

MEMORANDUM



TO: CITY OF NOVI PLANNING COMMISSION
FROM: CHRISTIAN CARROLL, PLANNER
THROUGH: BARBARA MCBETH, AICP, CITY PLANNER
SUBJECT: JSP 20-12 BECK NORTH UNIT 59
PRELIMINARY SITE PLAN EXTENSION
DATE: JULY 5, 2022

The subject property is located in Section 4, south of Cartier Drive and west of Hudson Drive, in the Light Industrial (I-1) zoning district. The applicant has received Preliminary Site Plan approval for a 31,617 square foot speculative warehouse/office building. The applicant is requesting an extension due to rising material costs from the continued impact of the COVID-19 pandemic. The subject property is approximately 3.49 acres.

The Planning Commission held a public hearing and approved the Preliminary Site Plan Woodland Use Permit, and Storm Water Management Plan at the August 12, 2020 meeting. This approval is valid for two years.

The applicant has received Final Site Plan approval, but has yet to submit final stamping sets and legal documents for the project. The applicant is requesting a one-year extension of Preliminary Site Plan approval until **August 12, 2023**, as they are not yet ready to commence construction on the development. The Zoning Ordinance allows for three, one-year extensions of Preliminary and Final Site Plan approvals. This is the first requested extension.

At this time, the Planning staff is not aware of any changes to the ordinances, or surrounding land uses, which would affect the approval of the requested extension for one year. **Approval of the extension of Preliminary Site Plan is recommended by staff.**

Attachments:

1. Letter of request for extension dated June 22, 2022, from Glenn E. Jones, Dembs Development, Inc.
2. A copy of approved Preliminary Site Plan
3. Action Summary from August 12, 2020 Planning Commission meeting
4. Minutes from August 12, 2020 Planning Commission meeting

**REQUEST FOR
ONE YEAR EXTENSION LETTER**



DEMBS

Development Inc

27750 Stansbury, Suite 200
Farmington Hills, Michigan 48334
(248) 380-7100 • Fax (248) 560-3030

June 22, 2022

Ms. Christian Carroll | Planner
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Re: Beck North Unit 59/ JSP20-12

Dear Christian,

It has come to our attention that the process of our obtaining Preliminary Site Plan Approval with the City of Novi on the above referenced project is about to expire this coming August, 2022.

Due to the continued impact that the COVID-19 pandemic has to put onto the commercial real estate market, coupled with the numerous material cost increases and material supply chain issues we have been incurring, we have chosen to postpone incurring any additional costs on the development of this project for the time being. Therefore, we are writing to formally request a 12-month extension on the completion of the Site Plan approval process for this project.

Thanks in advance for the understanding and continued cooperation.

Sincerely,

Dembs Development, Inc.

Glenn E. Jones

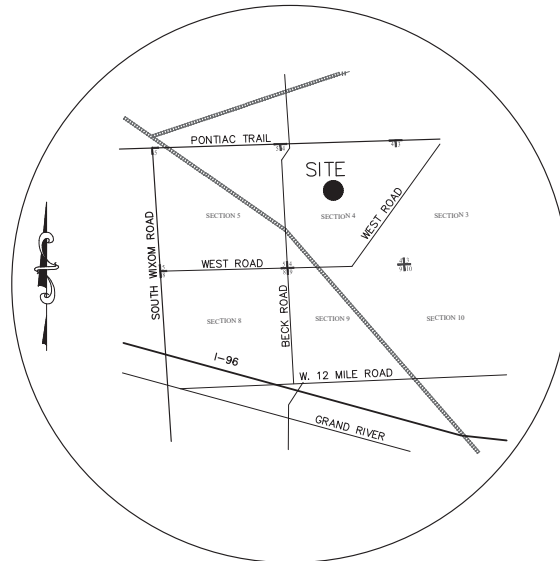
Director of Operations

CC: Barb McBeth/ City of Novi
Charles Boulard/ City of Novi

APPROVED PRELIMINARY SITE PLAN
(Full plan set available for viewing at the Community Development Department.)

PROPOSED UNIT 59 (F.K.A. UNIT 4&52) OF BECK NORTH CORPORATE PARK

PRELIMINARY SITE PLAN CITY OF NOVI, OAKLAND COUNTY



LOCATION MAP
SCALE: 1" = ±2,500 FEET

LEGEND:

□	EX. CATCH BASIN	□	EX. SOIL BORING
⊙	EX. STORM MANHOLE	□	EX. MAILBOX
▷	EX. END SECTION	⊙	EX. MONITOR WELL
⊙	EX. SANITARY MANHOLE	□	EX. AIR CONDITIONER
⊙	EX. CLEANOUT	⊙	EX. TRAFFIC SIGNAL
⊙	EX. WATER GATE VALVE	—/—	EX. FENCE
⊙	EX. COMMUNICATIONS MANHOLE	F.F.	PROP. FINISH FLOOR ELEVATION
⊙	EX. HYDRANT	—	PROP. CURB & GUTTER (PITCH IN)
⊙	EX. WATER VALVE	—	PROP. STORM SEWER
⊙	EX. WATER SHUTOFF	—	PROP. SANITARY SEWER
⊙	EX. GAS SHUTOFF	—	PROP. WATER MAIN
⊙	EX. GAS VENT	—	PROP. STRUCTURE
⊙	EX. ELECTRIC MANHOLE	■	PROP. END SECTION
⊙	EX. HANDHOLE	◐	PROP. CLEAN-OUT
⊙	EX. PEDESTAL	⊙	PROP. HYDRANT
⊙	EX. TRANSFORMER	⊙	PROP. GATE VALVE
⊙	EX. LIGHTPOLE	⊙	PROP. CURB BOX
⊙	EX. UTILITY POLE	⊙	PROP. GUTTER ELEV.
⊙	EX. GUY ANCHOR	⊙	PROP. TOP OF CURB ELEV.
⊙	EX. COMMUNICATION MANHOLE	⊙	PROP. TOP OF WALK ELEV.
⊙	EX. GENERIC MANHOLE	⊙	PROP. TOP OF PAVEMENT ELEV.
⊙	140 1001 EX. DECIDUOUS TREE WITH TREE TAG	⊙	PROP. FINISH GRADE AT TOP OF WALL
⊙	140 1002 EX. CONIFEROUS TREE WITH TREE TAG	⊙	PROP. FINISH GRADE AT BOTTOM OF WALL
—	EX. TREE LINE	⊙	PROP. SPOT ELEV.
—	EX. SANITARY SEWER	→	PROP. DRAINAGE ARROW
—	EX. STORM SEWER	—	PROP. SILT FENCE
—	EX. WATER MAIN	—	PROP. TREE PROTECTION FENCE
—	EX. ELECTRIC CABLE	●	PROP. INLET FILTER
—	EX. COMMUNICATION	■	PROP. ASPHALT
→	EX. SIGN	■	PROP. CONCRETE
⊙	EX. POST/BOLLARD		
⊙	EX. FLAGPOLE		
⊙	EX. OVERFLOW STRUCTURE		
⊙	EX. WATER WELL		
⊙	EX. RAILROAD SIGNAL		

BENCHMARKS:
 BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND NAULAN DR.
 ELEVATION 956.57 NAVD88
 BM#2 - ARROW ON HYDRANT ±150' WEST OF HUDSON DR., ±60' SOUTH OF SOUTH LINE OF UNIT 4.
 ELEVATION 951.37 NAVD88
 CITY OF NOVI BM#434 - "X" IN NINE FLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR., ±150' NORTH OF DRIVE TO #29895 HUDSON DR.
 ELEVATION 955.39 NAVD88

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

OWNER/APPLICANT/DEVELOPER:
 OWNER: BECK NORTH CORP. PARK II LLC
 APPLICANT/DEVELOPER: DEMBS DEVELOPMENT, INC.
 27750 STANSBURY, SUITE 200
 FARMINGTON HILLS, MI 48334
 PHONE: (248) 380-7100
 FAX: (248) 560-3030

ARCHITECT:
 FAUDIE ARCHITECTURE
 28261 EVERGREEN ROAD, SUITE 123
 SOUTHFIELD, MI 48076
 PHONE: (248) 619-2354

LANDSCAPE ARCHITECT:
 ALLEN DESIGN
 557 CARPENTER
 NORTHVILLE, MI 48167
 PHONE: (248) 467-4668

SURVEYOR/ENGINEER:
 ALPINE ENGINEERING, INC.
 46892 WEST ROAD, SUITE 109
 NOVI, MI 48377
 PHONE: 248-926-3701
 FAX: 248-926-3765

SHEET INDEX

1	COVER SHEET
2	PRELIMINARY SITE PLAN
3	TOPOGRAPHIC SURVEY
4	GRADING PLAN
5	UTILITY PLAN
6	STORM WATER MANAGEMENT PLAN
7	DETAIL SHEET
ALLEN DESIGN	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
L-3	WOODLAND PLAN
FAUDIE ARCHITECTURE	
FPF-2	FLOOR PLAN, DUMPSTER ENCLOSURE DETAILS
PE-1	BUILDING ELEVATIONS
ESP-1A	PHOTOMETRIC SITE PLAN
ESP-1B	LIGHT DETAILS

COMMERCIAL
 SITE PLANNING
 SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 INDUSTRIAL & MULTI-UNIT
 CONSTRUCTION LAYOUT
 CONSTRUCTION LAYOUT

RESIDENTIAL
 SUBDIVISIONS
 MULTI-FAMILY
 CONSTRUCTION LAYOUT

46892 WEST ROAD
 NOVI, MICHIGAN 48377
 (248) 926-3701 (BEO)
 WWW.ALPINE-INC.COM

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

811
 Know what's Below
 Call before you dig.

CLIENT: DEMBS DEVELOPMENT, INC.
 COVER SHEET
 PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK
 SECTION: 4
 TOWNSHIP: 1N
 RANGE: 8E
 CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN

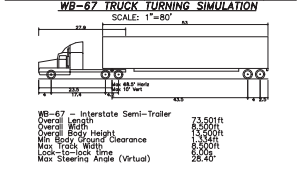
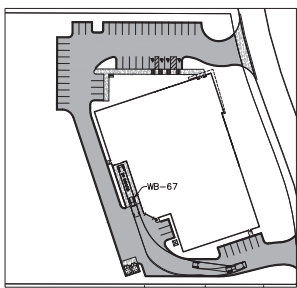
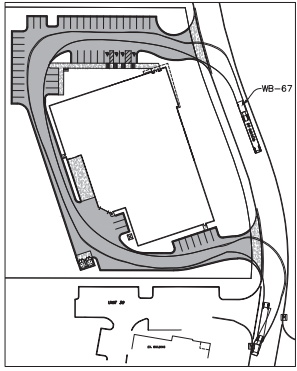
REVISED
 2020-06-26 PSP APPROVAL

DATE: 2020-06-26
 DRAWN BY: TG
 CHECKED BY: SD/TG

SCALE: HORIZONTAL: 1" = 50 FT.
 VERTICAL: 1" = 10 FT.

14-307





DESCRIPTION:
 PARCEL NO. 22-04-376-011:
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 4

PARCEL NO. 22-04-376-017:
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 52

OVERALL PARCEL: (AS SURVEYED)

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 4, T1N-R8E, CITY OF NOV, OAKLAND COUNTY, MICHIGAN;
 THENCE S87°22'41"W 504.00 FEET TO THE SOUTH LINE OF SAID SECTION 4; THENCE N03°14'09"W 1756.60 FEET;
 THENCE S86°33'33"W 848.43 FEET; THENCE N54°56'16"W 60.01 FEET; THENCE N06°27'01"E 410.94 FEET; THENCE S62.27
 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING N03°38'30"E 36.26 FEET TO THE POINT OF
 BEGINNING AT THE SOUTHWEST CORNER OF UNIT 4, OAKLAND COUNTY CONDOMINIUM PLAN NO. 1759, BECK NORTH
 CORPORATE PARK, LIBER 52783, PAGE 115, OAKLAND COUNTY RECORDS; THENCE S86°39'41"W 446.30 FEET TO THE
 SOUTHEAST CORNER OF SAID UNIT 4; THENCE N02°32'27"W 369.40 FEET TO THE NORTHEAST CORNER OF UNIT 52 OF
 SAID BECK NORTH CORPORATE PARK; THENCE N86°47'47"E 359.01 FEET TO THE NORTHEAST CORNER OF SAID UNIT 52;
 THENCE ALONG THE WEST LINE OF HUDSON DRIVE (60 FEET WIDE) THE FOLLOWING THREE (3) COURSES: (1) 118.09 FEET
 ALONG A 630.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING S18°32'53"E 117.92 FEET, (2) S23°55'04"E 104.72
 FEET, AND (3) 118.04 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE RIGHT, CHORD BEARING S17°03'02"E 104.60
 FEET TO THE POINT OF BEGINNING, CONTAINING 3.49 ACRES OF LAND, MORE OR LESS AND SUBJECT TO RESTRICTIONS
 AND EASEMENTS OF RECORD, IF ANY.

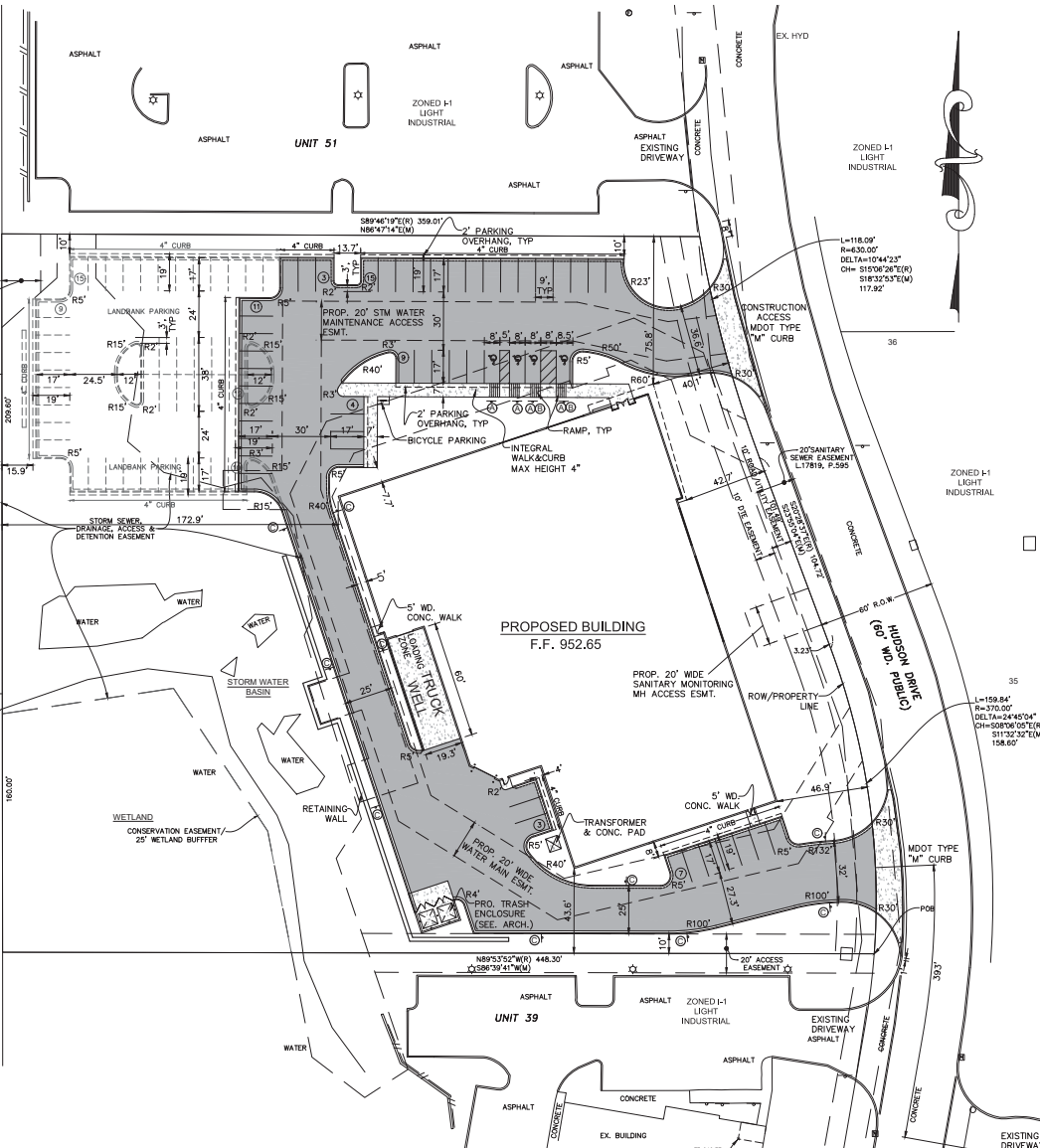
BENCHMARKS:
 BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND
 MADLAN DR.
 ELEVATION 956.57 NAVD88

BM#2 - ARROW ON HYDRANT 4150' WEST OF HUDSON DR., 1467' SOUTH OF SOUTHWEST
 CORNER OF UNIT 4
 ELEVATION 951.37 NAVD88

CITY OF NOV BM#434 - "X" IN NINE FLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON
 DR., 1150' NORTH OF DRIVE TO 429895 HUDSON DR.
 ELEVATION 952.39 NAVD88

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE
 ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN
 THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY
 AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN RECENTLY VERIFIED BY THE COMPANY. NO
 GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR
 SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE
 FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO
 EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN
 ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



TRAFFIC SIGNING AND STRIPING REQUIREMENTS

1. ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MUTCD.

2. SIGN POSTS ARE REQUIRED TO BE U-CHANNEL FOR ALL SIGNS. SIGN POSTS SHOULD BE TWO LB FOR SIGNS LESS THAN 12"x18". SIGN POSTS SHOULD BE THREE LB FOR SIGNS GREATER THAN 12"x18". FOR POSTS WITH MULTIPLE SIGNS, OR STREET NAME SIGNS.

3. STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ADJUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.

4. AN END PARKING SPACE ABUTTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPACE OR 9 FEET WIDE IF NOT. THESE WIDTHS ARE REFERENCED TO THE FACE OF CURB OR WALK.

5. EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.

6. ALL SIGNS ARE TO BE LOCATED AT LEAST 2 FEET FROM THE EDGE OF A CURB OR PEDESTRIAN TRAVEL WAY.

TRAFFIC SIGNING REQUIREMENTS

ITEM	MUTCD CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R7-B	4	12"x18"	RESERVED PARKING ONLY
(B)	R7-BP	2	12"x6"	VAN ACCESSIBLE
(C)	R7-9A MOD	10	12"x18"	NO PARKING FIRE LANE

PAVING LEGEND

[Symbol]	ASPHALT PAVING
[Symbol]	CONCRETE

SITE DATA:
 SITE AREA: 3.49 ACRES
 PARCEL ID: 22-04-376-011 & 22-04-376-017
 EXISTING/PROPOSED ZONING: L-1 LIGHT INDUSTRIAL
 PROPOSED SPECULATIVE BUILDING SHELL:
 11,017 S.F. OFFICE
 20,600 S.F. WAREHOUSE
 31,617 S.F. BUILDINGS TOTAL

REQUIRED BUILDING SETBACKS: 40' FRONT MINIMUM
 20' EACH SIDE MINIMUM
 20' REAR MINIMUM

REQUIRED PARKING:
 OFFICE/WAREHOUSE: 28,455 S.F. (90% GROSS LEASABLE FLOOR AREA)
 28,455 / 700 S.F. = 41.00 = 2 BICYCLE PARKING SPACES
 = 41 SPACES REQUIRED

52 TOTAL SPACES PROVIDED

84 TOTAL PARKING SPACES PROVIDED WITH LANDBANK PARKING (EXCLUDES 4 B.F. SPACES)

REQUIRED: 5% OF REQUIRED AUTO SPACES = 41 x .05 = 2 BICYCLE PARKING SPACES PROVIDED: 2 BICYCLE PARKING SPACES

- GENERAL SITE NOTES:**
- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOV STANDARDS AND SPECIFICATIONS.
 - STORM WATER OUTLETS TO BECK NORTH PHASE II DEVELOPMENT DISSIPATION BASINS AND ULTIMATELY INTO EXISTING WETLANDS.
 - ROOF TOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
 - EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOV CODE.
 - RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOV FOR ANY WORK IN THE HUDSON DRIVE RIGHT-OF-WAY.
 - ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOV, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
 - ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE "2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (2011 MUTCD)".
 - NOTIFY THE CITY OF NOV A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
 - ALL EXCAVATION UNDER OR WITHIN A 10' INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDT).
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
 - PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
 - IF DETERMINING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DETERMINING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
 - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE USED AFTER THE SITE'S HOURS OF OPERATION.
 - NO FLASHING LIGHTING WILL BE USED ON THE SITE.
 - NO OUTSIDE STORAGE SHALL BE PERMITTED.
 - NO TRUCKS WILL BE CLEANED OR SERVICED OUTSIDE THE BUILDING.
 - AS REQUIRED BY THE CITY OF NOV, SOUND LEVELS OF BUILDING OCCUPANT OPERATIONS, INCLUDING THE OPERATION OF ROOF TOP MECHANICAL EQUIPMENT, SHALL NOT EXCEED 55 DECIBELS DURING NIGHT TIME HOURS AND 60 DECIBELS DURING DAY TIME HOURS. VERIFICATION OF THE PERFORMANCE MAY BE REQUIRED AT THE TIME OF OCCUPANCY.
 - REFUSE PICK-UP SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. TO 5:00 P.M., PREVAILING TIME.
 - WINDOWS AND DOORS OF NON-OFFICE USE AREAS OF STRUCTURES IN AN I-1 DISTRICT MAY NOT BE LEFT OPEN.
 - TENANT SHOULD CHECK WITH THE PLANNING DEPARTMENT PRIOR TO LEASING SPACE TO ENSURE USE IS CONSISTENT WITH SPECIAL LAND USE CRITERIA.
 - UNLESS OTHERWISE PROVIDED, DEALING DIRECTLY WITH CONSUMER AT RETAIL IS PROHIBITED.
 - NO LONG TERM TRUCK PARKING ON SITE.
 - TENANTS SHALL COMPLY WITH THE CITY STORAGE AND/OR USE OF MATERIAL, REQUIREMENTS AND SUBMIT HAZARDOUS MATERIALS CHECKLIST.

FIRE DEPARTMENT NOTES:

- WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
- THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3" HIGH ON A CONTRASTING BACKGROUND.
- FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS.
- IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER OBJECT FOR A MINIMUM OF 3 FEET.
- IN ANY BUILDING OR STRUCTURE REQUIRED TO BE EQUIPPED WITH A FIRE DEPARTMENT CONNECTION, THE CONNECTION SHALL BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT.

COMMERCIAL
 SITE PLANNING
 SURVEYING
 ALTA SURVEYS
 TOPOGRAPHIC SURVEYS
 INDUSTRIAL & MULTI-UNIT
 CONSTRUCTION LAYOUT

RESIDENTIAL
 SUBDIVISIONS
 MULTI-FAMILY
 CONSTRUCTION LAYOUT

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

(248) 904-3701 (HQ)
 (248) 904-3702 (OFFICE)
 NOV, MICHIGAN 48377
 WWW.ALPINE-INC.COM

811
 Know what's Below
 Call before you dig.

PRELIMINARY SITE PLAN
 PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK
 SECTION 4
 TOWNSHIP: TN
 RANGE: BE
 CITY OF NOV, OAKLAND COUNTY, MICHIGAN

CLIENT: DEMES DEVELOPMENT, INC.

REVISED
 2020-06-26 PSP APPROVAL

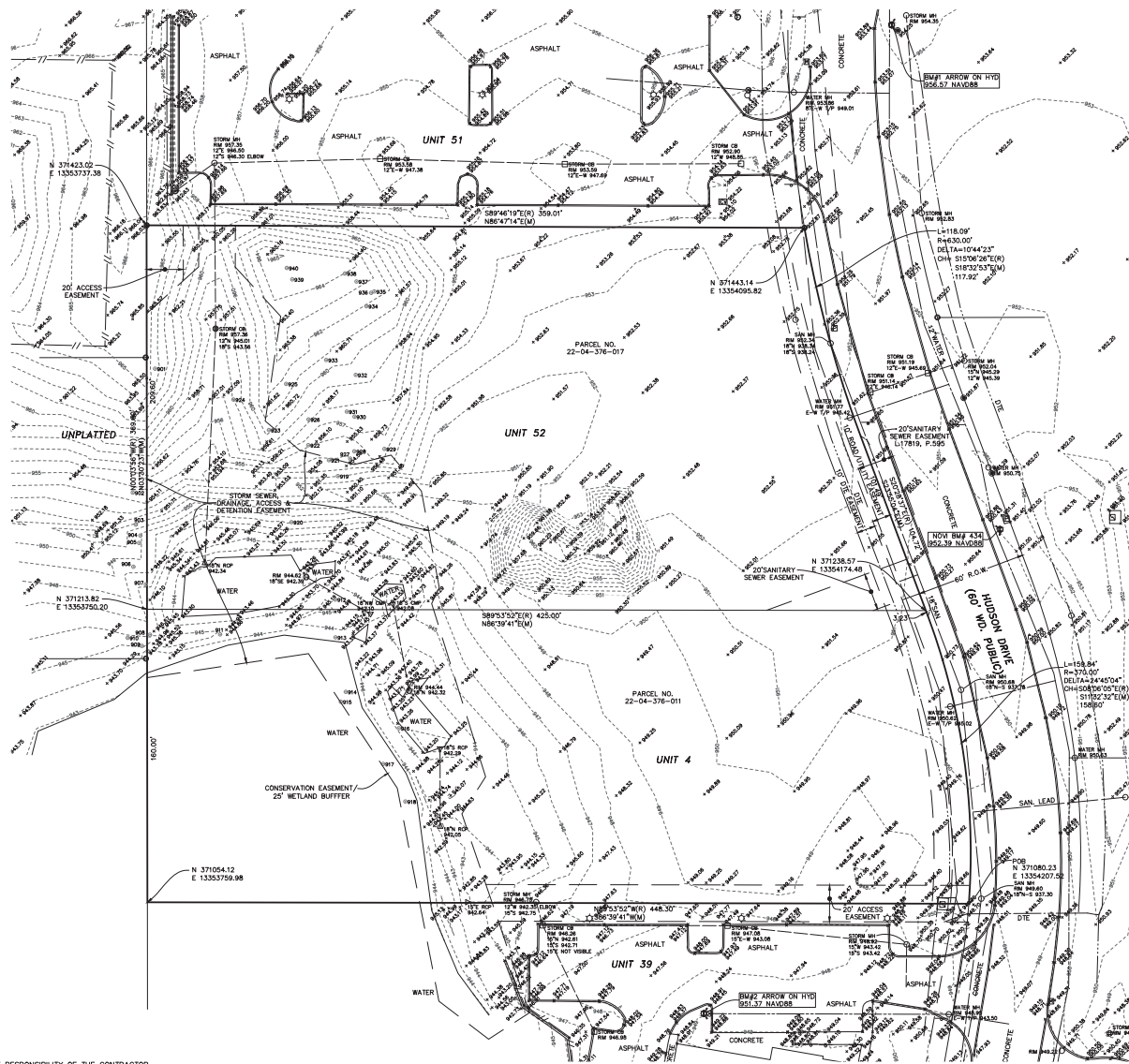
DATE: 2020-06-26

DRAWN BY: TG
 CHECKED BY: SD/JTG

SCALE: 1" = 30' FT.
 14-307

- ▷ EX. END SECTION
- EX. OVERFLOW STRUCTURE
- EX. CLEANOUT
- EX. HYDRANT
- EX. WATER SHUTOFF
- EX. FIRE DEPT. CONNECTION
- EX. WATER WELL
- EX. LIGHTPOLE
- EX. UTILITY POLE
- EX. GUY ANCHOR
- EX. TRAFFIC SIGNAL
- EX. GAS SHUTOFF
- EX. GAS VENT
- EX. GAS VENT
- EX. HANDHOLE
- EX. REDESTAL
- EX. TRANSFORMER
- EX. GENERATOR
- EX. GAS METER
- EX. ELECTRIC METER
- EX. UTILITY MARKER
- EX. AIR CONDITIONER
- EX. RAILROAD SIGNAL
- EX. SIGN
- EX. POST/BOLLARD
- EX. FLAGPOLE
- EX. MAILBOX
- EX. PARKING METER
- EX. SOL BURNING
- EX. MONITOR WELL
- FOUND IRON
- EX. BOULDER
- EX. TREE STUMP
- EX. TREE

- EX. TREE TAG & NUMBER
- EX. TREE LINE
- EX. FENCE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER MAIN
- EX. ELECTRIC CABLE
- EX. COMMUNICATION
- EX. GAS LINE
- EX. OVERHEAD LINE

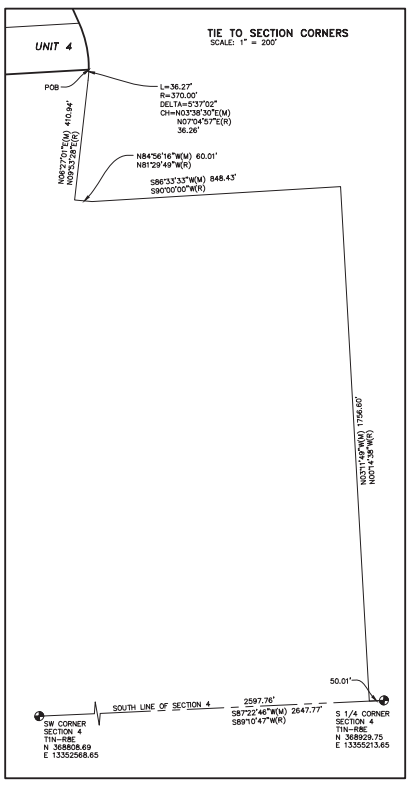


DESCRIPTION:
 PARCEL NO. 22-04-376-011:
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 4

PARCEL NO. 22-04-376-017:
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 52

OVERALL PARCEL (AS SURVEYED):
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 4, T1N-R8E, CITY OF NOV, OAKLAND COUNTY, MICHIGAN; THENCE S87°22'46"W 50.01 FEET ALONG THE SOUTH LINE OF SAID SECTION 4; THENCE N03°11'49"W 1756.60 FEET; THENCE S86°33'33"W 848.43 FEET; THENCE N84°56'16"W 60.01 FEET; THENCE N06°27'01"E 410.94 FEET; THENCE 36.27 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING N03°38'30"E 36.25 FEET TO THE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF UNIT 4, OAKLAND COUNTY CONDOMINIUM PLAN NO. 1759, BECK NORTH CORPORATE PARK, USER 52785, PAGE 119, OAKLAND COUNTY RECORDS; THENCE S86°39'41"W 448.30 FEET TO THE SOUTHEAST CORNER OF SAID UNIT 4; THENCE N03°30'25"W 389.60 FEET TO THE NORTHWEST CORNER OF UNIT 52 OF SAID BECK NORTH CORPORATE PARK; THENCE N86°17'14"E 359.01 FEET TO THE NORTHEAST CORNER OF SAID UNIT 52; THENCE ALONG THE WEST LINE OF HUDSON DRIVE (60 FEET WIDE) THE FOLLOWING THREE (3) COURSES: 1) 118.09 FEET ALONG A 630.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING S18°25'53"E 117.92 FEET, 2) S22°55'04"E 104.72 FEET, AND 3) 158.84 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE RIGHT, CHORD BEARING S11°32'32"E 158.60 FEET TO THE POINT OF BEGINNING, CONTAINING 3.49 ACRES OF LAND, MORE OR LESS AND SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD, IF ANY.

BENCHMARKS:
 BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND HADLAN DR. ELEVATION 956.57 NAVD88
 BM#2 - ARROW ON HYDRANT ±150' WEST OF HUDSON DR., ±60' SOUTH OF SOUTH LINE OF UNIT 4. ELEVATION 951.57 NAVD88
 CITY OF NOV BM#434 - 7" IN INFLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR., ±150' NORTH OF DRIVE TO ±28985 HUDSON DR. ELEVATION 962.39 NAVD88



NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

COMMERCIAL
 SITE PLANNING
 SURVEYING
 BOUNDARY SURVEYS
 ALTA SURVEYS
 CONSTRUCTION LAYOUT
 PARCEL SPLITS

RESIDENTIAL
 SUBDIVISIONS
 SITE CONDOMINIUM
 PLOT PLANS
 CONSTRUCTION LAYOUT

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 46892 WEST ROAD
 NOV, MICHIGAN 48377
 (248) 806-3701 (BUS)
 (248) 806-3785 (FAX)
 WWW.AEPENGINEERING.COM

811
 Know what's below
 Call before you dig.

DEMBS DEVELOPMENT, INC.
 TOPOGRAPHIC SURVEY

CLIENT: **PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK**
 SECTION 4
 CITY OF NOV
 OAKLAND COUNTY
 MICHIGAN

REVISED
 2020-06-26 PSP APPROVAL

DATE: 2020-06-26
 DRAWN BY: JG
 CHECKED BY: TV

FBK:
 CHF:

SCALE: HORIZ. 1" = 30 FT.
 VERT. 1" = 10 FT.

14-307

LEGEND

- F.F. PROP. FINISH FLOOR ELEVATION
- PROP. CURB & GUTTER (PITCH IN)
- PROP. CURB & GUTTER (PITCH OUT)
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. WATER MAIN
- PROP. STRUCTURE
- PROP. END SECTION
- PROP. CLEAN-OUT
- PROP. HYDRANT
- PROP. GATE VALVE
- PROP. CURB BOX
- PROP. GUTTER ELEV.
- PROP. TOP OF CURB ELEV.
- PROP. TOP OF WALK ELEV.
- PROP. TOP OF PAVEMENT ELEV.
- PROP. FINISH GRADE AT TOP OF WALL
- PROP. FINISH GRADE AT BOTTOM OF WALL
- PROP. SPOT ELEV.
- PROP. DRAINAGE ARROW
- PROP. ASPHALT
- PROP. CONCRETE



EXISTING SOILS
(USDA WEB SOIL SURVEY)

SOIL TYPE: 188 - FOX SANDY LOAM
119 - CHONG SANDY LOAM
10C - MARLETTE SANDY LOAM
27 - HOUGHTON AND KARNI MUCKS
8m08 - BOUND LOAM

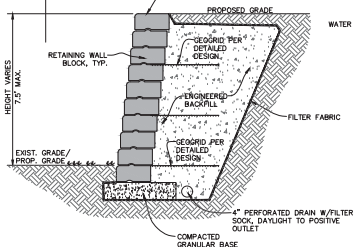
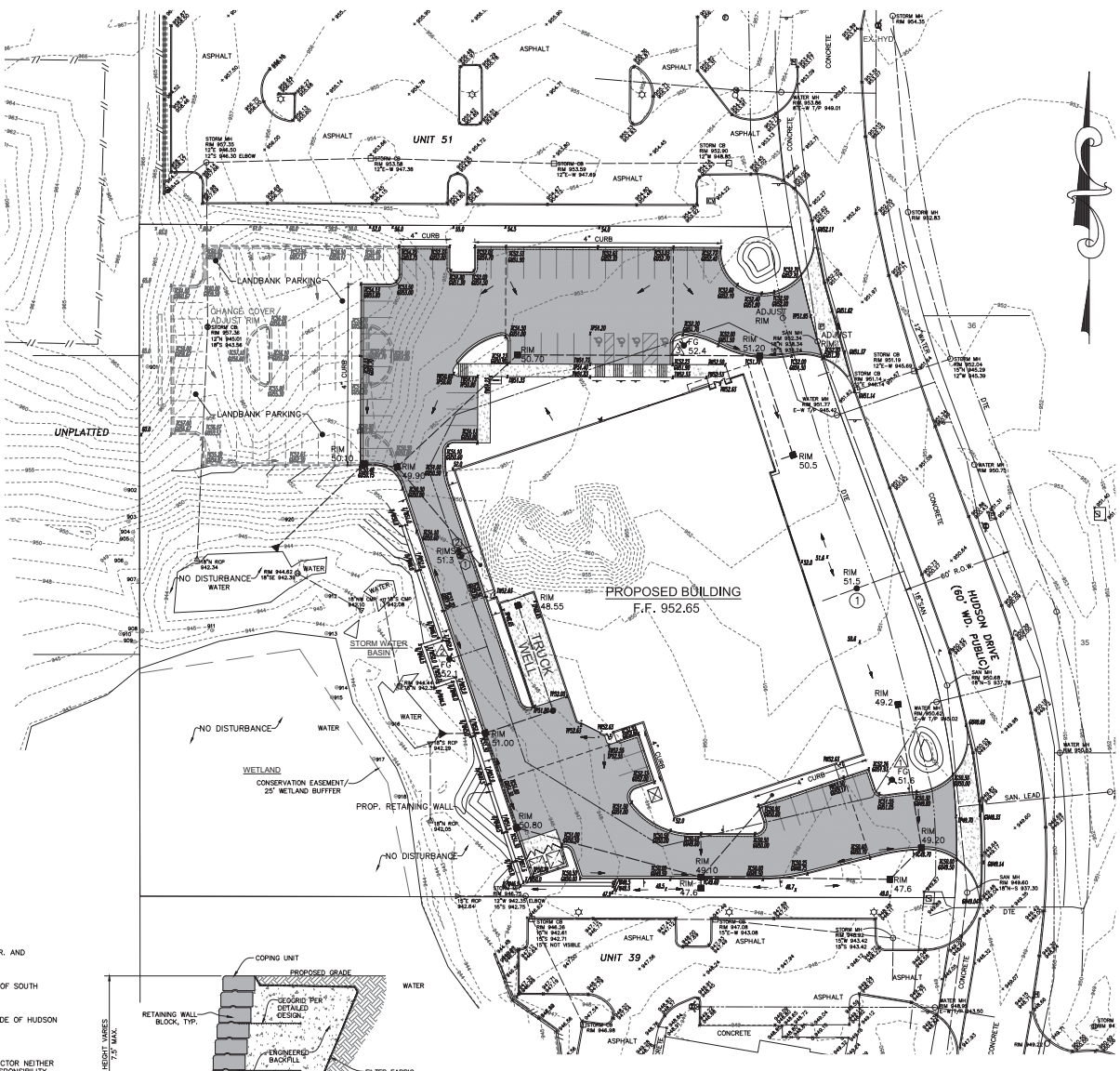
BENCHMARKS:
BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND HAGLAN DR.
ELEVATION 956.57 NAVD88

BM#2 - ARROW ON HYDRANT $\pm 150'$ WEST OF HUDSON DR., $\pm 60'$ SOUTH OF SOUTH LINE OF UNIT 4.
ELEVATION 951.37 NAVD88

CITY OF NOVI BM#434 - "X" IN NINE FLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR., $\pm 150'$ NORTH OF DRIVE TO #28995 HUDSON DR.
ELEVATION 955.39 NAVD88

NOTE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

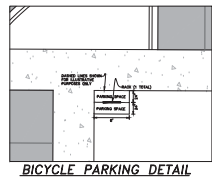
NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



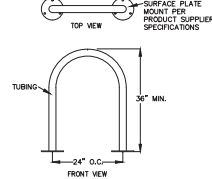
RETAINING WALL NOTES

-ILLUSTRATIVE WALL SECTION IS PRELIMINARY. CONTRACTOR SHALL PROVIDE DETAILED DESIGN, DRAWINGS AND SPECIFICATIONS PRIOR TO CONSTRUCTION.

-CONTRACTOR SHALL OBTAIN BUILDING PERMIT FOR RETAINING WALL FROM BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE RAILING DETAILS ADJACENT TO RETAINING WALLS AS REQUIRED BY BUILDING DEPARTMENT. RAILING DETAILS SHALL BE SUBMITTED TO BUILDING DEPARTMENT FOR APPROVAL.

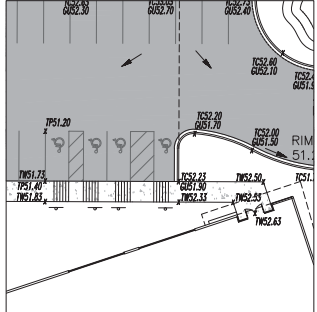


BICYCLE PARKING DETAIL
SCALE: 1"=10'



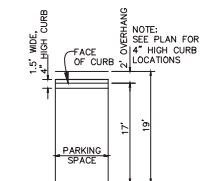
ILLUSTRATIVE BIKE RACK DETAIL

- BICYCLE PARKING NOTES:**
1. ALL BICYCLE PARKING SPACES SHALL BE PAVED AND ADJACENT TO A BICYCLE RACK OF THE INVERTED "U" DESIGN, THAT IS SECURE, CANNOT BE EASILY REMOVED WITH COMMON TOOLS, PROVIDES AT LEAST TWO (2) CONTACT POINTS FOR A BICYCLE, IS AT LEAST THREE (3) FEET IN HEIGHT, AND PERMITS THE LOADING OF A BICYCLE IN AN UPRIGHT POSITION. THE RACK SHALL BE SECURELY ANCHORED IN CONCRETE OR ASPHALT. ALTERNATE INSTALLATIONS AND DESIGNS MAY BE CONSIDERED IF THE PROPOSED RACK DESIGN FUNCTIONS SIMILAR TO THE INVERTED "U" DESIGN.
 2. ALL BICYCLE PARKING FACILITIES SHALL BE ACCESSIBLE FROM ADJACENT STREETS AND PATHWAYS) VIA A PAVED ROUTE THAT HAS A MINIMUM WIDTH OF SIX (6) FEET.
 3. ALL BICYCLE PARKING FACILITIES SHALL BE SEPARATED FROM AUTOMOBILE PARKING SPACES AND ACCESSIBLE BY A RAISED CURB, LANDSCAPE AREA, BENCHMULCH, OR OTHER METHOD THAT COMPLES WITH ALL CITY ORDINANCES.



BUILDING ENTRANCE/BARRIER-FREE SPACE GRADING BLOW-UP
SCALE: 1"=20'

- NOTES:**
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.
 3. RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOVI FOR ANY WORK IN THE HUDSON DRIVE RIGHT-OF-WAY.



PARKING STALL DETAIL AT REDUCED DEPTH STALL LOCATIONS
NOT TO SCALE

COMMERCIAL
SITE PLANNING
INDUSTRIAL & MULTI-UNIT
CONSTRUCTION LAYOUT

SURVEYING
ALTA SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPLITS
CONSTRUCTION LAYOUT

RESIDENTIAL
SUBDIVISIONS
MULTI-FAMILY
CONSTRUCTION LAYOUT

4892 WEST ROAD
NOVI, MICHIGAN 48377
(248) 906-3701 (800) 444-3333
WWW.ALPINE-INC.COM

ALPINE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

811
Know what's below
Call before you dig.

DEMERS DEVELOPMENT, INC.

GRADING PLAN

PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK

SECTION 4

CITY OF NOVI
TOWNSHIP, IN
MICHIGAN

CLIENT: DEMERS DEVELOPMENT, INC.

REVISED
2020-06-26 PSP APPROVAL

DATE: 2020-06-26

DRAWN BY: TG

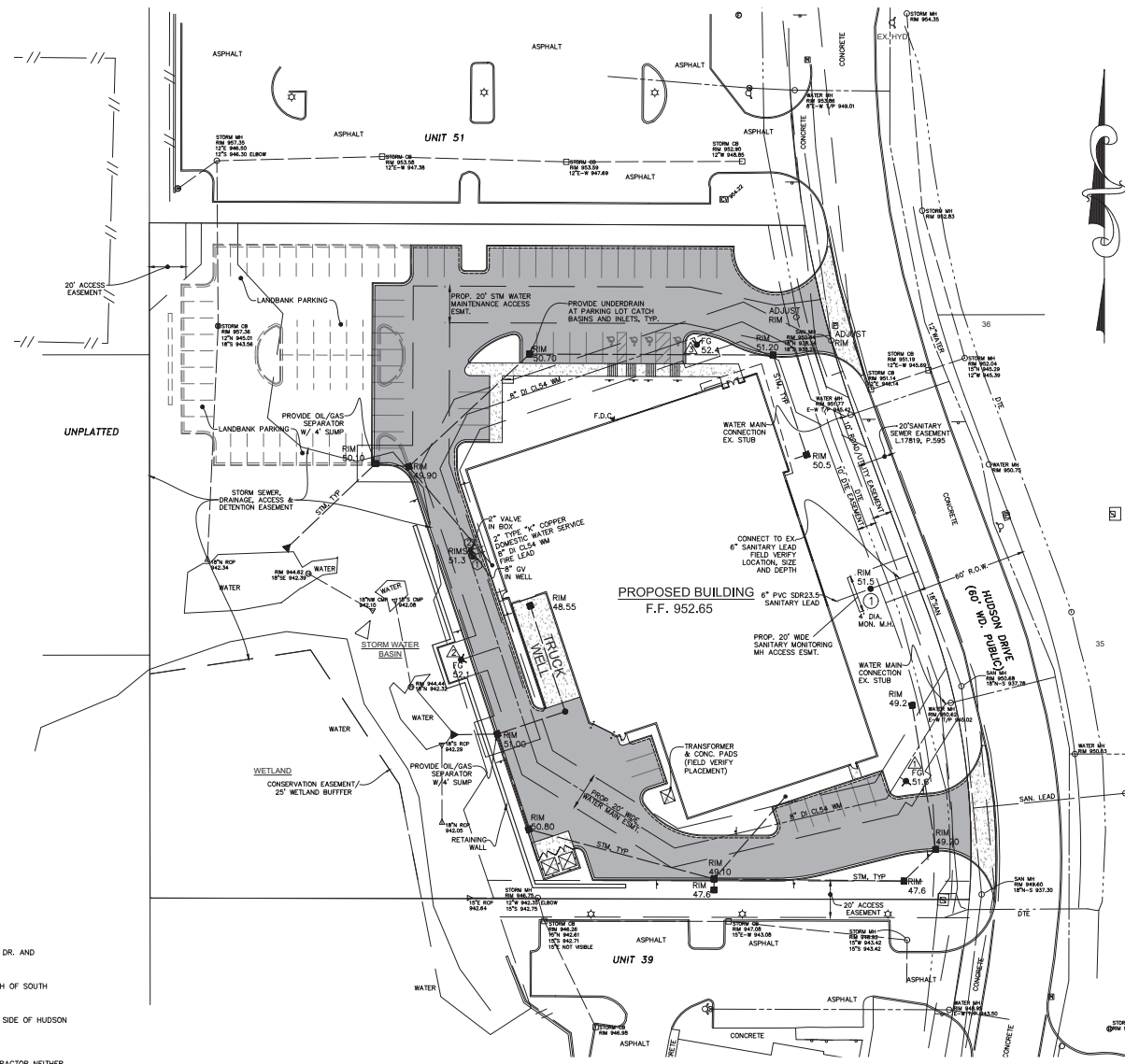
CHECKED BY: SD/JTG

SCALE: 1/8" = 1'-0" (1/4" = 1'-0")

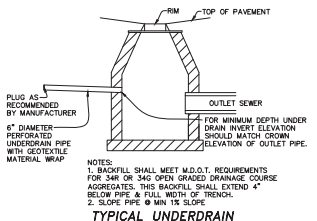
14-307

LEGEND:

- EX. CATCH BASIN
- EX. STORM MANHOLE
- ▷ EX. END SECTION
- EX. SANITARY MANHOLE
- EX. CLEANOUT
- EX. WATER GATE VALVE
- EX. COMMUNICATIONS MANHOLE
- EX. HYDRANT
- EX. WATER VALVE
- EX. WATER SHUTOFF
- EX. GAS SHUTOFF
- EX. GAS VENT
- EX. ELECTRIC MANHOLE
- EX. PEDESTAL
- EX. TRANSFORMER
- EX. COMMUNICATION MANHOLE
- EX. GENERIC MANHOLE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER MAIN
- EX. ELECTRIC CABLE
- EX. COMMUNICATION
- EX. SIGN
- PROP. FINISH FLOOR ELEVATION
- PROP. CURB & GUTTER (RITCH IN)
- PROP. CURB & GUTTER (RITCH OUT)
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. WATER MAIN
- PROP. STRUCTURE
- PROP. END SECTION
- C.O.
- PROP. HYDRANT
- PROP. GATE VALVE
- PROP. CURB BOX
- PROP. ASPHALT
- PROP. CONCRETE



- UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2. PROPOSED WATER MAIN SHALL HAVE AT LEAST 6 FEET OF COVER PER CITY OF NOVI REQUIREMENTS.
 3. COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 4. 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED AT ALL UTILITY CROSSINGS. DIP WATER MAIN PER THE CITY OF NOVI STANDARDS AND SPECIFICATIONS, AS NECESSARY.
 5. PROPOSED SANITARY LEAD SHALL BE BURIED WITH AT LEAST 5 FEET WHEN UNDER INFLUENCE OF PAVEMENT.
 6. 6-INCH SANITARY LEADS SHALL BE A MINIMUM PVC SDR 23.5, AND MAINS SHALL BE PVC SDR 26.
 7. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.



BENCHMARKS:

BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND HAGLAND DR.
ELEVATION 956.57 NAVD88

BM#2 - ARROW ON HYDRANT ±150' WEST OF HUDSON DR., ±60' SOUTH OF SOUTH LINE OF UNIT 4.
ELEVATION 951.37 NAVD88

CITY OF NOVI BM#434 - "X" IN NINE FLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR., ±150' NORTH OF DRIVE TO #29895 HUDSON DR.,
ELEVATION 955.39 NAVD88

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

COMMERCIAL
SITE PLANNING
SURVEYING
GEOGRAPHIC SURVEYS
INDUSTRIAL & MULTI-UNIT
CONSTRUCTION LAYOUT

RESIDENTIAL
SUBDIVISIONS
SURVEYING
MULTI-FAMILY
CONSTRUCTION LAYOUT

(248) 906-3701 (800) 482-7357
WWW.ALPINE-INC.COM

44892 WEST ROAD
NOVI, MICHIGAN 48377

ALPINE

ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

811

Know what's Below
Call before you dig.

CLIENT: DEMES DEVELOPMENT, INC.

UTILITY PLAN

PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK

SECTION: 4

TOWNSHIP: 1N
RANGE: 8E
CITY OF NOVI
COUNTY: OAKLAND
MICHIGAN

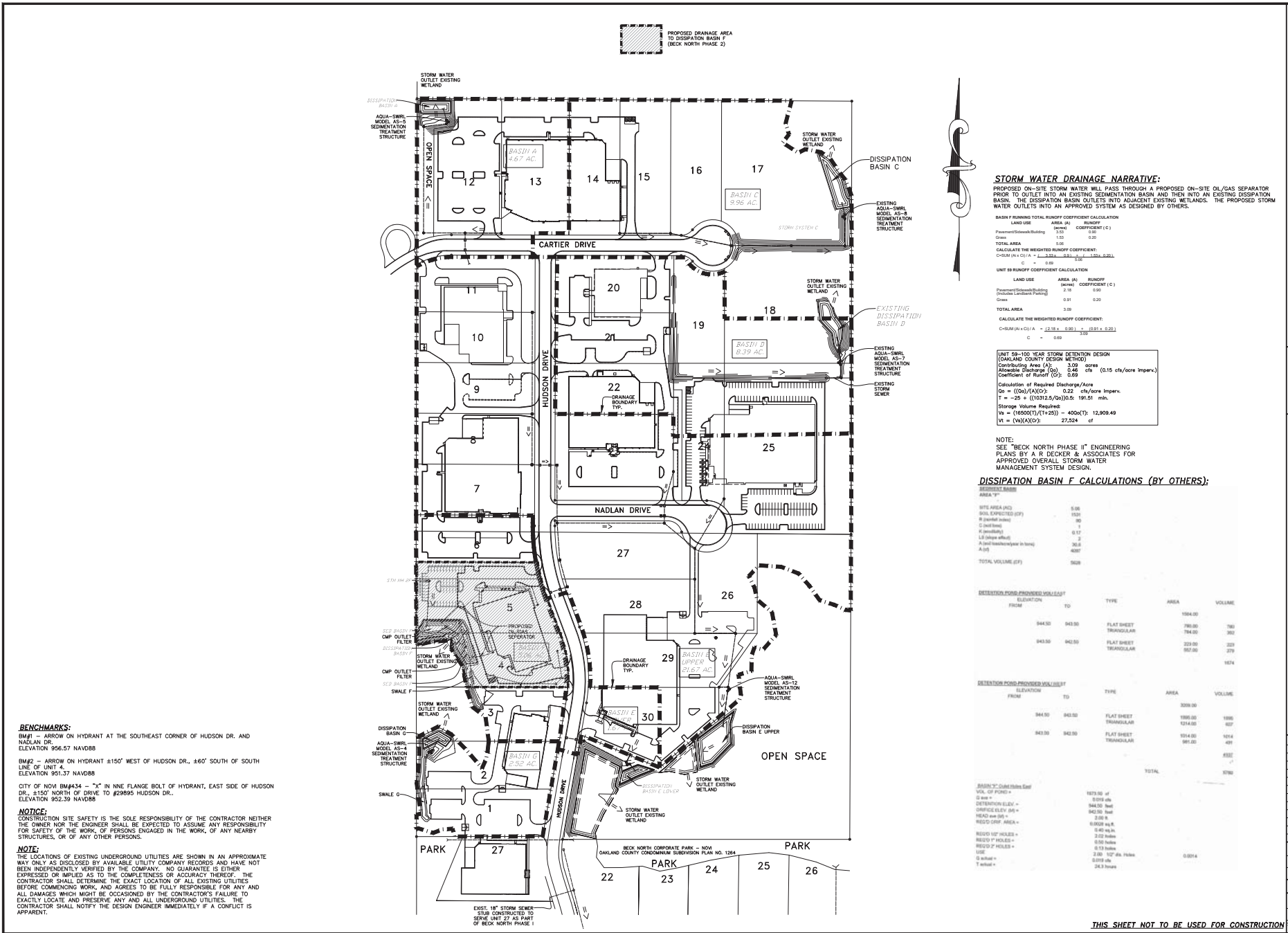
REVISED
2020-06-26 PSP APPROVAL

DATE: 2020-06-26
DRAWN BY: TG
CHECKED BY: SD/JTG

SCALE: HOR: 1"=30' FT.
VER: 1"=10' FT.

5

14-307



STORM WATER DRAINAGE NARRATIVE:

PROPOSED ON-SITE STORM WATER WILL PASS THROUGH A PROPOSED ON-SITE OIL/GAS SEPARATOR PRIOR TO OUTFLOW INTO AN EXISTING SEDIMENTATION BASIN AND THEN INTO AN EXISTING DISSIPATION BASIN. THE DISSIPATION BASIN OUTFLOWS INTO ADJACENT EXISTING WETLANDS. THE PROPOSED STORM WATER OUTFLOWS INTO AN APPROVED SYSTEM AS DESIGNED BY OTHERS.

UNIT 19 RUNOFF COEFFICIENT CALCULATION

LAND USE	AREA (A)	RUNOFF COEFFICIENT (C)
Planned/Existing Building	1.00	0.50
Grass	1.00	0.20
TOTAL AREA	2.00	

Calculate the weighted runoff coefficient:
 $C = \frac{\sum (A_i \times C_i)}{\sum A_i} = \frac{1.00 \times 0.50 + 1.00 \times 0.20}{2.00} = 0.35$

UNIT 29 RUNOFF COEFFICIENT CALCULATION

LAND USE	AREA (A)	RUNOFF COEFFICIENT (C)
Planned/Existing Building	2.10	0.50
Grass	0.91	0.20
TOTAL AREA	3.01	

Calculate the weighted runoff coefficient:
 $C = \frac{\sum (A_i \times C_i)}{\sum A_i} = \frac{2.10 \times 0.50 + 0.91 \times 0.20}{3.01} = 0.39$

UNIT 59-100 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)

Contributing Area (A): 2.09 acres
 Antecedent Discharge (Q_{AD}): 0.46 cfs (0.15 cfs/acre imperv.)
 Coefficient of Runoff (C_R): 0.69

Calculation of Required Discharge/Acre
 $Q_p = (Q_{AD}/A)(C_R) = 0.22 \text{ cfs/acre imperv.}$
 $T = 25 + ((10312.5/Q_p)^{0.5}) = 191.51 \text{ min.}$
 Storage Volume Required
 $V_s = (Q_{AD}(T) + 25) = 400(7.5) = 12,500 \text{ gal}$
 $V_s = (V_s)(C_R) = 27,524 \text{ gal}$

NOTE:
 SEE "BECK NORTH PHASE II" ENGINEERING PLANS BY A R DECKER & ASSOCIATES FOR APPROVED OVERALL STORM WATER MANAGEMENT SYSTEM DESIGN.

DISSIPATION BASIN F CALCULATIONS (BY OTHERS):

RETENTION POND PROVIDED VOLUME		ELEVATION		TYPE	AREA	VOLUME
FROM	TO	FROM	TO			
843.00	843.00	843.00	843.00	FLAT SHEET	1004.00	760
843.00	843.00	843.00	843.00	TRIANGULAR	796.00	760
843.00	842.50	843.00	842.50	FLAT SHEET	794.00	607
843.00	842.50	843.00	842.50	TRIANGULAR	852.00	379
						1674
RETENTION POND PROVIDED VOLUME		ELEVATION		TYPE	AREA	VOLUME
FROM	TO	FROM	TO			
844.50	843.00	844.50	843.00	FLAT SHEET	1096.00	1096
843.00	842.50	843.00	842.50	FLAT SHEET	1074.00	607
843.00	842.50	843.00	842.50	FLAT SHEET	1014.00	1074
						2777
						4451
					TOTAL	5796

RAINFALL CURVES DATA

VAL. OF POND = 10000 gal
 6 in. = 0.0101 in.
 DISTRIBUTION ELEV. = 844.00 feet
 OVERFLOW ELEV. = 842.50 feet
 HEAD = 1.50 ft
 DISCHARGE AREA = 100000 sq. ft.
 100000 sq. ft. = 2.29 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres
 100000 sq. ft. = 0.0023 acres

BENCHMARKS:
 BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND NADLAN DR.
 ELEVATION 956.57 NAVD88
 BM#2 - ARROW ON HYDRANT 150' WEST OF HUDSON DR., 160' SOUTH OF SOUTH LINE OF UNIT 4.
 ELEVATION 951.37 NAVD88
 CITY OF NOVI BM#434 - "X" IN NINE FLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR., 150' NORTH OF DRIVE TO #28995 HUDSON DR.
 ELEVATION 955.39 NAVD88

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

COMMERCIAL
 SITE PLANNING
 SURVEYING
 INDUSTRIAL & MULTI-UNIT
 CONSTRUCTION LAYOUT

SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 PARCEL SPLITS
 CONSTRUCTION LAYOUT

RESIDENTIAL
 SUBDIVISIONS
 MULTI-FAMILY
 CONSTRUCTION LAYOUT

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

4892 WEST ROAD
 NOVI, MICHIGAN 48377
 (248) 904-3701 (BUS)
 (248) 904-3702 (MOB)
 WWW.ALPINE-INC.COM

811
 Know what's below
 Call before you dig.

DEMOS DEVELOPMENT, INC.

STORM WATER MANAGEMENT PLAN

PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK
 RANGE BE
 TOWNSHIP, IN
 SECTION 4
 OAKLAND COUNTY
 MICHIGAN

CLIENT:

REVISED
 2020-06-26 PSP APPROVAL

DATE: 2020-06-26

DRAWN BY: TG

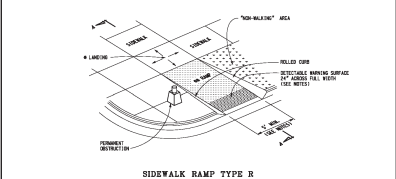
CHECKED BY: SD/JTG

SCALE: HORIZ. 1"=120' VERT. 1"=10'

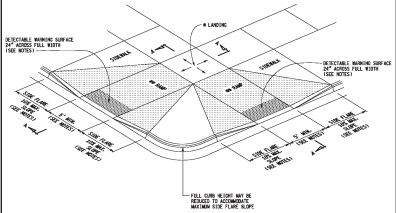
14-307

THIS SHEET NOT TO BE USED FOR CONSTRUCTION

MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDINGS PERMANENTLY 4' x 4' MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES.



SIDEWALK RAMP TYPE R (ROLLED CURB)



SIDEWALK RAMP TYPE P (FLUSH CURB - THE RAMP'S DOWN)

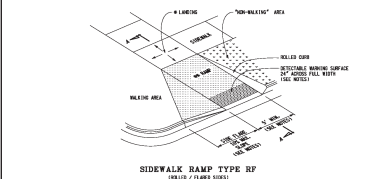
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DOCUMENTED STANDARD PLANS FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

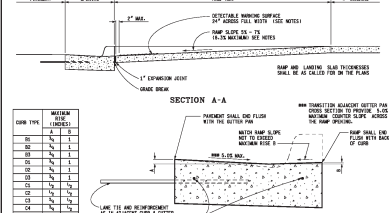
DESIGNED BY: TALKER, PINNEAU & ASSOCIATES, INC.
DRAWN BY: TALKER, PINNEAU & ASSOCIATES, INC.
DATE: 06/20/20

PROJECT: R-28-J SHEET 1 OF 1

MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDINGS PERMANENTLY 4' x 4' MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES.



SIDEWALK RAMP TYPE RF (ROLLED CURB WITH FLASHED EDGE)



SIDEWALK RAMP TYPE C (CONTINUATION RAMP)

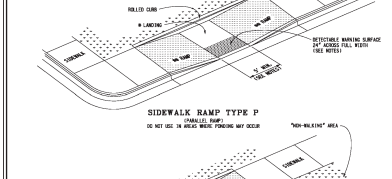
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DOCUMENTED STANDARD PLANS FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

DESIGNED BY: TALKER, PINNEAU & ASSOCIATES, INC.
DRAWN BY: TALKER, PINNEAU & ASSOCIATES, INC.
DATE: 06/20/20

PROJECT: R-28-J SHEET 2 OF 1

MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDINGS PERMANENTLY 4' x 4' MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES.



SIDEWALK RAMP TYPE M (MEDIAN RAMP)

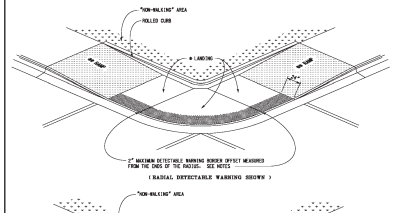
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DOCUMENTED STANDARD PLANS FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

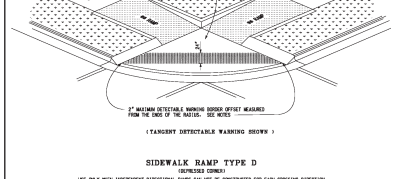
DESIGNED BY: TALKER, PINNEAU & ASSOCIATES, INC.
DRAWN BY: TALKER, PINNEAU & ASSOCIATES, INC.
DATE: 06/20/20

PROJECT: R-28-J SHEET 3 OF 1

MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDINGS PERMANENTLY 4' x 4' MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES.



SIDEWALK RAMP TYPE D (IMPRESSED CONCRETE)



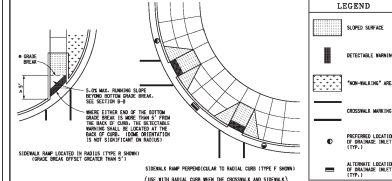
SIDEWALK RAMP ORIENTATION

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DOCUMENTED STANDARD PLANS FOR

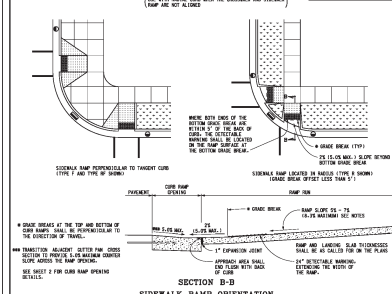
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

DESIGNED BY: TALKER, PINNEAU & ASSOCIATES, INC.
DRAWN BY: TALKER, PINNEAU & ASSOCIATES, INC.
DATE: 06/20/20

PROJECT: R-28-J SHEET 4 OF 1



DETECTABLE WARNING DETAILS



SIDEWALK RAMP ORIENTATION

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DOCUMENTED STANDARD PLANS FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

DESIGNED BY: TALKER, PINNEAU & ASSOCIATES, INC.
DRAWN BY: TALKER, PINNEAU & ASSOCIATES, INC.
DATE: 06/20/20

PROJECT: R-28-J SHEET 5 OF 1

LEGEND

- SLOPED SURFACE
- DETECTABLE WARNING
- "NON-WALKING" AREA
- ORIGINALLY EXISTING
- PREFERRED LOCATION OF WARNING SURFACE
- ALTERNATE LOCATION OF WARNING SURFACE (TYPE 1)

NOTES:

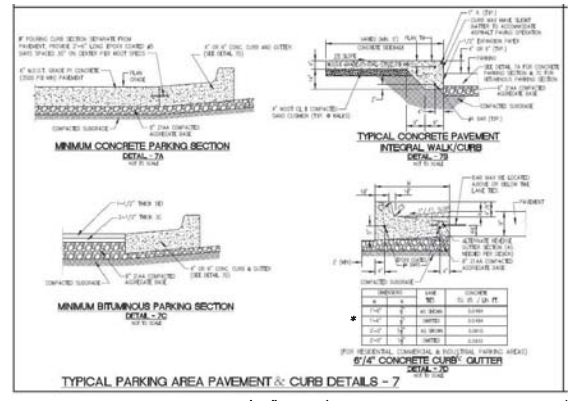
DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE.

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DOCUMENTED STANDARD PLANS FOR

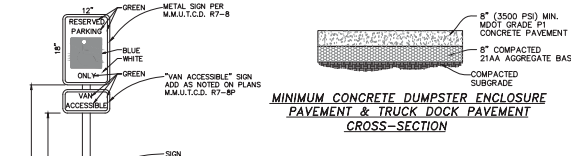
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

DESIGNED BY: TALKER, PINNEAU & ASSOCIATES, INC.
DRAWN BY: TALKER, PINNEAU & ASSOCIATES, INC.
DATE: 06/20/20

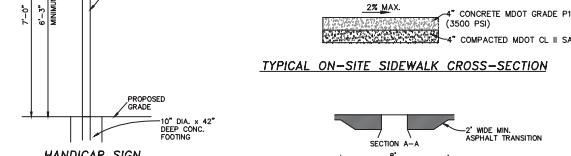
PROJECT: R-28-J SHEET 6 OF 1



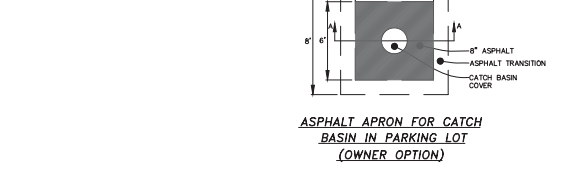
*1'-6" WIDE (ON-SITE CONCRETE CURB & GUTTER)



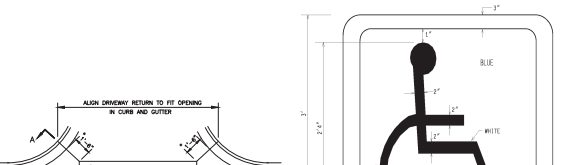
MINIMUM CONCRETE DUMPSTER ENCLOSURE PAVEMENT & TRUCK DOCK PAVEMENT CROSS-SECTION



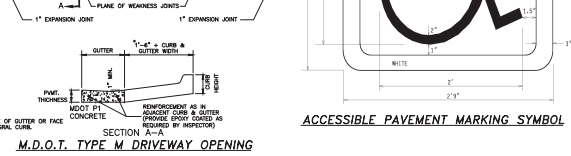
TYPICAL ON-SITE SIDEWALK CROSS-SECTION



ASPHALT APRON FOR CATCH BASIN IN PARKING LOT (OWNER OPTION)



ACCESSIBLE PAVEMENT MARKING SYMBOL



M.D.O.T. TYPE M DRIVEWAY OPENING

ALPINE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

46892 WEST ROAD
NOVI, MICHIGAN 48377

(248) 906-3707 (HQ)
(248) 906-3707 (MO)
WWW.ALPINE-INC.COM

811
Know what's Below
Call before you dig.

DEMS DEVELOPMENT, INC.
DETAIL SHEET
PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK
RANGE BE
TOWNSHIP, IN
CITY OF ANTONY
OSHTON COUNTY
MICHIGAN

CLIENT: _____
REVISED: _____
2020-06-26 PSP APPROVAL

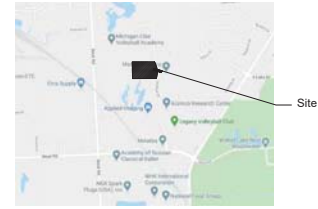
DATE: 2020-06-26
DRAWN BY: TG
CHECKED BY: SD/TG

SCALE: 1" = 10'-0"

7

14-307

Location Map



NOT TO SCALE

Seal:



Title:
Landscape Plan

Project:
**Beck North Unit 59
Novi, Michigan**

Prepared for:
Dems Development, Inc.
27750 Stansbury, Suite 200
Farmington Hills, MI 48334
248.926.3701

Revision: Issued:
Submission June 26, 2020

Job Number:
20-026

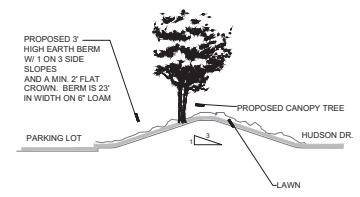
Drawn By: Checked By:
jca jca



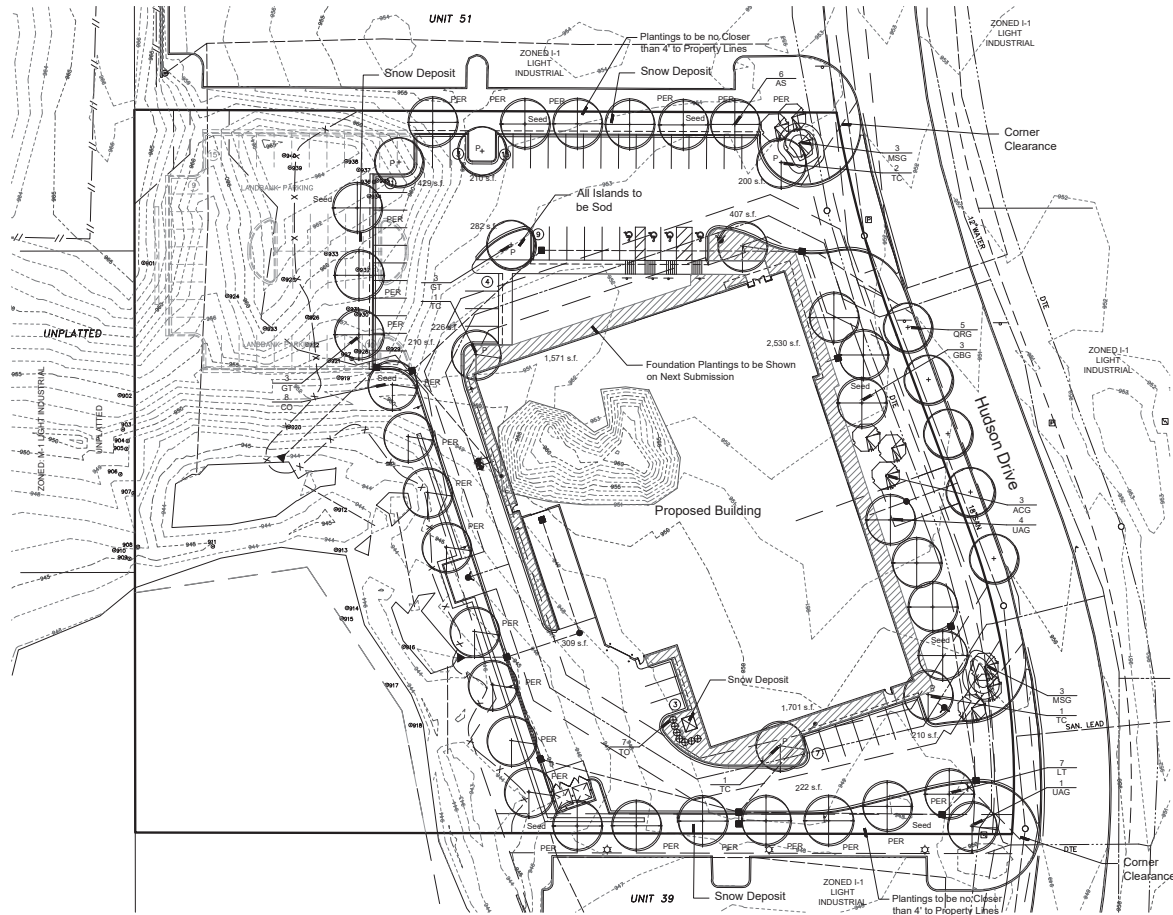
Sheet No.

L-1

Berm Detail



HORIZONTAL SCALE: 1"=10'



Landscape Summary

Existing Zoning	I-1	Street Lawn	
Parking Lot Landscaping		Street Frontage	235 Lf. (378' - 143' drive openings)
Vehicular Use Area	32,742 s.f.	Trees Required	5.2 Trees (235 Lf. / 45')
Landscape Area Required	1,637 s.f.	Trees Shown	5 Trees
32,742 s.f. x 5% = 1,637 s.f.		Woodland Replacement	
Landscape Area Shown	2,396 s.f.	Required Replacement	24 Trees
Canopy Trees Required	8.2 Trees (1,637 / 200)	Replacement Provided	0 Trees
Canopy Trees Shown	8 Trees	Trees Paid into Tree Fund	24 Trees
Parking Lot Perimeter		Notes:	
Perimeter	833 Lf.	1. Soils Information is Found on the Preliminary Storm Water Management Plan.	
Trees Required	24 Trees (833 Lf. / 35')	2. Trees Shall be Planted no Closer than 10' Utility Structure Including Hydrants.	
Trees Shown	24 Trees	3. Trees Shall not be Planted within 4' of Property Lines.	
Building Foundation Landscaping		4. Utility Boxes Shall be Screen per Detail on Sheet L-2.	
Perimeter of Building	754 Lf. (763 less 9' of Doors)	5. No Phragmites is Present on this Site.	
Landscape Area Required	6,032 s.f. (754 Lf. x 8')	6. No Overhead Power Lines are Present.	
Landscape Area Shown	6,111 s.f.		
Greenbelt Plantings			
Street Frontage	305 Lf. (378' - 73' drive openings)		
Trees Required	7.6 Trees (305 Lf. / 40')		
Trees Shown	8 Trees		
Sub-Canopy Trees Required	8.7 Trees (305 Lf. / 35')		
Sub-Canopy Trees Shown	9 Trees		

Plant List

Qty	Sp. #	Botanical Name	Common Name	Caliper	Spacing	Root Height	Price	Total	Species	Genus	Native	Total	
AS	6	Acer saccharum Green Mountain	Sugar Maple	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	11%	11%	F	1	
CO	8	Celastrus occidentalis	Northern Hackberry	3.0"	as shown	88.0	\$ 400.00	\$ 3,200.00	19%	19%	F	1	
CF	6	Quercus bicolor var. prinus	Thornless Honeylocust	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	11%	11%	F	1	
LT	7	Liquidambar styraciflua	Tulip Tree	3.0"	as shown	88.0	\$ 400.00	\$ 2,800.00	13%	13%	F	1	
TC	6	Tilia cordata 'Doreenpark'	Orangeburg Linden	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	9%	9%	F	1	
Street Lawn and Overhead													
ACO	3	Ametantheres laevis	Shadbush	2.5"	as shown	88.0	\$ 250.00	\$ 750.00	6%	6%	F	1	
GRG	3	Georgina 'Goldspire'	Chickadee Geige	3.0"	as shown	88.0	\$ 400.00	\$ 1,200.00	6%	6%	F	1	
MSG	6	Malva Spring Snow	Spring Snow Crab.	2.5"	as shown	88.0	\$ 400.00	\$ 2,400.00	11%	11%	F	1	
GRG	6	Quercus rubra	Red Oak	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	9%	9%	F	1	
UAG	6	Ulmus 'Princeton'	Princeton Elm	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	9%	9%	F	1	
54	Total Parking Lot, Perimeter, Street Lawn and Overhead												
General Plantings													
TD	7	Thuja occidentalis 'Tectry'	Tectry Arborvitae	as shown	88.0	5'	\$ 70.00	\$ 490.00			F	1	
											Total	7	11
											% Native	64%	
											irrigation	505	\$ 18,000.00
											2.688' Street x y (land)	\$3.00	\$ 960.00
											212' Street x y	\$6.00	\$ 1,272.00
											Total		\$ 48,894.00



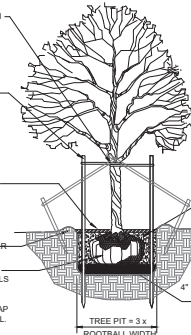
NOTE:
GUY DECIDUOUS TREES ABOVE 3' CAL. STAKE DECIDUOUS TREES BELOW 3' CAL.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK, NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.

MOUND EARTH TO FORM SAUCER. REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE DIRT FROM ROOT FLARE.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF 10" X 4" DEPTH.

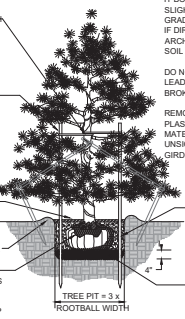
NOTE:
GUY EVERGREEN TREES ABOVE 12' HEIGHT. EVERGREEN TREE BELOW 12' HEIGHT.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK, NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK. MOUND EARTH TO FORM SAUCER.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

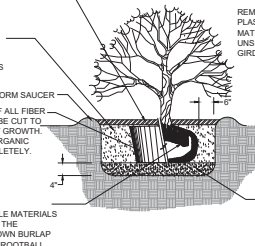
PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE DIRT FROM ROOT FLARE.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF 10" X 4" DEPTH.

MULCH 3" DEPTH WITH SHREDDED HARDWOOD BARK, NATURAL IN COLOR.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE ALL NONORGANIC CONTAINERS COMPLETELY.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

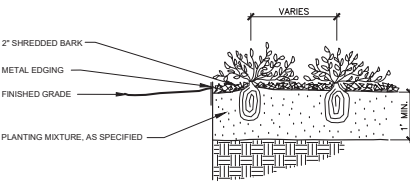
SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF 10" X 4" DEPTH.

DECIDUOUS TREE PLANTING DETAIL

EVERGREEN TREE PLANTING DETAIL

SHRUB PLANTING DETAIL

NOT TO SCALE

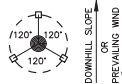


PERENNIAL PLANTING DETAIL

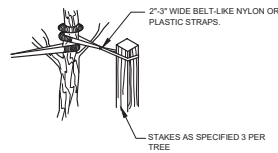
Not to scale

NOTE:
ORIENT STAKING/GUYING TO PREVAILING WINDS, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE. USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.

STAKING/GUYING LOCATION



2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS

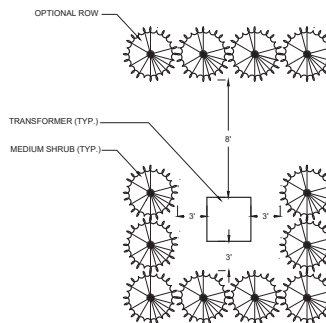


STAKING DETAIL

GUYING DETAIL

TREE STAKING DETAIL

Not to scale



TRANSFORMER SCREENING DETAIL

Not to scale

LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- *AgriTern* tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preem" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cherideleph" Kentucky Blue Grass grown in a sod nursery on loam soil.

CITY OF NOVI NOTES

- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material within 3 Months of Discovering the Need for Replacement. One cultivation per month shall occur in July-August.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4" diameter circle of shredded hardwood mulch 3" away from trunk. All perennial, annual and ground cover beds shall receive 2" of bark covered bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size.
- All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their Installation.

NOTES:

THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE FALL OR SPRING OF 2020 or 2021.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITH UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THIS WARRANTY PERIOD.



Seal:



Title:
Landscape Details

Project:
Beck North Unit 59
Novi, Michigan

Prepared for:
Dems Development, Inc.
27750 Starsbury, Suite 200
Farmington Hills, Michigan 48334
248.926.3701

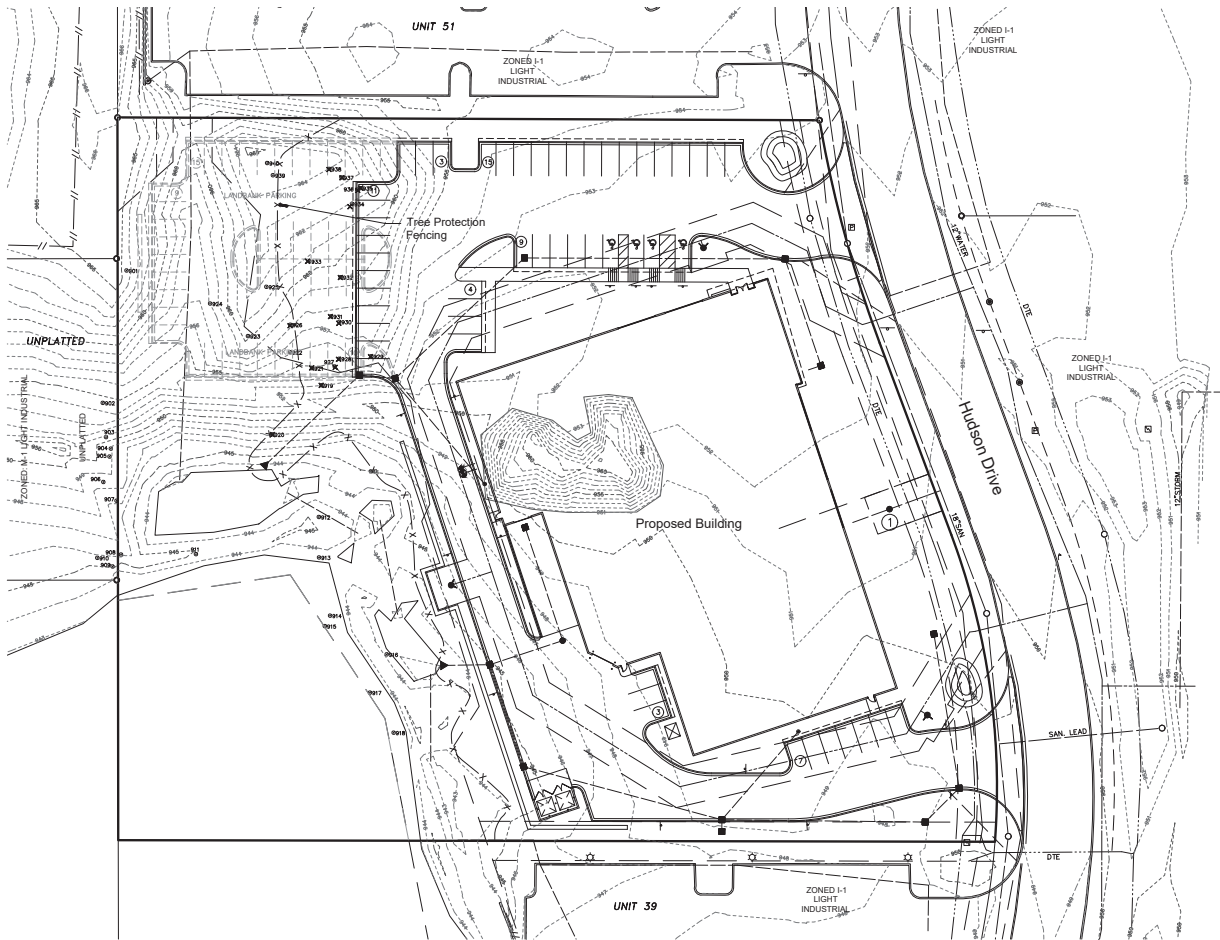
Revision: Issued:
Submission: June 26, 2020

Job Number:
20-025

Drawn By: Checked By:
jca jca

Sheet No.





Woodland Summary

Total Trees	40 Trees
Less Non - Regulated Trees:	
Non-Regulated Trees	8 Trees
Net Regulated Trees	32 Regulated Trees
Regulated Trees Removed	14 Trees

Replacement Required	
Trees 8" - 11"	8 trees x 1= 8 Trees
Trees 11" - 20"	3 trees x 2= 6 Trees
Trees 20" - 30"	2 trees x 3= 6 Trees
Trees 30"+	0 trees x 4= 0 Trees
Multi-Stemmed Trees (1 Tree)	4 Trees
Replacement Required	24 Trees

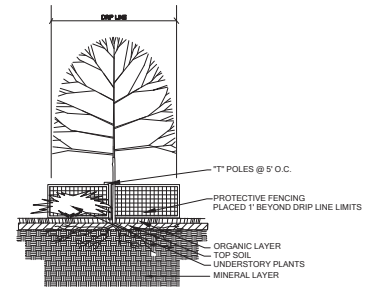
Key
 ✕ Removed Tree

Remarks Key:

Save	Regulated tree be saved
Remove	Regulated Tree to be Removed
Exempt	Tree Less than 8" and will be removed.

Tree List

TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	STATUS	Required Replacement
901	24	Shagbark Hickory	Carya ovata	Good	Save	
902	7	Shagbark Hickory	Carya ovata	Fair	Save	
903	7	Shagbark Hickory	Carya ovata	Good	Save	
904	11	Shagbark Hickory	Carya ovata	Good	Save	
905	7	Shagbark Hickory	Carya ovata	Fair	Save	
906	13	Shagbark Hickory	Carya ovata	Good	Save	
907	24	Northern Red Oak	Quercus rubra	Fair	Save	
908	15	Northern Red Oak	Quercus rubra	Fair	Save	
909	14	Hawley Maple	Acer platanoides	Good	Save	
910	8	Black Cherry	Prunus serotina	Good	Save	
911	30	Silver Maple	Acer saccharinum	Good	Save	
912	9	Quaking Aspen	Populus tremuloides	Good	Save	
913	7	Northern Red Oak	Quercus rubra	Good	Save	
914	4.6, 7.8, 9	Silver Maple	Acer saccharinum	Fair	Save	
915	9	Silver Maple	Acer saccharinum	Fair	Save	
916	4.6	American Elm	Ulmus americana	Fair	Save	
917	14	Silver Maple	Acer saccharinum	Good	Save	
918	9, 14	Silver Maple	Acer saccharinum	Good	Save	
919	9	American Elm	Ulmus americana	Fair	Remove	1
920	4.6	American Elm	Ulmus americana	Good	Exempt	0
921	16	Northern Red Oak	Quercus rubra	Good	Remove	2
922	9	Northern Red Oak	Quercus rubra	Good	Save	2
923	22	Silver Maple	Acer saccharinum	Poor	Save	
924	3.5, 6.6	American Elm	Ulmus americana	Good	Save	
925	13	Black Walnut	Juglans nigra	Good	Save	
926	7	Northern Red Oak	Quercus rubra	Fair	Exempt	0
927	8	Black Cherry	Prunus serotina	Poor	Remove	1
928	8	American Elm	Ulmus americana	Fair	Remove	1
929	8	American Elm	Ulmus americana	Fair	Remove	1
930	8	Shagbark Hickory	Carya ovata	Good	Remove	1
931	14	Northern Red Oak	Quercus rubra	Good	Remove	1
932	16, 17	Northern Red Oak	Quercus rubra	Good	Remove	4
933	13	Northern Red Oak	Quercus rubra	Fair	Remove	2
934	17	Northern Red Oak	Quercus rubra	Poor	Remove	2
935	8	Shagbark Hickory	Carya ovata	Fair	Remove	1
936	10	Shagbark Hickory	Carya ovata	Fair	Remove	1
937	21	Shagbark Hickory	Carya ovata	Fair	Remove	3
938	22	Shagbark Hickory	Carya ovata	Good	Remove	3
939	8	Northern Red Oak	Quercus rubra	Good	Save	
940	8	Northern Red Oak	Quercus rubra	Good	Save	



1. Either Plastic or Wood Orange-Strip Fencing Shall be Installed at or Beyond the Drip Line, Unless Stakes Shall be Metal T-POLES Spaced no Further than 5' on Center.
2. Fencing Shall be Installed Prior to Construction. The City Shall be Notified Once the Fencing is Installed for Inspection.
3. Under all Circumstances Shall the Protective Fencing be Removed Unless Orange-Strip Approval from the City.
4. Fencing Shall be Erected Prior to Construction. The City Shall be Notified Once the Fencing is Installed for Inspection.
5. Under all Circumstances Shall the Protective Fencing be Removed Unless Orange-Strip Approval from the City.
6. No Storage of Materials or Construction Equipment Within Protected Areas.
7. No Excavation or Construction Within Protected Areas.
8. No Removal of Vegetation from the Ground Up Without Permission from the Proper Planning Authority, Including the Forestry Review Board.
9. Any Proposed Stakes Shall be to be Covered Around the Protected Area. Underneath 20" x 20" Staples are Approved Through a Protected Area, the Staples Shall be to be HAND.
10. Regulated (Protected or Regulated) Trees Adjacent to the Property are Also Required to be Protected (Whether or not they are shown on the Plan).

TREE PROTECTION DETAIL

NO SCALE

Seal:



Title:
Woodland Plan

Project:

Beck North Unit 59
 Novi, Michigan

Prepared for:

Dems Development, Inc.
 27750 Stansbury, Suite 200
 Farmington Hills, MI 48334
 248.926.3701

Revision: Issued:
 Submission: June 26, 2020

Job Number:

20-026

Drawn By: Checked By:

jca

jca



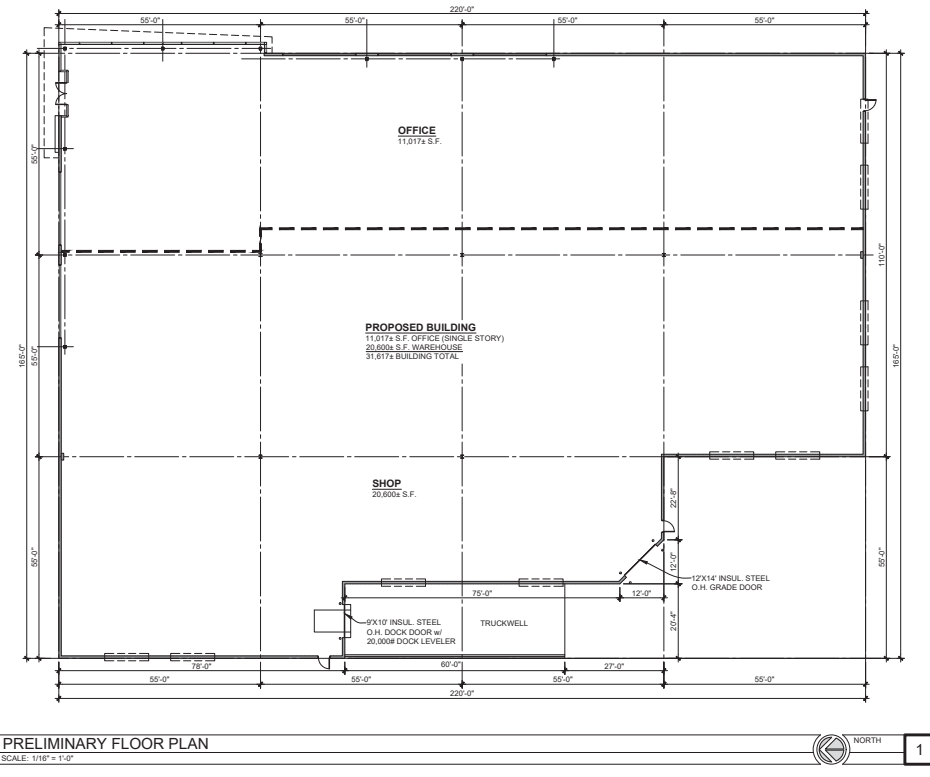
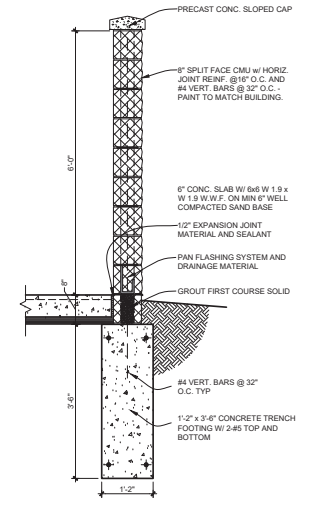
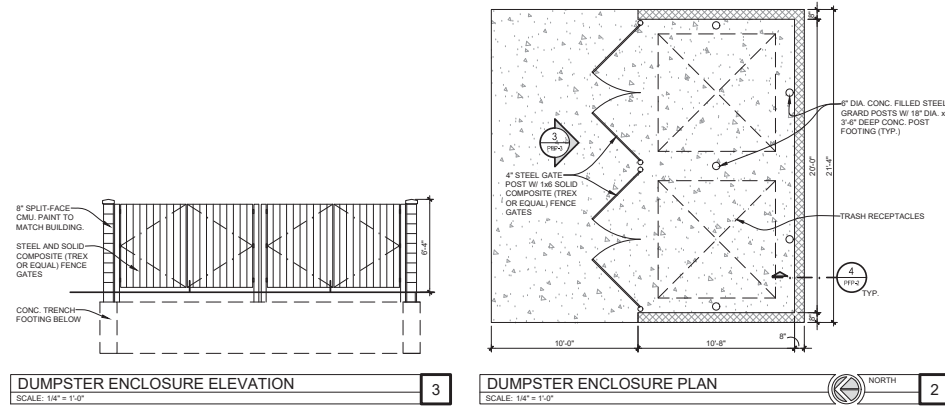
Sheet No.



L-3



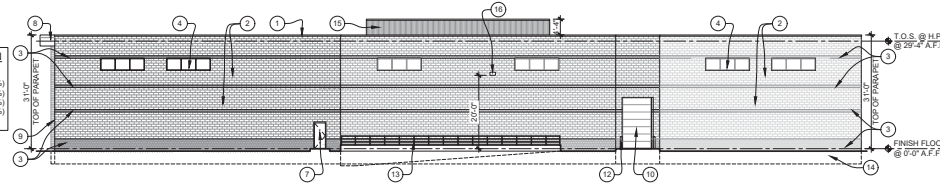
DATE:	06-28-20
BY:	3/1/20
CHECKED BY:	06-28-20
SCALE:	PRELIM. SITE PLAN APPROVAL



BUILDING FAÇADE MATERIAL BREAKDOWN

TOTAL MATERIAL SQUARE FOOTAGE = 6,483 S.F.
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 5,452 S.F. (84.1%)
 STRIATED C.M.U. = 961 S.F. (15.3%)
 ACM = 12 S.F. (0.2%)
 7.2 METAL PANEL = 28 S.F. (0.4%)



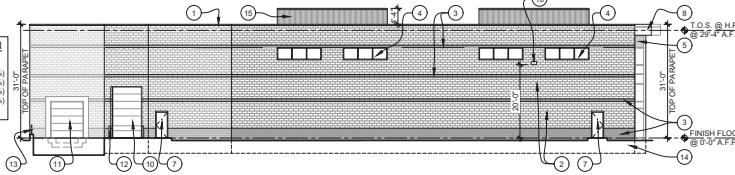
WEST ELEVATION
 SCALE: 1/16" = 1'-0"

4

BUILDING FAÇADE MATERIAL BREAKDOWN

TOTAL MATERIAL SQUARE FOOTAGE = 4,736 S.F.
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 4,002 S.F. (84.6%)
 STRIATED C.M.U. = 702 S.F. (14.8%)
 ACM = 21 S.F. (0.4%)
 SPANDREL = 11 S.F. (0.2%)



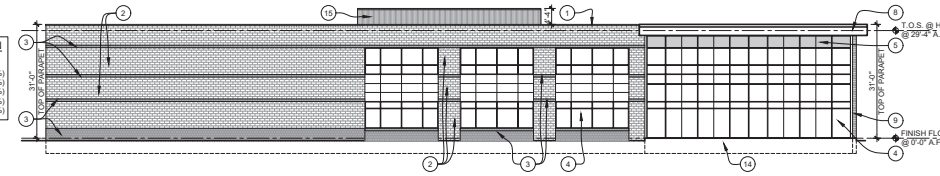
SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

3

BUILDING FAÇADE MATERIAL BREAKDOWN

TOTAL MATERIAL SQUARE FOOTAGE = 4,619 S.F.
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 3,127 S.F. (67.7%)
 STRIATED C.M.U. = 639 S.F. (13.8%)
 ACM = 627 S.F. (13.6%)
 7.2 METAL PANEL = 28 S.F. (0.6%)
 SPANDREL = 198 S.F. (4.3%)



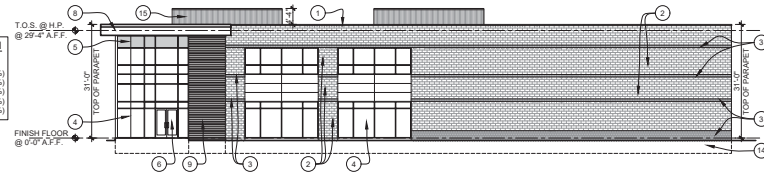
EAST ELEVATION
 SCALE: 1/16" = 1'-0"

2

BUILDING FAÇADE MATERIAL BREAKDOWN

TOTAL MATERIAL SQUARE FOOTAGE = 4,037 S.F.
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 2,831 S.F. (70.2%)
 STRIATED C.M.U. = 456 S.F. (11.3%)
 ACM = 400 S.F. (9.9%)
 7.2 METAL PANEL = 280 S.F. (6.9%)
 SPANDREL = 70 S.F. (1.7%)

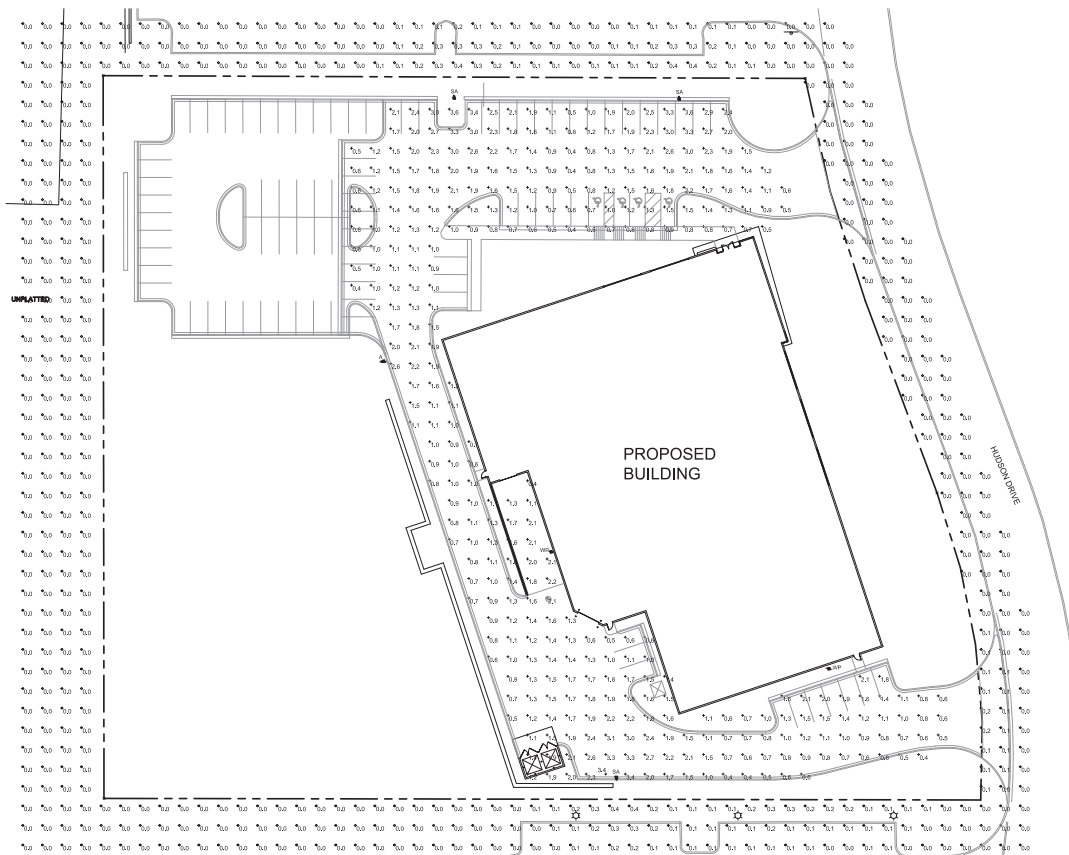


NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

1

EXTERIOR MATERIAL SCHEDULE

1	PREFINISHED METAL COPING
2	SMOOTH FACE C.M.U. BLOCK COLOR: TBD
3	SINGLE SCORE SMOOTH FACE C.M.U. BLOCK COLOR: TBD
4	1" GRAY TINTED LOW 'E' INSUL. VISION GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES
5	1" TINTED INSULATED SPANDREL GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES
6	6"x6" CLEAR ANOD. ALUM. ENTRY DOOR W/ GRAY TINTED TEMPERED GLASS
7	3'-0"x7'-0" HOLLOW METAL DOOR AND FRAME
8	ALUMINUM COMPOSITE METAL PANEL SYSTEM (A.C.M.)
9	7.2 METAL PANEL COLOR: TBD
10	12'x14' SECTIONAL INSULATED OVERHEAD GRADE DOOR W/ MOTOR OPERATED OPENER
11	9'x10' SECTIONAL INSULATED OVERHEAD TRUCK DOCK DOOR W/ DOCK LEVELER, & SHIELT/SEAL
12	6" DIA. CONC. FILLED STEEL GUARD POSTS
13	1/2" dia. PAINTED STEEL PIPE GUARDRAIL
14	CONC. TRENCH FOOTING BELOW
15	FLUSH METAL PANEL SIDING (RTU SCREWING)
16	HUBBEL LIGHTING WALL PACK



PHOTOMETRIC SITE PLAN
SCALE: 1/4" = 1'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lumens Per Foot	Light Loss Factor	Wattage
■	SA	3	Hubbell Lighting Inc., also VFS-5-55L-130-8K7-4 Beacon Products		1557	0.95	135.583
■	WP	3	Hubbell Lighting Inc.	VFS-36L-80-4K7-4W-UV	885	0.95	85.5
■	A	1	Hubbell Lighting Inc., also VFS-5-36L-80-4K7-3 Beacon Products		926	0.95	81

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #1	A	2.4%	2.8%	2.4%	0.93	3.5:1	
Property Line		2.9%	3.4%	2.1%	1.62	3.0:1	

HOURS OF OPERATION

BUILDING HOURS OF OPERATION
MONDAY - FRIDAY
7:00am - 7:00pm

SITE LIGHTING HOURS OF OPERATION
MONDAY - FRIDAY
6:30pm DAWN & DUSK - 8:00pm

SITE LIGHTING IS TURNED OFF OTHER TIMES

NOTE
THIS IS A SPEC BUILDING WITH NO TENANT. THEREFORE THERE IS NO SECURITY LIGHTING PROPOSED. ALL LIGHTING SHOWN IS FOR GENERAL ILLUMINATION AT SUCH TIME AS A NEW TENANT IS SECURED. ANY ADDITIONAL LIGHTING REQUIRED FOR SECURITY PURPOSES WILL COMPLY WITH SECTION 5.7.3H

TARGET VALUES

AVERAGE TO MINIMUM: 4:1 MAX

PARKING AREA: 0.2FC MIN

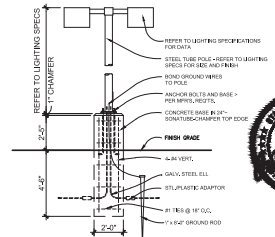
LOADING / UNLOADING: 0.4FC MIN

WALKWAYS: 0.2FC MIN

BUILDING ENTRANCES (FREQUENT USE): 1.0FC MIN

BUILDING ENTRANCES (INFREQUENT USE): 0.2FC MIN

PROPERTY LINE: 0.5FC MAX



CONCRETE POLE BASE DETAIL
SCALE: 1/4" = 1'-0"

VIPER S STRIKE

Specifications

Intended Use: This fixture is designed for use as a wall or ceiling-mounted outdoor lighting fixture. It is designed for use in areas where the lighting is to be on 24/7.

Construction:

- Manufactured with die-cast aluminum.
- Constructed with a stainless steel and anodized aluminum finish.
- Meets all applicable UL requirements and is listed for use in wet locations.
- The fixture is designed for use in wet locations.
- The fixture is designed for use in wet locations.
- The fixture is designed for use in wet locations.

Notes:

- For more information, visit our website at www.beaconlighting.com.
- For more information, visit our website at www.beaconlighting.com.
- For more information, visit our website at www.beaconlighting.com.

Product Images: [Image of Viper S Strike fixture]

Dimensions: [Diagram showing dimensions: A=12.75", B=12.75", C=11.25", D=8.75", E=8.75"]

Mounting Options: [Diagram showing mounting options: 1. 1/2" hole in wall, 2. 1/2" hole in ceiling, 3. 1/2" hole in wall, 4. 1/2" hole in ceiling]

Certifications/Listing: [Logos for UL, DLC, IK10]

Ordering Information: [Table with columns: Family, Model, Qty, Price, Lead Time, Voltage, Finish, Control Options, Options]

Stock Ordering Information: [Table with columns: Catalog Number, Description, Distribution, Material, Length, LPM, Voltage, IP Rating, Weight]

KIMLIGHTING Pavilion "Bollard" PA75

Specifications

Intended Use: This fixture is designed for use as a wall or ceiling-mounted outdoor lighting fixture. It is designed for use in areas where the lighting is to be on 24/7.

Construction:

- Manufactured with die-cast aluminum.
- Constructed with a stainless steel and anodized aluminum finish.
- Meets all applicable UL requirements and is listed for use in wet locations.
- The fixture is designed for use in wet locations.
- The fixture is designed for use in wet locations.

Notes:

- For more information, visit our website at www.kimlighting.com.
- For more information, visit our website at www.kimlighting.com.
- For more information, visit our website at www.kimlighting.com.

Product Images: [Image of Pavilion "Bollard" fixture]

Dimensions: [Diagram showing dimensions: A=12.75", B=12.75", C=11.25", D=8.75", E=8.75"]

Mounting Options: [Diagram showing mounting options: 1. 1/2" hole in wall, 2. 1/2" hole in ceiling, 3. 1/2" hole in wall, 4. 1/2" hole in ceiling]

Certifications/Listing: [Logos for UL, DLC, IK10]

Ordering Information: [Table with columns: Family, Model, Qty, Price, Lead Time, Voltage, Finish, Control Options, Options]

Stock Ordering Information: [Table with columns: Catalog Number, Description, Distribution, Material, Length, LPM, Voltage, IP Rating, Weight]



LITEPAK SERIES LNC3

Specifications

Intended Use: This fixture is designed for use as a wall or ceiling-mounted outdoor lighting fixture. It is designed for use in areas where the lighting is to be on 24/7.

Construction:

- Manufactured with die-cast aluminum.
- Constructed with a stainless steel and anodized aluminum finish.
- Meets all applicable UL requirements and is listed for use in wet locations.
- The fixture is designed for use in wet locations.
- The fixture is designed for use in wet locations.

Notes:

- For more information, visit our website at www.hubbell.com.
- For more information, visit our website at www.hubbell.com.
- For more information, visit our website at www.hubbell.com.

Product Images: [Image of Litepak Series LNC3 fixture]

Dimensions: [Diagram showing dimensions: A=12.75", B=12.75", C=11.25", D=8.75", E=8.75"]

Mounting Options: [Diagram showing mounting options: 1. 1/2" hole in wall, 2. 1/2" hole in ceiling, 3. 1/2" hole in wall, 4. 1/2" hole in ceiling]

Certifications/Listing: [Logos for UL, DLC, IK10]

Ordering Information: [Table with columns: Family, Model, Qty, Price, Lead Time, Voltage, Finish, Control Options, Options]

Stock Ordering Information: [Table with columns: Catalog Number, Description, Distribution, Material, Length, LPM, Voltage, IP Rating, Weight]

LITEPAK SERIES LNC4

Specifications

Intended Use: This fixture is designed for use as a wall or ceiling-mounted outdoor lighting fixture. It is designed for use in areas where the lighting is to be on 24/7.

Construction:

- Manufactured with die-cast aluminum.
- Constructed with a stainless steel and anodized aluminum finish.
- Meets all applicable UL requirements and is listed for use in wet locations.
- The fixture is designed for use in wet locations.
- The fixture is designed for use in wet locations.

Notes:

- For more information, visit our website at www.hubbell.com.
- For more information, visit our website at www.hubbell.com.
- For more information, visit our website at www.hubbell.com.

Product Images: [Image of Litepak Series LNC4 fixture]

Dimensions: [Diagram showing dimensions: A=12.75", B=12.75", C=11.25", D=8.75", E=8.75"]

Mounting Options: [Diagram showing mounting options: 1. 1/2" hole in wall, 2. 1/2" hole in ceiling, 3. 1/2" hole in wall, 4. 1/2" hole in ceiling]

Certifications/Listing: [Logos for UL, DLC, IK10]

Ordering Information: [Table with columns: Family, Model, Qty, Price, Lead Time, Voltage, Finish, Control Options, Options]

Stock Ordering Information: [Table with columns: Catalog Number, Description, Distribution, Material, Length, LPM, Voltage, IP Rating, Weight]

**AUGUST 12, 2020
PLANNING COMMISSION ACTION SUMMARY**



PLANNING COMMISSION ACTION SUMMARY

CITY OF NOVI
Regular Meeting
August 12th, 2020 7:00 PM
Remote Meeting
45175 W. Ten Mile (248) 347-0475

In accordance with Executive Order 2020-154, this meeting was held remotely.

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL

Present: Member Avdoulos, Member Dismondy, Member Ferrell, Member Gronachan, Member Lynch, Chair Pehrson

Absent: Member Maday

Staff: Barbara McBeth, City Planner; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Madeleine Kopko, Planning Assistant; Rick Meader, Landscape Architect; Kate Richardson, Staff Engineer; Elizabeth Saarela, City Attorney; Pete Hill, City Environmental Consultant;

APPROVAL OF AGENDA

Motion to approve the August 12, 2020 Planning Commission Agenda. Motion carried 6-0.

PUBLIC HEARINGS

1. BECK NORTH UNITS 4 & 52, JSP 20-12

Public hearing at the request of Dembs Development for Preliminary Site Plan, Woodland Permit and Storm Water Management Plan approval for a new 31,617 square foot speculative building for warehouse/office uses. The subject property is approximately 3.49 acres and is located in Section 4, north of West Road and west of Hudson Drive. The site is zoned I-1, Light Industrial District and is located in the Beck North Corporate Park.

In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. **A waiver from Section 11-216.d.1.d of the Code of Ordinances to allow same-side driveway spacing less than 125 feet because the lot configuration does not allow for alternative placement, which is hereby granted;**
- b. **A Section 9 façade waiver is requested for the overage of CMU (75 percent maximum allowed, 98 percent on South, 98 percent on West, 81 percent on East**

and 81 percent on North façade proposed) *because the combination of materials proposed will enhance the overall design of the building, which is hereby granted;*

- c. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Woodland Permit based on and subject to the following:

- a. The regulated tree count shall be updated to reflect all trees determined to be subject to regulation under the Woodland Protection Ordinance by the City's environmental consultant as indicated in the applicant's response letter;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

2. CASA LOMA, LOT 4, PSP20-0052

Public hearing at the request of Compo Builders Inc. for consideration of a request for a Woodland Use Permit at 47685 Casa Loma Court. The property is known as Lot 4, Casa Loma Subdivision, which is located on the west side of Beck Road, north of Eight Mile Road in Section 32 of the City. The applicant is proposing to remove twenty-six woodland trees in order to construct a single family residential structure.

In the matter of Casa Loma, Lot 4, PSP20-0052, motion to approve the Woodland Use Permit. *Motion carried 6-0.*

3. TEXT AMENDMENT 18.293 – LANDSCAPE ORDINANCE AND LANDSCAPE DESIGN MANUAL

Public hearing for Text Amendment 18.293 to update Section 5.5 of Zoning Ordinance related to the Landscaping standards, and the Landscape Design Manual, in order to make modifications to the ordinance and manual in certain areas.

In the matter of Text Amendment 18.293 motion to make a favorable recommendation to the City Council for reading and adoption. *Motion carried 6-0.*

MATTERS FOR CONSIDERATION

1. INTRODUCTION TO TEXT AMENDMENT – FACILITIES FOR HUMAN CARE

Set public hearing for Text Amendment 18.294 to update Section 4.65, Facilities for Human Care, to allow facilities for human care in the OST, Office Service Technology District throughout the City of Novi on sites consisting of not less than four and a half acres except general hospitals.

Motion to set a public hearing for Text Amendment 18.294 for the next available Planning Commission meeting. *Motion carried 6-0.*

2. APPROVAL OF THE JULY 22, 2020 PLANNING COMMISSION MINUTES.

Motion to approve the July 22, 2020 Planning Commission Meeting minutes. *Motion carried 6-0.*

ADJOURNMENT

The meeting was adjourned at 8:05 PM.

*Actual language of the motion subject to review.

**AUGUST 12, 2020
PLANNING COMMISSION MEETING MINUTES**



**PLANNING COMMISSION
MINUTES**
CITY OF NOVI
Regular Meeting
August 12th, 2020 7:00 PM
Remote Meeting
45175 W. Ten Mile (248) 347-0475

In accordance with Executive Order 2020-154, this meeting was held remotely.

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL

Present: Member Avdoulos, Member Dismondy, Member Ferrell, Member Gronachan, Member Lynch, Chair Pehrson

Absent: Member Maday

Staff: Barbara McBeth, City Planner; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Madeleine Kopko, Planning Assistant; Rick Meader, Landscape Architect; Kate Richardson, Staff Engineer; Elizabeth Saarela, City Attorney; Pete Hill, City Environmental Consultant;

PLEDGE OF ALLEGIANCE

Chair Pehrson led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Ferrell and seconded by Member Gronachan.

VOICE VOTE TO APPROVE THE AUGUST 12, 2020 PLANNING COMMISSION AGENDA MOVED BY MEMBER FERRELL AND SECONDED BY MEMBER GRONACHAN.

Motion to approve the August 12, 2020 Planning Commission Agenda. Motion carried 6-0.

AUDIENCE PARTICIPATION

No one in the audience wished to speak.

CORRESPONDENCE

There was no correspondence.

COMMITTEE REPORTS

There were no Committee reports.

CITY PLANNER REPORT

There was no City Planner report.

CONSENT AGENDA - REMOVALS AND APPROVALS

There was nothing on the Consent Agenda.

PUBLIC HEARINGS

1. BECK NORTH UNITS 4 & 52, JSP 20-12

Public hearing at the request of Dembs Development for Preliminary Site Plan, Woodland Permit and Storm Water Management Plan approval for a new 31,617 square foot speculative building for warehouse/office uses. The subject property is approximately 3.49 acres and is located in Section 4, north of West Road and west of Hudson Drive. The site is zoned I-1, Light Industrial District and is located in the Beck North Corporate Park.

Planner Bell said the subject property is in Section 4 north of West Road, on the west side of Hudson Drive. The parcel is approximately 3.5 acres and is currently vacant. The parcel is zoned I-1 Light Industrial as are the surrounding properties. Bordering the property to the west is the City of Wixom, and is also zoned for light industrial uses. The Future land use map indicates Industrial Research Development Technology for this area. There are some woodland and wetland areas present on the western portion of the site. There is an existing conservation easement protecting the wetland in the southwestern corner of the site as well as some woodland areas.

The applicant is proposing to construct a new building just over 31,600 square feet in floor area. The potential tenant is unknown at this time, but expected to be a warehouse use with accessory office. The site would have two driveways off of Hudson Drive. The applicant requests same-side driveway spacing waivers due to the proximity of the proposed driveways to existing driveways to the north and south. The site plan as proposed would require a total of 41 parking spaces. The applicant has proposed 52 spaces with a future parking expansion of 32 spaces shown if needed by a tenant.

Storm water would be collected by a single collection system and discharged into a previously constructed basin serving the corporate park properties. The plan will avoid impacts to the wetland area of the site. The tree survey provided indicates forty trees were surveyed, eight of which are less than eight inches in diameter and therefore not regulated. Twenty-four trees would be preserved while a total of sixteen regulated trees are proposed for removal. The applicant has indicated no credits would be planted on-site, but rather a payment into the City's Tree fund will be made for the required twenty-five woodland replacement credits.

Planner Bell continued to say the applicant has requested a Section 9 waiver for the overage of CMU on all facades. Our façade consultant supports the waiver request because the combination of materials will enhance the overall design of the building, and similar waivers have been approved for other projects in this area.

Landscape review identified a deficiency in parking lot perimeter trees. However the applicant indicates in their response letter that this will be corrected in the Final Site Plan.

The Planning Commission is asked tonight to hold the public hearing and approve or deny the Preliminary Site Plan, Woodland Permit and the Storm Water Management Plan. Representing the project tonight are Glenn Jones from Dembs Development and engineer Tom Gizoni from Alpine Engineering. Staff and environmental consultant Pete Hill are available to answer any questions.

Glenn Jones, Director of Development with Dembs Development, said the building is set up as a speculative construction project. We do have several parties interested in it, but unfortunately cannot mention names right now. The model for speculative buildings that we've been doing as of late seems to work very well. We just recently finished up Unit 54 which is around the corner from here and was also a speculative building. We brought a very good user for that building to Novi, Hexagon

Metrology, who's now moved into the building. The Section 9 waiver that we are applying for was pre-approved by the City's façade consultant and fits the model of the park and Beck North. The building is very complimentary to all the other facilities within our park. With that said I'll turn it back over to answer any questions you may have.

Chair Pehrson said this is a public hearing, if anyone would like to address the Planning Commission you may do so now.

Seeing no one in the audience wised to speak and there being no written correspondence, Chair Pehrson closed the audience participation and turned it over to the Planning Commission.

Member Avdoulos said this project is pretty straight forward and all the City Departments recommend approval so I would like to make a motion.

Motion made by Member Avdoulos and seconded by Member Ferrell.

ROLL CALL VOTE TO APPROVE THE PRELIMINARY SITE PLAN FOR PROJECT JSP 20-12 BECK NORTH UNITS 4 & 52 MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER FERRELL.

In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. A waiver from Section 11-216.d.1.d of the Code of Ordinances to allow same-side driveway spacing less than 125 feet because *the lot configuration does not allow for alternative placement, which is hereby granted;***
- b. A Section 9 façade waiver is requested for the overage of CMU (75% maximum allowed, 98% on South, 98% on West, 81% on East and 81% on North façade proposed) because *the combination of materials proposed will enhance the overall design of the building, which is hereby granted;***
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.**

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

Motion made by Member Avdoulos and seconded by Member Gronachan.

ROLL CALL VOTE TO APPROVE THE WOODLAND PERMIT FOR PROJECT JSP 20-12 BECK NORTH UNITS 4 & 52 MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER GRONAHCAN.

In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Woodland Permit based on and subject to the following:

- a. The regulated tree count shall be updated to reflect all trees determined to be subject to regulation under the Woodland Protection Ordinance by the City's environmental consultant as indicated in the applicant's response letter;**
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.**

This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

Motion made by Member Avdoulos and seconded by Member Ferrell.

ROLL CALL VOTE TO APPROVE THE STORM WATER MANAGEMENT PLAN FOR PROJECT JSP 20-12 BECK NORTH UNITS 4 & 52 MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER FERRELL.

In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. Motion carried 6-0.

2. CASA LOMA, LOT 4, PSP20-0052

Public hearing at the request of Compo Builders Inc. for consideration of a request for a Woodland Use Permit at 47685 Casa Loma Court. The property is known as Lot 4, Casa Loma Subdivision, which is located on the west side of Beck Road, north of Eight Mile Road in Section 32 of the City. The applicant is proposing to remove twenty-six woodland trees in order to construct a single family residential structure.

City Planner McBeth said as you know, the subdivision Casa Loma is located north of Eight Mile Road and west of Beck Road in Section 32. Unit 4 has submitted for building permits to the Building Department for a new construction for a residence. It is the last lot that is available in the development. The applicant's plans show the removals of twenty-six woodland trees in order to provide space to construct a single family residential structure, a swimming pool, a driveway, and other features. The memo included in the packet notes that twenty woodland trees are located within the building area shown on the overall development plan and six woodland trees are outside of the building area. However, those trees are located within areas of the property that need to be graded to allow for future construction of the proposed home and the swimming pool.

The City's Environmental consultant, Pete Hill, reviewed the request and prepared a review letter dated July 27, 2020. Two inspections were done of the lot on June 26, 2020 and then again on July 27, 2020 to compare information given by the applicant's engineer with the field conditions. Some woodland trees remain on the southern edge of the property, but the inspections reveal that the north part of the lot already has been cleared of the woodlands. The south side of the property contains a conservation easement that is shown on this exhibit and signs noting the buffer are also in place at this time.

The Planning Commission reviewed the plans for Casa Loma in 2005 and granted a woodland use permit which included the preservation of large portions of the existing woodlands in the open space particularly on the west side and in some instances on individual units within that subdivision. These areas would be addressed at the time of building permits as requested for the individual units. The approved plans for the Casa Loma Subdivision also include building areas identified for each unit. Generally, it's a rectangular area showing the required minimum building setback for the future placement of the home on each unit. Staff has completed an analysis of the trees recently removed from Unit 4 and found that twenty trees were within the identified building area and six trees have been removed outside of the building area.

City Planner McBeth continued to say staff finds that the Planning Commission should consider the removal of those six trees as authorized by the subject woodland permit and the remaining trees may be approved administratively. The applicant's plot plan indicated that the area outside of the previously identified building area is proposed to be graded in order to allow the construction of the home and the swimming pool on that unit. Staff provides a favorable recommendation to the Planning Commission for the woodland permit to authorize the removal of the trees the applicant is

responsible for payment into the Tree Fund or the planting of such replacements on-site for the removal of all twenty-six regulated trees in amount totaling forty-seven woodland replacement credits. If the Planning Commission is so inclined this evening, a suggested motion for approval has been provided on the second page of the memo and as you know the applicant and builder, David Compo is present this evening.

David Compo, Compo Builders, said Barb's presentation was very thorough. We are ready, willing, and able to pay into the bonds required for those forty-seven replacements. We have the funds set aside to be able to do this and the property owners do not want to pay into the tree fund. I believe they will be planning on doing this in landscaping. However, there is no landscape plan at this time so it would be held by Novi pending that landscape plan approval by me as the developer and builder. Novi would then say to plant the trees after that, so it would be staying in your accounts until such time that the replacement trees are installed based on their landscape plan which will probably be available in a year from now based on the size of this particular home.

Chair Pehrson said this is a public hearing, if anyone in the audience who wishes to address the Planning Commission on this matter please do so now. Seeing no one in the audience wished to speak, Chair Pehrson asked for the written correspondence.

Planning Assistant Kopko said there was a letter received in objection from Ronald Bush, 21565 Beck Road, he objects to removing the protected trees because the site will now have a smaller building envelope than the other sites in the development and the original plan was to have a protected woodland area which gives value to the community. There was also a letter received from David Compo who is in support.

Chair Pehrson closed the public hearing and turned it over to the Planning Commission for their consideration.

Member Lynch said I appreciate the work you have done on this project. It's a beautiful subdivision. One thing that I am pretty consistent about is that I don't like the Tree Fund. However, I don't want you to plant the trees so close together that they are going to die. Do you have room on-site in that subdivision to replace the trees? My recommendation would be to keep as many trees on-site as possible without planting them so close together that they're going to die. I did see a landscape layout for the entire site, but I have to admit I didn't go through each of the documents.

David Compo said I believe there is based on each of these lots being between 0.8 and 1.4 acres. The lot that had the most trees was at the end of the subdivision, Lot 6, which is 155 feet wide. They were able to do their replacement trees and they were at about one-hundred replacements, to give you an idea. As a correction, the plan is not to pay into the tree fund, but to keep that in the account pending their landscape plan. I completely agree with you not to put too many trees on top of each other, but as the owner is going to have a pool I would imagine they want a privacy buffer for their rear yard which typically then you end up putting in some kind of border often evergreen, but, again, that will be determined by a good landscape company.

Member Lynch said so my understanding is you're going to keep the trees on site, unless they are so close together that they're going to die and you're going to put bond money aside just as an act of good faith. Is that a good assessment of what you're doing?

David Compo said that is accurate.

Member Lynch said okay, I have no issue with what you are requesting.

Member Gronachan said how is it that those six trees that were outside of the building area get cut down? I am a little confused on that because they weren't supposed to be cut, correct?

David Compo said there was a window for getting the tree clearing done. Those ones are outside because of the grades that it's going to have. If we would have left those trees there, the base part of the stump would have been buried by three feet of dirt and you would have to put in a bunch of wells around them. It would not have worked with the final grade. The home that's on the site there right now is going to be raised up to the existing grade probably by about six feet. There is no way to grade this without having those trees gone. As a matter of fact, the owner really wants to take down a few more trees based on the pool which are not regulated per the Ordinance, but they're not in any wetland setback or buffer and there's still a ton of trees in the back of this lot. It is probably one of the most wooded lots.

Member Gronachan said when the homeowner goes to build the pool, do they have to come back in front of us in regards to cutting more trees down or is this something they can just do and that will get replaced on-site?

City Planner McBeth said I believe the pool was accounted for in terms of the tree removals that had been done.

Environmental Consultant Pete Hill said I agree.

Member Gronachan said I'm in full support of all the trees being replaced on-site, I think this is a beautiful subdivision and I realize there are a lot of trees there. As long as they're not going to be put into the tree fund and that they're going to be part of the subdivision, I can support this.

Member Ferrell said I also agree with the last two speakers. As long as the trees are staying on-site, I have no issues supporting this request.

Member Dismondy said same with me. It is a very expensive neighborhood and I don't think they are skimping out on landscaping. I would imagine they are going to follow what they've done in the other units and everybody will be happy.

Member Avdoulos said I am also in agreement and I would like to make a motion.

Motion made by Member Avdoulos and seconded by Member Gronachan.

ROLL CALL VOTE TO APPROVE THE REQUESTED WOODLAND REMOVAL PERMIT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER GRONACHAN.

In the matter of Casa Loma, Lot 4, PSP20-0052, motion to approve the Woodland Use Permit. Motion carried 6-0.

3. TEXT AMENDMENT 18.293 – LANDSCAPE ORDINANCE AND LANDSCAPE DESIGN MANUAL

Public hearing for Text Amendment 18.293 to update Section 5.5 of Zoning Ordinance related to the Landscaping standards, and the Landscape Design Manual, in order to make modifications to the ordinance and manual in certain areas.

Landscape Architect Meader said we last revised the Ordinance in 2017 and those updates were more fundamental to try to reduce the overabundance of landscaping that our Ordinance currently requires. The updates are small in nature, but there are some major items. The basic intent of the changes at this time are more uniform in street tree locations, we have a different system than most.

In some municipalities there are no requirements for street trees along open spaces and most of our development types have a requirement for street trees. Around Twelve Oaks Mall there are not requirements along the private roads, so I tried to close that loophole in case a similar development comes along where they have private roads or access roads to allow for street trees to be required.

Another item is to reduce the needs for variances. Our ordinance is a little too restrictive. Then we have the item: greater sensitivity to ecological issues facing our community that is, again, closing some loopholes. The most important ones with the largest impact are the mixed-use development issue. We've had some cases in the TC District, where we had loading zones right next to residential and I wasn't comfortable with the idea that there was no real barrier between those two uses. Because it's the same zoning district there's no requirement to have any kind of barrier, but I thought that there should have been. It's my suggestion that we add this requirement for a six-foot wall between residential sections of a PUD or a mixed-use development and areas like parking lots or loading areas.

The next item is the street-tree issue. I wanted to add a requirement for open spaces and for certain developments types that don't currently have a requirement. This one is to add a requirement for canopy trees around the southern, eastern, and western sides of detention ponds to help the water stay cooler because warm water that goes into the streams can negatively impact fish and other species that live in the streams. There's another situation where our Ordinance requires multi-family units to have landscaping on the front of the unit. There was a recent project where they declared the front of the unit to be away from the road so they didn't have to have any landscaping along the road which I thought was not the intent of the Ordinance. The intent should be to make the building fronts look attractive so this is to define the front of a building. We also don't have a requirement for street trees for single-family developments with no lot lines like Terra, for example, where they have units. We kind of made one up as we went along, so this is actually to codify that.

Landscape Architect Meader continued to say some of the minor changes include reducing the need for waivers, greenbelt issues, parking lot requirement revisions, and some building foundation landscaping. We did send the draft changes to nineteen landscape architects and we got five comments back. There was a suggestion about street trees. One of the landscape architects suggested that we do it like most other municipalities and that is to not do it by lot as we do it now. We have it by individual lot frontage. This is a lot easier to say street frontage divided by 35 and take out the clear vision zones and it ends up with the same effect. So I think that's a good idea. There was concern about the new requirement for the trees around the detention basin because there's already a tendency for them not to prep to find space for replacement trees. I wouldn't have a problem with them using woodland replacement trees on the site for this requirement. It would end up being a new requirement for people who don't have any need to put woodland replacement trees, so potentially it could be an unfair application so that's kind of an issue I would like you and the Council to discuss. I'm just looking at it from an ecological standpoint and the benefit it would provide. Then another item that causes some concern and confusion is that I just wanted add some wording to say you can't use densely planted areas for perimeter trees to compensate for other areas. All this is really saying is of course you can use the existing trees along there for this. What I don't want is when it's a densely planted area like this to say there's twice as many trees as you would need here to then say you don't need them around this other area because this is density, I don't think that's what we want. I think we want to have a ring of trees around the parking lot to help shade in and make it look better and if you allow the tools to count in this area to be used then you would be stripping the benefits from other areas. I think it just wasn't understood that I was saying you can't use existing trees and that's not the case at all. We just want to use the extra trees for other parts of the property.

I also talked about what materials would be between the residential and nonresidential in the TC-

District. There was a question about using existing plant material for the intent of street trees when they're in the area planted where the street trees would be. Another one of the minor changes is to add Japanese Knotweed to our list as something they need to take care of and Japanese Knotweed is another really bad invasive species. The concern was actually not that it would be added to the list, but how it would be maintained after two years. It would most likely take more than two years to treat and I don't have an answer to that at this time because this rule goes for two years so I think we could add it to the obnoxious weed ordinance for a start.

Chair Pehrson said this is a public hearing if anyone in the audience wishes to address the Planning Commission, you may do so now. Seeing no one wished to address the Planning Commission, Chair Pehrson asked for the correspondence.

Landscape Architect Meader said the correspondence was included in the list.

Chair Pehrson closed the audience participation and turned it over to the Planning Commission for their consideration.

Member Avdoulos said I appreciate all the work that went through with this. I know sometimes when applicants come into the City there are some Ordinances that seem difficult to work around. The first thing is that you do work with the applicants and I think if you look around the city and all the properties and developments we have, the landscaping along with the natural features really enhances a lot of the projects. I personally do not have an issue with any of the items that you presented and I was really appreciative that the proposals were sent to Landscape Architects- those who are going to be using the Ordinance for these projects. It's great to get feedback from them and it's great that you take that into consideration. I agree with you on some of those where you want to maintain the density of the perimeter trees and not use what's there to kind of infill for the areas that are empty.

Motion made by Member Avdoulos and seconded by Member Gronachan.

In the matter of Text Amendment 18.293 Landscape Ordinance and Landscape Design Manual motion to make a favorable recommendation to City Council.

Member Dismondy said I'm guessing that this is the best practices and we're bench marking with similar leading communities?

Chair Pehrson said that is correct.

Member Dismondy said I am in support then.

Member Ferrell said I would just like to thank Rick for all the work that he has put in. It definitely seems like he did a lot of research and I also agree that it's great that you contacted the other landscape companies that are going to be doing the work in the city. I definitely like the fact that you're being proactive with changing some of these Ordinances and changing some of the things to keep up with other communities and with the times. I'm in support of the items that you discussed.

Member Gronachan said I am very impressed with all the hard work on this packet. I read through it and I am very grateful that you took into consideration that there would be less requests for variances. I'm blown away by the detail so great job and hats off to the staff that helped worked on this for Rick. I think it's been a long time coming and I'm in full support.

Member Lynch said first of all thank you, this is a tremendous amount of work that you did. This was

very detailed and I want to put it up front that I absolutely agree with everything you've done. However, have you reviewed this with the Ordinance Enforcement Department? I think what my colleagues don't understand is that a lot of these, in fact I'd be surprised if any of these landscape ordinances ever get enforced by our Ordinance Department. So are we creating these ordinances for us or are they actual enforcement? For example, I absolutely agree with cooling these ponds, well what happens when the developer turns it over and these trees get cut down? The ordinance officers are not going to spend time enforcing that.

Chair Pehrson said let's work on the part that we have control over. Beth, can we address the concerns for Member Lynch relative to compliance?

City Attorney Beth Saarela, said yes, it's our plan to have a study session to discuss how ordinance enforcement is decided on and pursued. There should be a Planning Commission study session on that issue soon.

Member Lynch said well I'm trying to relate this to something that happened to me at Ford. We had thousands and thousands of specifications and thousands of Ordinances and we basically did them to please ourselves because a lot of them we never used and in this particular case I have information that the ordinance enforcers enforce other items. They don't have time for this. I'm just raising the question why are we even doing this if it's not enforceable?

Chair Pehrson said again, that's out of our jurisdiction right now. I'm not disagreeing. If we have an issue let's bring it up with Beth during this session so if there needs to be better enforcement or control let us do that.

Member Lynch said okay, were not going to resolve this right now but it is something that we need to think about, don't you think?

Chair Pehrson said these are existing documents that are being revised. They're not brand new regulations other than trying to bring them into the twentieth century. I don't know that I necessarily agree with the idea that this is something new that were never going to be able to resolve.

Member Lynch said I'm just saying the current ordinances are not enforced.

City Attorney Beth Saarela said most of the properties in the city that are subject to the Ordinance are in compliance and typically enforced. As you said, there are literally thousands of properties in the city and there are many issues that have to be enforced. Our intent is to have a study session and talk over with everybody how and what types of enforcement mechanisms we may want to see and how to focus on why its focused on the way it is at this point. So it's not that it's not enforceable. It is enforceable; it's just that the way it's enforced with all the thousands of landscape plans in the city typically are only enforced when something is brought to the attention of the city and if it's not corrected.

Member Lynch said can we make this study session sooner than later because as we approve these new projects a lot of times what we do is we try to resolve conflict between adjacent home owners, the developer, and some of the Ordinance items before it goes to city council. I think city council appoints us to be reasonable about where were requesting of the developer and to be conscious of the neighboring homeowners and try to resolve this conflict before it gets to them. I think we've done a great job at that and typically what we do is we add landscaping, right? Hasn't that been our history? I've been here for over a decade and that's exactly what we do and what we tell everyone that's in these meetings, we tell irate people, and taxpayers, and homeowners that are worried about all this stuff not to worry about it were going to put these additional plantings, were going to buffer.

Chair Pehrson said I think we get the gist, I don't think we will solve this tonight.

ROLL CALL VOTE TO MAKE A FAVORABLE RECOMMENDATION TO APPROVE THE LANDSCAPE DESIGN MANUAL AND ORDINANCE UPDATES TO CITY COUNCIL MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER GRONACHAN.

In the matter of Text Amendment 18.293 Landscape Ordinance and Landscape Design Manual motion to make a favorable recommendation to City Council. Motion carried 6-0.

MATTERS FOR CONSIDERATION

1. INTRODUCTION TO TEXT AMENDMENT – FACILITIES FOR HUMAN CARE

Set public hearing for Text Amendment 18.294 to update Section 4.65, Facilities for Human Care, to allow facilities for human care in the OST, Office Service Technology District throughout the City of Novi on sites consisting of not less than four and a half acres except general hospitals.

Planner Carroll said we have a proposed text amendment to the City of Novi's Zoning Ordinance requested by the applicant, Bowers and Associates. The applicant currently owns the Novi Tru Hotel site which is located south of Thirteen Mile Road and east of M-5. The site is zoned OST, Office Service Technology, and the newly proposed use to this site is a principle permitted use which is an assisted living facility. The applicants, Mr. Bacall of Elite Hospitality Group and Scott Bowers of Bowers and Associates are present on tonight's call and will expand on this request once I'm finished with this presentation. On my screen you can see a map I put together showing the sites throughout the city that would fall under the acreage requirement if it were to be adjusted accordingly. The applicant is proposing this amendment to accommodate for the change in use to the site and the changes proposed just to amend the minimum lot size requirement from 5 acres to 4.5 acres.

Currently, if that were to be reduced from 5 acres to 4.5 acres it would allow for additional 16 parcels within the city to allow for facilities for human care and that's what this map shows, anything shown in yellow would fall under that. Staff finds that this reduction would not lead to significant change in the development site, but would allow for the applicant to adapt the Tru Hotel site to the new use. Facilities for human care within the city would be able to take a slightly smaller footprint while maintaining quality form and design. The Planning Commission is asked to review the proposed amendment and if acceptable set a public hearing for a later meeting. Following the public hearing the Planning Commission will be asked for recommendation to City Council. With that, I invite any comments or for the applicant to speak.

Basil Bacall, Elite Hospitality Group, said we were constructing a hotel going full speed ahead and as of mid-March COVID had started to impact the hospitality industry tremendously. Our hotels have seen the worst performance even worse than 9/11 and the deep recession combined. Three to four months later, were still struggling with building occupancy. My national consultant firm estimates hospitality industry will not go to pre-COVID levels for another five years due to corporate travel, changing habits such as all these Zoom meetings, and so forth. With all the challenges were facing, were asking if we can change the use to an assisted living facility. The challenges were also facing is that we are in the middle of construction and the bank was having second thoughts so were on hold. As well as the uncertain future, there's a lot of hospitality product within the ten mile radius in the surrounding municipalities that are coming which will really paint a dooming picture for this property to be able to operate. We would like your consideration for this request and appreciate your time.

Member Lynch said right now, what zoning district are these located in? What zoning is assisted living

allowed in?

City Planner McBeth said they are mostly located in the Office Service and Office Service Technology districts. However, the Ordinance has a qualifying factor for facilities for human care such as assisted living that needs to be on a site that is at least 5 acres in size. So the acreage of the site that Mr. Bacall has is approximately 4.5 acres and he is requesting this text amendment to allow his building to be considered for an assisted living facility.

Member Lynch said I don't know the history and why it is 5 acres, it sounds like an arbitrary/rounding number, but 4.5 acres doesn't bother me. I'm concerned though, if we do this as a change to the district, are there areas that we can get into trouble where we have something that may be 2 acres or are most of the OST Districts larger in size than that?

City Planner McBeth said one of the benefits of the map that was prepared shows the areas and the acreages of those office areas, so before the public hearing we can take a closer look at that and say are there any problems with these areas, is there anything that would be a concern and if you think there is we can maybe adjust the language and move it to a further amendment where the areas would be eligible.

Member Lynch said okay. Personally, I understand, I don't really have an issue I just worry about anytime when you change something in a whole district there's always some unintended consequences that I'm fearful of. Half an acre doesn't matter to me one way or another, but if we start getting down under 4 acres I would like to know where the risk areas are. I mean these are well under 20% of what the original requirement was. Before we make a final decision, I do see some areas that are observed as 3.49 acres which is concerning. Certainly not concerned about the yellow area you showed that's 4.5-5 acres. The orange and red areas make me a little nervous.

City Planner McBeth said I think that's why staff is recommending what the applicant is requesting that it be at least a minimum of 4.5 acres or larger.

Member Lynch said I believe, although I don't have any data to prove this, but my belief is 5 acres is an arbitrary number and it's probably a round up and I think the 4.5 acres is fine with me if that's what we're trying to accomplish so I have no issue with that because it's a half an acre.

Member Gronachan said I concur with the previous speaker and especially the 4.5 acres minimum. My concern is that, again, as Member Lynch mentioned about having a negative impact by making this change. In reviewing this, I don't see where it would be a negative impact as long as we stick to the minimum of 4.5 acres and don't go any lower than that.

Member Ferrell said I agree with the last two speakers as long as we stick to the 4.5 acres I don't see an issue with it or have a problem with it so I would be in support of that.

Member Dismondy said I support it as well, I think it's a minor change given the potential for having a half built or empty hotel for years to come.

Member Avdoulos said I agree I think being able to repurpose what was initially a hotel into assisted living and I've seen it before so it's not an oddity. The applicant is correct in that we don't know when the hospitality industry is going to revamp and so I'm in support of this and I'll make a motion.

Motion made by Member Avdoulos and seconded by Member Ferrell.

In the matter of Text Amendment 18.294 motion to support and set a public hearing for an

upcoming Planning Commission meeting.

Member Gronachan said is there a difference between a senior living facility and a hotel in regards to the impact of the services from the city? Does it increase for an assisted living facility as opposed to a hotel or would a hotel actually be more?

Chair Pehrson said Barb, if you could research that and just report back at the next meeting.

City Planner McBeth said I would be happy to.

ROLL CALL VOTE TO SUPPORT TEXT AMENDMENT 18.294 AND SET A PUBLIC HEARING FOR AN UPCOMING PLANNING COMMISSION MEETING MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER FERRELL.

In the matter of Text Amendment 18.294 motion to support and set a public hearing for an upcoming Planning Commission meeting. *Motion carried 6-0.*

2. APPROVAL OF THE JULY 22, 2020 PLANNING COMMISSION MINUTES.

Motion made by Member Lynch and seconded by Member Ferrell.

ROLL CALL VOTE TO APPROVE THE JULY 22, 2020 PLANNING COMMISSION MEETING MINUTES MADE BY MEMBER LYNCH AND SECONDED BY MEMBER FERRELL.

Motion to approve the July 22, 2020 Planning Commission Meeting Minutes. *Motion carried 6-0.*

SUPPLEMENTAL ISSUES

There were no supplemental issues.

AUDIENCE PARTICIPATION

No one in the audience wished to speak.

ADJOURNMENT

Motion to adjourn made by Member Lynch and seconded by Member Gronachan.

Motion to adjourn the July 22, 2020 Planning Commission meeting. *Motion carried 6-0.*

The meeting was adjourned at 8:05 PM.