalent units to 3, minimal impact on available water capacity, pressure, and flow, and no apparent impact of the downstream sanitary sewer. Finally, the plan improves existing non-conformities (minimum site size from 0.7 acres to 2.03 acres, location of driveways away from intersection, and upgraded stormwater management).

The plan conforms to the requirements of the Zoning Ordinance, with additional details required with the next site plan submittal. The PRO agreement and concept plan approval are step one in the process; the applicant will still need to seek the required approvals from Planning Commission for the Preliminary Site Plan, Section 9 Façade Waiver, and Stormwater Management Plan.

Other Reviews:

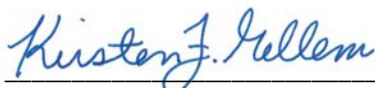
- a. Engineering Review: **Not recommended at this time** with changes needed on the next submittal.
- b. Landscape Review: **Recommended for Approval** with comments to be addressed on the next submittal.
- c. Wetland and Woodland Reviews: It was determined at Pre-Application and again with PRO Concept Plan submittal that there are no regulated wetlands or woodlands on site. No further review is needed.
- d. Traffic Review: **Recommended for Approval** with comments to be addressed on the next submittal.
- e. Facade Review: **Recommended for a Section 9 Façade Waiver**.
- f. Fire Review: **Recommended for Approval** with comments to be addressed on the next submittal.

Response Letter

This Site Plan is scheduled to go before the Planning Commission on September 14, 2016. Please provide the following **no later than September 7, 2016 at Noon** if you wish to keep the schedule.

1. A response letter addressing **ALL** the comments from **ALL** the review letters.
2. A PDF version of all the Site Plan drawings that were dated 7/6/2016 (less than 10 MB). **NO CHANGES MADE**.
3. A color rendering of the Site Plan, if any.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or kmellem@cityofnovi.org.



Kirsten Mellem, Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: August 11, 2016
Review Type: Concept PRO
Project Name: Speedway at 14 Mile and Haggerty
Plan Date: 7.15.2016
Prepared by: Kirsten Mellem, Planner
Contact: E-mail: kmellem@cityofnovi.org Phone: 248.347.0484

Items in **Bold** need to be addressed by the applicant prior to the approval of the Preliminary Site Plan. Items underlined need to be addressed prior to the approval of the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted August 25, 2010)</i>	Office Research Development Technology	Fueling Station and Retail Food	Yes	
Area Study	The site does not fall under any special category	NA	Yes	
Zoning <i>(Effective Dec. 25, 2013)</i>	B-3: General Business District & OST: Office Service Technology	B-3	Yes	Proposing PRO Rezoning (See Sec.7.13.2 for details)
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses	Rebuild of fueling station with addition of retail food business	Yes	Permitted Use under B-3
Fueling Stations And Minor Automobile Service Establishments (Sec. 4.29)				
Curb Cuts for Entrances <i>(Sec 4.29.1.A)</i>	Entrances shall be no closer than 100 ft. from street intersections or from adjacent residential districts	Changes to entrances proposed, 100 ft. from intersection	Yes	
Minimum Site Size <i>(Sec 4.29.1.B)</i>	Minimum lot area shall be 1 acre	Combining lots to equal 2.03 acres	Yes	<u>Lot combination required prior to Final Site Plan approval</u>
Location of Fueling station <i>(Sec 4.29.1.C)</i>	<ul style="list-style-type: none"> - Minimize the impact on residential districts, OS-1, OSC or B-1 - Ample space for vehicles waiting for service or picked up after service - Sufficient stacking space shall be provided at the pump 	NA NA Show stacking spaces on site plan	NA NA Yes	

Item	Required Code	Proposed	Meets Code	Comments
Canopies (Sec 4.29.1.D) (Sec. 4.19.2.C.i)	- Attached canopies shall comply with building setback requirements	NA	NA	
	- Detached canopies shall comply with Section 4.19: Canopies shall be 15 ft. from Right-of-way	52 ft. proposed	Yes	
Height, bulk, density and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	14 Mile and Haggerty	Yes	
Minimum Zoning Lot Size (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	2.03 acres Minimum required is 1 acre (per section 4.29)	Yes	
Open Space Area	---	---	---	---
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)		NA	
Building Height (Sec. 3.1.23.D)	30 ft.	23.6 ft. provided in project narrative	Yes	
Building Setbacks (Sec 3.1.23.D)				
Front (east)	30 ft.	137 ft.	Yes	
Exterior Side (north)	30 ft. (Sec. 3.6.2.C)	100 ft. and 110 ft.	Yes	
Interior Side (south)	15 ft.	108 ft.	Yes	
Rear (west)	20 ft.	110 ft.	Yes	
Parking Setback (Sec 3.1.23.D)				
Front (east)	20 ft.	108 ft.	Yes	
Exterior Side (north)	10 ft.	68 ft. and 78 ft.	Yes	
Interior Side (south)	10 ft.	38 ft.	Yes	
Rear (west)	10 ft.	111 ft.	Yes	
Note To District Standards (Sec 3.6.2)				

Item	Required Code	Proposed	Meets Code	Comments
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	100 ft. proposed 30 ft. required	Yes	
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Proposed	Yes	
Parking Setback from Residential District (Sec 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum parking setback shall be 20 ft.	NA	NA	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	NA	NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided	Yes	See landscape letter for additional details
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	NA	
Parking, Loading, and Dumpster Requirements				
Number of Parking Spaces	1 space per 200 sq. ft. of usable floor area + accessory uses; 3 spaces minimum	38 parking spaces proposed	Yes	
Fueling Station without accessory service garage (Sec.5.2.12.E)	1 per fueling station 16 fueling stations 3,936/200 = 20 spaces 36 spaces required			

Item	Required Code	Proposed	Meets Code	Comments
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	<ul style="list-style-type: none"> - 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping 	<p>All parking spaces are proposed to be 9 ft. x 19 ft.</p> <p>Proposed drives are 24 ft. wide</p>	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA	NA	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	None proposed	NA	
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 2 barrier free parking spaces required for 26-50 parking requirement - Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible 	1 van accessible spaces proposed	No	Provide one more ADA/Barrier Free parking space.
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	8 ft. wide spaces with 8 ft. wide access aisle proposed.	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	None proposed	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	2 spaces required for fueling stations	2 spaces proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	20 ft. proposed	Yes	
		NA	NA	
		Proposed	Yes	
		7 ft. proposed	Yes	
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	6 ft. proposed	Yes	
Loading Spaces (Sec. 5.4.2)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	820 sq. ft. of loading area required. (240+551+168 = 959 sq. ft. proposed)	Yes	Deviation in the PRO should be requested
		Located in the front yard	No	
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Proposed in the front yard	No	Deviation in the PRO should be requested
		NA	NA	
		45 ft. from building	Yes	
		Not in setback, 38 ft. from lot line	Yes	
		NA	NA	
		Proposed away from barrier free	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Yes Yes Yes Yes Yes Yes	Yes	
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Photometric plan provided	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Proposed	Yes	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Proposed	Yes	
B-3 District Required Conditions (Sec 3.10.3)				
Outdoor Storage of above ground storage tanks (Sec 3.10.3)	<ul style="list-style-type: none"> - No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. - Pedestrian exits or emergency doors are permitted on such building facades. 	No proposed service doors Proposed	NA Yes	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- A 6 ft. – 8 ft. wide sidewalk or roadside pathway shall be constructed along all arterial and collector roads	6 ft. wide sidewalk connection proposed on 14 Mile. Existing sidewalk on Haggerty is	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	except in industrial districts	5 ft. wide.		
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Sidewalk connection to 14 Mile and Haggerty Roads provided.	Yes	
Building Code and Other Design Standard Requirements				
Building Code	Building exits must be connected to sidewalk system or parking lot.	Proposed	Yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Some details provided	No	Provide parcel numbers on the ALTA plans.
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Provided	Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	<ul style="list-style-type: none"> - Redevelopment would increase from 13 to 20 employees. - Sales volume would increase from \$11.7 million to \$16.25 million. - Sales tax generation would increase from \$614,000 to \$850,000. - Estimated redevelopment cost is \$3.1 million. 	Yes	
Development/ Business Sign	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - Exterior Signage is not 	2 signs proposed; one ground and one wall	NA	<u>For sign permit information contact Jeannie Niland</u>

Item	Required Code	Proposed	Meets Code	Comments
	regulated by the Planning Division or Planning Commission.			<u>248-347-0438.</u>
Rezoning Signage Site Plan and Development Manual, Chapter 3	Applicant must install rezoning sign a minimum of 15 days prior to the Planning Commission Hearing. Dimensions and locations specified in the Site Plan Manual.	Proposed	No	Provide the height of the letters on the sign.
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan provided.	Yes	
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Proposed	Yes	
Lighting Plan (Sec.5.7.A.2)	Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type & color rendition of lamps ▪ Hours of operation Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Fixture height is proposed to be 15 ft. pole on 2 ft. concrete pad; total is 17 ft. high The store operation is 24/7 and lighting associated with store operation from dusk to dawn.	Yes	
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	30 ft. maximum 17 ft. proposed	Yes	
Required Conditions (Sec. 5.7.3.B)	<ul style="list-style-type: none"> ▪ Electrical service to light fixtures shall be placed underground ▪ Flashing light shall not be 	Proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	permitted <ul style="list-style-type: none"> ▪ Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			
Required Conditions (Sec. 5.7.3.E)	Average to minimum light level of the surface being lit to the lowest light of the surface being lit not to exceed 4:1	Average light proposed is 2.16:1	Yes	
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED proposed	Yes	
Min. Illumination (Sec. 5.7.3.k)	<ul style="list-style-type: none"> ▪ Parking areas: 0.2 min ▪ Loading & unloading areas: 0.4 min ▪ Walkways: 0.2 min ▪ Building entrances, frequent use: 1.0 min ▪ Building entrances, infrequent use: 0.2 min 	Lighting minimums and maximums proposed	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	NA	NA	
Cut off Angles (Sec. 5.7.3.L)	<ul style="list-style-type: none"> ▪ Cut off angles of fixtures must be 90° adjacent to residential districts ▪ Max illumination at the property line shall not exceed 0.5 foot candle 	NA	NA	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

08/12/2016

Engineering Review

Speedway - Rebuild - PRO
JSP16-0013

Applicant

EMRO MARKETING CO

Review Type

Concept Plan

Property Characteristics

- Site Location: S. of 14 Mile Rd. and W. of Haggerty Rd.
- Site Size: 2.03 acres
- Plan Date: 07/15/16
- Design Engineer:

Project Summary

- Construction of an approximately 3,936 square-foot retail building and associated parking. Site access would be provided by new curb cuts onto 14 Mile Rd. and Haggerty Rd. replacing the existing curb cuts closer to the intersection. The 5/6-foot wide sidewalks along the 14 Mile Rd. and Haggerty Rd. frontages would be completed.
- Water service would be provided by 1 or 1.5-inch domestic lead from the existing 8-inch water main stub on the south side of 14 Mile Rd.
- Sanitary sewer service would be provided a 6-inch sanitary lead from the existing sanitary sewer on the south side of 14 Mile Rd.
- Storm water would be collected by a single storm sewer collection system and detained in an on-site basin.

Recommendation

Approval of the Concept Plan and the Concept Storm Water Management Plan is NOT recommended.

Comments:

The Concept Plan does not meet the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual. The following items must be addressed prior to resubmittal:

1. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. The drive on Haggerty is shown at 9.2-percent. Consider alternate drive locations to reduce the drive slope.
2. Revise the grading, storm sewer, and drainage areas to capture more of the southern portion of the site.

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

3. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
4. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).
5. The plans are not to the specified scale.
6. Provide a minimum of two ties to established section or quarter section corners.
7. **A right-of-way permit will be required from the City of Novi and Oakland County.**
8. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
9. Clearly distinguish between proposed improvements and existing features of the site.
10. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
11. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
12. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
13. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.

Water Main

14. The proposed water lead is connecting to a water main that is served by Commerce Township. Contact Commerce Township for review and any additional requirements.

Sanitary Sewer

15. Verify the location of the existing sanitary sewer.
16. Provide the size of the existing sanitary sewer.

17. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
18. Provide a note on the Utility Plan stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
19. Provide the slope of the proposed sanitary lead. A minimum slope of 1% is required.

Storm Sewer

20. Provide type of H.D.P.E pipe proposed for storm sewer.
21. H.D.P.E. pipe is not permitted in the R.O.W. Storm sewer in the R.O.W. must be class IV R.C.P.
22. Provide profiles for all storm sewer 12-inches or larger.
23. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
24. The structure numbers do not appear to match the callouts on the table on sheet CU.

Storm Water Management Plan

25. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
26. Provide drawings, details, and a cross-section for the proposed basin outlet.
27. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
28. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
29. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
30. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.
31. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
32. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high water elevation of the groundwater table.

33. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.
34. Provide a cross-section of the basin.
35. Clearly show the emergency overland flow route for the proposed basin.
36. If a wet basin is proposed with a 3 foot permeant water level.

Paving & Grading

37. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.
38. Provide cross-sections of the proposed pavement.
39. The right-of-way sidewalk shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased to 8-inches thick along the crossing or match the proposed cross-section if the approach is concrete. The thickness of the sidewalk shall be increased to 8 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.
40. The City standard straight-faced curb (MDOT C-4 curb detail) shall be provided. Revise details accordingly.
41. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
42. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.

Off-Site Easements

43. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.
 - a. A temporary grading easement is required from the property owner to the south.

The following must be provided at the time of Concept Plan resubmittal:

44. A letter from either the applicant or the applicant's engineer must be submitted with the revised concept highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted at the time of Final Site Plan submittal:

45. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-

way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

46. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
47. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

48. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
49. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
50. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
51. A permit for work within the right-of-way of 14 Mile Rd. and Haggerty Rd. must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
52. A permit for work within the right-of-way of 14 Mile Rd. and Haggerty Rd. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
53. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
54. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
55. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

56. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Jeremy Miller at (248) 735-5694 with any questions.

A handwritten signature in black ink that reads "Jeremy J. Miller". The signature is written in a cursive style and is positioned above a solid horizontal line.

cc: Rob Hayes, Engineering
Kirsten Mellem, Community Development

MEMORANDUM



TO: BARBARA MCBETH, CITY PLANNER
FROM: JEREMY MILLER, STAFF ENGINEER *JM*
SUBJECT: REVIEW OF REZONING IMPACT ON PUBLIC UTILITIES
REZONING 18.709, SPEEDWAY PRO
DATE: AUGUST 10, 2016

The Engineering Division has reviewed the planned rezoning overlay (PRO) request for the 1.33 gross acres located on the west side of Haggerty Road and south side of 14 Mile Road. The applicant is requesting to rezone 1.33 acres from OST to B-3 as part of a planned rezoning overlay. The Master Plan for Land Use indicates a master planned density of 2.8 units per acre, equivalent to the current B-3 zoning on the property. While the applicant is proposing to rezone the property to B-3 (1.8 units per acre density), a concept plan has been provided as part of the PRO.

Utility Demands

A residential equivalent unit (REU) equates to the utility demand from one single family home. If the area were developed under the current zoning, demand on the utilities for the site would be approximately 4 REUs. The proposed B-3 zoning would yield 3 REUs, a decrease of 1 REUs over the current zoning and the master plan utility demand.

Water System

The project is located within the High Water Pressure District. Water service is currently available from an 8-inch diameter main from the north under 14 Mile Rd. This water main is under the jurisdiction of Commerce Township. Review of the plan by Commerce Township is required. The proposed rezoning would have minimal impact on available capacity, pressure and flows in the water system.

Sanitary Sewer

The project is located within the Commerce Township Sewer District. Sanitary service is currently available from an 8-inch diameter main on the south side of 14 Mile Rd. The proposed rezoning is not anticipated to have an apparent impact on the capacity of the downstream sanitary sewer.

Summary

The concept plan provided with the PRO request proposes a 3,936 retail building with a demand of 3 REUs which is less than the current zoning. Therefore, the plan would have negligible impact on the utilities.

cc: Rob Hayes, P.E.; City Engineer
Ben Croy, P.E.; Water and Sewer Senior Manager

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

July 22, 2016

Preliminary Site Plan - Landscaping

Speedway Rebuild – 14 Mile Rd & Haggerty Rd

Review Type

Preliminary Site Plan Landscape Review

Project Number

JSP16-0013

Property Characteristics

- Site Location: Southwest corner of 14 Mile Road and Haggerty Road
- Site Zoning: OST – Proposed B-3 with PRO
- Adjacent Zoning: OST, Commerce Township, Farmington Hills
- Plan Date: July 1, 2016

Recommendation:

This project is **recommended for approval** with the understanding that the items listed below will be addressed satisfactorily in the Final Site Plans.

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. Please consult the Landscape Chart for more detailed discussions of some items.

EXISTING ELEMENTS

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Existing and proposed utilities are shown on landscape plans.
2. **Please clearly indicate the fire hydrant location.**

Existing Trees and Tree Protection (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. All existing trees, tree removals and trees to be saved are shown on plans.
2. Tree protection fencing and fencing details have been provided.

LANDSCAPING REQUIREMENTS

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Twenty foot greenbelt provided meets requirements.
2. **Required berm is provided but needs to be modified to provide minimum height of 3 feet.**
3. **Required canopy and subcanopy trees are provided for all requirements except the Haggerty Road greenbelt. Seven credits for preserved trees are used, but the landscaping still requires either 9 deciduous canopy/large evergreen trees, or 2 deciduous canopy trees and 7 more subcanopy trees.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

The required number of street trees along both 14 Mile and Haggerty Roads are provided. 18 subcanopy trees are used along Haggerty Rd instead of 9 canopy trees due to nearby overhead lines.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C)

1. Please combine two 168sf islands in east bay into one and only plant one large deciduous canopy tree in it to provide better survival for that tree
2. Do not count area of islands/corners where no trees are planted.

Parking lot Perimeter Landscaping (Zoning Sec 5.5.3.C.iii footnote)

Ginkgo trees are planted too close together for their mature size. Please provide better spacing for the trees in order to provide better chances for survival. If total requirement for perimeter trees can't be met (i.e. a tree needs to be removed from the crowded areas), that is acceptable.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. All required detention basin landscaping is provided.
2. Please specify a seed mix for the detention basin that does not include crown vetch, and is composed of native Michigan plants.

Transformer/Utility Box and Fire Hydrant Plantings (LDM 1.3 from 1-5, Zoning Sec 5.5.3.C.ii.d)

Please add shrubs to the west of the transformer per the city standard detail.

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. Foundation landscaping needs to be provided around the entire building.
2. Areas with just lawn cannot be counted as foundation landscape area.
3. Please see the Landscape Chart for additional information regarding this requirement.

OTHER REQUIREMENTS

Plant List, Notations and Details (LDM 2.h. and t.)

All have been provided satisfactorily.

Cost estimates for Proposed Landscaping (LDM 2.t.)

Cost estimates will be needed for Final Site Plans.

Irrigation (LDM 1.a.(1)(e) and 2.s)

An irrigation plan for all landscaped areas is required as part of the Final Site Plans.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Proposed grading is provided on the landscape plans.

Snow Deposit (LDM.2.q.)

Snow deposit areas have been noted on the plans.

Corner Clearance (Zoning Sec 5.9)

Required corner clearances are provided.

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



LANDSCAPE REVIEW SUMMARY CHART

Review Date: July 22, 2016
Project Name: JSP16 – 0013: SPEEDWAY – 14 MILE RD & HAGGERTY
Plan Date: July 1, 2016
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Yes	Yes	1"=20', 1"=10'
Project Information <i>(LDM 2.d.)</i>	Name and Address	Yes	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA	Yes	Yes	
Sealed by LA. <i>(LDM 2.g.)</i>	Requires original signature	Yes	Yes	
Miss Dig Note <i>(800) 482-7171 (LDM.3.a.(8))</i>	Show on all plan sheets	Yes	Yes	
Zoning <i>(LDM 2.f.)</i>	Include all adjacent zoning	Yes	Yes	Ex. Zoning B-3/OST, proposed zoning B-3/PRO; OST west and south, Farmington Hills east, Commerce Township north
Survey information <i>(LDM 2.c.)</i>	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey 	Yes	Yes	Sheets 1-3

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Existing topography 			
Existing plant material Existing woodlands or wetlands <i>(LDM 2.e.(2))</i>	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	Yes	Yes	Sheet 2, Sheets L-5 through L-9
Soil types <i>(LDM.2.r.)</i>	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Yes	Yes	Sheet 2224-LP3
Existing and proposed improvements <i>(LDM 2.e.(4))</i>	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities <i>(LDM 2.e.(4))</i>	Overhead and underground utilities, including hydrants	Yes	Yes	
Proposed grading. 2' contour minimum <i>(LDM 2.e.(1))</i>	Provide proposed contours at 2' interval	Yes	Yes	Sheets 5-7
Snow deposit <i>(LDM.2.q.)</i>	Show snow deposit areas on plan	Yes	Yes	Please label as "Snow deposit area"
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements <i>(LDM 1.c)</i>	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	Yes	Yes	
Name, type and number of ground cover <i>(LDM 1.c.(5))</i>	As proposed on planting islands	NA		Note indicates that seed or sod is shown on Soil Erosion Control Plan but that sheet was not included in set.
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands <i>(a, b. i)</i>	<ul style="list-style-type: none"> A minimum of 300 SF to qualify 6" curbs Islands minimum width 10' BOC to BOC 	Sufficient area, but 1 island has no plantings, 2 islands only 163.8 sf each	Yes/No	<ol style="list-style-type: none"> Don't count area of 401sf island at northeast entry if no tree is planted in it. Please combine two 163.8sf islands (at northern end of bay) to form one large island with 1 large canopy tree.
Curbs and Parking stall reduction <i>(c)</i>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7	Yes/No		Spaces at north end of building can be shortened to provide more building

Item	Required	Proposed	Meets Code	Comments
	ft.			foundation landscape area.
Contiguous space limit (i)	Maximum of 15 contiguous spaces	Yes	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	TBD	TBD	1. Please add note stating trees to be kept 10 feet away from utility structures and fire hydrants. 2. It appears that no plants are near hydrant, but it isn't clear that structure east of north entrance is a fire hydrant. 3. Please clearly label any/all fire hydrant(s) on landscape plan.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with 6" of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	Refer to Residential Adjacent to Non-residential berm requirements chart	NA		Site is not adjacent to residential areas.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	Refer to ROW landscape screening requirements chart for corresponding requirements.	Yes	Yes	Berms provided.
Cross-Section of Berms (LDM 2.j)				

Item	Required	Proposed	Meets Code	Comments
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Constructed of loam with 6" top layer of topsoil. 	No cross section detail provided.	Yes	Please add a typical berm cross section detail showing slope, crest width, minimum height, construction materials.
Type of Ground Cover		Yes	Yes	Seed or sod. Please label which on landscape plan.
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	Yes	Yes	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	NA		No walls proposed.
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	20 ft.	20 ft	Yes	
Min. berm crest width	2 ft.	Yes	Yes	
Minimum berm height (9)	3 ft.	No	No	1. It appears the berm along Haggerty Road does not meet minimum height requirement of 3 feet along entire frontage. Variation in height is provided as required, but minimum height must be maintained along entire berm. 2. Please increase berm height to meet minimum height requirement.
3' wall	(4)(7)	NA		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> ▪ 1 tree per 35 l.f. ▪ 14 Mile Rd: 300/35=9 trees ▪ Haggerty Rd: 300/35 = 	14 Mile Rd: 12 trees Haggerty Rd: 0 large evergreen or deciduous canopy	Yes/No	Either 2 deciduous canopy trees/large evergreen trees and 7 more subcanopy trees

Item	Required	Proposed	Meets Code	Comments
	9 trees	trees . 7 credits for preserved trees used.		or 9 deciduous canopy trees or large evergreen trees should be added to the Haggerty Road greenbelt.
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> ▪ 1 tree per 20 l.f.; ▪ 14 Mile Rd: 300/20=15 trees ▪ Haggerty Rd: 300/20 = 15 trees 	14 Mile Rd: 15 trees Haggerty Rd: 21 trees	Yes/No	See above.
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> ▪ 1 tree per 35 l.f. ▪ 14 Mile Rd: 300/35=9 trees ▪ Haggerty Rd: 300/35 = 9 trees 	14 Mile Rd: 9 trees Haggerty Rd: 18 subcanopy trees (overhead line)	Yes	
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		None		Additional shrubs should be placed south of south walk to screen loading zone and gasoline tank area from property to south.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	Screening on north east and south sides of transformer		Please add line of shrubs on west side of transformer per screening detail.
Foundation Plantings	<ul style="list-style-type: none"> ▪ 8 square feet of landscape area per 1 lf of building perimeter ▪ Landscaping on all four sides of building, minimum width of 4 ft ▪ 60% of sides facing roads to be landscaped ▪ 260 lf * 8 ft = 2,080 sf 	2,343 sf	No	<ol style="list-style-type: none"> 1. Landscaping must surround the building. 2. Lawn areas do not count as foundation landscaping. 3. If sufficient area is not available immediately adjacent to building, alternate areas can be provided to make up the difference. 4. Note: Shrubs along parking perimeter are not required by code. Those areas could be counted toward foundation landscaping. If they are to count, please

Item	Required	Proposed	Meets Code	Comments
				provide their areas in square feet. Note, the total island area of the large islands on the north side cannot count toward both foundation and parking lot island landscaping, but you can split the total area between uses. Please revise the totals if the island is to be split between requirements.
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	Large native shrubs around more than 70% of basin rim.	Yes	Please specify a mix using native Michigan plants for the detention basin and include the mix contents on the plan.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	Provide intended date	March 15-Nov 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	Please revise note #5 to state guarantee for 2 years.
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system and a method of draining is required with Final Site Plan	No		<u>Need for final site plan</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	Please revise note #5 to state guarantee for 2 years.

Item	Required	Proposed	Meets Code	Comments
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> Refer to LDM suggested plant list 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	Please note that Ilex glabra does not do well in this area in exposed situations such as those proposed. Please substitute a more hardy shrub in place of that species.
Type and amount of lawn		Yes	Yes	<u>Seed or sod. Quantities of each will be needed for Final Site plan. Seed mixes for each area will need to be specified on the plan.</u>
Cost estimate (LDM 2.t)		<ul style="list-style-type: none"> For all new plantings, mulch and sod as listed on the plan 	Yes	Yes
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		NA		
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	Please revise detail to show fence at 1 foot outside of dripline.
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/	Yes	Yes	Existing trees to be saved along Haggerty and 14 Mile can be counted toward

Item	Required	Proposed	Meets Code	Comments
	wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM			requirement.
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	
Plant size credit (LDM 3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	Yes	Yes	Please do not use any seed mixes with crown vetch, which is very invasive.
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Yes	Yes	Subcanopy trees used as street trees alongPlease label distance.
Collected or Transplanted trees (LDM 3.f)		Yes		Please add notes for transplanted trees from Landscaped Design Manual.
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 4" depth and shrubs, groundcovers to 3" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 	Yes	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW

Memorandum

To	Barbara McBeth, AICP	Page	1
CC	Kirsten Mellem		
Subject	JSP 16-0013 Speedway at Haggerty – Preliminary – Traffic Review		
From	Matt Klawon, PE		
Date	September 9, 2016		

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The project, Speedway #2224, is proposing to enlarge their site by purchasing the adjoining property as well as redevelop the convenience store. The project is located in the southwest corner of 14 Mile Road and Haggerty Road. Both roads are under the Road Commission for Oakland County's jurisdiction. The expanded site will add:
 - a. four additional fueling positions
 - b. larger convenience market
2. The existing site is zoned B-3 General Business District and the adjoining property is zoned OS-T Office Service Technology District. The applicant is requesting a zoning change from B-3 and OS-T to a B-3/PRO District.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 9th Edition, as follows:

ITE Code: 945 – Gasoline/Service Station with Convenience Market
Development-specific Quantity: 4 new fueling positions
Zoning Change: B-3 and OS-T to a B-3/PRO District

Trip Generation Summary				
	City of Novi Threshold	Estimated Trips (Permitted under existing zoning)	Estimated Trips (Permitted under proposed zoning)	Proposed Development
AM Peak-Hour, Peak-Direction Trips	100	N/A	N/A	21
PM Peak-Hour, Peak-Direction Trips	100	N/A	N/A	27
Daily (One-Directional) Trips	750	N/A	N/A	651

- The number of *additional* trips does not exceed the City's threshold of more than 750 trips per day or 100 peak direction trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	Not warranted.

- The number of *additional* trips does not exceed the City's threshold of more than 1,000 trips per day for a Rezoning Traffic Impact Study (RTIS), and therefore, a RTIS is not warranted.

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The driveway entrance widths are in compliance with City standards.
- Driveway radii should be labeled in order to ensure compliance with City standards.
- The proposed driveway along Haggerty Road is being shifted to the south and is now located in part of the existing taper section, which is not ideal if it can be avoided
- The applicant should review Figure IX.11 of the City's Code of Ordinances and provide the applicable taper and/or acceleration/deceleration lanes as required.
 - A gasoline station with convenience market with 16 fueling stations is expected to generate 217 trips during the PM peak hour based on the ITE Trip Generation Manual, 9th Edition (ITE Code 945). If equal distribution were to be assumed at both driveways and among left and right-turning vehicles, there would be approximately 27 right turning vehicles during the PM peak hour at each of the site driveways.

- b. According to Southeast Michigan Council of Governments (SEMCOG) traffic count data, the following two-way, 24-hour volumes exist:
 - i. 14 Mile Road (Welch to Haggerty, 2012) = 14,868
 - ii. Haggerty Road (13 Mile to 14 Mile, 2012) = 15,720
 - c. Based on the SEMCOG two-way, 24-hour volumes and the estimated number of right turns into the site, right turn tapers are warranted at both site driveways.
 5. Sight distances should be labeled in the next submittal to ensure that the requirements listed in Figure VIII-E of the City's standards are met.
 6. The applicant is requesting a variance for driveway spacing along 14 Mile Road. The proposed driveway is located 121' from the neighboring driveway to the west but it aligns with the existing driveway on the north side of 14 Mile Road.
 7. **The applicant should request a City Council variance for the driveway on Haggerty Road.** While the proposed Speedway driveway aligns with the CVS driveway on the east side of Haggerty Road, there is a second shopping center driveway less than 200' to the south, which does not meet opposite side driveway spacing requirements.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General traffic flow operations is adequate throughout the site with the exception of the following concerns.
 - a. Trucks can adequately maneuver through the site.
 - b. The location of the trash dumpster and loading/unloading area is not in conflict with any parking spaces or pedestrian access.
2. Parking facilities
 - a. The number of parking spaces provided is adequate.
 - b. The design of the parking spaces meets City standards. Note that the parking spaces along the building and in the adjacent parking lot could be reduced to 17' in length if a 4" curb is provided and the sidewalk is constructed at 7'. Such alterations could allow for an increased area of green space.
 - c. Bicycle parking requirements are met.
3. Aisle width requirements are met.
4. The applicant should include radii and end island details throughout the site.
 - a. End islands are required to be 3' shorter than the parking space per Section 5.3.12 of the City's Zoning Ordinance.
 - b. The end island at the north end of the parking bay should have a minimum outside radius of 15' per Section 5.3.12 of the City's Zoning Ordinance
5. The proposed sidewalk is adequate and the applicant should include design details in the next submittal to ensure compliance with ADA requirements.
6. The applicant should include all signing and pavement marking information to verify compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD).

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

AECOM

Sincerely,

AECOM

A handwritten signature in blue ink that reads "Paula K. Johnson". The signature is written in a cursive style.

Paula K. Johnson, PE
Reviewer

A handwritten signature in blue ink that reads "Matthew G. Klawon". The signature is written in a cursive style.

Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS Engineering Services

FAÇADE REVIEW



August 8, 2016

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Review Status Summary:

Section 9 Waiver Recommended, applicant must provide sample board.

Re: **FACADE ORDINANCE - Facade Review –Preliminary Site Plan**
Speedway PRO, PSP16-0100
 Façade Region: 1, Zoning District: B-3/PRO

Dear Ms. McBeth;

The following is the Facade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Speedway Engineering, dated 4/7/16. The percentages of materials proposed for each façade are as shown in the tables below. The maximum and minimum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold. A color sample board was not provided at the time of this review.

Canopy (5,400 S.F.)	East (Front)	West (Rear)	South	North	Ordinance Maximum (Minimum)
Brick	20%	20%	30%	30%	100% (30%)
Flat Metal (Stucco Canopy)	71%	71%	59%	59%	50%
Trim (Painted Column)	9%	9%	11%	11%	15%

Building (8,200 S.F.)	East (Front)	West (Rear)	South	North	Ordinance Maximum (Minimum)
Brick	44%	55%	65%	65%	100% (30%)
Asphalt Shingles	51%	35%	30%	30%	25.0%
Flat Metal (RTU Screen)	0%	5%	2%	2%	50.0%
Trim (Gutter, Red)	5%	5%	3%	3%	15%

As shown above the minimum percentage of Brick is not provided on the east and west facades and the percentage of Flat Metal Panels exceeds the maximum amount allowed by the Ordinance on all facades of the canopy and the percentage of Asphalt Shingles exceeds the maximum amount allowed by the Ordinance on all facades of the building. The design is in general compliance with Section 5.15.12 of the Façade Ordinance that requires that not less than 30% of the façade of the canopy be of a material identical to a material used on the building. A Section 9 Waiver would be required for the above indicated deviations from the Façade Ordinance (highlighted in bold).

Recommendation –It is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage Flat Metal Panels and Asphalt Shingles and the underage of Brick. This recommendation is contingent upon a sample board showing the color of all materials being provided not less than 7 days prior to the Planning Commission meeting. It should be noted that the red color used on both the gutter and canopy must be a subdued tone consistent with Section 5.15.2 of the Ordinance, which prohibits intense colors. Additionally, the undefined material used in the equipment well area must be Brick or other material consistent with the façade chart. It should be noted that the use of accent illumination on the building or canopy is considered inconsistent with Section 5.15.2 the Façade Ordinance.

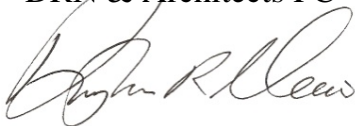
Notes to the Applicant:

1. It should be noted that any roof top equipment must be screened from view from all on-site and off-site vantage points using compliant materials consistent with the building design.
2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



July 29, 2016

TO: Barbara McBeth- City Planner
Kirsten Mellem- Plan Review Center

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Brian Burke

City Manager
Pete Auger

Director of Public Safety
Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Jerrod S. Hart

RE: Speedway, 31275 Haggerty

PSP#16-0100

Project Description: Renovation of existing station

Comments:

- 1) The dispensing area of a self-service gas station shall at all times be in clear view of the operator or attendant. Placing or allowing any obstacle to come between the dispensing area and the remote control console location is prohibited. Mirrors may be utilized to provide adequate visual control.
- 2) Two-way electronic voice communication shall be provided between the dispensing area of a self-service gas station and the remote control console unless unaided voice communications may be readily heard over all conditions of operation considering distance, noise levels, obstructions and enclosures.
- 3) A self-service gas station shall be equipped with a fire extinguisher having a minimum classification of 2A:40B:C located within thirty (30) feet of each dispensing device.
- 4) A self-service gas station shall be equipped with an approved switch or circuit breaker at the remote control console location to permit the shutting off of power to all dispensing devices in the event of an emergency. The switch or circuit breaker shall be clearly identified and easily accessible. An operator or attendant shall be in constant attendance and control of the switch or circuit breaker.
- 5) "Knox Box" to be installed on building exterior as required. Item will need to be noted on plans and installed in approved location per Fire Marshal's office.

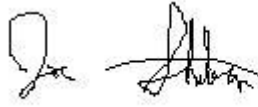
Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

Recommendation: Please note emergency pump shut down and fire extinguisher locations on future submittals.

Approved with above comment

Sincerely,

A handwritten signature in black ink, appearing to read 'Joseph Shelton', with a stylized flourish at the end.

Joseph Shelton- Fire Marshal
City of Novi – Fire Department

APPLICANT RESPONSE LETTER



September 6, 2016

Ms. Kirsten Mellem
Planner
City of Novi
45175 Ten Mile Road
Novi, Michigan 48375

Via Email

RE: JSP16-13 – Speedway – 31275 Haggerty Road – Comment Response Letter

Dear Kirsten:

The following responses are provided to the comments received from the Plan Center Review Report dates August 11, 2016 for the proposed expansion and reconstruction of Speedway #2224 at 31275 Haggerty Road, Novi, Michigan.

***Community Development Department – Kirsten Mellem, Planner
(Responses are provided in bolded comments received on the Planning Review Chart dated August 11, 2016.)***

1. Parking Setback Screening – See landscape letter for additional details.
Response: Comment was addressed in the Landscape Comment Response letter from Weihe Engineering.
2. Barrier Free Spaces – Provide one more ADA/Barrier Free parking space.
Response: An additional ADA/barrier free parking space will be added to the site plan.
3. Design and Construction Standards Manual – Provide parcel numbers on the ALTA plans.
Response: The parcel number will be added to the ALTA plans.
4. Rezoning Signage – Provide the height of the letters on the sign.
Response: The height of the letters was addressed directly with staff. A revised plan was transmitted to staff on August 17, 2016 and approved prior to signs being created and posted.

Engineering Department – Jeremy Miller, Engineer

Comment responses provided under separate cover.

Community Development Department – Rick Meader, Landscape Architect

Comment responses provided under separate cover.

Community Development Department – Traffic Review – Paula Johnson, P.E. & Matt Klawon, P.E., AECOM

(The responses below are from the comments received on August 1, 2016.)

- External Site Access and Operations:
 - The driveway radii will be labeled on final site plans.
 - Speedway will work with the City of Novi to design and properly illustrate the taper areas as identified in the comment letter.
 - Sight distances will be labeled on the revised plans.
 - Speedway is requesting approval of the driveways as shown on the plans.
- Internal Site Operations
 - The parking islands will be modified to conform with the standards of the landscape regulations and the comments provided in the letter.
 - Design details of the sidewalks will be provided to ensure compliance with ADA standards.
 - All required signage and pavement markings will be provided on final engineering plans.

Community Development Department – Architectural Review – Doug Necci, DRN & Associates

1. Speedway is requesting a waiver for the asphalt shingles as shown on the building elevations. See sheet 2224-ELE.
2. Speedway is requesting approval of the elevations as provided in the submittal packet.
3. Speedway will work with staff on the revised elevations to ensure compliance with City regulations.

Fire Department – Joseph Shelton – Fire Marshal

1. Speedway will work with the Fire Marshal to ensure compliance with this regulation.
2. Final details will be provided on the construction plans.
3. Final details and locations are provided on the construction plans.
4. These will be installed and the locations will be provided on the final site plans.
5. A Knox box will be installed and the details will be provided on the final plans.

Please review the responses and contact me immediately if additional information is needed.
Thank you for your continued assistance with this project.

Sincerely,



Robert C. Sweet

Enclosures

cc: Mike Bergman, Speedway
Justin Couch, Speedway
Ryan Roosen, Speedway
MDC #3675

September 6, 2016

Mr. Jeremy Miller
City of Novi
Engineering Department
45175 Ten Mile Road,
Novi, Michigan 48375

RE: JSP 16-13 – Speedway – 31275 Haggerty Road – Engineering Comment Response Letter

Dear Jeremy:

The following responses are provided based on the comments received on August 11, 2016 related to the expansion and reconstruction of Speedway #2224 at 31275 Haggerty Road, Novi, Michigan.

Comments:

1. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. The drive on Haggerty is shown at 9.2-percent. Consider alternate drive locations to reduce the drive slope.

Response: The approach grades within the first 25 feet of the intersection have been revised to not exceed 2%.

2. Revise the grading, storm sewer, and drainage areas to capture more of the southern portion of the site.

Response: A majority of the Southern portion drains towards the detention basin or onto our site. There is a yard drain in the South East corner to catch some of the runoff where our site is higher than the neighbor closer to the approach.

General

3. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

Response: Said not will be added to the final set.

4. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Response: Said detail sheets will be added to the final set.

5. The plans are not to the specified scale.

Response: This will be corrected.

6. 6. Provide a minimum of two ties to established section or quarter section corners.

Response: A minimum of two ties will be shown on the CS plan.

7. A right-of-way permit will be required from the City of Novi and Oakland County.

Response: This permit will be obtained as necessary.

8. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
Response: A new sheet will be created to show the boring locations and the boring logs will be provided.
9. Clearly distinguish between proposed improvements and existing features of the site.
Response: This will be done on the CS plan.
10. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
Response: A maintenance of traffic plan will be assembled to address this.
11. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
Response: This will be called out and shown on the CU plan.
12. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
Response: This will be shown on the CU plan.
13. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
Response: This note will be added to the CS plan.

Water Main

14. The proposed water lead is connecting to a water main that is served by Commerce Township. Contact Commerce Township for review and any additional requirements.
Response: Commerce Township will be contacted for review as requested.

Sanitary Sewer

15. Verify the location of the existing sanitary sewer.
Response: We will search for as-builts or perform additional survey work if necessary.
16. Provide the size of the existing sanitary sewer.
Response: We will search for as-builts or perform additional survey work if necessary.
17. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
Response: This will be addressed on the CU plan.

18. Provide a note on the Utility Plan stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.

Response: This will be addressed on the CU plan.

19. Provide the slope of the proposed sanitary lead. A minimum slope of 1% is required.

Response: This will be addressed on the CU plan.

Storm Sewer

20. Provide type of H.D.P.E pipe proposed for storm sewer.

Response: This will be addressed on the CU plan.

21. H.D.P.E. pipe is not permitted in the R.O.W. Storm sewer in the R.O.W. must be class IV R.C.P.

Response: This will be addressed on the CU plan.

22. Provide profiles for all storm sewer 12-inches or larger.

Response: This will be address by a new CU sheet.

23. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.

Response: We will try to meet the 3' cover, but certain to stay below the 2' minimum on our CU plan.

24. The structure numbers do not appear to match the callouts on the table on sheet CU.

Response: This will be addressed accordingly on the table.

Storm Water Management Plan

25. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.

Response: A SWMPP plan will be put together.

26. Provide drawings, details, and a cross-section for the proposed basin outlet.

Response: This will be provided on a new CU sheet.

27. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.

Response: This will be shown on the CS, CG and LP plans.

28. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.

Response: The requested bridge will be shown on the CS plan.

29. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.

Response: The requested access easement will be provided as necessary.

30. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.

Response: The outlet standpipe will be designed accordingly.

31. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).

Response: These calculations will be provided.

32. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high water elevation of the groundwater table.

Response: This will be done and shown on the newly created BP plan.

33. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.

Response: This will be shown on the CU plan.

34. Provide a cross-section of the basin.

Response: This will be provided on a new CU sheet.

35. Clearly show the emergency overland flow route for the proposed basin.

Response: Arrows will be provided to clearly show the flow route.

36. If a wet basin is proposed with a 3 foot permanent water level.

Response: No wet basin proposed.

Paving & Grading

37. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.

Response: This will be shown on the CU plans.

38. Provide cross-sections of the proposed pavement.

Response: This will be provided on a new CPC sheet.

39. The right-of-way sidewalk shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased to 8-inches thick along the crossing or match the proposed cross-section if the approach is concrete. The thickness of the sidewalk shall be increased to 8 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.

Response: Additional spot grades will be provided on the CG plan.

40. The City standard straight-faced curb (MDOT C-4 curb detail) shall be provided. Revise details accordingly.

Response: The requested detail will be provided on the CS plan.

41. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

Response: All spot elevations requested will be provided on the CG plan.

42. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.

Response: All stalls are 19' in length.

Off-Site Easements

43. Any off-site utility easements anticipated must be executed by both parties prior to final approval of the plans. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.

a. A temporary grading easement is required from the property owner to the south.

Response: This temporary easement will be handled prior to any work.

The following must be provided at the time of Concept Plan resubmittal:

44. A letter from either the applicant or the applicant's engineer must be submitted with the revised concept highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

Response: This will be done when the plans are resubmitted.

The following must be submitted at the time of Final Site Plan submittal:

45. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. The cost estimate must be itemized for each utility (water, sanitary, storm sewer), on-site paving, right-of way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

Response: The requested cost estimate will be provided.

The following must be submitted at the time of Stamping Set submittal:

46. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.

Response: The requested agreement will be put together as necessary.

47. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

Response: These will be provided as necessary.

The following must be addressed prior to construction:

48. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).

49. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

50. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.

51. A permit for work within the right-of-way of 14 Mile Rd. and Haggerty Rd. must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.

52. A permit for work within the right-of-way of 14 Mile Rd. and Haggerty Rd. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.

53. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.

54. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.

55. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

56. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please review the responses and contact me immediately if additional information is needed. Thank you for your continued assistance with this project.

Sincerely,



Robert C. Sweet

Enclosures

cc: Michael Bergman, Speedway
Justin Couch, Speedway
Ryan Roosen, Speedway

September 2, 2016

Mr. Rick Meader
Novi Landscape Architect
45125 W. Ten Mile Road
Novi, Michigan 48375
(248) 735-5621
rmeader@cityofnovi.org

RE: JSP 16-0013

Dear Mr. Meader:

This letter is in response to your comment email dated July 22, 2016 for the above referenced project. We have prepared the following responses to the plan review comments listed below.

EXISTING ELEMENTS:

2. *Comment:* Please clearly indicate the fire hydrant location.

Response: Hydrant is located West of existing entrance on W 14 Mile Rd. A note will be added to identify hydrant.

LANDSCAPING REQUIREMENTS:

2. *Comment:* Required berm is provided but needs to be modified to provide minimum height of 3 feet.

Response: The berm is shown as high as possible while still satisfying the maximum 4:1 slope.

2. *Comment:* Required canopy and subcanopy trees are provided for all requirements except the Haggerty Road greenbelt. Seven credits for preserved trees are used, but the landscaping still requires either 9 deciduous canopy/large evergreen trees, or 2 deciduous canopy trees and 7 more subcanopy trees.

Response: The requested 2 Deciduous and 7 subcanopy trees will be provided.

PARKING LOT LANDSCAPING (ZONING SEC. 5.5.3.C):

1. *Comment:* Please combine two 168sf islands in east bay into one and only plant one large deciduous canopy tree in it to provide better survival for that tree.

Response: Please clarify.

2. *Comment:* Do not count area of islands/corners where no trees are planted..

Response: Noted.

PARKING LOT PERIMETER LANDSCAPING (ZONING SEC 5.5.3.Ciii footnote):

Comment: Gingko trees are planted too close together for their mature size. Please provide better spacing for the trees in order to provide better chances for survival. If total requirement for perimeter trees can't be met (i.e. a tree needs to be removed from the crowded areas), that is acceptable.

Response: Will review and modify accordingly.

STORM BASIN LANDSCAPE (ZONING SEC 5.5.3.E.iv and LDM 1.d(3)):

2. *Comment:* Please specify a seed mix for the detention basin that does not include crown vetch, and is composed of native Michigan plants.

Response: Will modify accordingly.

BUILDING FOUNDATION LANDSCAPING (ZONING SEC. 5.5.3.D):

1. *Comment:* Foundation landscaping needs to be provided around the entire building.

Response: Landscaping on East side of parking to count towards foundation plantings.

2. *Comment:* Areas with just lawn cannot be counted as foundation landscape area.

Response: Noted.

3. *Comment:* Please see the Landscape Chart for additional information regarding this requirement.

Response: Noted.

SNOW DEPOSIT (LDM.2.q):

Comment: Please label as “Snow deposit area”

Response: This will be changed to the “Snow deposit area”

PARKING LOT ISLANDS(a,b,i):

1. *Comment:* Don’t count area of 401sf island at northeast entry if no tree is planted in it.

Response: Noted.

2. *Comment:* Please combine two 163.8sf islands (at northern end of bay) to form one large island with 1 large canopy tree.

Response: Will modify to show one island at 327.6 sf (each is 163.8 sf currently)

CURBS AND PARKING STALL REDUCTIN (c):

Comment: Spaces at north end of building can be shortened to provide more building foundation landscape area.

Response: We are opting to go with the 19’ parking stalls to hinder car overhang on the sidewalk.

PLANTINGS AROUND FIRE HYDRANT (c):

3. *Comment:* Please clearly label any/all fire hydrant(s) on landscape plan.

Response: Fire Hydrant will be labeled.

BERMS: SLOPE, HEIGHT AND WIDTH

Comment: Please add a typical berm cross section detail showing slope, crest width, minimum height, construction materials.

Response: Will show accordingly.

BERMS: TYPE OF GROUND COVER

Comment: Seed or sod. Please label which on landscape plan.

Response: Seed should be shown unless required to be sod.

ROW LANDSCAPE SCREENING REQUIREMENTS – MINIMUM BERM HEIGHT

2. *Comment:* Please increase berm height to meet minimum height requirement.

Response: The berm is shown as high as possible while still satisfying the maximum 4:1 slope.

CANOPY DECIDUOUS OR LARGE EVERGREEN TREES

Comment: Either 2 deciduous canopy trees/large evergreen trees and 7 more subcanopy trees or 9 deciduous canopy trees or large evergreen trees should be added to the Haggerty Road greenbelt.

Response: Will be added.

SUB-CANOPY DECIDUOUS TREES

Comment: See above.

Response: See above.

SCREENING OF OUTDOOR STORAGE, LOADING/UNLOADING

Comment: Additional shrubs should be placed south of south walk to screen loading zone and gasoline tank area from property to south.

Response: Will be added.

TRANSFORMERS/UTILITY BOXES

Comment: Please add line of shrubs on west side of transformer per screening detail.

Response: Typically a electric provider requires the side that opens to be clear of shrubs.

FOUNDATION PLANTINGS

1. *Comment:* Landscaping must surround the building.

Response: Noted. Shrubs on East side of parking to count.

2. *Comment:* Lawn areas do not count as foundation landscaping.

Response: Noted.

3. *Comment:* If sufficient area is not available immediately adjacent to building, alternate areas can be provided to make up the difference.

Response: Noted.

4. *Comment:* Note: Shrubs along parking perimeter are not required by code. Those areas could be counted toward foundation landscaping. If they are to count, please provide their areas in square feet. Note, the total island area of the large islands on the north side cannot count toward both foundation and parking lot island landscaping, but you can split the total area between uses. Please revise the totals if the island is to be split between requirements.

Response: Noted. Will use this as foundation planting replacement.

PLANTING REQUIREMENTS

Comment: Please specify a mix using native Michigan plants for the detention basin and include the mix contents on the plan.

Response: Noted.

MAINTENANCE & STATEMENT OF INTENT

Comment: Please revise note #5 to state guarantee for 2 years.

Response: Noted.

ESTABLISHMENT PERIOD

Comment: Please revise note #5 to state guarantee for 2 years.

Response: Noted.

PLANT LIST: BOTANICAL AND COMMON NAMES

Comment: Please note that Ilex glabra does not do well in this area in exposed

situations such as those proposed. Please substitute a more hardy shrub in place of that species.

Response: Noted.

PLANTING DETAILS/INFO: TREE PROTECTION FENCING

Comment: Please revise detail to show fence at 1 foot outside of dripline.

Response: Noted.

OTHER PLANT MATERIAL REQUIREMENTS: PROHIBITED PLANTS

Comment: Please do not use any seed mixes with crown vetch, which is very invasive.

Response: Noted.

OTHER PLANT MATERIAL REQUIREMENTS: RECOMMENDED TREES FOR PLANTING UNDER OVERHEAD UTILITIES

Comment: Subcanopy trees used as street trees along Please label distance.

Response: Noted.

Should you have any further questions or requests for additional information pertaining to this project review, please contact me at 317-846-6611.

Sincerely,

Eric Carter, R.L.A.
Project Manager, Commercial Development