



FELDMAN KIA JSP25-24

JSP25-24 FELDMAN KIA

Consideration of the request of Feldman Automotive for Preliminary Site Plan and Storm Water Management Plan. The subject property is zoned B-3 with a Planned Rezoning Overlay (PRO), which conditions development to the terms of a PRO Plan and Agreement. The applicant is proposing to develop a Kia dealership.

REQUIRED ACTION

Approve/deny the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	9-16-25	<ul style="list-style-type: none">Items to be addressed on the Final Site Plan submittal
Engineering	Approval recommended	9-18-25	<ul style="list-style-type: none">Items to be addressed on the revised Final Site Plan submittal
Landscaping	Approval recommended with conditions	9-4-25	<ul style="list-style-type: none">Items to be addressed on the revised Final Site Plan submittal
Wetlands	NA		
Woodlands	NA		
Traffic	Approval recommended	9-15-25	<ul style="list-style-type: none">Items to be addressed on the Electronic Stamping Set submittal
Façade	Approval recommended	9-14-25	<ul style="list-style-type: none">Facades are consistent with approved PRO Agreement, with roof screening to be addressed;
Fire	Approval recommended with conditions	9-2-25	<ul style="list-style-type: none">Items to be addressed on the revised Final Site Plan submittal

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Feldman Kia, JSP25-24, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters, as well as all of the terms and conditions of the PRO Agreement as approved, with any outstanding items being addressed prior to Final Site Plan approval; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance, as well as the terms of the PRO Agreement.)

-AND-

Approval – Stormwater Management Plan

In the matter of Feldman Kia, JSP25-24, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR-

Denial – Preliminary Site Plan

In the matter of Feldman Kia, JSP25-24, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

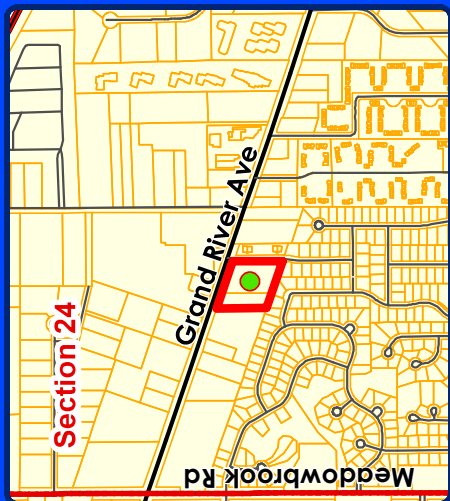
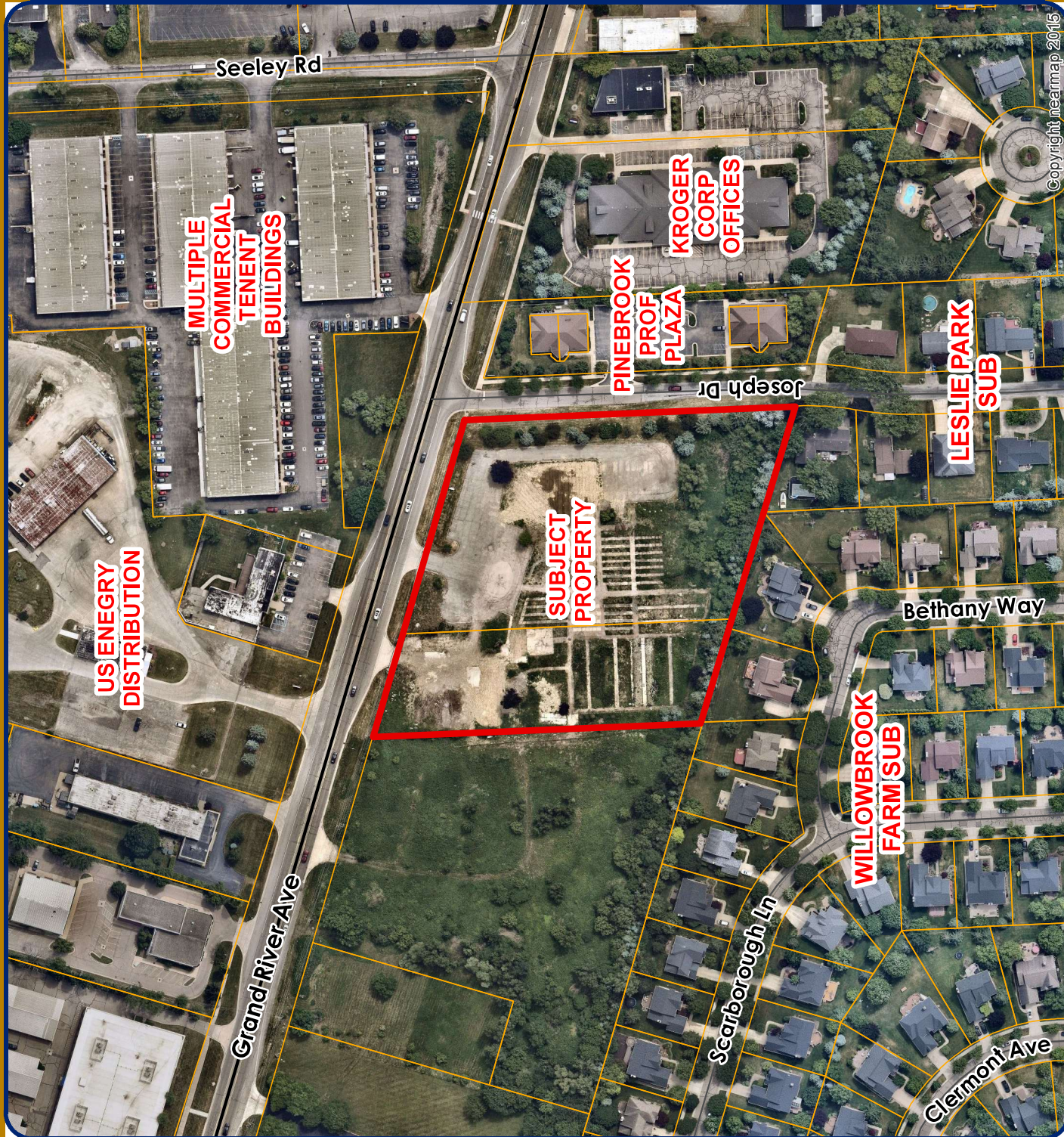
-AND-

Denial – Stormwater Management Plan

In the matter of Feldman Kia, JSP25-24, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

J224-32 FELDMAN KIA PRO LOCATION



Legend
 Subject Area



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 9/11/24
Project: FELDMAN KIA
Version #: 1

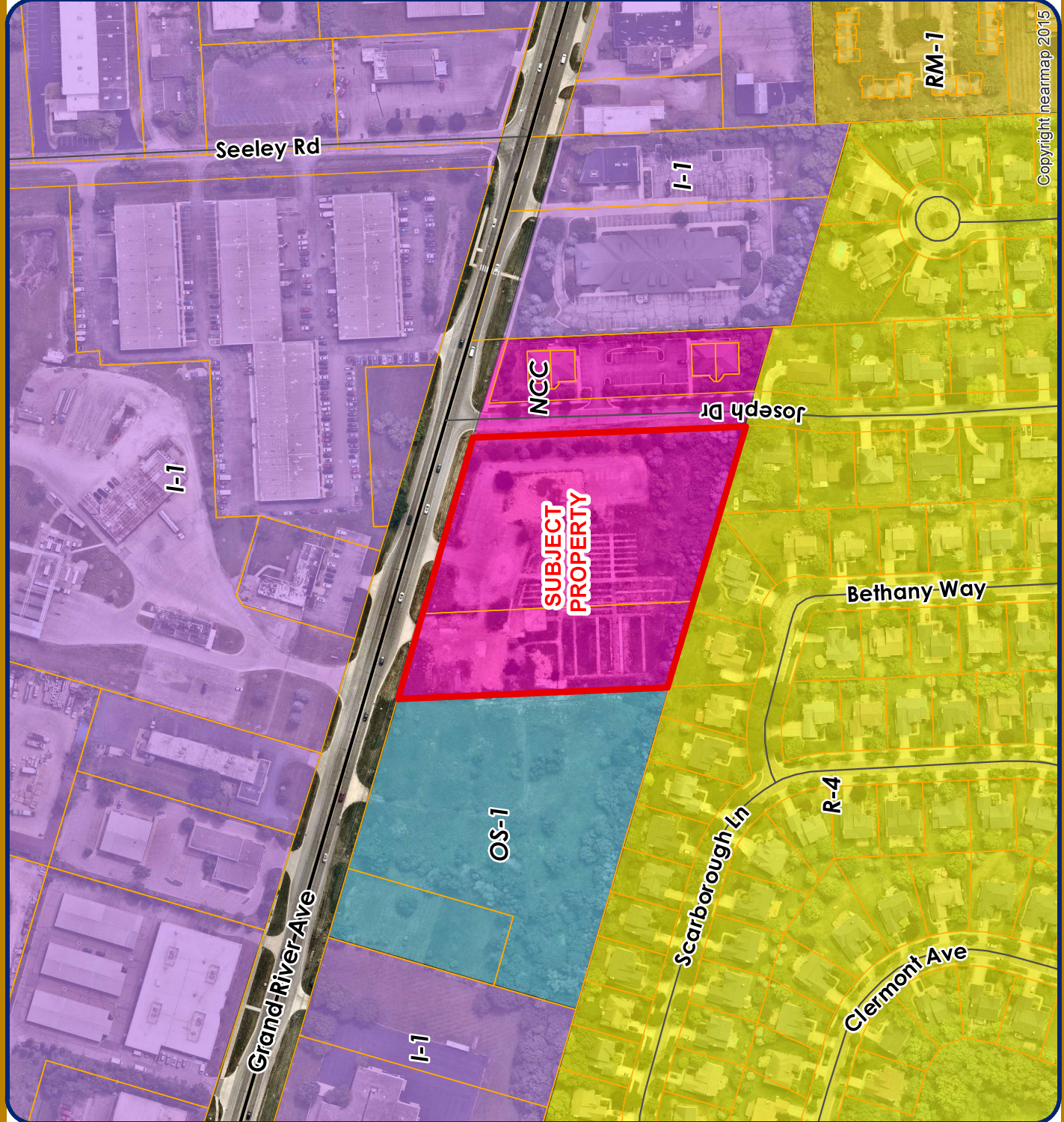
Feet
0 45 90 180 270
1 inch = 208 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JZ24-32 FELDMAN KIA PRO ZONING



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Section 24

Grand River Ave
Meadowbrook Rd

Legend

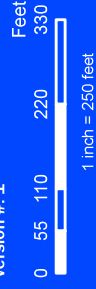
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- MH: Mobile Home District
- GE: Gateway East District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- Subject Area



City of Novi

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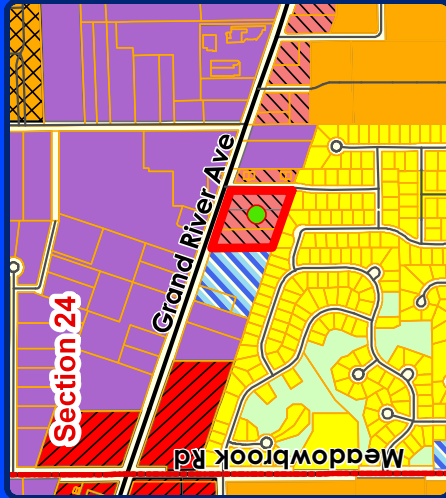
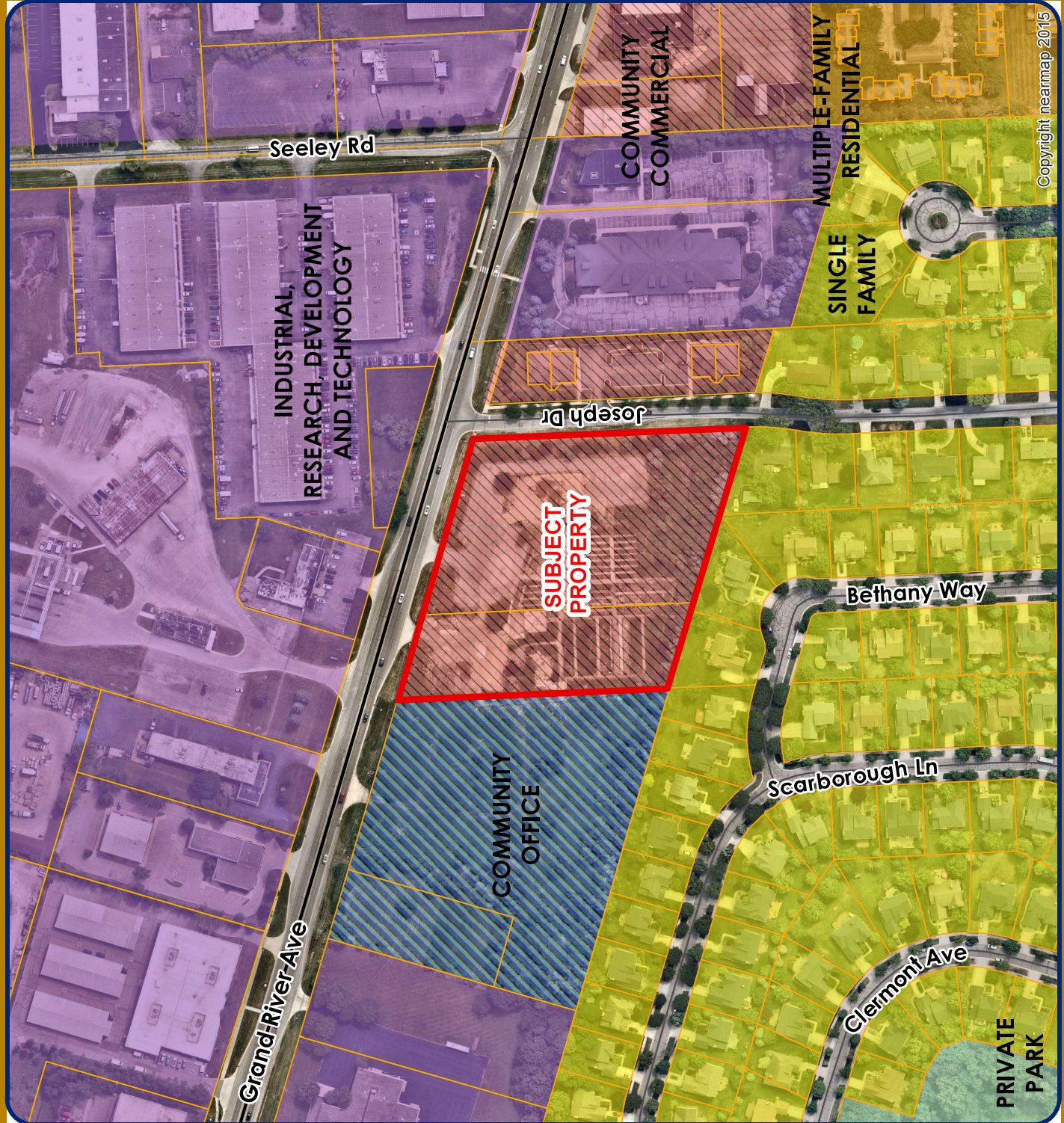


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JZ24-32 FELDMAN KIA PRO

FUTURE LAND USE



Legend

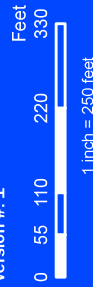
- Single Family
- Multiple-Family Residential
- Manufactured Home Residential
- Community Office
- Industrial, Research, Development and Technology
- Community Commercial
- Town Center Gateway
- Private Park
- Subject Area



City of Novi

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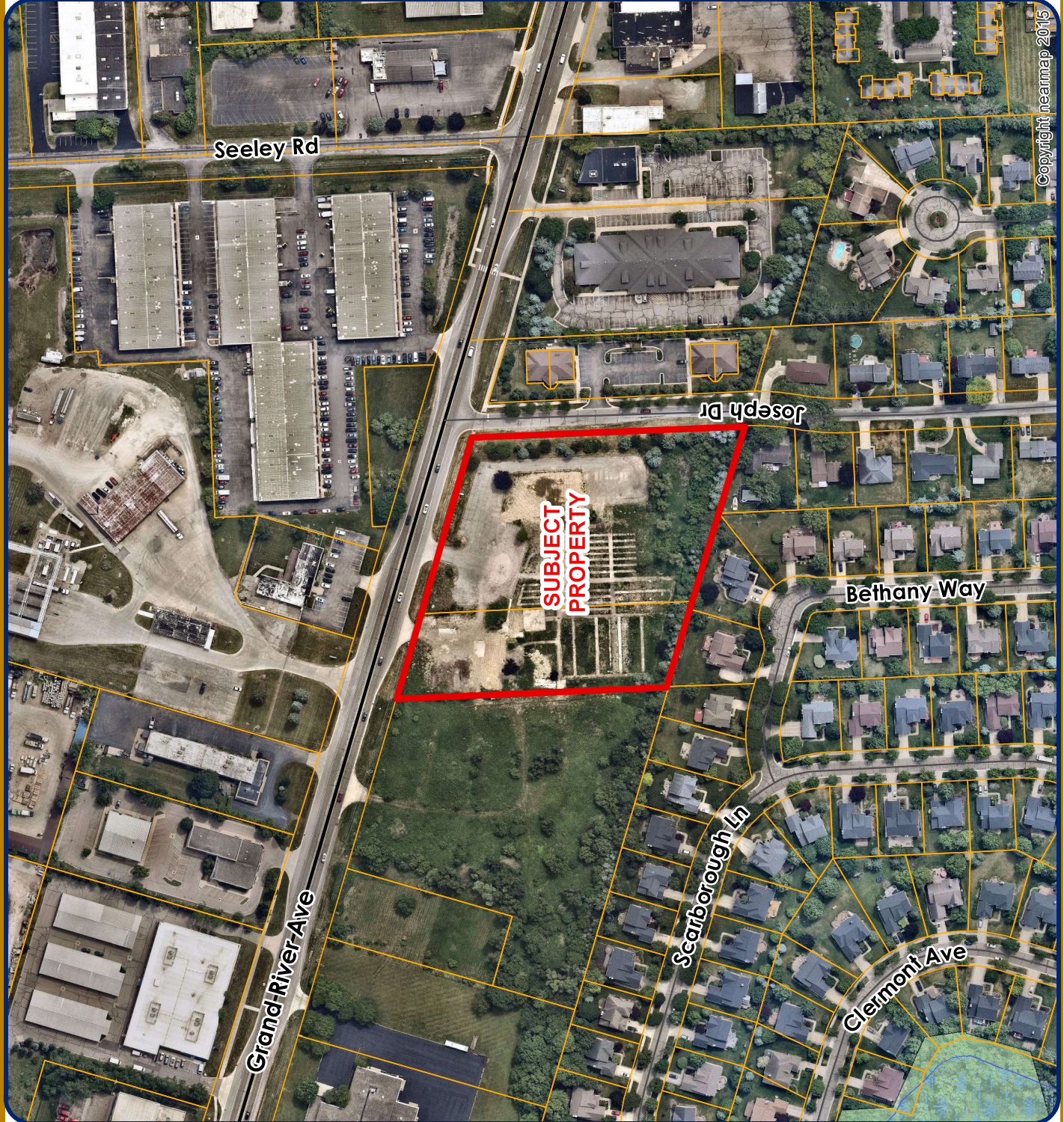
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Version #: 1



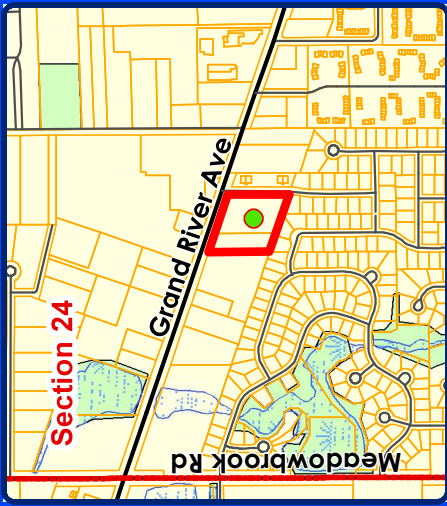
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JZ24-32 FELDMAN KIA PRO NATURAL FEATURES



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Legend

- WETLANDS
- WOODLANDS
- Subject Area



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cityofnovi.org

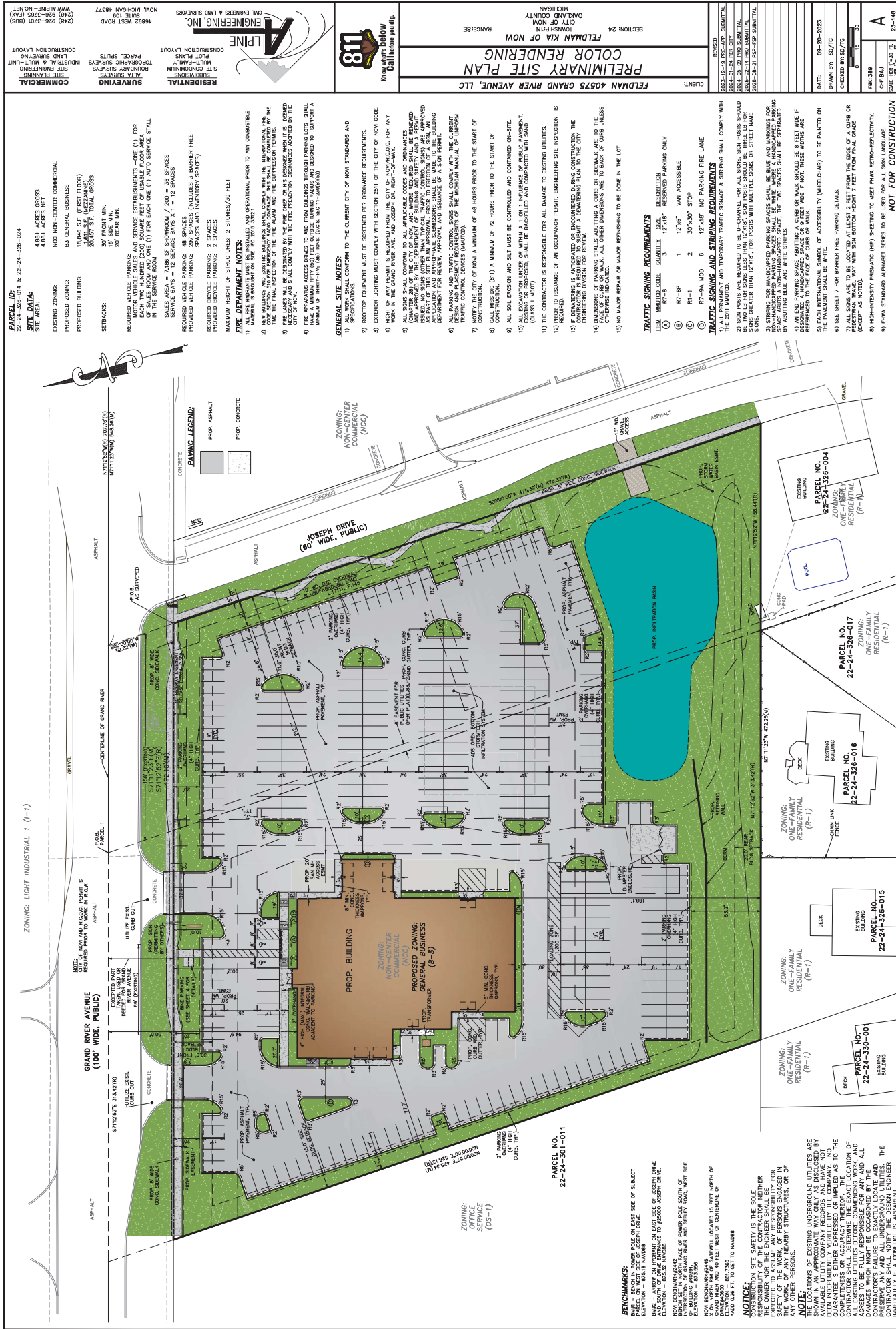
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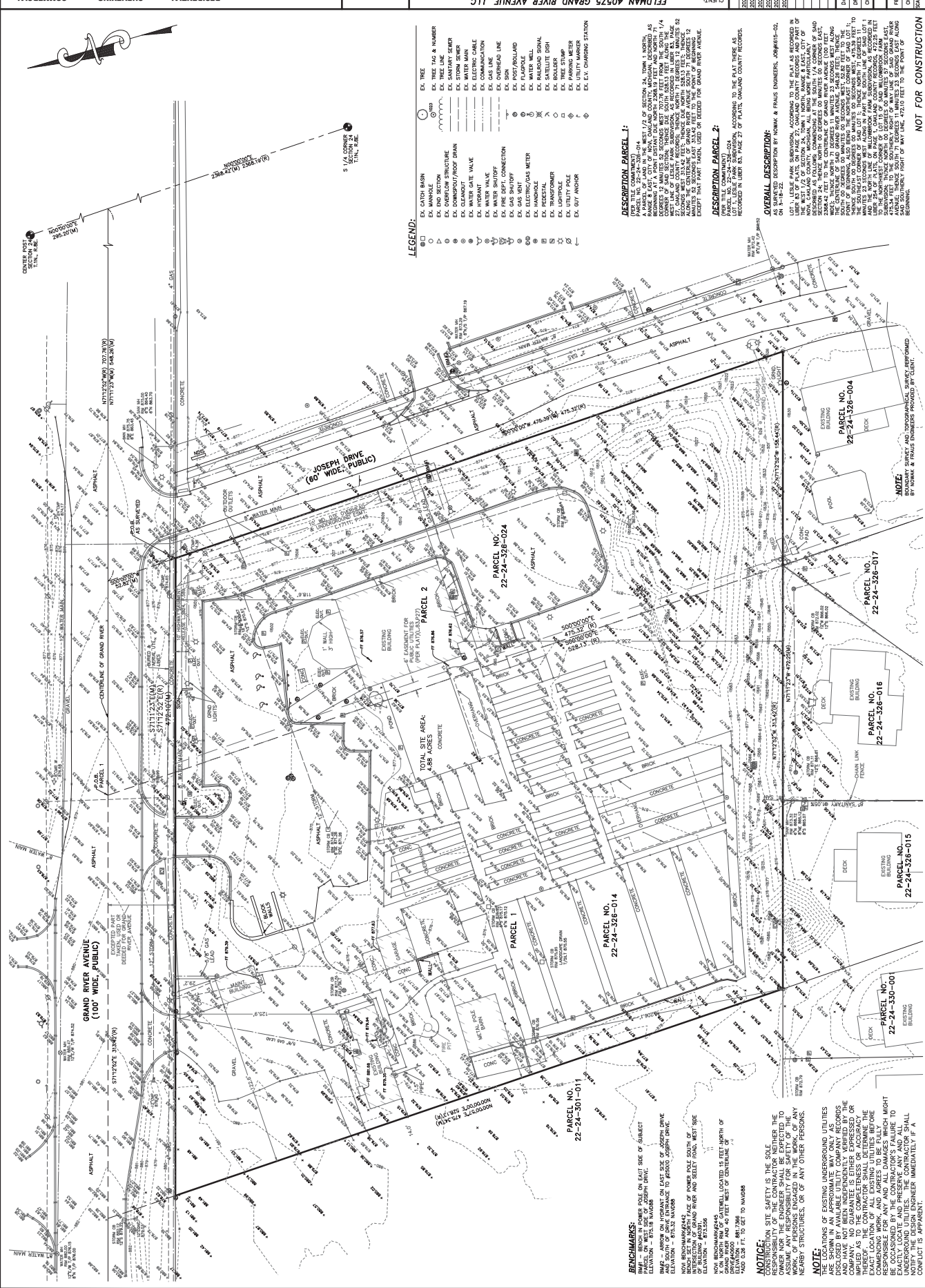


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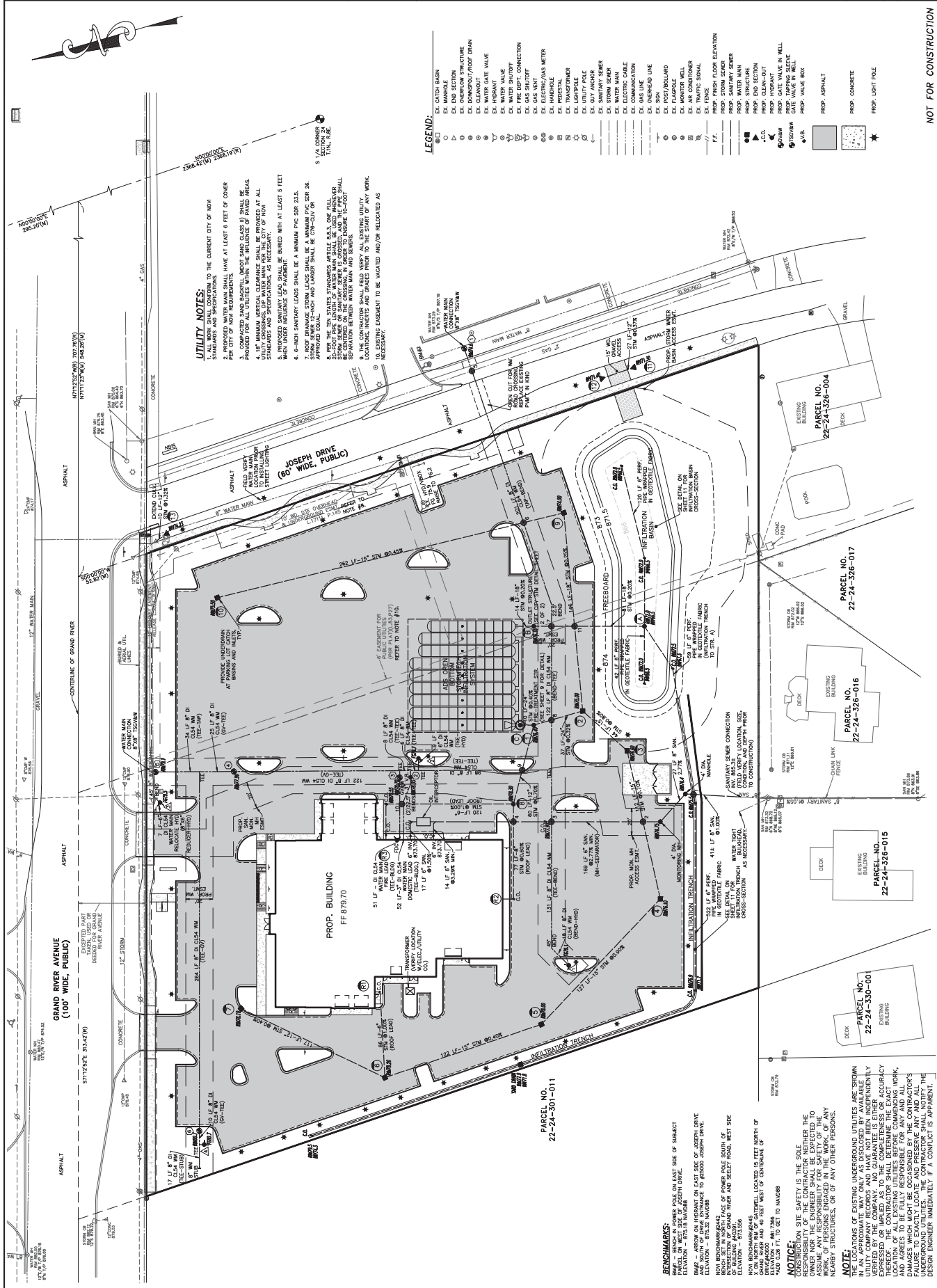
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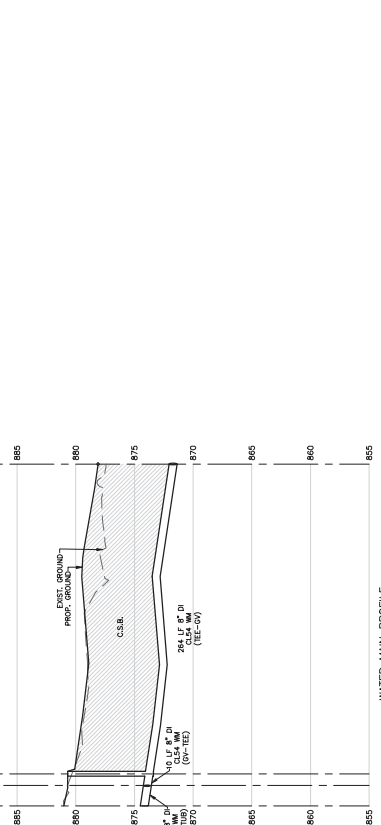
SITE PLAN







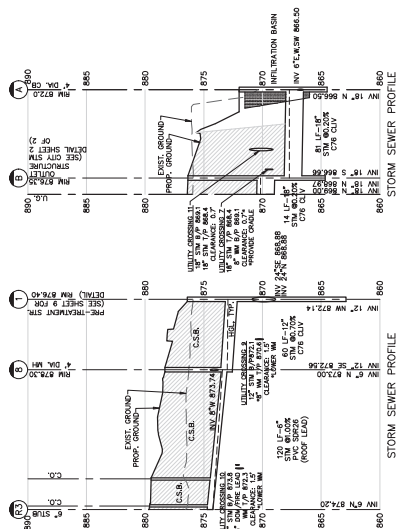




Sanitary Sewer Basis of Design		
Usage	Unit Factor	Units (3.2 People Per Unit)
Auto Showroom / Dealership	0.37 per 1,000 sq. ft.	8
20,457 SF (Gross)		24
TOTAL POPULATION:		24

NOTE: COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS;

NOT FOR CONSTRUCTION



LEGEND

MOIST CLASS II COMPACTED SAND BACKFILL (C.S.B.)

NOTE: COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

NOTE: LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE APPROPRIATE MAP ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED OR EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND DOES NOT AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY UNDERGROUND UTILITY. ANY CONFLICTS APPARENT



CONFIGURATION DESCRIPTION	ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW
UNTESTED (MET ONLY, NOT MET FREE)	
UNTESTED (MET ONLY, NOT MET FREE) WITH POLYESTER CAP PIPES	
UNTESTED (MET ONLY, NOT MET FREE) WITH POLYESTER CAP PIPES	
UNTESTED (MET ONLY, NOT MET FREE)	

SITE SPECIFIC DATA REQUIREMENTS					
STRUCTURE ID					
WATER QUALITY FLOW RATE (gpm 1-40)					
PUMP KWH CONSUMPTION (kwh)					
PERCENT OF PIPING CORROSION (%)					
SEISMIC ELEVATION					
PIPE DATA:	INVERT	MATERIAL	DIAMETER		
INLET PIPE 1					
INLET PIPE 2					
OUTLET PIPE					
NOTES / SPECIAL REQUIREMENTS:					

FRAME AND COVER

[illegible]

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ENGINEERED SOLUTIONS LLC
www.contechES.com
10025 Carmel Pkwy Dr., Suite 400, West Chester, OH 45389
800-358-1122 613-645-2003 613-645-2003 FAX

STORM STRUCTURE #1

Project:	Feldman KIA of Nov
Location:	Novi, MI
Structure:	WQ

Oakland County Water Resources Commissioner's Office

Area (acres) =	3.77
Runoff Coefficient, C =	0.87
T_r (min) =	20
1-year I_1 (in/hr) = $30.20(T_r+5.7)^{0.22}$ =	1.97
1-year Peak Flow (cfs) = $Q_{100} - C \times I_1 \times A$ =	6.45

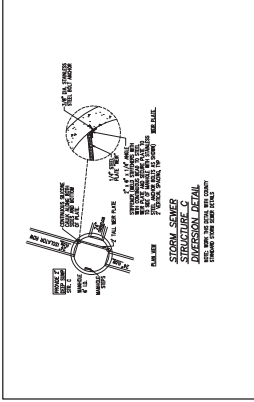
Recommended Models

Model	MAPE (%)
C3-4	2.80
C3-5	2.81
C3-6	4.05
C3-8	7.20
C3-10	11.30
C3-12	16.20

CASCADE SEPARATOR™ MODEL SPECIFICATIONS PER NJDEP CERTIFICATION LETTER

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. IF THE CONTRACTOR SHALL NOTIFY THE



UNDERGROUND INFILTRATION SYSTEM

NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF THE UNDERGROUND DETENTION SYSTEM PRIOR TO START OF CONSTRUCTION.
2. REFER TO MANUFACTURER GUIDELINES FOR UNDERGROUND DETENTION SYSTEM
3. REFER TO MANUFACTURER GUIDELINES FOR DETAILED INSPECTION AND MAINTENANCE PROCEDURES FOR UNDERGROUND DETENTION SYSTEM.
4. CONTRACTOR TO COORDINATE WITH THE PROJECT'S GEOTECHNICAL ENGINEER AND THE CITY'S INSPECTOR TO CONFIRM THE BEARING CAPACITY OF THE NATIVE SOILS AND ENSURE THAT ADEQUATE BERING DEPTH IS PROVIDED.
5. CONTRACTOR TO OBTAIN PRIOR CONSENT OF THE GEOTECHNICAL ENGINEER AND THE CITY'S INSPECTOR TO CONDUCT PROST OF THE ASSURANCE.

UTILITY NOTES:

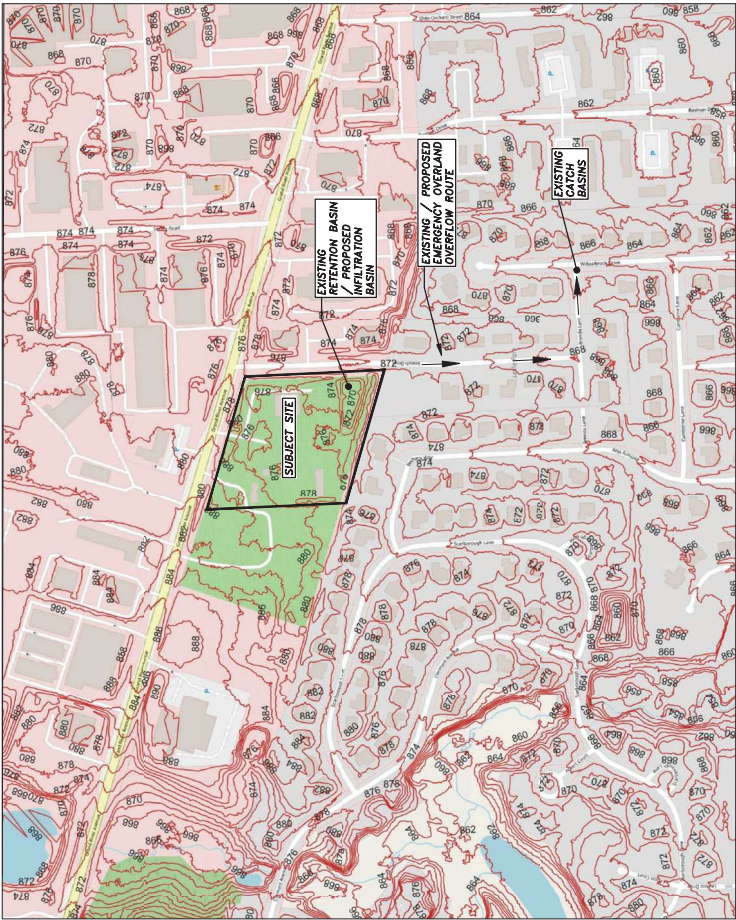
3. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
4. PROPOSED WATER MAIN SHALL HAVE AT LEAST 4 FEET OF COVER PER CITY OF NOVI REQUIREMENTS.
5. COMPACTED SAND BACKFILL (NOT SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES EXCEPTING THE INFLUENCE OF PAVED AREAS.
6. 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED AT ALL UTILITY CROSSINGS. DP WATER MAIN SHALL BE PROVIDED AT ALL CITY OF NOVI STANDARDS AND SPECIFICATIONS, AS NECESSARY.
7. PROPOSED SANITARY LEAD SHALL BE BURIED WITH AT LEAST 5 FEET WHEN UNDER INFLUENCE OF PAVEMENT.
8. 4-INCH SANITARY LEADS SHALL BE A MINIMUM PVC SDR 25.5.

LEGEND

NOTE: COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVEMENT AREAS.

NOT FOR CONSTRUCTION

STORM WATER UNDERGROUND DETENTION:



NOTICE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE ENGINEER HAS NO GUARANTEE AS TO THE ACCURACY OF THE LOCATION OF ANY UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

StormTech® MC-7200 Chamber

Designed to meet the most stringent industry performance standards for superior structural integrity while providing designers with a wide range of options for installation and use in storm water management. The StormTech system is designed primarily to be installed in areas where space is limited, such as under parking lots, streets, and other paved areas. The system is designed to provide a high level of structural integrity and is capable of withstanding heavy loads. The system is designed to provide a high level of structural integrity and is capable of withstanding heavy loads.

StormTech® MC-7200 Chamber

Specifications:

- Size (L x W x H): 2500 mm x 2500 mm x 1500 mm
- Weight: 200 kg (440 lb)
- End Cap Storage: 1500 L (400 gal)
- End Cap Storage: 1500 L (400 gal)
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ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	ASBESTOS MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
1. FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS	ANY FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY OF THE FILL MATERIAL.	NA	NO COMPACTION REQUIRED.
2. FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS	ANY FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY OF THE FILL MATERIAL.	NA	NO COMPACTION REQUIRED.
3. FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS	ANY FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY OF THE FILL MATERIAL.	NA	NO COMPACTION REQUIRED.
4. FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS	ANY FILL MATERIAL LOCATED IN THE SUBGRADE OF THE CHAMBER SYSTEMS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY OF THE FILL MATERIAL.	NA	NO COMPACTION REQUIRED.

NOT FOR CONSTRUCTION

CLIENT: FELDMAN 40575 GRAND RIVER AVENUE, LLC

SECTION: 24

STORM WATER MANAGEMENT PLAN - 2

RANGE: BE

181

Know what you're doing

Call before you dig

COMMERCIAL

RESIDENTIAL

INDUSTRIAL

CONSTRUCTION LAYOUT

DATE: 09-05-2023

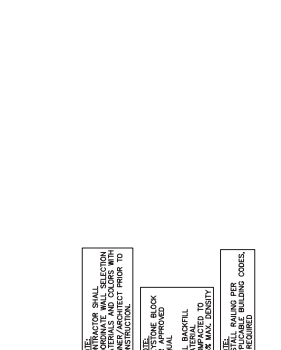
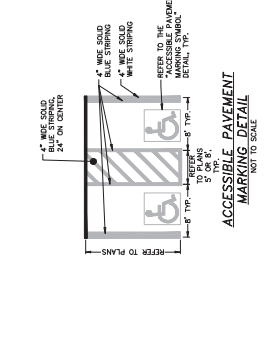
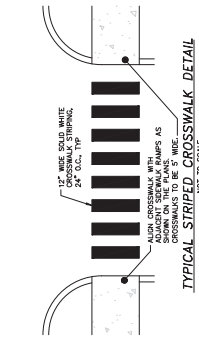
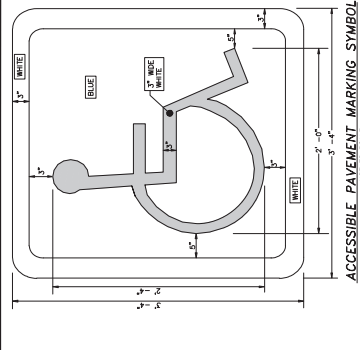
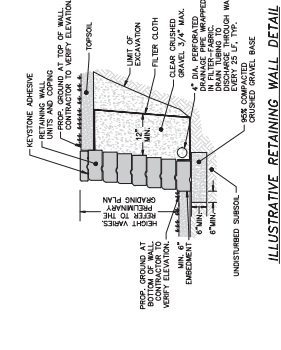
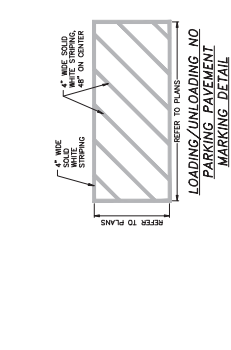
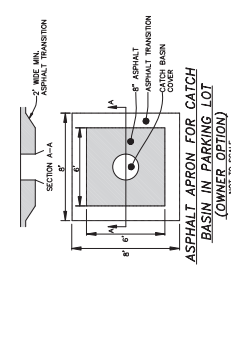
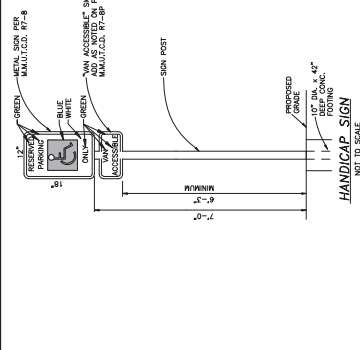
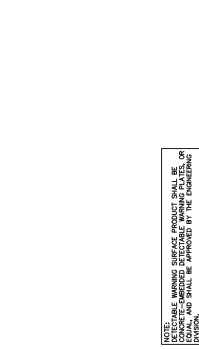
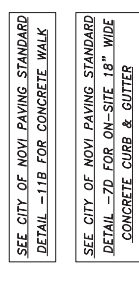
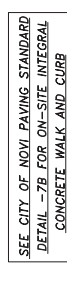
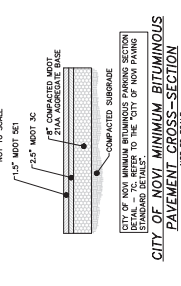
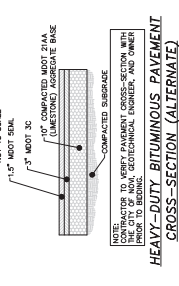
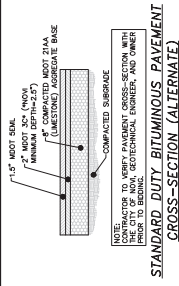
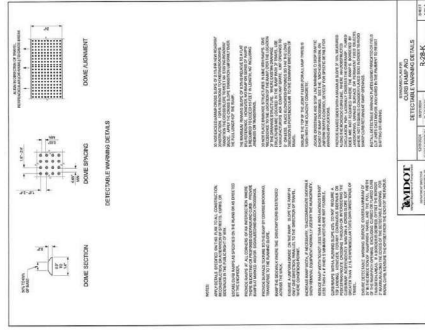
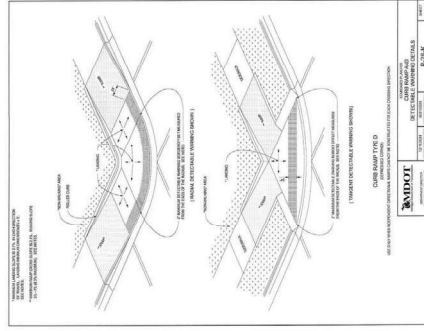
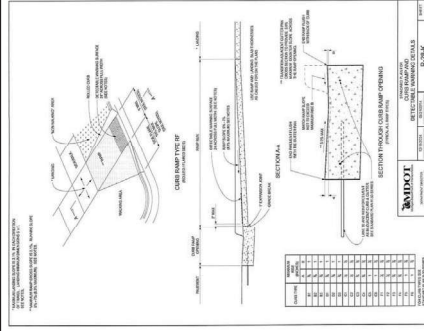
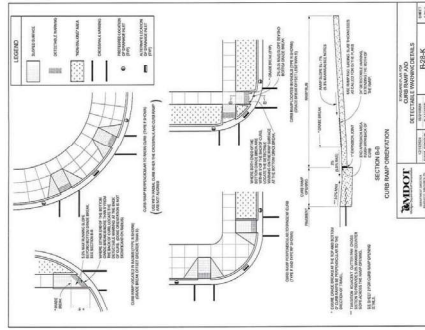
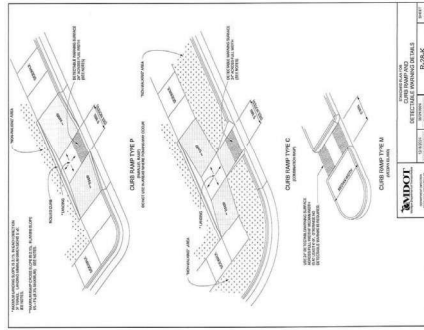
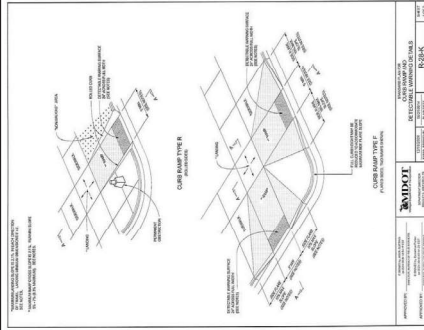
DRAWN BY: SD/70

CHECKED BY: SD/70

SCALE: 1" = 20' HED

12

23-148



[illegible]

SITE DETAILS - 2

FELDMAN 40575 GRAND RIVER AVENUE, LLC

FELDMAN KIA OF NOVI

SECTION: 24 TOWNSHIP: 10N RANGE: 8E

OKLAND COUNTY MICHIGAN

**Know what's below
Call before you dig.**

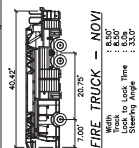
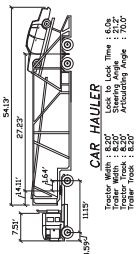
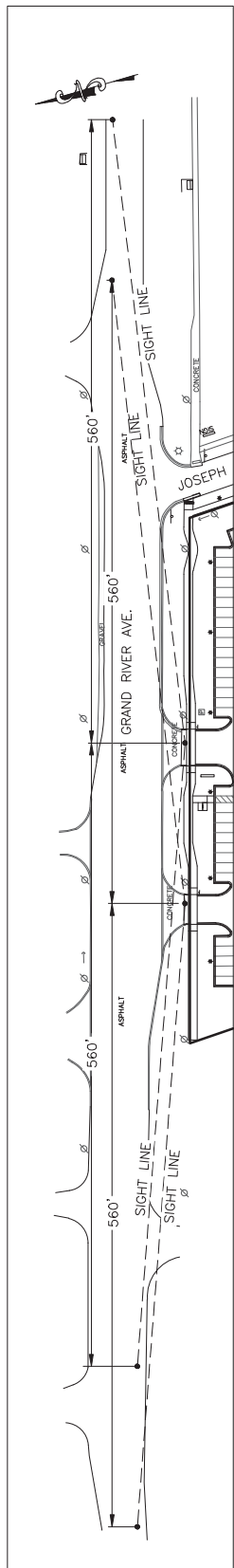


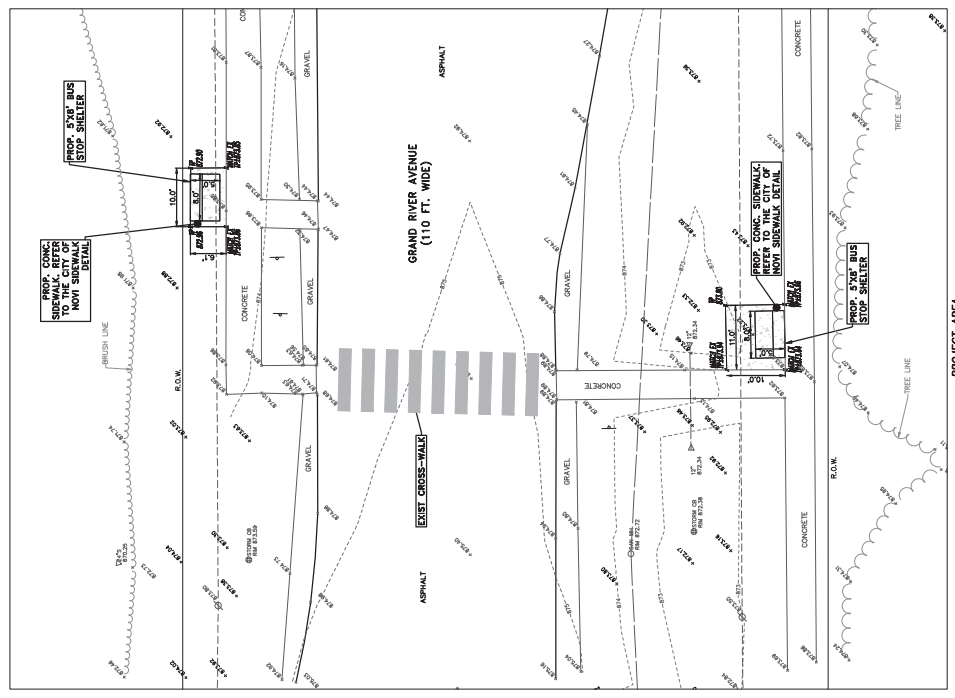
SURVEYING
ALTA SURVEYS
QUADRA SURVEYS
PODGRAPHIC SURVEYS
PARCEL SPLITS
CONSTRUCTION LAYOUT

COMMERCIAL
SITE PLANNING
INDUSTRIAL & MULTI-UNIT
LAND SURVEYING


(248) 926-3701 (BUS)
(248) 926-3765 (FAX)
WWW.ALPHINE-INC.NET

SUITE 109
6992 WEST ROAD
MICHIGAN 48377

FIRE TRUCK TURNING
1" = 30'CAR HAULER TURNING
1" = 30'



EX. SANITARY SEWER	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. STORM SEWER	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. MANGLE	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. MANGLED	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. CLEANOUT	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. WATER GATE VALVE	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. WATER VALVE	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. WATER SHUTOFF	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. FIRE DEPT. CONNECTION	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. ELECTRIC METER	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. GAS VENT	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. FERTILIZER	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. TRANSFORMER	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. UTILITY POLE	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE
EX. GUY AND/OR	EX. SPOT POLL	EX. FENCE	EX. PROP. FISH ELAVATION	EX. PROP. SPOT LEVEL	EX. PROP. GRADE ARROW	EX. PROP. CONCRETE



LEGEND:

①	EX. CATCH BASIN
②	EX. MANGLE
③	EX. MANGLED
④	EX. CLEANOUT
⑤	EX. WATER GATE VALVE
⑥	EX. WATER VALVE
⑦	EX. WATER SHUTOFF
⑧	EX. FIRE DEPT. CONNECTION
⑨	EX. ELECTRIC METER
⑩	EX. GAS VENT
⑪	EX. FERTILIZER
⑫	EX. TRANSFORMER
⑬	EX. UTILITY POLE
⑭	EX. GUY AND/OR

NOTICE: THE CONTRACTOR'S DUTY SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE DEEMED TO OWN OR BE RESPONSIBLE FOR THE ACTIONS OR INACTIONS OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS ENGAGED IN THE WORK.

NOTES:

1. LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ON THE ATTACHED MAP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES INDEPENDENTLY VERIFIED BY THE COMPANY. NO LIABILITY SHALL BE ASSIGNED TO THE ENGINEER TO THE COMPLETENESS OF ACCURACY THEREOF.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BUT SHALL BE FULLY RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES TO BE OCCASIONED BY THE CONTRACTOR'S WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO EXACTLY LOCATE AND PRESERVE ANY EXISTING UTILITIES TO BE OCCASIONED BY THE CONTRACTOR'S WORK.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FAILURE TO EXACTLY LOCATE AND PRESERVE ANY EXISTING UTILITIES TO BE OCCASIONED BY THE CONTRACTOR'S WORK.

4. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

Seal:



Title:
Landscape Plan

Project:
Feldman Kia of Novi
Novi, Michigan
40875 Grand River Avenue

Prepared for:
Feldman Automotive Inc.
40875 Grand River Avenue
Novi, Michigan 48167

Revision:
Issued:
September 20, 2023
October 9, 2023
February 18, 2025
April 22, 2025
August 22, 2025

Job Number:
23-006

Drawn By:
JSD

Checked By:



Sheet No.
L-1



Landscape Summary

PROJ. NCC

Proposed zoning

Grand River

Street Frontage Adjacent to Pkg.

Net Frontage

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Location Map



Title: Woodland Plan

Project:

Feldman Kia of Novi
Novi, Michigan
40575 Grand River Avenue

Prepared for:

Feldman Automotive Inc.
30400 Lyon Center Drive East
Novi, Michigan 48375

Revision:	Issued:
Review	September 20, 2023
Revised	October 9, 2023
Revised	May 7, 2024
Revised	February 18, 2025
Revised	April 22, 2025
Revised	August 22, 2025

Job Number:

Drawn By: _____
Checked By: _____



NORTH
1"=30'

Sheet No.

L-2

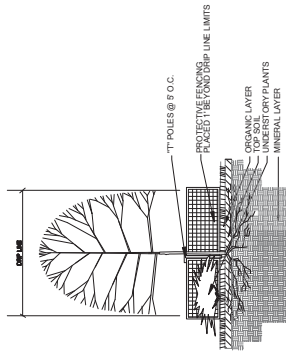
Woodland Summary

Total Trees	81 Trees
Less Non-Regulated Trees:	0 Trees
Non-Regulated Trees	81 Trees
Regulated Trees Removed	0 Trees
Replacement Required	0 Trees
0 trees x 1 =	0 Trees
0 trees x 8" - 11"	0 Trees
0 trees x 1' - 20"	0 Trees
0 trees x 2' - 30"	0 Trees
0 trees x 3' - 4'	0 Trees
0 trees x 4' - 5'	0 Trees
0 trees x 5' - 6'	0 Trees
0 trees x 6' - 7'	0 Trees
0 trees x 7' - 8'	0 Trees
0 trees x 8' - 9'	0 Trees
0 trees x 9' - 10'	0 Trees
0 trees x 10' - 11'	0 Trees
0 trees x 11' - 12'	0 Trees
0 trees x 12' - 13'	0 Trees
0 trees x 13' - 14'	0 Trees
0 trees x 14' - 15'	0 Trees
0 trees x 15' - 16'	0 Trees
0 trees x 16' - 17'	0 Trees
0 trees x 17' - 18'	0 Trees
0 trees x 18' - 19'	0 Trees
0 trees x 19' - 20'	0 Trees
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0 trees x 21' - 22'	0 Trees
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0 trees x 25' - 26'	0 Trees
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0 trees x 118' - 119'	0 Trees
0 trees x 119' - 120'	0 Trees
0 trees x 120' - 121'	0 Trees
0 trees x 121' - 122'	0 Trees

Tree list

[illegible]

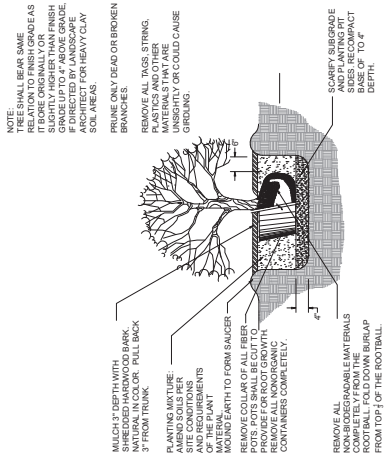
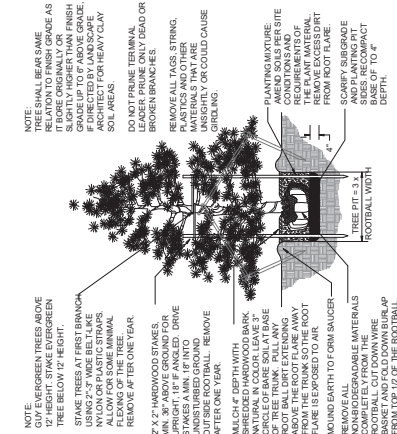
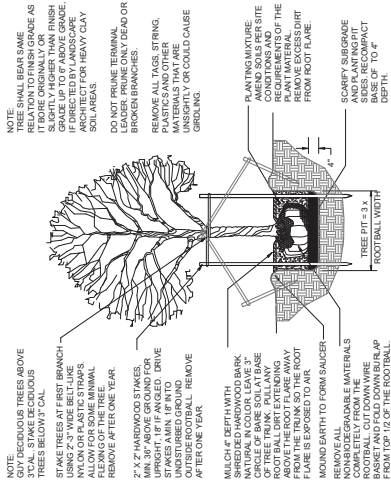
Tree Identification Performed by Nowak and Fraus



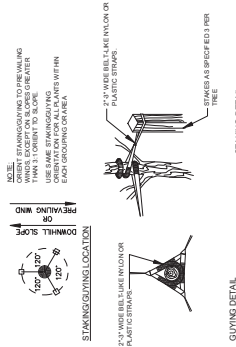
- [illegible]

TREE PROTECTION DETAIL

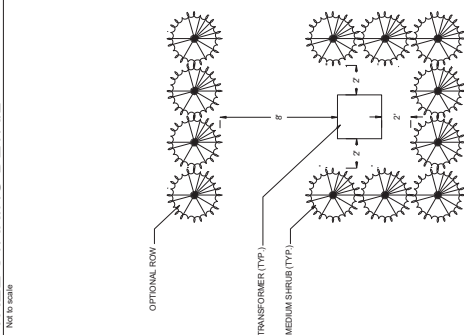
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DECIDUOUS TREE PLANTING DETAIL

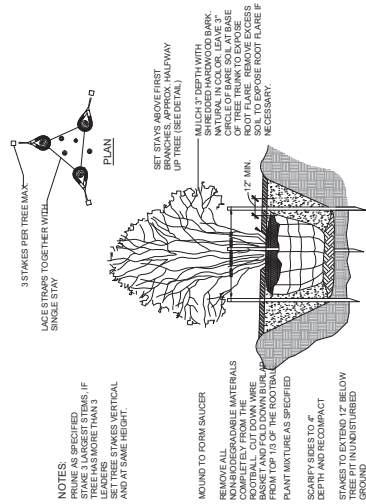


TREE STAKING DETAIL

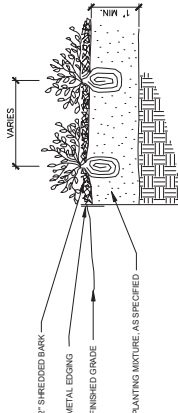


TRANSFORMER SCREENING DETAIL

EVERGREEN TREE PLANTING DETAIL



MULTI-STEM TREE PLANTING DETAIL



PERENNIAL PLANTING DETAIL

SHRUB PLANTING DETAIL

LANDSCAPE NOTES

- [illegible]

CITY OF NOVI NOTES

- [illegible]

Landscape Details

Project:

Feldman Kia of Novi
Novi, Michigan
40575 Grand River Avenue

Prepared for:

30400 Lyon Center Drive East
Novi, Michigan 48375

Revision:	Issued:
Review	September 20, 2023
Revised	October 9, 2023
Revised	May 7, 2024
Revised	February 18, 2025
Revised	April 22, 2025
Revised	August 22, 2025

Job Number: 23-056

Drawn By: _____ Checked By: _____

Sheet No.

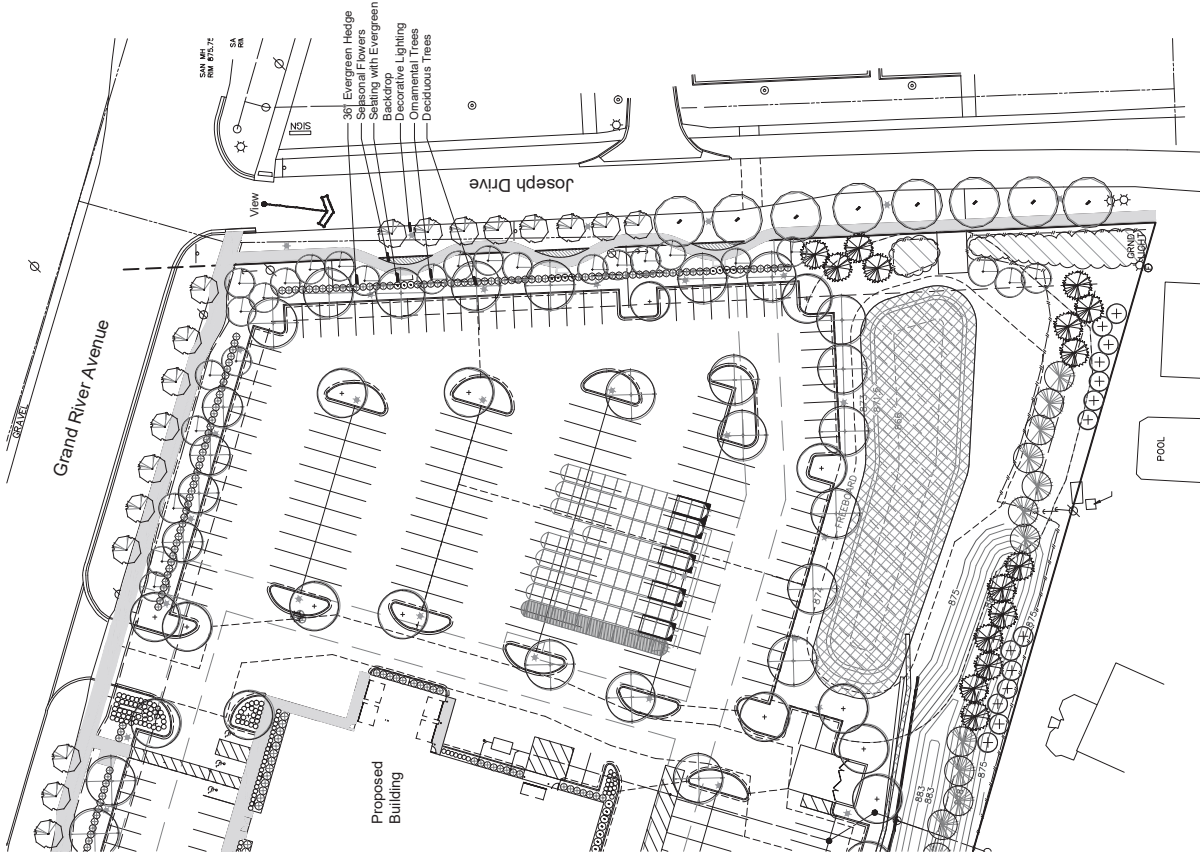
3-



Bench - 3 Total



Street Lighting - 6 Total



Joseph Drive Looking South



Seal:

Title:
Joseph Drive

Project:
Feldman Kia of Novi
Novi, Michigan
48075 Grand River Avenue

Prepared for:
Feldman Kia of Novi
Novi, Michigan
48075 Grand River Avenue

Revision:
Review
Revised
Revised
Revised
Revised
Revised

Issued:
September 20, 2023
October 9, 2023
November 14, 2023
February 18, 2025
April 22, 2025
August 22, 2025

Job Number:
23496

Drawn By:
jpa

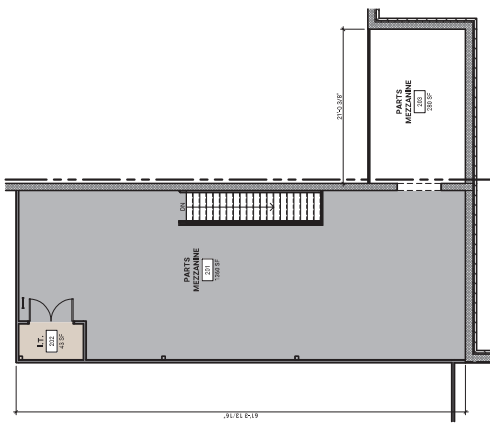
Checked By:
jpa



Sheet No.



 **FIRST FLOOR PLAN - COMPOSITE**
1/8" = 1'-0"



PARTS MEZZANINE - COMPOSITE
3,082 - 37.45

SITE DATA	
NOVI MI	
SITE AREA	~4.9 ACRES
PROPOSED B3 GENERAL BUSINESS DISTRICT	
FRONT BLDG SETBACK (WEST)	30'
REAR BLDG SETBACK (WEST)	15'
FRONT BLDG SETBACK (EAST)	20'
REAR BLDG SETBACK (EAST)	20'
FRONT YARD SETBACK	10'
REAR YARD SETBACK	10'
MAX BUILDING HEIGHT	2 STORIES / 30'
PROPOSED MAX FOOTPRINT	18,800 GSF
PARKING REQUIREMENTS	
7,718 SF SHOWROOM / 200 + 39 SPACES	
12,000 SF OFFICE / 100 + 20 SPACES	
12,000 SF SERVICE BAY / 1 SPACES / SERVICE BAY	
CALCULATIONS	
7,718 SF SHOWROOM / 200 + 39 SPACES	
12,000 SF OFFICE / 100 + 20 SPACES	
12,000 SF SERVICE BAY / 1 SPACES / SERVICE BAY	
TOTAL	~51 SPACES REQ'D
PARKING PROVIDED	~200 SPACES
LOADING REQUIREMENTS	
10 TO 30' BUILDING LENGTH ALONG FRONTAGE	
LOADING AREA - 10' x 100' + 1,000 SF	

DO NOT SCALE DRAWINGS	
DESIGNED	10.23.24
DRAWN	10.23.24
CHECKED	10.23.24
SEAL	

NOT FOR CONSTRUCTION

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STUDIO DETROIT ARCHITECTS
1001 MI
DETROIT, MICHIGAN 48226
STUDIO@DETROIT.COM

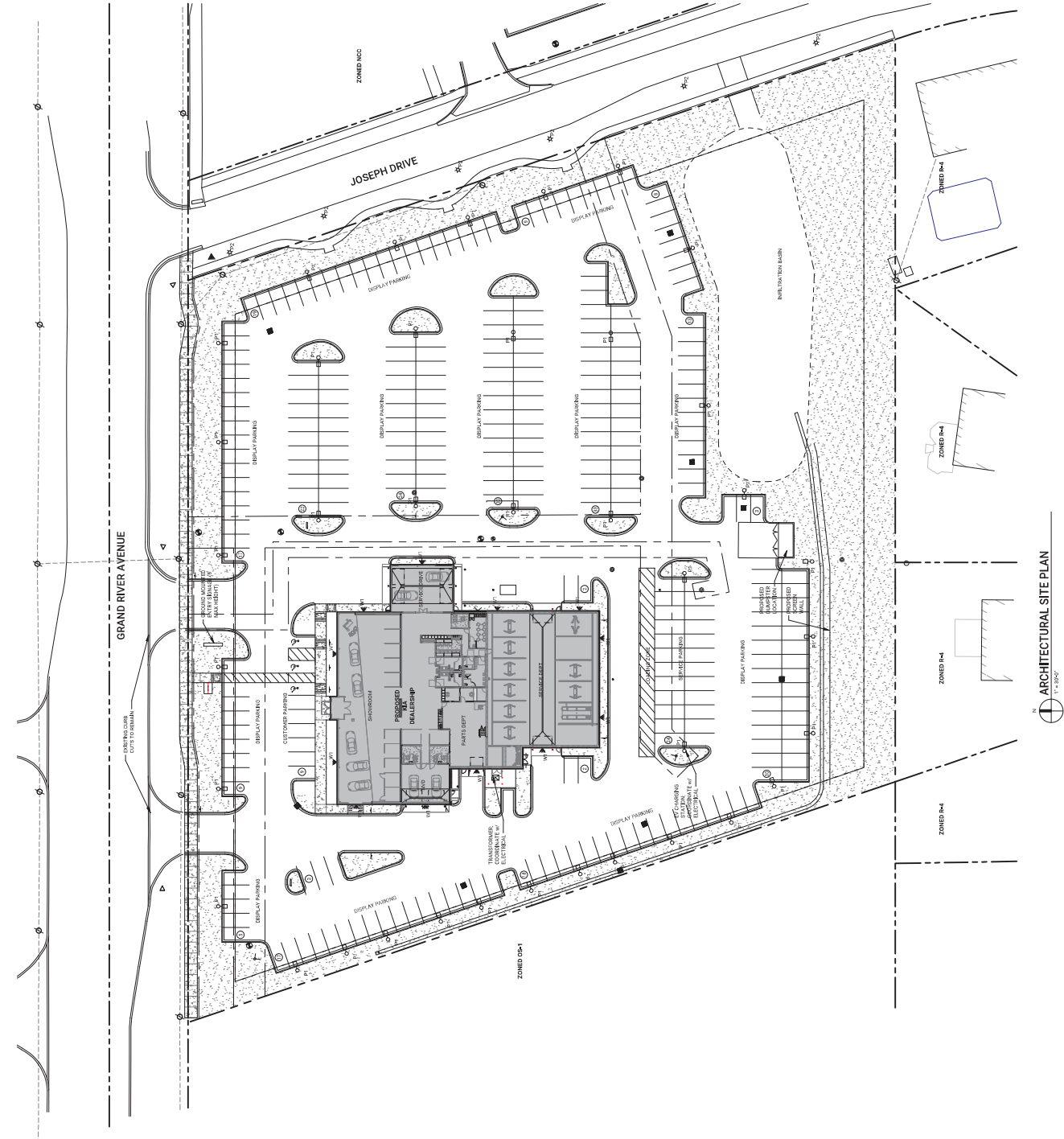
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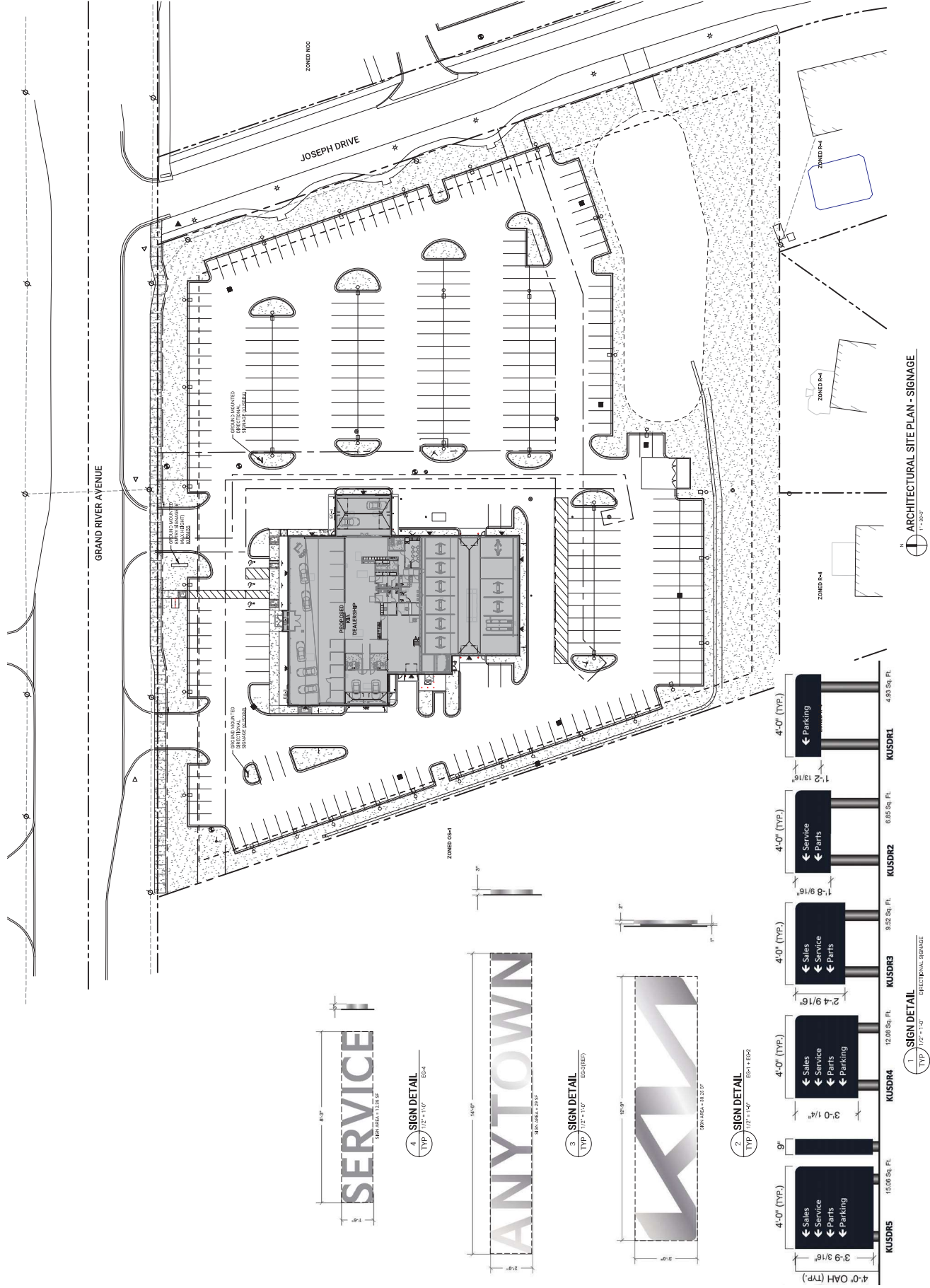
PROJECT
FELDMAN
FELDMAN KIA OF NOVI
NEW DEALERSHIP
1001 MI
DETROIT, MICHIGAN 48226

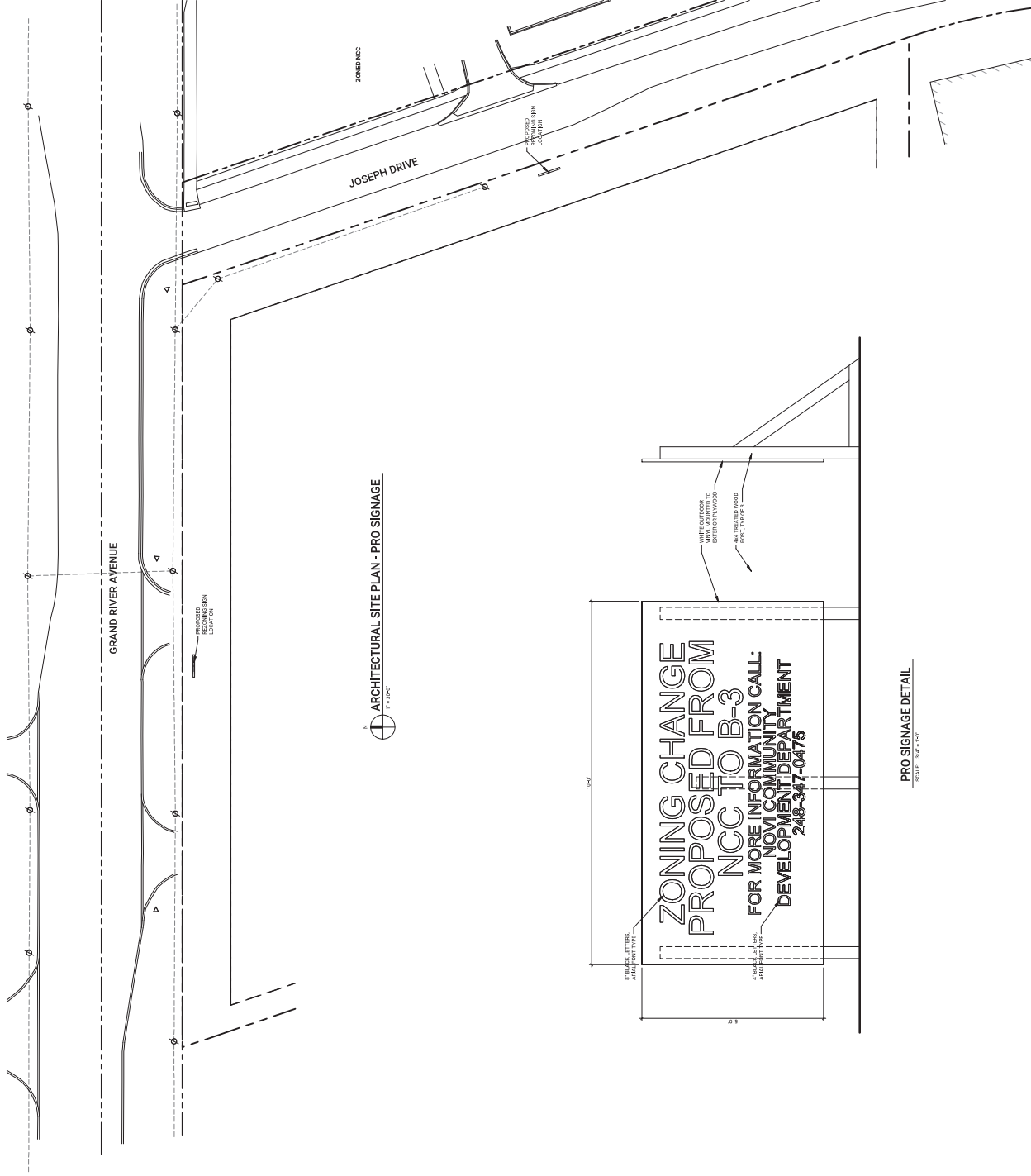
PROJECT NO. 2192

ARCHITECTURAL SITE
PLAN

SP1.1














**STUDIO
DETROIT
ARCHITECTS**
2040 PARK AVENUE, SUITE 200
DETROIT, MICHIGAN 48226
STUDIO-DETROIT.COM

PROJECT MANAGER

- PETE@STUDIO-DETROIT.COM

EXTERIOR MATERIALS			
TAG	LEGEND	MATERIAL	FINISH
10-1		EXTERIOR GLASS	SOLUBLE IN 2% ACIDIC GLASS, 1" CLEAR INSULATED GLAZING
10-2		CURT/BLINDING	GLASS ANODIZED ALUMINUM FRAMING, THERMALLY BROKEN
10-3		CURT/BLINDING	GLASS ANODIZED ALUMINUM FRAMING, THERMALLY BROKEN
10-4		ALUMINUM MATERIAL	PAINT, BLACK
10-5		ALUMINUM MATERIAL	PAINT, TROPIC
10-6		ALUMINUM MATERIAL	PAINT, SILVER METALIC
10-7		INSULATING SYSTEM	SPF+ FINISH TO MATCH 10-4
10-8		ALUMINUM FRAMING	METAL COATING, TOP CAP 38
10-9		ALUMINUM FRAMING	METAL COATING, TOP CAP 38
10-10		MASSON (B&K)	TROPIC COLOR AS SELECTED TO MATCH 10-4
10-11		EXTERIOR PAINT	BERNARDI MOORE, COLOR COVENTRY GRAY HC149

ISSUED	09.20.23	CTY PREAPP
	02.XX.24	PRO SUBMISSION
	09.24.24	PRO RESPONSE
	02.19.25	PRO SUBMISSION
	08.05.25	FACADE UPDATE
DRAWN		PWP
CHECKED		SMS

	MATERIAL	PROPOSED	% OF ELEV	RECD %
EAST ELEVATION	BRICK	2,662 SF	16.25%	50% MIN
	ACR PANEL (PLAT)	203 SF	1.25%	50% MIN
	GLAZING - DOORS	666 SF	4.13%	25% MAX
	GLAZING - WINDOWS	216 SF	1.33%	25% MAX
	TOTAL SF	3,400 SF	OMITTED	OMITTED
	BRICK	2,442 SF	78.12%	50% MIN
WEST ELEVATION	ACR PANEL (PLAT)	203 SF	5.93%	50% MIN
	GLAZING - DOORS	666 SF	16.36%	25% MAX
	GLAZING - WINDOWS	216 SF	OMITTED	OMITTED
	TOTAL SF	3,400 SF	OMITTED	OMITTED
	BRICK	1,757 SF	98.63%	50% MIN
	ACR PANEL (PLAT)	96 SF	4.13%	25% MAX
NORTH ELEVATION	GLAZING - DOORS	OMITTED	OMITTED	OMITTED
	TOTAL SF	3,400 SF	OMITTED	OMITTED
	BRICK	3,400 SF	100%	50% MIN
	ACR PANEL (PLAT)	203 SF	5.93%	50% MIN
	GLAZING - DOORS	666 SF	19.52%	25% MAX
	GLAZING - WINDOWS	216 SF	1.56%	25% MAX
SOUTH ELEVATION	BRICK	3,400 SF	100%	50% MIN
	ACR PANEL (PLAT)	203 SF	5.93%	50% MIN
	GLAZING - DOORS	666 SF	19.52%	25% MAX
	GLAZING - WINDOWS	216 SF	1.56%	25% MAX
	TOTAL SF	3,400 SF	OMITTED	OMITTED
	BRICK	3,400 SF	100%	50% MIN

CLIENT

**FELDMAN AUTOMOTIVE
GROUP**
30400 LYON CENTER DR
NEW HUDSON, MI 48165

SIGN	LOCATION	AREA
EG-1 MA LOGO	NORTH ELEVATION	38.25 SF
EG-2 MA LOGO	EAST ELEVATION	38.25 SF
EG-4 DEALER NAME	NORTH ELEVATION	29.09 SF
EG-4 SERVICE	NORTH ELEVATION	17.28 SF
TOTAL WALL SIGN SF		117.88 SF
KUSUMS GROUND SIGN	3ITE ENTRANCE	26.71 SF
TOTAL SIGN SF		144.59 SF

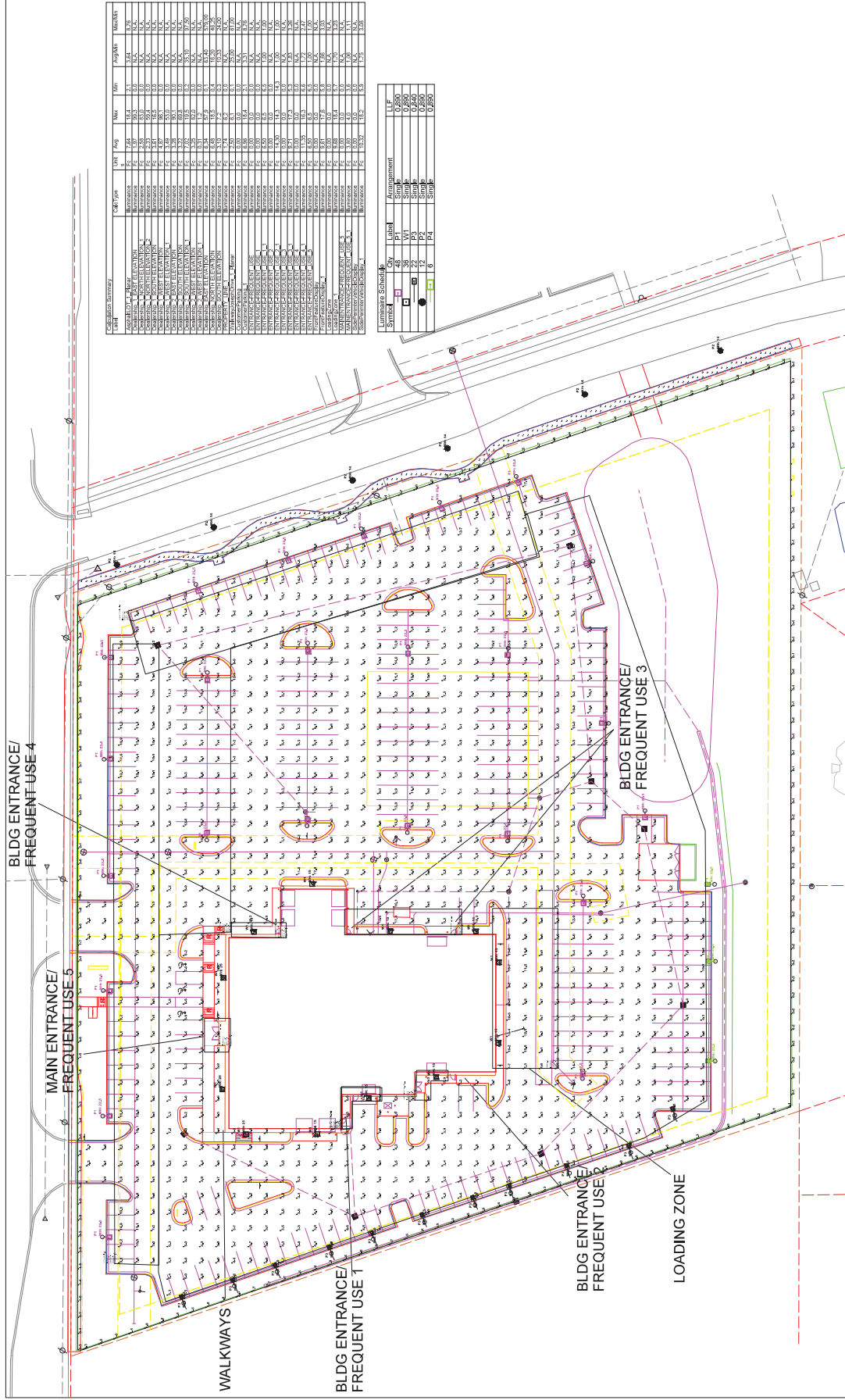
PROJECT
FELDMAN KIA OF NOVI
NEW DEALERSHIP
40575 GRAND RIVER AVE.
NOVI, MICHIGAN 48375

PROJECT NO. 2192

EXTERIOR ELEVATIONS
- SPA

A 2.1





Illuminance Values

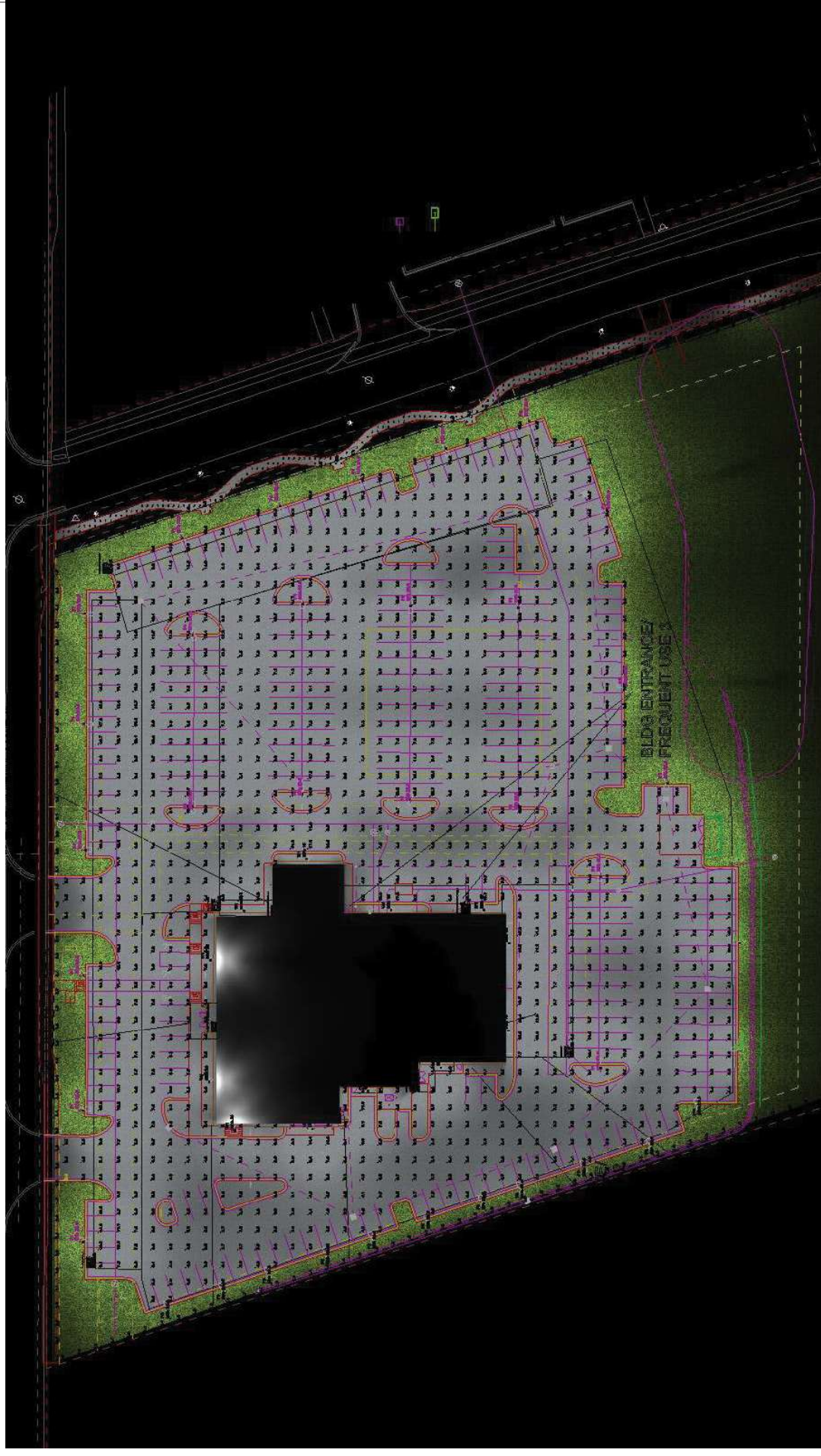
0.2 - 0.29 fc
0.3 - 0.49 fc
0.5 - 0.99 fc
1.0 - 1.99 fc
2.0 - 5.0 fc

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE ILLUMINATION LEVELS AND THE ILLUMINATION LEVELS LISTED WITHOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LIGHTING SYSTEM WILL BE AFFECTED BY VARIATIONS IN AMBIENT LIGHT, VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING CONSULTATION. THE ENGINEER AND/OR ARCHITECT MUST OBTAIN THE LIGHTING CONSULTANT'S RESPONSIBILITY TO VERIFY FOR ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

Revisions		
#	Date	Comments

Drawn By: M. Woznicki, LC
Checked By:
Date: 2/13/2025
Scale:

Feldman KIA Novi
7



7

Feldman KIA Novi

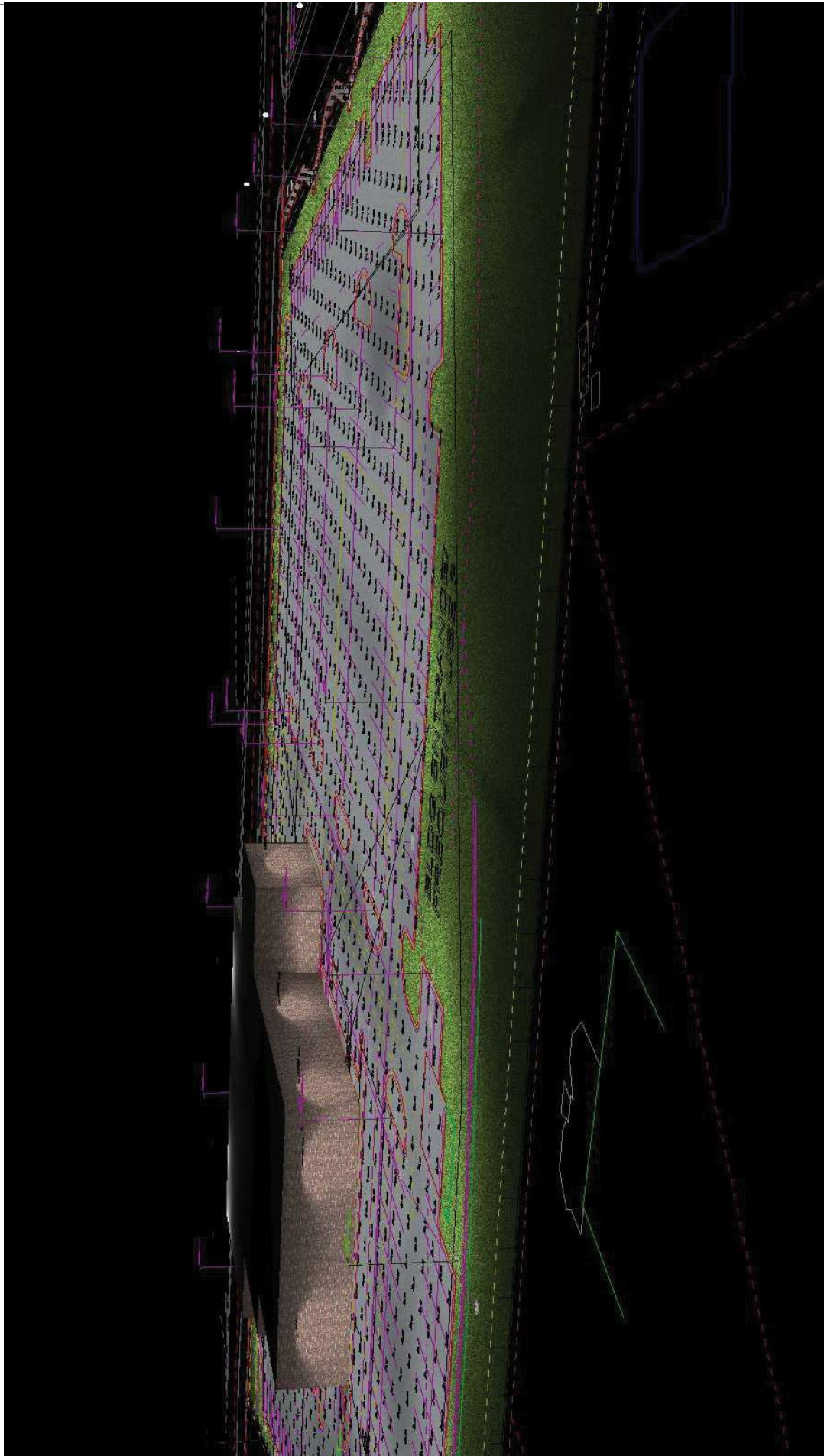
Scale:

Date: 2/13/2025

Checked By:
Drawn By: M. Woznicki, LC

Revisions

#	Date	Comments



FAÇADE MATERIAL SAMPLES

TRIM-1

CW-1 / SFS-1

ACM-1

ALPOLIC®

800.422.7270 • alpolic-americas.com • info@alpolic.com

requested color shown on opposite side

COLOR

TOB Black
Stock

Consult Customer Service for stock size and availability. Color of actual product may vary from sample within specified range. Surface treatments, except as authorized in a written warranty, will void any applicable warranty. ALPOLIC shall have no liability for later applied surface treatments.

ACM-2

ALPOLIC®

800.422.7270 • alpolic-americas.com • info@alpolic.com

requested color shown on opposite side

COLOR

BSX Metallic Silver
Stock

Consult Customer Service for stock size and availability. Color of actual product may vary from sample within specified range. Surface treatments, except as authorized in a written warranty, will void any applicable warranty. ALPOLIC shall have no liability for later applied surface treatments.



- DURABLE SURFACE COLOR AND TEXTURE
- USED OVER DRYVIT SYSTEMS, EXTERIOR MASONRY, STUCCO, PRECAST, CAST-IN-PLACE CONCRETE, OR INTERIOR WALL SURFACES
- STANDARD AND CUSTOM COLORS AVAILABLE

Disclaimer

The intent and purpose of this sample is to provide a representation of Dryvit Systems, Inc. finish textures and colors. It is offered only to guide in final color selection. This color sample shall not be used for final color approval as color differences may occur. Actual color approval should be made from 2' x 4' samples of each finish type, texture and color to be used on the project. Samples shall be prepared using the same tools and techniques proposed for the actual installation by the applicator/contractor.

September 24, 2025	Rhode Island
DEMANDIT ADVANTAGE	
	KIAM-03S
	over Finesse

EIFS-1



EP-1
BENJAMIN MOORE,
COVENTRY GRAY

BRICKTECH
ARCHITECTURAL

BR-1
GREY SMOOTH MODULAR



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

September 16, 2025

JSP25-24 Feldman Kia

PETITIONER

Feldman Automotive, Inc.

REVIEW TYPE

Preliminary-Final Site Plan

PROPERTY CHARACTERISTICS

Section	24	
Site Location	South of Grand River Avenue, East of Meadowbrook (Parcels 22-24-326-014, 22-24-326-024)	
Site School District	Novi Community School District	
Site Zoning	B-3 General Business	
Adjoining Zoning	North	I-1 Light Industrial District
	East	NCC Non-Center Commercial
	West	OS-1 Office Service
	South	R-4 One Family Residential
Current Site Use	Vacant; formerly Glenda's Garden Center – plant nursery/landscaping	
Adjoining Uses	North	Delta Fuels, office/service providers, Religious Organization
	East	Office Buildings
	West	Vacant
	South	Single Family Residences
Site Size	4.88 Acres	
Plan Date	August 21, 2025	

PROJECT SUMMARY

The petitioner received approval of a rezoning request from NCC (Non-Center Commercial) to B-3 (General Business) with a Planned Rezoning Overlay (PRO) Agreement. The 4.88 acre property is located on the southwest corner of Grand River Avenue and Joseph Drive (Section 24). The applicant proposes redeveloping the site as an automobile dealership with outdoor space for sale of new and used automobiles. The proposed dealership would have a footprint of approximately 18,846 gross square feet, with a mezzanine floor for parts storage of 1,611 square feet.

The site has operated for many years (pre-1990) as Glenda's Garden Center and Market, a non-conforming use in the NCC District. The garden center was demolished in 2023 when the property was purchased by a new owner.

PRO OPTION

The PRO option creates a "floating district" with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case from NCC to B-3), and the applicant submits a detailed conceptual plan for development of the site, along with site-specific conditions relating to the proposed improvements. After Staff and

consultant review, the proposed request goes through initial review by the Planning Commission and City Council to review and comment on whether the project meets the requirements of eligibility for a PRO. The applicant can then make any changes to the Concept Plan based on the feedback received, and resubmit for formal review. The Planning Commission holds a public hearing and makes a recommendation to City Council. The City Council reviews the Concept Plan, and if the plan receives tentative approval, it directs the preparation of an agreement between the City and the applicant, which also requires City Council approval. Following final approval of the PRO concept plan and PRO agreement, the applicant will submit for Preliminary and Final Site Plan approval under standard site plan review procedures. If development is not commenced within two years from the effective date of the PRO Agreement it will expire, unless otherwise agreed to by the parties.

PROJECT HISTORY

The project was submitted and reviewed by staff and consultants in a pre-application submittal in January 2024. Comments were provided on the concept plans submitted, but no recommendations for approval were made at that time.

The initial PRO plan was submitted and reviewed in August/September, 2024. The Planning Commission held a public hearing on October 16, 2024 and provided feedback on the proposal. On December 2, 2024, City Council considered the request and provided feedback to the applicant. Minutes from both meetings are included as attachments to this letter.

The Formal PRO submittal was reviewed in March 2025.

The Planning Commission held a public hearing on the Formal PRO request on April 9, 2025. They unanimously recommended approval of the rezoning to City Council.

The applicant received tentative approval from City Council of the rezoning request and PRO Concept Plan on May 5, 2025.

Final approval of the rezoning to B-3 and PRO Agreement was granted by City Council on July 28, 2025. The agreement has been recorded with Oakland County Clerk at Liber 60469 Page 268.

RECOMMENDATION

Staff recommend approval of the Preliminary Site Plan. The plan is consistent with the terms of the PRO Agreement and Plan, and all other relevant sections of the Ordinance except where noted. Noted revisions to be made will be reviewed in a revised Final Site Plan submittal.





Planning Commission approval is required for Preliminary Site Plan and Storm Water Management Plan once all reviewers recommend approval of the PSP.

REVIEW COMMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), Section 7.13 (Amendments to Ordinance) and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for additional information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the next submittal:

1. Buffer to Neighborhood to the South: The ordinance requires a buffer in the form of a 6-8 foot obscuring landscaped earth berm and plantings when a commercial use abuts any residential district. The applicant is proposing to raise the height of the existing berm to 6-8 feet in most areas and plant new 8-foot trees to provide the required buffer. **See Landscape review for additional comments to be addressed to provide more landscaping to properly screen the site.**

2. Lighting (Section 5.7): The maximum height of proposed parking lot fixtures is 22.6 feet, which is less than the 25-feet permitted. The illumination at the rear property line is a maximum of 0.1-0.2 footcandles, which meets the ordinance standards. The ratio of Average to Minimum lighting for the paved area of the site is below the maximum 4:1 limit, indicating a uniform level of lighting over the site. **Light levels on sheets P2 through P4 are unreadable. See the Planning Chart for additional details that must be provided to address lighting requirements before the Final Site Plan can be approved. See example of Luminaire Schedule below and provide similar:**

PROPOSED / EXISTING LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	6	PREVAIL LED AREA LIGHT POLE & FIXTURE COMBO WITH HOUSE SIDE SHIELD C40 - 3000K	TYPE IV	0.9	EATON	PRV-C40-D-UNIV-T4-BZ-7030-HSS.ies
	B	1	PREVAIL LED AREA LIGHT POLE & FIXTURE COMBO - C40 - 3000K	TYPE V	0.9	EATON	PRV-C15-D-UNIV-T5-BZ-7030.ies
	C	1	PREVAIL LED AREA LIGHT POLE & FIXTURE COMBO - C40 - 3000K	TYPE V	0.9	EATON	PRV-C40-D-UNIV-T5-BZ-7030.ies
	D	1	MIRADA SMALL WALL SCONCE 3000K	TYPE FT	0.9	LSI	XWS-LED-08L-SIL-FT-30-70CRI.ies

3. Plan Review Chart: **The Plan Review chart provides additional comments on many of the Ordinance review standards. Please address all outstanding comments.**

MAJOR CONDITIONS OF PLANNED REZONING OVERLAY AGREEMENT

Some selected conditions that are part of the PRO Agreement are included below. Please refer to the PRO agreement for other details. Staff comments on the status of each item are in bold.

- The use of the property is a New and Used Car Salesroom, Showroom and Office with a Servicing department, as typically associated with dealerships. **This is proposed.**
- Accessory to the Car Dealership, Outdoor Space for exclusive sale of new or used automobiles will be permitted under the conditions for Special Land Use approval (as listed in the PRO Agreement). **This is proposed.**
- The applicant shall provide a unique streetscape along Joseph Drive with a winding sidewalk and the installation of three bench nodes on concrete platforms, decorative light poles, and significant landscaping across the western side of Joseph Drive, as shown on the PRO Plan, prior to issuance of a final Certificate of Occupancy. **Meandering 5-foot sidewalk shown on Joseph Drive frontage, along with three concrete platforms with benches, and decorative lighting. Landscape plan shows plantings.**
- The applicant shall construct two covered bus stop shelters along Grand River Avenue to serve the nearby SMART bus stops, the final design of which shall be coordinated with the city, prior to issuance of a final Certificate of Occupancy. **No details have been provided in this submittal. Please including information in next submittal.**
- The days of operation shall be limited to Monday – Saturday. The business shall not be open on Sundays. **Please provide notes regarding days/hours of operation.**
- The hours of operation shall be limited to the following, as described by the applicant: 7:00 a.m. to 6:00 p.m. on Tuesday, Wednesday and Friday, 7:00 a.m. to 9:00 p.m. on Monday and Thursday, and 8:00 a.m. to 4:00 p.m. on Saturdays. **Please provide notes regarding days/hours of operation.**

7. Outdoor speakers for security purposes may be permitted but must be attuned to meet the requirements of the noise ordinance and avoid disturbance of the adjacent residential neighborhood. **Provide a note on the plans to indicate condition.**
8. No outdoor compressors shall be permitted. **Provide a note on the plans to indicate condition.**
9. Automobile transit deliveries shall be limited to 8:00 a.m. to 6:00 p.m. on weekdays and must take place on the site in the designated loading/unloading area. Unloading shall not take place in any public right-of-way. Each instance of unloading in the public right-of-way that is documented by the City of Novi Police Department shall constitute a violation of this PRO Agreement, and shall be considered a site plan violation, and a nuisance *per se* and subject to abatement as provided in Paragraph 5.b below.

In addition to any ticket issued by the police department to the hauler, the City's Code Enforcement officer may issue a ticket for a site plan violation to the Developer. Each instance of unloading in the public right-of-way shall be considered a separate violation and shall be subject to fines and abatement, as permitted by applicable laws and ordinances.

Separate and apart from, and in addition to, any traffic enforcement or code enforcement remedies above, for each violation of this provision, Developer shall pay to the City the amount of \$1,000, which Developer agrees represents the minimum cost to the City of enforcement of this provision, per incident. Such payment is to be made within 30 days of invoice by the City and failure to pay shall be a separate violation of this PRO Agreement. **Provide a note on the plans to indicate conditions.**

10. The parking setback shall be no less than 53 feet from the property line to the south. **This is proposed.**
11. The footprint of the building shall be limited to approximately 18,900 square feet, excluding mezzanine space. **This is proposed.**
12. The overhead service doors shall remain closed except to allow the entering and exiting of vehicles. **Provide a note on the plans to indicate conditions.**
13. The berm and landscape plantings along the southern property line shall be installed early in construction to protect the residents from the negative impacts of construction. **Provide a note on the plans to indicate conditions.**
14. Developer shall be responsible for all excessive false alarm penalties and fees assessed pursuant to Section 22-36 of the City of Novi Code of Ordinances, as amended, and may not appeal assessments of fees and penalties for police department response. **Provide a note on the plans to indicate conditions.**
15. Developer shall prohibit test driving vehicles on Joseph Drive. Each instance documented instance of dealership owned vehicles being test driven on Joseph Drive shall constitute a violation of this PRO Agreement, and shall be considered a site plan violation, and a nuisance *per se*. The City's Code Enforcement officer may issue a ticket for a site plan violation to the Developer. Each instance of test driving vehicles on Joseph Drive shall be considered a separate violation and shall be subject to fines and abatement, as permitted by applicable laws and ordinances. **Provide a note on the plans to indicate conditions.**

ORDINANCE DEVIATIONS

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. The following deviations from the standards of the Zoning Ordinance are authorized pursuant to the PRO Agreement:

- a. Deviation from Section 3.10.3 to allow the Service Bay Doors to face a major thoroughfare and a residential district. The service reception area is proposed to have a total of four overhead doors. The northern overhead doors are 129 feet from the Grand River Avenue right of way. The southern overhead doors are located 281 feet from the southern property line. There will be a screen wall and berm with landscaping along the southern property line to screen the overhead doors from the residential uses from the south. The overhead doors are needed for customer use.
- b. Traffic deviation from Section 5.3.12. There are two locations, on either side of the building, where 2 customer parking spaces have an end island on one side, but not the side adjacent to the entry/exit point of the service area. This is supported as the area next to the parking spaces has been striped out.
- c. Landscape deviation from Section 5.5.3.B.ii and iii to permit a continuous evergreen hedge along Grand River Avenue and Joseph Drive in lieu of the required minimum 3-foot-high berm along the road rights of way. The deviation is supported as the applicant has proposed to use evergreen shrubs to achieve the screening intent of the ordinance.
- d. Landscape deviation from Section 5.5.3.D to permit only 79 percent of the required building foundation landscaping to be located at the building. This is supported as the required foundation area is provided in total, and the remaining landscaping is placed in areas that will enhance the appearance of the site.
- e. Lighting deviation from Section 5.7.3.L to exceed the 1 footcandle limit at the north and east property lines (3.4 fc and 6.2 fc, respectively). This deviation is supported as these areas are illuminating the sidewalks along the road frontages.
- f. Façade deviation from Section 5.15 for the north facade to contain 0% brick rather than the minimum 30 percent brick. The front consists of 70 percent showroom glass and 30 percent flat metal panels. The deviation is supported as the addition of brick would not offer an enhancement to the design.
- g. Landscape deviation from Section 5.5.3.B.ii and iii for insufficient screening berm for the southeastern portion of the property that abuts parcel 22-24-326-004. This deviation is supported as it was requested by the adjacent property owner in order to preserve existing trees, however additional inspection as to the viability of the trees shall be conducted by the applicant before final approval and landscaping shall be provided to achieve the 80-90 percent opacity requirement.

SUMMARY OF OTHER REVIEWS:

All reviewers are currently recommending approval.

- a. **Engineering: Engineering recommends approval of Preliminary Site Plan**, however a revised Final Site Plan submittal will be required to address comments.
- b. **Landscape: Landscape recommends approval of the Preliminary Site Plan**, with comments to be addressed in a revised Final Site Plan submittal.

- c. **Traffic: Traffic review recommends approval of Preliminary and Final Site Plan.**
- d. **Woodlands:** There are no regulated woodland trees on the site.
- e. **Wetlands:** There are no wetland areas on the site.
- f. **Façade: Façade review recommends approval.** A Section 9 waiver was approved as a deviation in the PRO Agreement.
- g. **Fire: Fire recommends approval with conditions as listed in the review letter.** The FDC location needs to be relocated for better visibility and access.

NEXT STEP: PLANNING COMMISSION MEETING

With all reviewers recommending approval of the PSP, this item will be scheduled to go before the Planning Commission for public hearing and consideration for approval on **October 8, 2025**. Please provide the following at least 8 days prior to the Planning Commission meeting date:

- 1. Site Plan submittal in PDF format (Received)
- 2. A response letter addressing ALL the comments from ALL review letters indicated how the outstanding comments will be addressed.
- 3. Façade Sample Board

FUTURE STEP: REVISED SITE PLAN SUBMITTAL

Engineering, Landscape, and Fire are currently not recommending approval of the Final Site Plan. Plans need to be revised to address the comments provided in the review letters. If Planning Commission approval of the Preliminary Site Plan is granted, please submit the following for reconsideration of the Final site Plan.

- a. Site Plan Revision Application
- b. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
- c. **Four copies** of revised site plan set.

SITE AMENITIES

The following site amenities are shown on the plans and were conditions of the PRO Agreement. **Please provide an itemized cost estimate for these items in the next submittal: 3 seating areas and decorative lighting on Joseph Drive, and costs related to the bus shelters to be provided on Grand River Avenue.**

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

Once all reviewers recommend Final Site Plan approval, please submit the following for Electronic stamping set approval:

- 1. Plans addressing the comments in all of the staff and consultant review letters **in PDF format.**
- 2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received Electronic Stamping Set comments from City staff the applicant should make the appropriate changes on the plans and submit **8 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

New addresses are required for this project. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

Not applicable to this commercial project.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org



Lindsay Bell, AICP – Senior Planner



PLANNING REVIEW CHART: B-3 General Business District with PRO

Review Date: September 16, 2025
Review Type: Preliminary/Final Site Plan
Project Name: JSP25-24 Feldman KIA
Location: 40575 Grand River; Parcel 22-24-326-025
Plan Date: August 21, 2025
Prepared by: Lindsay Bell, Senior Planner
Contact: **E-mail:** lbell@cityofnovi.org; **Phone:** (248) 347-0484

Bold To be addressed in Formal PRO Plan submittal
Underline To be addressed with Preliminary Site Plan submittal
Bold and Underline Possible deviations to be included as part of PRO agreement
Italics Items to be noted

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan	Community Commercial	B-3 Community Business		Update cover sheet to reflect project number for site plan: JSP25-24
Zoning <i>(Effective Jan. 8, 2015)</i>	B-3 with Planned Rezoning Overlay	B-3		Update Sheet 2 to reflect current zoning is B-3 with PRO; Sheet SP1.3 can be removed from the site plan set.
Uses Permitted <i>(Sec 3.1.11.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted.	Car salesroom, showroom or office permitted use in B-3 only; Outdoor space for sale of new or used autos is Special Land Use	Yes	
Phasing	Provide phases lines and detail description of activities in each phase	Phasing not proposed	NA	
B-3 Business District Required Conditions (Sec. 3.10)				
Service Bay Doors <i>(Sec 3.10.3)</i>	<ul style="list-style-type: none"> - No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. - Pedestrian exits or emergency doors are permitted on such building facades. 	Service bay doors face north and south and west; Loading area on east side of building	No	Deviation approved in PRO Agreement

Item	Required Code	Proposed	Meets Code	Comments
Height, bulk, density, and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Grand River	Yes	
Access to Major Thoroughfare (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Access to Grand River Ave	Yes	
Minimum Zoning Lot Size for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	~ 4.9 acres	Yes	
Minimum Zoning Lot Size for each Unit: Width in Feet			NA	
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	~9%	Yes	
Building Height (Sec. 3.1.12.D)	30 ft	30 ft.	Yes	
Building Setbacks (Sec 3.1.12.D)				
Front (Grand River)	30 ft.	94	Yes	
Exterior Side (Joseph Dr)	30 ft.	212	Yes	
Side (west)	15 ft.	77	Yes	
Side (south)	15 ft.	188	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (Grand River)	20 ft.	22	Yes	
Exterior Side (Joseph Dr)	20 ft.	22	Yes	
Side (west)	10 ft.	10	Yes	
Side (south)	10 ft.	53	Yes	
Outdoor Space For Exclusive Sale of New or Used Automobiles (Sec. 4.36)				
Paving and draining of lot	Lot or area paved and graded/drained to	Underground infiltration system, Infiltration trench	Yes	See Engineering comments

Item	Required Code	Proposed	Meets Code	Comments
(Sec 4.36.1)	dispose of all surface water accumulated	storm water detention proposed		
Access to Outdoor Sales Area (Sec 4.36.2)	Access at least 60 feet from the intersection of any 2 streets	Site entrance ~ 158' from Grand River/Joseph Drive intersection	Yes	Site plan proposes to use 2 existing curb cuts
Greenbelt Planting Strip (Sec 4.36.3)	10 ft wide greenbelt between ROW and parking/vehicle display	Continuous hedge proposed in 15, 20-foot greenbelt	Yes	
Repair/Refinishing (Sec 4.36.4)	No major repair or major refinishing to be done on the lot		Yes	
Lighting (Sec 4.36.5)	Lighting to be shielded from adjacent residential districts	Lighting Plan shown	Yes	
Noise Impact Statement (Sec 4.36.6)	Noise impact statement is required subject to the standards of Section 5.14.10.B.	Noise Impact Statement provided	Yes	Noise impact was reviewed in PRO process
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Exterior side yard on Joseph – 22 ft parking setback proposed	Yes	
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements		Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Abuts residential to the south – parking setback exceeds requirement (~53 ft proposed)	Yes	
Wetland/Watercourse Setback	Refer to Sec 3.6.2 for more details.	No wetlands present	NA	

Item	Required Code	Proposed	Meets Code	Comments
(Sec 3.6.2.M)				
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			See Landscape chart for requirements
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details		NA	
Parking, Loading, and Dumpster Requirements				
Number of Parking Spaces Motor vehicle sales and service (Sec.5.2.12.C)	One (1) for each two hundred (200) square feet of usable floor area of sales room and one (1) for each one (1) auto service stall in the service room $7716 \text{ sf sales} / 200 = 39$ $12 \text{ service stalls} = 12$ 51 spaces required	297 spaces indicated on plans; 17 customer parking spaces, 37 employee/ service parking spaces, remainder parking spaces for inventory	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	Both 9' x 17' and 9' x 19' spaces proposed Min 24' drive aisles indicated	Yes	
Posted Fire Lanes (D.C.S Sec. 158-99(a))	The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet.		Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Appears to comply	Yes	

Item	Required Code	Proposed	Meets Code	Comments
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	Appears to mostly comply	No	Deviation approved in PRO Agreement for 2 areas near service entrances
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 22 parking spaces: 1 van Accessible Space required - Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible 	3 barrier free spaces indicated	Yes	<i>Inventory vehicles do not require barrier free spaces</i>
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	8' spaces and shared 8' access aisle shown	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs indicated	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	Minimum 2 spaces	2 bike parking spaces proposed	Yes	
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	<p>Accessible via 6 ft sidewalk from frontage</p> <p>U Rack proposed, 36"</p>	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 7 ft. One tier width: 11 ft. Two tier width: 18 ft. Maneuvering lane width: 4 ft. Parking space depth: 32 in.	Width: 7ft Space depth: 32 in.	Yes	
Loading Spaces (Sec. 5.4.2)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Loading area located to the rear of building with landscape screening to east (120 ft frontage x 10 = 1,200 sf)	Yes	
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Dumpster indicated in rear yard	Yes	
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: 	Enclosure detail shown on sheet SP1.4 – enclosure Brick to match the building	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Masonry, wood or evergreen shrubbery			
Sidewalk Requirements				
Article XI. Off-Road Non-Motorized Facilities	An 8-foot sidewalk is required along Grand River; 5' Required along Joseph Dr	8' Proposed along Grand River; 5' sidewalk along Joseph Dr proposed	Yes	Sidewalk not within ROW will require sidewalk easements
Pedestrian Connectivity	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Sidewalk shown from Grand River onto site	Yes	
Accessory Structure and Equipment Requirements				
Accessory Structures (Sec. 4.19.2.A)	- Accessory structures shall be located in the rear yard and shall meet 6-foot setback requirement	None indicated (see Transformer noted below)		
Flagpoles (Sec 4.19.2.B)	May be located in front or exterior side yard, no closer to ROW than ½ the distance between the ROW and Principal building	Not proposed	NA	If proposed, must show on Final Site Plan
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	- All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Some Roof equipment shown to be screened	No	Screen round appurtenance on left side of North façade – See Façade Review
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	6' Screening proposed on lower rear portion of the building – does not exceed 30 feet height limit	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Transformers/ Utility Boxes (Sec. 4.19.2.1)	<ul style="list-style-type: none"> - If under 4-ft in height may be located next to a building in a rear or side yard and meet the setback for accessory building; - Shall not interfere with pedestrian or vehicle flow; - Units over 4 ft shall be located in the rear yard - All units must be screened per Landscape Design Manual 	Transformer located on west side of building, will mostly be screened by front of building;	Yes	<i>Note landscape screening will also be required</i>
Building Code and Other Design Standard Requirements				
Building Code	Building exits must be connected to sidewalk system or parking lot.	Public exits appear to be connected to sidewalk or parking area	Yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	<i>Lot combination has been completed – update plan set to reflect new parcel number 22-24-326-025 throughout</i>
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets, and drives, and indicate sq. ft. of pavement area (indicate public or private).	Generally provided	Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	\$7 million 40-50 full time employees 175-200 construction jobs	Yes	
Other Permits and Approvals				

Item	Required Code	Proposed	Meets Code	Comments
Development/ Business Sign	<ul style="list-style-type: none"> - Signage requires a permit. - Exterior Signage is not regulated by the Planning Division or Planning Commission. 			Submit permit applications for each sign proposed For sign permit questions contact Code Compliance division 248-735-5671.
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name does not require approval.	NA	
Property Combo/Split	The proposed property Combination must be submitted to the Assessing Department for approval prior to Final Stamping Set approval.	Parcel combination has been completed	NA	
Other Legal Requirements				
Existing Easements	Show all easements on a site survey	No easements shown		
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Provided		
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Provided	Yes	Sheet 2 of 4 needs clarification. Provide a key to meaning of light gray vs. black photometric levels, remove overlapping labels, some of which are upside down making plans unreadable.

Item	Required Code	Proposed	Meets Code	Comments
Lighting Plan (Sec.5.7.2A.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	Spec sheets should be included in plan set so they can be verified during inspections (Just front sheet & glare control with Ordering Specifications shown somewhere)
	Photometric data	Provided	Yes	
	Fixture height	Max 22.6 ft	Yes	
	Mounting & design	On Spec Sheets	Yes	
	Glare control devices	On Spec Sheets	Yes	
	Type & color rendition of lamps	On Spec Sheets	Yes	
	Hours of operation	Provided	Yes	Include on lighting plan
Maximum height when abutting residential districts (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	Max 22.6 ft	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Not indicated	TBD	Include standard notes on the plans
Average light levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	3.6:1	Yes	
Color Spectrum Management (Sec. 5.7.3.F)	For all permanent lighting installations - minimum Color Rendering Index of 70 and Correlated Color Temperature of no greater than 3000 Kelvin	Spec sheet & response letter indicates 3000K	Yes	Show 3000K fixtures on site plan
Indoor Lighting (Sec. 5.7.3.H)	Indoor lighting shall not be the source of exterior glare or spillover	Not shown	TBD	Shall comply

Item	Required Code	Proposed	Meets Code	Comments
Security Lighting <i>(Sec. 5.7.3.I)</i> Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed to not cast light toward adjacent properties or streets, or into the night sky. - Fixtures mounted on the building and designed to illuminate the facade are preferred	Not provided	TBD	Provide after-hours security lighting photometrics
Parking Lot Lighting <i>(Sec. 5.7.3.J)</i>	- Provide the minimum illumination necessary to ensure adequate vision and comfort. - Full cut-off fixtures shall be used to prevent glare and spillover.	Applicant letter indicates back light cut-off shades will be installed	Yes	
Min. Illumination <i>(Sec. 5.7.3.L)</i>	Parking areas: 0.2 min	2.1 min	Yes	<u>Adjust lighting to meet minimum standards - some of the Frequent Use building entrances show 0.0 fc</u>
	Loading & unloading areas: 0.4 min	5.7 fc min	Yes	
	Walkways: 0.2 min	0.1 min	Yes	
	Building entrances, frequent use: 1.0 min	0.0 fc	No	
	Building entrances, infrequent use: 0.2 min		NA	
Average Light Level <i>(Sec.5.7.3.L)</i>	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Asphalt – 3.64:1	Yes	
Max. Illumination adjacent to Non-Residential <i>(Sec. 5.7.3.L)</i>	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Max at property line: <ul style="list-style-type: none"> West: 2.4 max East: 6.2 max North: 3.4 max 	No	Deviation approved in PRO Agreement for non-residential north and east property lines due to sidewalk lighting <u>Show light level just beyond lot line on west side to verify levels drop off to 1.0 fc max, or adjust aiming to comply</u>

Item	Required Code	Proposed	Meets Code	Comments
Adjacent to Residential (Sec. 5.7.3.M)	<ul style="list-style-type: none"> ▪ Height of fixtures not to exceed 25 feet ▪ No direct light source shall be visible at the property line at ground level ▪ All cut off angles of fixtures must be 90° when adjacent to residential districts - Maximum illumination at the property line shall not exceed 0.5 foot candle 	22.6 ft max	Yes	
		Not shown	Yes	
		Max at property line to south appears to be 0.1-0.2 fc	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

09-18-2025

Engineering Review

Feldman Kia
JSP25-0024

APPLICANT

Feldman Automotive INC

REVIEW TYPE

Combined Preliminary and Final Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Located on the south side of Grand River Avenue, west side of Joseph Drive
- Site Size: 4.88 acres
- Plan Date: 08-21-2025
- Design Engineer: Alpine Engineering, INC

PROJECT SUMMARY

- Construction of an approximately 20,152 SF building and associate parking. Site access would be provided with two entrances on Grand River.
- Water service would be provided by an 8-inch extension from the existing 8-inch water mains along Grand River Avenue and Joseph Drive, along with three additional hydrants.
- Sanitary sewer service would be provided by a lead extending from existing off-site sanitary sewer on the south side of the property, along with a monitoring manhole for the site.
- Storm water would be collected by an underground storm water retention/infiltration system, an infiltration basin, and an infiltration trench. All storm water will be retained on site, without discharging off site.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended. However, approval of the Final Site Plan is NOT recommended. At this time, the plans do not meet the general requirements of [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#). The following items must be addressed prior to resubmittal:

COMMENTS

1. Provide a minimum of two ties to established section or quarter section corners.
2. The striping of the parking spaces is barely visible on the printed plans. Please darken them to make them easy to see, as the current striping is hard to read.
3. Provide a traffic control plan for the proposed road work activity.
4. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed. The table cannot be located on the utility sheet.
5. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation from water main and storm sewer and 10-foot horizontal separation from sanitary sewer. **The landscape plan shows trees within the proposed easements. Please relocate these trees outside of the proposed easement areas.**
6. Light poles located within a utility easement or Right-of-Way will require a License Agreement.
7. The [Non-Domestic User Survey Form](#) for sanitary sewer flow shall be submitted to the City so it can be forwarded to Oakland County.
8. A [Right-of-Way Permit](#) will be required from the City of Novi and Oakland County.
9. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets) and Boardwalks/Pathways (1 sheet). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).

WATER MAIN

10. The peak factor for the watermain basis of design shall be changed to 2.5.
11. All the calculations used for the basis of design shall be rounded up rather than down.
12. A 3-inch ductile iron pipe for the proposed water lead may not be available. Consider upgrading to 4-inch ductile iron pipe.
13. A sealed set of utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#) for water main construction, the [Streamlined Water Main Permit Checklist](#), [Contaminated Site Evaluation Checklist](#), [Basis of Design](#), **and an electronic version of the utility plan should be submitted to the Engineering Division for review. The Engineering Division will then submit the application to EGLE**, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

IRRIGATION

14. Irrigation plans have not been approved, provide revised plans in the next submittal. Please see attached letter from Water and Sewer dated 09/04/2025.

SANITARY SEWER

15. Typically, an 8-inch diameter pipe is used for the sanitary sewer main, while a 6-inch diameter pipe is used for a private lead. Therefore, the sanitary sewer pipe should be changed to 6-inch.
16. Risers are not preferred in the sanitary sewer. Consider redesigning to eliminate the need for a riser on the proposed lead.

STORM SEWER

17. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
18. Match the 0.80 diameter depth above invert for pipe size increases. Some pipes do not meet this requirement at manhole 2 and manhole 8.
19. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

STORM WATER MANAGEMENT PLAN

20. Time of concentration for any development less than 5 acres is 10 minutes. Therefore, the time of concentration shall be updated to 10 minutes.
21. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the underground detention system and the pretreatment structure. Also, include an access easement to the underground detention area from the public road right-of-way.
22. Provide manufacturer's details and sizing calculations for the outlet structure.
23. Provide supporting calculations used to determine the runoff coefficient for the existing site conditions.
24. Provide a profile for the proposed infiltration trench.
25. Add a note to the narrative explaining the purpose of the proposed infiltration trench.
26. Provide a cost estimate for the proposed infiltration basin construction, basin restoration, outlet control structure, and infiltration trench.
27. An emergency (secondary) overflow shall be provided at an elevation 6-inches above the 100-year storm storage elevation.

UNDERGROUND DETENTION REQUIREMENTS

28. Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.

29. The elevations on the underground detention system cross-section are incorrect. The elevation of 873.75ft should be 869.4ft, therefore, the effected elevations will need to be updated. Please revise them in the next submittal.
30. Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.
31. For piped/chamber systems, the underground storage system shall include **4-foot** diameter manholes at one end of each row for maintenance access purposes.

PAVING & GRADING

32. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
33. Accessible routes must connect directly to access aisles. A landing at least 36" deep is required at the top of curb ramps. Where space for a curb ramp is limited, parallel ramps can be provided as an alternative.
34. Revise the parking lot asphalt pavement cross-section to 1.5 inches of MDOT 5EML/5EMH on 2.5 inches of MDOT 3C/4EML on 8 inches of 21AA [limestone only if within 100 feet of a watercourse] aggregate base.
35. Provide Dumpster Pad details on the plans, which shall be 8" concrete on 8" 21AA aggregate base. Note: The dumpster pad shall extend a minimum of 10' beyond the dumpster enclosure.
36. Any sheet containing details of the proposed retaining wall shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.
37. Retaining walls that are 48-inches or larger shall need a permit from Building Department.
38. A retaining wall that has a grade change of 30" or more within a 3' horizontal distance will require a guardrail.

SOIL EROSION & SEDIMENT CONTROL

39. SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

OFF-SITE EASEMENTS

40. Any off-site utility easements anticipated must be executed **prior to Stamping Set Approval**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.
 - a. Off-Site Title Policy
 - b. Off-site water main easement.
 - c. Off-site temporary construction easement.

41. Approval from the neighboring property owner for the work associated with the off-site water main connection shall be forwarded to the Engineering Division **prior to Stamping Set approval.**

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

42. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
43. Due to the above comments, the itemized construction cost estimate should be revised and resubmitted to the Community Development Department for the determination of plan review and construction inspection fees.

REQUIRED LEGAL DOCUMENTS

The following must be submitted with the Stamping Set: All documents must be submitted together as a package with the Stamping Set submittal with the [legal review transmittal form](#) that is attached to this review letter. Partial submittals will **not** be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#)).

44. A draft copy of the [Storm Drainage Facility Maintenance Easement Agreement \(SDFMEA\)](#), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
45. A draft copy of the 20-foot-wide [Watermain System Easement](#) onsite must be submitted to the Community Development Department.
46. A draft copy of the 20-foot-wide [Sanitary Sewer Monitoring Manhole Access Easement](#) onsite must be submitted to the Community Development Department.
47. A draft copy of the [Sidewalk Easement](#) onsite must be submitted to the Community Development Department.
48. A draft of the License Agreement will be required for the light pole proposed within the proposed water main easement. This must be submitted to the Community Development Department.
 - a. The agreement shall state that the light pole and all site facilities within the influence of the light pole that may be removed or damaged in the event the utility requires maintenance will be **the responsibility of the property owner** to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the light pole foundation and the utility.
49. Executed copies of approved off-site utility easements must be submitted.

THE FOLLOWING MUST BE ADDRESSED PRIOR TO CONSTRUCTION

50. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
51. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
52. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
53. Construction inspection fees in the amount of **\$TBD** must be paid to the Community Development Department. ****fees are subject to change.**
54. Off-Site Legal exhibit review fees in the amount of **\$1725.00** must be paid to the Community Development Department. **(ONLY FOR OFF-SITE DOCUMENTS)**
55. Legal escrow fees in the amount of **\$2,587.50** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. ****fees are subject to change.**
56. Legal fees for off-site easements should be paid as soon as possible so that documents can be approved.
57. A storm water performance guarantee in the amount of **\$TBD** (Equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
58. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
59. A street sign financial guarantee in the amount of **\$4,800** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
60. A traffic control inspection fee of **\$605.00** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
61. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
62. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website ([Right-of-Way Permit Application](#)) and can be filed once the Final Site Plan has been submitted. Please contact

the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.

63. A permit for work within the road right-of-way of Grand River Avenue must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the city. Provide a note on the plans indicating all work within the road right-of-way will be constructed in accordance with the RCOC standards. **Be advised that review by the RCOC may take four weeks or longer.**
64. An [Act 399 Permit for Community Water Supply Systems](#) for water main construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details, and plan/profile sheets applicable to the permit.

PRIOR TO SUBMITTING STAMPING SETS, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval applicant must submit revised sheets for review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Milad Alesmail at (248) 735-5695 or email at malesmail@cityofnovi.org with any questions.



Milad Alesmail,
Project Engineer

cc: Lindsay Bell, Community Development
Humna Anjum, Engineering
Kate Purpura, Engineering
Ben Croy, City Engineer



CITY OF NOVI
Department of Public Services
Water & Sewer Division
26300 Lee BeGole Dr.
Novi, Michigan 48375
248.735.5661 Phone / 248.735.5659 Fax
cityofnovi.org

Date: 9/4/2025

IRRIGATION SYSTEM / CONNECTION TO PUBLIC WATER SUPPLY

Project Name: Feldman Kia of Novi 40575 Grand River

Drawings and Revision Dates Reviewed:

- Revision date: 8/22/2025
- List of Drawings: L-1, L-2, L-3

Plan Review: **Not Approved/Needed**

Below is a list of information we look for on irrigation plans, no irrigation plans have been sent or included in the landscape plan. If there are plans to irrigation utilizing a private well, please clarify and include this notation:

“Irrigation systems connected to a public water supply are governed by the City of Novi Cross-connection Control Program and subject to review and approval. Irrigation systems utilizing a pond, well or other private source of water supply are exempt from the City’s CCCP. Any alterations to a private source of water to a public water supply shall be submitted to the Novi Water & Sewer Division for review and approval prior to any such connections. Plumbing permits will be required for these connections.”

Point of Connection [POC] Identified: Must be tapped downstream from domestic water meter

Reduced Pressure Zone Assembly (RPZ) proposed protective assembly: **Yes:** **No:**

RPZ's must be installed as the required protective assembly unless circumstances warrant the installation of a Pressure Vacuum Breaker (PVB) assembly for protection of the public water supply. PVB's must have specific approval from the Water & Sewer Cross Connection Specialist or Water & Sewer Manager for such installations and such approval with conditions of approval documented on the drawings.

Comments:

Irrigation backflow preventer must be downstream from the domestic water meter (note, the domestic water supply with also require a service containment RPZ downstream from water meter.)

The following notation provided: **Yes:** **No:**

Required RPZ must be ASSE 1013 listed as a complete assembly including shutoff valves. Assembly required to be installed by a licensed plumbing contractor. Plumbing permit is required. New assembly must be tested after installation by a licensed plumber also ASSE 5110 Certified to test. Results must be recorded on the City of Novi test report form with a copy sent to the Novi Water & Sewer Division. RPZ must be

installed not less than 12-inches above FINISHED GRADE measured from the bottom of the pressure relieve valve. Assemblies must be in compliance with the Michigan Plumbing Code, manufacturer installation instructions including winterization and ASSE listing approvals for orientation, valves, etc.

Comments:

Is the proposed backflow preventer concealed within an enclosure?

Yes:

No:

Outdoor enclosures for backflow prevention must be drainable and ASSE 1060 approved pursuant to the Michigan Plumbing Code.

Comments:

Please feel free to contact us at 248-735-5661 with any questions you may have.

Sincerely,
Linda Slepetski
Water & Sewer Division



CITY OF NOVI
Department of Public Services
Water & Sewer Division
26300 Lee BeGole Dr.
Novi, Michigan 48375
248.735.5661 Phone / 248.735.5659 Fax
cityofnovi.org

9/4/2025

Feldman Kia of Novi 40575 Grand River

Re: Cross Connection Control – New Construction Building Containment Requirements

Project Architect,

Pursuant to the Safe Drinking Water Act, P.A. 399, Part 14 Rules (Rule 1406) and the City of Novi Cross Connection Control Program (CCCP) please be advised of the following requirements.

The Water and Sewer Division is requiring an ASSE 1013 listed and approved Reduced Pressure Zone Assembly (RPZ) to be installed immediately downstream of the water meter in addition to the below requirements.

- The assembly shall be provided in an accessible location with access through a swing door if installed in an enclosed location.
- Access shall be approved by the Water & Sewer Division.
- A floor drain shall be provided in accordance with the Michigan Plumbing Code or Michigan Residential Code and approved by the Community Development Department Plumbing Division.
- Thermal Expansion requirements must be considered in accordance with the Michigan Plumbing Code or Michigan Residential Code and approved by the Community Development Department Plumbing Division.
- If a booster pump is necessary, low pressure cutoff requirements must be addressed in accordance with the Michigan Plumbing Code.

Please feel free to contact us at 248-735-5661 with any questions you may have.

Sincerely,

Linda Slepetski
lslepetski@cityofnovi.org

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

September 4, 2025

Feldman Kia of Novi

Preliminary/Final Site Plan - Landscaping

Review Type

Preliminary/Final Site Plan Landscape Review

Job

JSP25-0024

Property Characteristics

- Site Location: 40575 Grand River Avenue
- Site Acreage: 4.88 ac.
- Site Zoning: NCC
- Adjacent Zoning: North: I-1, East: NCC, South: R-4, West: OST
- Plan Date: 8/21/2025

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

RECOMMENDATION:

This project is **recommended for approval** for Preliminary Site Plans. The changes noted below should be addressed on the revised Final Site Plans.

LANDSCAPE DEVIATIONS GRANTED BY CITY COUNCIL ON MAY 5, 2025:

- *Deficiency in berm screening along the south property line to preserve existing landscaping for resident at the southeast corner of the site.*
- *Lack of greenbelt berms for both Grand River Avenue and Joseph Drive as continuous screening hedge is provided to screen parking.*
- *Deficiency in building foundation landscaping being located at the building since remaining landscape area is provided in other appropriate areas*

Please copy the above italicized text regarding the deviations granted to Sheet L-1.

Please change the City project number on the cover sheet to JSP25-0024 (instead of JSP24-0032).

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey is provided.
2. Most of the existing evergreens along the south edge of the site are shown as being removed and replaced with new plantings on the enhanced berm. Those are not regulated woodland trees.
3. One regulated tree is shown as being removed and replacement plantings are proposed on the site.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residential property to the south so a 6-8 foot tall, landscaped berm is required for the proposed project.
2. The plan proposes a larger, taller berm (6-8 feet tall) with new evergreen tree plantings.
3. Much of the berm has significant landscaping, but the sections with just large evergreens need to be adjusted and enhanced to provide 80-90% screening within two years as discussed on the landscape chart. **Please do at least one of these two things: Make the southern row of plantings, the arborvitae, continuous across the entire property line OR add more large evergreen trees in the northern row and stagger them so they provide the required 80-90% screening within two years. The current spacing will not achieve that requirement.**
4. A landscape deviation to allow a deficient berm height at the eastern end of the berm was granted by City Council at the request of the adjacent resident to preserve the existing trees.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. A continuous hedge is proposed along both Grand River and Joseph Drive instead of the hedge. A landscape deviation was granted by City Council for the proposed landscaping.
2. The required greenbelt width is provided for both frontages.
3. The required greenbelt canopy and subcanopy trees are provided.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Four of the bays have over 15 spaces without a landscape island but they are allowed to be up to 25 spaces since they are for storage/inventory.
2. The required parking lot interior and perimeter trees are proposed.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. The required foundation area is provided in total, but only 79% is at the building. A landscape deviation was granted by City Council for this.
2. The percentage of the building's frontages that are landscaped exceed the 60% requirement.

Plant List (LDM 4, 10)

1. 18 of 30 species used (60%) are native to Michigan.
2. The tree diversity requirement of LDM 4 is met.

Planting Notations and Details (LDM 10)

1. Provided
2. Please see the landscape chart for some detailed comments.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. Underground detention is proposed for pre-treatment and the existing detention area will be retrofitted to be an infiltration basin
2. The required shrubs and seeding is proposed.
3. As the pond will drain within 72 hours, the canopy tree requirement does not need to be met.

Irrigation (LDM 10)

1. **If an irrigation system will be used, a plan for it must be provided with the revised Final Site Plans.**
2. **If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

A handwritten signature in black ink, appearing to read "Rick Meader". The signature is fluid and cursive, with the first name "Rick" and last name "Meader" clearly distinguishable.

Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Preliminary/Final Site Plan

Review Date: September 4, 2025
Project Name: JSP25-0024: FELDMAN KIA OF NOVI
Project Location: 40575 Grand River Avenue
Plan Date: August 21, 2025
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Final Site Plan.

LANDSCAPE DEVIATIONS GRANTED BY CITY COUNCIL ON MAY 5, 2025:

- *Deficiency in berm screening along the south property line to preserve existing landscaping for resident at the southeast corner of the site.*
- *Lack of greenbelt berms for both Grand River Avenue and Joseph Drive as continuous screening hedge is provided to screen parking.*
- *Deficiency in building foundation landscaping being located at the building since remaining landscape area is provided in other appropriate areas*

Please copy the above italicized text regarding the deviations granted to Sheet L-1.

Please change the City project number on the cover sheet to JSP25-0024 (instead of JSP24-0032).

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2, 10)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1" = 30'	Yes	
Project Information (LDM 10)	Name and Address	On title block	Yes	
Owner/Developer Contact Information (LDM 10)	Name, address and telephone number of the owner and developer or association	On title block	Yes	
Landscape Architect contact information (LDM 10)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Jim Allen – Allen Design	Yes	

Item	Required	Proposed	Meets Code	Comments
Sealed by LA. (LDM 10)	Requires original signature	Copy of seal and signature on title block	Yes	
Miss Dig Note (800) 482-7171	Show on all plan sheets	On title block	Yes	
Zoning (LDM 10)	Include all adjacent zoning	Shown on Location Map <ul style="list-style-type: none"> • <u>Parcel:</u> NCC • <u>North:</u> I-1, • <u>East:</u> NCC, • <u>South:</u> R-4, • <u>West:</u> OS-1 	Yes	
Survey information (LDM 10)	<ul style="list-style-type: none"> • <u>Legal description or boundary line survey</u> • <u>Existing topography</u> 	Description and topographical survey on Sheet 3	Yes	
Existing plant material Existing woodlands or wetlands (LDM 10)	<ul style="list-style-type: none"> • <u>Show location type and size. Label to be saved or removed.</u> • <u>Plan shall state if none exists.</u> 	<ul style="list-style-type: none"> • Tree survey and chart on Sheet L-2 • Removals are shown on L-2 - all of the trees along the south edge of the property, except along Joseph Drive and adjacent to Parcel 22-24-326-24, are shown as being removed • Woodland replacement calculations on L-2 – one 26" dbh tree is shown as being removed and 3 replacements provided on site 	Yes	See Merjent's letter for a complete review of the woodlands and wetlands
Soil types (LDM10)	<ul style="list-style-type: none"> • <u>As determined by Soils survey of Oakland county</u> • <u>Show types, boundaries</u> 	A soils map is provided on Sheet 11	Yes	
Existing and proposed improvements (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	All elements are included on the landscape plan	Yes	
Existing and proposed utilities (LDM 10)	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light poles 	<ul style="list-style-type: none"> • All existing and proposed utilities are shown • Proposed lighting is shown 	<ul style="list-style-type: none"> • Yes • Yes 	1. If the easements entering the site from the east and traveling north-south through the east lot

Item	Required	Proposed	Meets Code	Comments
				<p>will be abandoned, please remove them from the landscape plan and note that on the utility plan.</p> <p>2. If possible, it would be preferable to have the trees located closer to the center of the islands so their root systems can be spread more equally. Please consider relocating the light poles so this can be done.</p>
Proposed grading. 2' contour minimum (LDM 10)	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> • Sheet 4 • The southern berm is being increased in height to between 7-10 feet for the entire frontage except north of parcel 22-24-362-24, which was requested by the resident there to preserve the existing trees 	Yes	A deviation was granted by City Council to allow the lack of berm north of Parcel 22-24-326-24.
Snow deposit (LDM 10)	Show snow deposit areas on plan	Two are shown	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)				
General requirements (LDM 5)	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	No proposed plantings appear to block visibility within the parking lot	Yes	
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	Sod is indicated	Yes	
General (Zoning Sec 5.5.3.C)				
Parking lot Islands	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • A minimum of 200sf unpaved area per tree planted in an island • 6" curbs • Islands minimum width 	All islands' areas are labeled and appear to be sufficiently sized when trees are in them	Yes	

Item	Required	Proposed	Meets Code	Comments
	10' BOC to BOC			
Curbs and Parking stall reduction (Zoning Sec 5.3.12)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Exterior spaces are 17 feet long and interior spaces are 19 feet long	Yes	
Contiguous space limit (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaces As the long bay is shown as being used for vehicle storage and display it may be 25 spaces long. 	<ul style="list-style-type: none"> There are 4 bays around the perimeter of the lot longer than 15 spaces As the bays are indicated to be for storage and inventory, they can be up to 25 spaces. 	Yes	
Plantings around Fire Hydrant (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants Plant trees at least 10 feet from underground sanitary sewer lines Plant trees at least 5 ft from underground water and storm sewer lines Plantings near hydrants or FDCs should be no taller than 12" 	<ul style="list-style-type: none"> No trees are proposed within 10 feet of hydrants. Only daylilies are shown in the vicinity of the FDC. 	Yes	
Landscaped area (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)	<ul style="list-style-type: none"> 25 ft corner clearance required. Refer to Zoning Section 5.5.9 Road Commission for Oakland County zone for RCOC jurisdiction roads 	<ul style="list-style-type: none"> Road Commission for Oakland County clear vision zones are provided for both entries. Street trees are proposed outside of the clear vision zones. 	<ul style="list-style-type: none"> Yes Yes 	If the RCOC does not allow some or all of the Grand River street trees, the disallowed trees do not need to be planted, but documentation of that ruling must be provided.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)				
A = Total square footage of vehicular use areas up to	<ul style="list-style-type: none"> A = x sf * 7.5 % A = 50,000 * 7.5% = 3750 sf 			Calculation is provided

Item	Required	Proposed	Meets Code	Comments
50,000sf x 7.5%				
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> B = x sf * 1% B = (121,299 – 50000) * 1% = 713 sf 			Calculation is provided
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x sf * 6%	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	B = 0.5% x 0 sf	NA		
All Categories				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> C = A + B C = 3,750 + 713 = 4,463 SF 	5,718 sf	Yes	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> D = C/200 trees 4,463/200 = 22 Trees 	22 trees	Yes	
Perimeter Green space (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> 1 Canopy tree per 35 lf 1,138/35 = 33 trees 	35 trees <ul style="list-style-type: none"> 13 greenbelt/perimeter trees 22 perimeter trees 	Yes	
Accessway perimeter (Zoning Sec 5.5.3.C.iv.j)	<ul style="list-style-type: none"> 1 canopy tree per 35 lf on each side of road, less widths of access drives. (40*2+35*2)lf/35 = 4 trees 	<ul style="list-style-type: none"> 4 trees 2 are double-counted as accessway perimeter/greenbelt canopy trees – this is allowed 	Yes	
Parking land banked (Zoning Sec 5.2.14.D)	NA	None		
Berms, Walls and ROW Planting Requirements				
Berms (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	Landscaped berm 6-8 feet tall	<ul style="list-style-type: none"> Existing berm approximately 3 feet tall with large evergreens of 	No	1. The proposed spacing of the large evergreen trees won't provide the

Item	Required	Proposed	Meets Code	Comments
		varying health <ul style="list-style-type: none"> • All of the existing evergreen trees on the berm are being removed and replaced due to their poor health • The berm is being raised to between 6-8 feet. • A line of large evergreen trees is proposed, with a second row of Green Giant arborvitae between homes and the site (not the entire frontage) 		required opacity after 2 years of growth. 2. More evergreen trees need to be provided where there is not a “backup” row of Green Giant arborvitae behind them, either by adding more large evergreen trees in a closer-spaced “zigzag” pattern or by continuing the second row of arborvitae across the entire frontage – there shouldn’t be gaps as there are now.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		The requirement is that the plants will provide visual opacity of 80% in the winter and 90% in the summer within two years.
Adjacent to Public Rights-of-Way (Sec 5.5.3.B and LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 3 feet high with a 2-foot-wide crest is required	A continuous hedge is proposed along both frontages in lieu of the berm	No	A landscape deviation was granted for this.
Cross-Section of Berms (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Min. 3 feet flat horizontal area • Minimum 3 feet high • Constructed of loam with 6' top layer of topsoil. 	No	No	Please provide a cross section for the proposed berm along the south property line.
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	<ul style="list-style-type: none"> • Overhead lines exist along both frontages. • Subcanopy trees are proposed under the lines. 	Yes	

Item	Required	Proposed	Meets Code	Comments
		<ul style="list-style-type: none"> No berm is proposed along the greenbelt frontages 		
Walls (Zoning Sec 5.5.3.A & LDM 10)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are required or proposed	NA	
Walls greater than 4 ft. should be designed and sealed by an Engineer		NA	NA	
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)				
Greenbelt width	Adj to Parking: 20 ft. Not adj to Pkg: 25 ft	<ul style="list-style-type: none"> Grand River: 21 ft Joseph Drive: 21 ft 	<ul style="list-style-type: none"> Yes Yes 	
Min. berm crest width	Adj to Parking: 2 ft. Not adj to Pkg: 0 ft	<ul style="list-style-type: none"> Grand River: 0 ft Joseph Drive: 0 ft A continuous hedge is proposed along Grand River and Joseph Drive 	<ul style="list-style-type: none"> No No 	A landscape deviation was granted for the lack of berms.
Minimum berm height	Adj to Parking: 3 ft. Not adj to Pkg: 0 ft	<ul style="list-style-type: none"> Grand River: 0 ft Joseph Drive: 0 ft 	<ul style="list-style-type: none"> No No 	See above
3' wall	(2)(3)(4)	None		
Canopy deciduous or large evergreen trees	<ul style="list-style-type: none"> Adj to Pkg: 1 tree per 35 lf Not adj to Pkg: 1 tree per 60 lf Grand River – all adjacent to parking: $(472-24-32)/35 = 12$ trees Joseph Dr: <ul style="list-style-type: none"> 296lf adj to pkg: $296/35 = 8$ trees 179lf not adj to pkg: $(179/60) = 3$ trees 	<ul style="list-style-type: none"> Grand River: 12 trees – 7 canopy trees double-counted as parking lot perimeter trees counted trees + 4 greenbelt trees double counted as accessway perimeter trees plus 1 stand-alone canopy tree Joseph Drive: 18 trees – 6 double-counted greenbelt canopy trees adj to pkg + 4 new large evergreens + 8 existing evergreen trees to remain 	<ul style="list-style-type: none"> Yes Yes 	Please remove the note in the Grand River calculation stating that one existing tree to remain is counted.
Sub-canopy	<ul style="list-style-type: none"> Adj to Pkg: 1 tree per 	<ul style="list-style-type: none"> Grand River: 20 	<ul style="list-style-type: none"> Yes 	

Item	Required	Proposed	Meets Code	Comments
deciduous trees)	20 lf • Not adj to Pkg: 1 tree per 40 lf • Grand River (all adj to pkg): $(472-24-32)/20 = 20$ trees • Joseph Dr: $(290/20) + (165/40) = 19$ trees	trees • Joseph Drive: 17 trees + cluster of smaller blue spruce at south end	• Yes	
Canopy deciduous trees in area between sidewalk and curb	• Parking & No Parking: 1 tree per 35 lf • Grand River: $(465-24-32)/35 = 12$ trees • Joseph Dr: $(463/35) = 13$ trees	• Grand River: 12 subcanopy trees due to overhead wires – clear vision zones limit the number of trees that can be planted • Joseph Drive: 8 canopy trees + 8 subcanopy trees under overhead wires – there is not room for street trees in the northern 70 feet due to a water main	• Yes • Yes	If the Road Commission for Oakland County does not allow some or all of the Grand River trees to be planted, they do not have to be, and don't need to be planted elsewhere on the site, but a copy of their decision must be provided to staff.
Non-Residential Projects (Zoning Sec 5.5.3.F.iii) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)	Loading areas must be completely screened from roads	• Loading zone is shown south of the building and north of the employee and service parking. • The building blocks it from Grand River and significant greenbelt landscaping screens it sufficiently from Joseph Drive	Yes	
Transformers/Utility boxes (LDM 6)	• A minimum of 2ft. separation between box and the plants • Ground cover below 4" is allowed up to pad. • No plant materials within 8 ft. from the	• It appears there will be a transformer on the west side of the building. • It appears to be screened sufficiently by the	Yes	If any additional transformers are added, it/they must be screened per the standard detail

Item	Required	Proposed	Meets Code	Comments
	doors	building and proposed plantings		
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> Equals to entire perimeter of the building x 8 Landscape areas must be at least 4 ft. wide A: (638-123)lf x 8ft = 4,120 SF 	<ul style="list-style-type: none"> A = 4,395 sf 3,470sf of that (79%) is at the building – the remaining landscaping is near the building Shaded areas show areas to be landscaped. More than 75% of the building is landscaped 	<ul style="list-style-type: none"> Yes No Yes Yes 	A landscape deviation was granted for the area that is not at the building foundation.
Building Frontage Landscaping (Zoning Sec 5.5.3.D)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	Grand River: 126/152 = 83% Joseph Drive: 108/165 = 65%	<ul style="list-style-type: none"> Yes Yes 	
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E & LDM 3)				
Planting requirements (Zoning Sec 5.5.3.E & LDM 3)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level 	<ul style="list-style-type: none"> The required shrubs are provided. There are no canopy trees along most of the south side of the pond 	<ul style="list-style-type: none"> Yes Yes 	Since the calculations show that the pond will infiltrate over 72 hours, the canopy trees are not required.
Phragmites and Japanese Knotweed Control (Zoning Sec 5.5.6.B)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	<ul style="list-style-type: none"> A note indicates that there is none of either species. A site visit found a small patch of Phragmites in the area that will be paved, so treatments won't be necessary 	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				

Item	Required	Proposed	Meets Code	Comments
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 10)	Provide intended date	Between March and November.	Yes	
Maintenance & Statement of intent (Zoning Sec 5.5.6 & LDM 10)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 10)	<ul style="list-style-type: none"> A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans. If irrigation isn't used, note how trees will get sufficient water for establishment and long-term survival 	No	No	1. Please add an irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival in the Final Site Plans. 2. If an irrigation system is provided, it must meet the requirements listed at the end of this chart. 3. If xeriscaping is used, please provide information about plantings included.
Other information (LDM 10)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6 & LDM 10)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 10 & 11) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> At least 50% of species used shall be native to Michigan Tree diversity shall follow guidelines of LDM Section 4 Refer to LDM suggested plant list 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> 18 of 30 species used (60%) are native to Michigan The tree diversity requirement is 	<ul style="list-style-type: none"> Yes Yes 	1. Hemerocallis is not native to Michigan 2. If berries are desired in future years, some male winterberries should be mixed in at

Item	Required	Proposed	Meets Code	Comments
		met		a rate of 1 male per 8-10 females.
Type and amount of lawn		Sod is indicated everywhere but in the infiltration basin area	Yes	
Cost estimate (LDM 10)	For all new plantings, mulch and sod as listed on the plan	Yes		
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes – Sheet L-3	Yes	
Evergreen Tree		Yes – Sheet L-3	Yes	
Multi-stem Tree		Yes – Sheet L-3	Yes	
Shrub		Yes – Sheet L-3	Yes	
Perennial/ Ground Cover		Yes – Sheet L-3	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes – Sheet L-3	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes – Sheet L-2	Yes	
Other Plant Material Requirements (LDM 11)				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	Yes		
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	Yes – Sheet L-2	Yes	
Landscape tree credit (LDM 11)	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 11)	<ul style="list-style-type: none"> Size determined by use detailed in LDM Table 11.b.(2)a.i Indicate on plant list 	On plant list	Yes	
Plant size credit (LDM 11)	NA	No		
Prohibited Plants (LDM 11.b)	No plants on City Invasive Species List	None are used	Yes	

Item	Required	Proposed	Meets Code	Comments
Recommended trees for planting under overhead utilities (LDM 11)	Label the distance from the overhead utilities	Subcanopy trees are proposed under the overhead lines	Yes	
Collected or Transplanted trees (LDM 11)		None indicated		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. 	Shown on details	Yes	

NOTES:

1. This table is a working summary chart and is not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

1. Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
2. The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
3. The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
4. The RPZ must be installed at a minimum of 12-inches above FINISHED grade.
5. Attached is a handout that addresses winterization installation requirements to assist with this.
6. A plumbing permit is required.
7. The assembly must be tested after installation with results recorded on the City of Novi test report form.

TRAFFIC REVIEW



AECOM
39575 Lewis Dr, Ste. 400
Novi
MI, 48377
USA
aecom.com

Project name:

JSP25-24 – Feldman Kia Combined Preliminary
and Final Traffic Review

From:

AECOM

Date:

September 15, 2025

To:

Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:

Lindsay Bell, Dan Commer, Humna Anjum, Diana
Shanahan, Milad Alesmail, Stacey Choi, Kate
Purpura

Memo

Subject: JSP25-24 – Feldman Kia Combined Preliminary and Final Traffic Review

The combined preliminary and final site plan was reviewed to the level of detail provided and AECOM recommends **approval** of both the preliminary and final site plan as long as the comments below are addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Feldman Automotive, is proposing a 20,457 SF Kia dealership, consisting of a 7,186 SF showroom and 12 service bays.
2. The development is located on the southwest corner of Grand River Avenue and Joseph Drive. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County and Joseph Drive is under the jurisdiction of the City of Novi.
3. The site is zoned NCC – Non-Center Commercial and the applicant has received a PRO Agreement to rezone to B-3 - General Business.
4. The following traffic-related deviation has been granted:
 - a. Lack of landscape end island.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 840 – Automobile Sales (New)
Development-specific Quantity: 20,457 GLA
Zoning Change: NCC to B-3

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	38	28	100	No
PM Peak-Hour Trips	58	35	100	No
Daily (One-Directional) Trips	556	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
-	N/A

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed.
2	Driveway Width O Figure IX.3	26.8' and 32.9'	Met	
3	Driveway Taper O Figure IX.11	-	N/A	No changes proposed.
3a	Taper length			
3b	Tangent			
4	Emergency Access O 11-194.a.19	2 access points	Met	
5	Driveway sight distance O Figure VIII-E	560'	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	-	N/A	No changes proposed.
6b	Opposite side O 11.216.d.1.e	-	N/A	No changes proposed.
7	External coordination (Road agency)	-	N/A	No changes proposed to Grand River Avenue.
8	External Sidewalk Master Plan & EDM	8' proposed on Grand River Ave, 5' proposed on Joseph Dr	Met	
9	Sidewalk Ramps EDM 7.4 & R-28-K	None proposed at driveways	Met	

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	1,200 SF in rear of building	Met	
12	Trash receptacle ZO 5.4.4	Proposed in rear of site	Met	
13	Emergency Vehicle Access	Turning movements provided	Met	
14	Maneuvering Lane ZO 5.3.2	24' and 25'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Width and radii dimensioned, 3' shorter than adjacent space	Met	There are 2 locations, on either side of the building, where 2 customer parking spaces have an end island on one side and a painted island on the other. The applicant has received a deviation for painted end islands.
15b	Internal to parking bays	Width and radii dimensioned	Met	
16	Parking spaces ZO 5.2.12	297 spaces (includes inventory spaces)		See Planning review letter.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	>15 spaces in inventory parking bays only	Met	
18	Parking space length ZO 5.3.2	17' and 19'	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4" in front of 17' spaces, 6" everywhere else	Met	
21	Accessible parking – number ADA	3	Met	
22	Accessible parking – size ADA	17' x 8' with 8' and 6' aisles	Met	
23	Number of Van-accessible space ADA	1	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	2 required, 2 proposed	Met	
24b	Location ZO 5.16.1	Provided	Met	
24c	Clear path from Street ZO 5.16.1	6'	Met	
24d	Height of rack ZO 5.16.5.B	3'	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24e	Other (Covered / Layout) ZO 5.16.1	Provided	Met	
25	Sidewalk – min 5' wide Master Plan	5' and 7'	Met	
26	Sidewalk ramps EDM 7.4 & R-28-K	Provided	Met	
27	Sidewalk – distance back of curb EDM 7.4	-	N/A	
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Turnaround ZO 5.10	-	N/A	
31	Any Other Comments:			


SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Provided	Met	
33	Signing table: quantities and sizes	Provided	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Provided	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Provided	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Provided	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Provided	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Provided	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Provided	Met	
40	Parking space striping notes	Provided	Met	
41	The international symbol for accessibility pavement markings ADA	Provided	Met	
42	Crosswalk pavement marking detail	Provided	Met	
43	Any Other Comments:	Pavement marking details provided for hatched areas.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

FAÇADE REVIEW



September 14, 2025

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Façade Review Status:

Approved. The revision is consistent with the Section 9 Façade Waiver that was approved in the PRO Agreement.

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE
Feldman Kia PRO, JZ25-24,
Façade Region: 1, Zoning District: OS-1

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Studio Detroit Architects, dated 8/5/25. The percentages of materials for each façade are shown on the table below. The maximum and minimum percentages required by the Façade Ordinance are shown in the right-hand column. Materials in non-compliance, if any, are highlighted in bold.

	North (Front)	South	East	West	Ordinance Maximum (Minimum)
Brick	0%	94%	68%	78%	100% (30%)
EIFS	4%	1%	22%	16%	25%
Flat Metal (ACM)	96%	5%	10%	6%	50%

As shown above the minimum amount of Brick is not provided on the front façade. The front façade consists primarily of showroom glass which is not regulated by the Façade Ordinance. In this case the addition of Brick would not enhance the front façade. All other facades have large percentages of Brick. *The revised façade is consistent with the Section 9 Façade Waiver that was approved in the PRO Agreement.*

The drawings indicate that the colors of Brick, EIFS and ACM Panels will generally match Paint Color P-4, Benjamine Moore, Coventry Grey HC-169. Samples of these façade materials should be provided prior to the Planning Commission meeting. It should be noted that the Façade Ordinance prohibits intense colors. This includes corporate lighting or signage that may be located within the showroom and visible through the showroom glass.


Dumpster Enclosure – The dumpster enclosure material has been revised to “brick to match building facade” and is now in full compliance with the Façade Ordinance.

RTU Screens – The drawings indicate louvered metal panel RTU screens (Keynote 9, Sheet A 2.1). The exhaust fan on the Service Drive should also be screened.

Notes to the Applicant:

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant’s responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



September 2, 2025

CITY COUNCIL

Mayor

Justin Fischer

Mayor Pro Tem

Laura Marie Casey

Dave Staudt

Brian Smith

Ericka Thomas

Matt Heintz

Priya Gurumurthy

City Manager

Victor Cardenas

Director of Public Safety

Chief of Police

Erick W. Zinser

Fire Chief

John B. Martin

Assistant Chief of Police

Scott R. Baetens

Assistant Fire Chief

Todd Seog

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Dan Commer – Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi - Planning Assistant

RE: Feldman KIA

PSP#25-037

JSP#25-24

Project Description:

New 2 story building on 4.88 acre site.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code **Section 510** for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- All notes on plan set sheet #2 for Fire Dept. shall be followed.
- **Location for FDC will need to be moved to a better location.** Needs to be located on address side of building, facing Grand River, on approach drive to building. This can be corrected on fire sprinkler submittal plans with contractor.

Recommendation:

I recommend approval with the conditions that the above notes be followed.

Sincerely,

Novi Public Safety Administration

45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

Andrew Copeland – Fire Marshal
City of Novi Fire Department

APPLICANT RESPONSE LETTERS



46892 West Road, Suite 109
Novi, Michigan 48377
Phone: (248) 926-3701
Fax: (248) 926-3765
Web: www.alpine-inc.net

September 26, 2025

Lindsay Bell
City of Novi Community Development Department
45175 West 10 Mile Road
Novi, MI 48375

**Re: Feldman Kia Dealership
Response to Review Comments from the PSP
Preliminary and Final Site Plan Submittal
Alpine Engineering Inc. Project #23-148
JSP25-24**

Dear Lindsay:

On behalf of our client, Feldman Automotive, please find the following information attached for your review and distribution:

- Response to review letter from Studio Detroit (dated September 26, 2025)
- Response to review letter from Allen Design (dated September 22, 2025)
- 0176131 20091006 OFF-SITE_WATER_EASEMENT

Electronic copies of the plan set and the color rendering have been previously emailed.

The following is in response to the reviews received on September 18, 2025, via email for the above referenced project:

PLANNING REVIEW REPORT AND SUMMARY CHART (dated September 16, 2025)

Report

- 2. Comment: Lighting: Light levels on sheets P2 through P4 are unreadable. See the Planning Chart for additional details that must be provided to address lighting requirements before the Final Site Plan can be approved.**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- 4. Comment: The applicant shall construct two covered bus stop shelters along Grand River Avenue to serve the nearby SMART bus stops, the final design of which shall be coordinated with the city, prior to issuance of a final Certificate of Occupancy. No details have been provided in this submittal. Please including information in next submittal.**
Response: Pertinent details will be provided in the Final Site Plan submittal.
- 5. Comment: Please provide notes regarding days / hour of operation.**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- 6. Comment: Please provide notes regarding days/hours of operation.**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- 7. Comment: Outdoor speakers for security purposes may be permitted but must be attuned to meet the requirements of the noise ordinance and avoid disturbance of the adjacent residential neighborhood. Provide a note on the plans to indicate condition.**
Response: A note indicating the above will be added to the plan set for the Final Site Plan submittal.

8. **Comment:** *No outdoor compressors shall be permitted. Provide a note on the plans to indicate condition.*
Response: Refer to the enclosed letter prepared by Studio Detroit.
9. **Comment:** *Automobile transit deliveries: Provide a note on the plans to indicate conditions.*
Response: A note indicating the PRO requirements of the automobile deliveries will be added to the plan set for the Final Site Plan submittal.
12. **Comment:** *The overhead service doors shall remain closed except to allow the entering and exiting of vehicles. Provide a note on the plans to indicate conditions.*
Response: A note indicating the above will be added to the plan set for the Final Site Plan submittal.
13. **Comment:** *The berm and landscape plantings along the southern property line shall be installed early in construction to protect the residents from the negative impacts of construction. Provide a note on the plans to indicate conditions.*
Response: A note indicating the above will be added to the plan set for the Final Site Plan submittal.
14. **Comment:** *Developer shall be responsible for all excessive false alarm penalties and fees assessed pursuant to Section 22-36 of the City of Novi Code of Ordinances, as amended, and may not appeal assessments of fees and penalties for police department response. Provide a note on the plans to indicate conditions.*
Response: A note indicating the above will be added to the plan set for the Final Site Plan submittal.
15. **Comment:** *Developer shall prohibit test driving vehicles on Joseph Drive. Each instance documented instance of dealership owned vehicles being test driven on Joseph Drive shall constitute a violation of this PRO agreement, and shall be considered a site plan violation, and a nuisance per se. The City's Code Enforcement officer may issue a ticket for a site plan violation to the Developer. Each instance of test driving vehicles on Joseph Drive shall be considered a separate violation and shall be subject to fines and abatement, as permitted by applicable laws and ordinances. Provide a note on the plans to indicate conditions.*
Response: A note indicating the above will be added to the plan set for the Final Site Plan submittal.

Summary Chart

- **Comment:** *Update cover sheet to reflect project number for site plan: JSP25-24*
Response: The City's project number will be updated on the plans.
- **Comment:** *Update Sheet 2 to reflect current zoning is B-3 with PRO; Sheet SP1. Can be removed from the site plan set.*
Response: The pertinent sheets will be revised to reflect the above requirements.
- **Comment:** *Provide note on the plans to document. [No major repair or major refinishing to be done on the lot] Not addressed in response letters received.*
Response: A note indicating this will be added to the plans.
- **Comment:** *Sidewalk not within ROW will require sidewalk easements*
Response: Understood.
- **Comment:** *Screen round appurtenance on left side of North façade – See Façade Review*
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment:** *Submit permit applications for each sign proposed.*
Response: Understood.

- **Comment: Sheet 2 of 4 needs clarification. Provide a key to meaning of light gray vs black photometric levels, remove overlapping labels, some of which are upside down making plans unreadable.**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment: Spec sheets should be included in plan set so they can be verified during inspections**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment: Include standard notes on the plans [relating to the photometrics plan]**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment: Lighting plan – Show 3000K fixtures on site plan.**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment: Indoor Lighting – Indoor lighting shall not be the source of exterior glare of spillover.**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment: Lighting plan – Provide after-hours security lighting photometrics.**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment: Lighting Plan – Adjust lighting to meet minimum standards – some of the frequent use building entrances show 0.0 fc**
Response: Refer to the enclosed letter prepared by Studio Detroit.
- **Comment: Lighting Plan – Show light level just beyond lot line on west side to verify levels drop off to 1.0 fc max. or adjust aiming to comply.**
Response: Refer to the enclosed letter prepared by Studio Detroit.

ENGINEERING REVIEW (dated 09-18-2025)

1. **Comment: Provide a minimum of two ties to established section or quarter section corners.**
Response: Two ties are included. Refer to the "Topographic Survey".
2. **Comment: The striping of the parking spaces is barely visible on the printed plans. Please darken them to make them easy to see, as the current striping is hard to read.**
Response: The striping will be darkened.
3. **Comment: Provide a traffic control plan for the proposed road work activity.**
Response: A traffic control plan will be included.
4. **Comment: Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed. The table cannot be located on the utility sheet.**
Response: The pipe material will be added to the estimated quantities on the cover sheet.
5. **Comment: Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation from water main and storm sewer and 10-foot horizontal separation from sanitary sewer. The landscape plan shows trees within the proposed easements. Please relocate these trees outside of the proposed easement areas.**
Response: The location of the trees will be reviewed against the proposed utility plan.

6. **Comment:** *Light poles located within a utility easement or Right-of-Way will require a license agreement.*
Response: Understood.
7. **Comment:** *The Non-Domestic User Survey Form for sanitary sewer flow shall be submitted to the City so it can be forwarded to Oakland County.*
Response: Understood.
8. **Comment:** *A Right-of-Way Permit will be required from the City of Novi and Oakland County.*
Response: Noted.
9. **Comment:** *Only at the time of the printed Stamping Set submittal, provide the City's standard detail sheets.*
Response: Noted.
10. **Comment:** *The peak factor for the watermain basis of design shall be changed to 2.5.*
Response: The peak factor will be updated.
11. **Comment:** *All the calculations used for the basis of design shall be rounded up rather than down.*
Response: The rounding on the basis of design calculations will be corrected.
12. **Comment:** *A 3-inch ductile iron pipe for the proposed water lead may not be available. Consider upgrading to 4-inch ductile iron pipe.*
Response: The size of the domestic water lead will be discussed further with the Owner and the Architect.
13. **Comment:** *A sealed set of utility plans along with the Michigan Department of Environmental, Great Lakes & Energy (EGLE) permit application for water main construction, the Streamlined Water Main Permit Checklist, Contaminated Site Evaluation Checklist, and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.*
Response: The utility plan and associated application material for EGLE permitting will be submitted with the Final Site Plan submittal.
14. **Comment:** *Irrigation plans have not been approved, provide revised plans in the next submittal. Please see attached letter from Water and Sewer dated 09/04/2025.*
Response: The irrigation plans will be provided for the Final Site Plan submittal.
15. **Comment:** *Typically, an 8-inch diameter pipe is used for the sanitary sewer main, while a 6-inch diameter pipe is used for a private lead. Therefore, the sanitary sewer pipe should be changed to 6-inch.*
Response: The size of the sanitary sewer will be considered and revised as necessary for the Final Site Plan submittal.
16. **Comment:** *Risers are not preferred in the sanitary sewer. Consider redesigning to eliminate the need for a riser on the proposed lead.*
Response: An alternative design to eliminate the need for risers will be considered on the Final Site Plan submittal.

17. **Comment:** *A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.*

Response: The storm sewer design will be reviewed as necessary on the Final Site Plan submittal.

18. **Comment:** *Match the 0.80 diameter depth above invert for pipe sizes increases. Some pipes do not meet this requirement at manhole 2 and manhole 8.*

Response: The storm sewer design will be reviewed as necessary on the Final Site Plan submittal.

19. **Comment:** *Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round casings shall be provided on all catch basins except curb inlet structures.*

Response: A structure listing will be included on the Final Site Plan submittal.

20. **Comment:** *Time of concentration for any development less than 5 acres is 10 minutes. Therefore, the time of concentration shall be updated to 10 minutes.*

Response: The time of concentration will be reviewed and updated if necessary, on the Final Site Plan submittal.

21. **Comment:** *As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the underground detention system and the pretreatment structure. Also, include an access easement to the underground detention areas from the public road right-of-way.*

Response: An access easement will be added to facilitate access to the underground detention system and pre-treatment structure.

22. **Comment:** *Provide manufacturer's details and sizing calculations for the outlet structure.*

Response: Additional information regarding the outlet structure will be provided on the Final Site Plan submittal.

23. **Comment:** *Provide supporting calculations used to determine the runoff coefficient for the existing site conditions.*

Response: Additional information regarding the determination of the runoff coefficient will be provided on the Final Site Plan submittal.

24. **Comment:** *Provide a profile for the proposed infiltration trench.*

Response: A profile for the proposed infiltration trench will be provided on the Final Site Plan submittal.

25. **Comment:** *Add a note to the narrative explaining the purpose of the proposed infiltration trench.*

Response: Additional information will be provided to the narrative on the Final Site Plan submittal.

26. **Comment:** *Provide a cost estimate for the proposed infiltration basin construction, basin restoration, outlet control structure, and infiltration trench.*

Response: A cost estimate for the above referenced items will be provided with the Final Site Plan submittal.

27. **Comment:** *An emergency (secondary) overflow shall be provided at an elevation 6-inches above the 100-year storm storage elevation.*

Response: The emergency overflow will be reviewed and revised as necessary on the Final Site Plan submittal.

28. **Comment:** *Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.*

Response: A note indicating the above will be added on the Final Site Plan submittal.

29. **Comment:** *The elevations on the underground detention system cross-section are incorrect. The elevation of 873.75 ft should be 869.4 ft, therefore, the effected elevations will need to be updated. Please revise them in the next submittal.*

Response: The typo will be corrected on the Final Site Plan submittal.

30. **Comment:** *Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.*

Response: A note indicating the above will be added on the Final Site Plan submittal.

31. **Comment:** *For piped/chamber systems, the underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access purposes.*

Response: Four (4)-ft diameter manholes will be added on the Final Site Plan submittal.

32. **Comment:** *Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.*

Response: The pavement material will be added to the estimated quantities on the cover sheet.

33. **Comment:** *Accessible routes must connect directly to access aisles. A landing at least 36" deep is required at the top of curb ramps. Where space for a curb ramp is limited, parallel ramps can be provided as an alternative.*

Response: The locations of the access aisles will be reviewed to confirm compliance for the Final Site Plan submittal.

34. **Comment:** *Revise the parking lot asphalt pavement cross-section to 1.5 inches of MDOT EML/5EMH on 2.5 inches of MDOT 3C/4EML on 8 inches of 21AA (limestone only if within 100 feet of a watercourse) aggregate base.*

Response: The parking lot asphalt pavement cross-sections will be revised accordingly for the Final Site Plan submittal.

35. **Comment:** *Provide Dumpster Pad details on the plans, which shall be 8" concrete on 8" 21AA aggregate base. Note: The dumpster pad shall extend a minimum of 10' beyond the dumpster enclosure.*

Response: The dumpster pad concrete cross-section will be added to the civil plan set for the Final Site Plan submittal.

36. **Comment:** *Any sheet containing details of the proposed retaining wall shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.*

Response: The retaining wall design will be prepared by others.

37. **Comment:** *Retaining walls that are 48-inches or larger shall need a permit from Building Department.*

Response: The retaining wall design will be prepared by others.

38. **Comment:** *A retaining wall that has a grade change of 30" or more within a 3' horizontal distance will require a guardrail.*

Response: The retaining wall design will be prepared by others.

39. **Comment:** *SESC permit is required. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.*

Response: Understood.

40. **Comment:** Any off-site utility easements anticipated must be executed prior to Stamping Set Approval. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.
- a. Off-Site Title Policy
 - b. Off-Site water main easement
 - c. Off-site temporary construction easement.

Response: Attached is a copy of the recorded off-site water main easement for review.

41. **Comment:** Approval from the neighboring property owner for the work associated with the off-site water main connection shall be forwarded to the Engineering Division prior to Stamping Set approval.

Response: Attached is a copy of the recorded off-site water main easement for review.

42. **Comment:** A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.

Response: Noted.

43. **Comment:** Due to the above comments, the itemized construction cost estimate should be revised and resubmittal to the Community Development Department for the determination of plan review and construction inspection fees.

Response: A revised cost estimate will be submitted with the Final Site Plan submittal.

44. **Comment:** A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.

Response: A draft copy of the SDFMEA will be provided with the Final Site Plan submittal.

45. **Comment:** A draft copy of the 20-foot-wide Watermain System Easement onsite must be submitted to the Community Development Department.

Response: A draft copy of the water main easement will be submitted with the Stamping Set submittal.

46. **Comment:** A draft copy of the 20-foot-wide Sanitary Sewer Easement onsite must be submitted to the Community Development Department.

Response: A draft copy of the sanitary sewer easement will be submitted with the Stamping Set submittal.

47. **Comment:** A draft copy of the 20-foot-wide Sanitary Sewer Monitoring Manhole Access Easement onsite must be submitted to the Community Development Department.

Response: A draft copy of the sanitary sewer monitoring manhole access easement will be submitted with the Stamping Set submittal.

48. **Comment:** A draft copy of the License Agreement will be required for the light pole proposed within the water main easement. This must be submitted to the Community Development Department.

- a. The agreement shall state that the light pole and all site facilities within the influence of the light pole that may be removed or damaged in the event the utility requires maintenance will be the responsibility of the property owner to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the light pole foundation and the utility.

Response: A draft copy of the License Agreement will be submitted with the Stamping Set submittal.

49. **Comment:** *Executed copies of approved off-site utility easements must be submitted.*

Response: Executed copies of approved off-site utility easements, if necessary, will be submitted prior to the stamping sets.

THE FOLLOWING MUST BE ADDRESSED PRIOR TO CONSTRUCTION

(Comments abbreviated. Refer to the original document prepared by the City for additional information.)

50. **Comment:** *A pre-construction meeting shall be required prior to any site work being started.*

Response: Noted.

51. **Comment:** *A City of Novi Grading Permit will be required prior to any grading on the site.*

Response: Noted.

52. **Comment:** *Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities.*

Response: Noted.

53. **Comment:** *Construction inspection fees must be paid to the Community Development Department.*

Response: Noted.

54. **Comment:** *Off-Site Legal exhibit review fees must be paid to the Community Development Department.*

Response: Noted.

55. **Comment:** *Legal escrow fees must be deposited to the Community Development Department.*

Response: Noted.

56. **Comment:** *Legal fees for off-site easements should be paid as soon as possible so that documents can be approved.*

Response: Noted.

57. **Comment:** *A storm water performance guarantee must be posted at the Community Development Department.*

Response: Noted.

58. **Comment:** *Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting.*

Response: Noted.

59. **Comment:** *A street sign financial guarantee must be posted at the Community Development Department.*

Response: Noted.

60. **Comment:** *A traffic control inspection fee must be paid to the Community Development Department.*

Response: Noted.

61. **Comment:** *A Soil Erosion Control Permit must be obtained from the City of Novi.*

Response: Noted.

62. **Comment:** *A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi.*

Response: Noted.

63. **Comment:** *A permit for work within the road right-of-way of Grand River must be obtained from the Road Commission for Oakland County (RCOC).*

Response: Noted.

64. **Comment:** *An Act 399 Permit for Community Water Supply Systems for water main construction must be obtained from EGLE.*

Response: Noted.

Irrigation System / Connection to Public Water Supply (dated September 4, 2025)

Noted.

Landscape Review Report and Summary Chart (dated September 4, 2025)

Refer to the response to review letter prepared by Allen Design.

AECOM –Traffic Review (dated September 15, 2025)

No comments.

Facade Review (dated September 14, 2025)

Refer to the response to review letter prepared by Studio Detroit.

City of Novi Fire Department Review (dated September 2, 2025)

1. **Comment:** *All fire hydrants MUST be installed and operational prior to any combustible material is brought on site.*

Response: Understood.

2. **Comment:** *For new buildings and existing buildings, you MUST comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.*

Response: Understood.

3. **Comment:** *All notes on plan set sheet #2 for Fire Dept. shall be followed.*

Response: Understood.

4. **Comment:** *Location for FDC will need to be moved to a better location. Needs to be located on address side of building, facing Grand River, on approach drive to building. This can be corrected on fire sprinkler submittal plans with contractor.*

Response: Refer to the response to review letter prepared by Studio Detroit.

If you have any questions/comments, please feel free to contact me at (248) 941-5624 or shiloh@alpine-inc.net.

Thank you.

Sincerely,
Alpine Engineering, Inc.



Shiloh Dahlin
Senior Project Engineer

Cc: Feldman Automotive Inc (Steven Saltz) via email ssaltz@feldmanauto.com
Studio Detroit (Peter Pentescu) via email pete@studio-detroit.com
Allen Design (Jim Allen) via email jca@wideopenwest.com

September 22, 2025

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: Feldman Kia of Novi

Dear Mr. Meader:

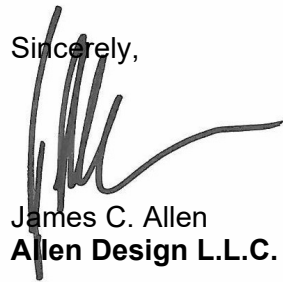
Below are our responses to your review dated September 4, 2025.

Landscape Comments:

- *Landscape deviations.* The deviations granted by City Council will be added to Sheet L-1.
- *City project number.* The project number will be updated on the plan sheets.
- *Adjacent to residential.* The plantings will be revised on the southern berm to provide more buffering.
- *Irrigation.* An irrigation plan will be provided for Final Site Plan.
- *Existing and proposed utilities.* We will inquire about potential easement abandonment and adjust the light poles to the outer portion of the islands.
- *Clear zones.* Documentation will be provided by RCOC if they do not allow the proposed street trees.
- *Cross section of berms.* A cross section of the southern berm will be provided.
- *ROW landscape screening requirements.* The existing Grand River tree note will be removed.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.

STUDIO DETROIT LLC
2040 Park Ave. Suite 200
Detroit, MI 48226
586.747.9717
pete@studio-detroit.com

September 15, 2025

FELDMAN KIA OF NOVI

New Dealership
40575 Grand River Ave.
Novi, MI 48375
ARCHITECT'S PROJECT NO: 2192

Attn: Ms. Lindsay Bell

Re: Site Plan Review – Feldman KIA of Novi

We received the Plan Review comments dated March 11, 2025. We offer the following responses relative to the architectural items listed in that letter with the following attachments:

PLANNING REVIEW CHART

1. Statement only provided for noise of HVAC; what about car haulers? Service Dept? Security Alarms.

Response – *See revised Noise Impact Statement drafted March 31, 2025.*

2. Lighting plan {specifications and hours of operation}

Response – *Hours of Operation are included on the Site Lighting Photometric and listed below for reference:*

- *M, TH 7 am – 9 pm*
- *T, W, F 7 am – 6 pm*
- *Sat 8 am – 4 pm*

3. Standard Notes {relating to the photometrics plan}

Response – *See revised drawings, A3.1 Door Schedule.*

4. Lighting plan – Color Spectrum Management. For all permanent lighting installations – minimum color rendering index of 70 and correlated color temperature of no greater than 3000 Kelvin.

Response – *Fixtures will comply, see attached cut sheets.*

5. Indoor Lighting – Indoor lighting shall not be the source of exterior glare of spillover.

Response – *Will comply.*

6. Lighting Plan – Min. Illumination. Adjust lighting to meet minimum standards or seek a deviation.

Response – *See revised Site Lighting Photometrics.*

7. Lighting Plan – Max. Illumination adjacent to Non-Residential. Non-residential property lines exceed max of 1 footcandle – adjust or seek a deviation.

Response – See revised Site Lighting Photometrics. It is respectfully asked that a waiver be granted to allow the increased footcandles for the purposes of illuminating the sidewalks along the road's right of way.

ENGINEERING REVIEW

1. Dumpster Pad details shall meet city standards, 8" concrete on 8" 21AA aggregate base. Note: Dumpster pad shall extend minimum 10' beyond dumpster enclosure.

Response – Will comply. See revised SP1.4 and typical paving cross sections included in the Civil drawings.

Please feel free to contact us should you have any additional questions or comments.

Sincerely,



Peter N. Pentescu
Studio Detroit
2040 Park Ave, Suite 200
Detroit, MI 48226
pete@studio-detroit.com
586.747.9717

March 31, 2025

Community Development Department
45175 Ten Mile Road
Novi, Michigan 48375

RE: FELDMAN KIA NOVI
40575 Grand River Avenue
Novi, Michigan 48375
ARCHITECT'S PROJECT NO. 2192

Dear Ms. Bell,

The purpose for this letter is to address the requirement of providing a **Noise Impact Statement** as required per the Pre-Application Planning Review Summary dated January 10, 2024.

1. Noise Impact Statement (Sec. 5.14.10.B): A Noise Impact Statement is required for outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles within a B-3 district. The noise impact statement shall demonstrate that the completed structure and all activities associated with the structure and land use will comply with the standards in Table 5.14.10.A.ii at all times. Please see Section 5.14.10.B for a full description of the standards and requirements. This statement is required to be provided prior to the Planning Commission public hearing.

Per Table 5.14.10.A.ii Weighted Sound Levels Limits Decibels

- **R-4 use One Family Residential**
 - **Daytime Allowable Levels** **60 dB (decibels)**
 - **Nighttime Allowable Levels** **55 dB (decibels)**

The proposed Feldman KIA dealership that is to be constructed at 40575 Grand River Avenue will not house any excessive noise generating equipment. This facility is primarily a relocation of the existing KIA dealership at 42235 Grand River Avenue and will house the same functions of automobile showroom and an associated repair garage. The service garage is setback from the R-4 property line 188 feet and, in addition to being fully enclosed, will be screened by a mixture of new and existing vegetation as well as an existing berm. The hours of operation for this facility are as follows:

- M, TH 7 am – 9 pm
- T, W, F 7 am – 6 pm
- Sat 8 am – 4 pm

The only exterior equipment will be roof mounted mechanical units which will be screened by roof parapets with additional screening where required per the City's equipment screening requirements. The roof mounted mechanical units are conservatively estimated to produce 90 dB (decibels) of sound pressure at 3 feet from the unit. Due to sound attenuation over distance, this will dissipate to 53 dB (decibels) over the 220 feet from the unit to the R-4 property line. This does not account for the additional attenuation that will be provided by the screening and vegetation between the source of the sound and the R-4 property line.

The new facility will utilize an audible, speech enhanced alarm system including three (3) loudspeakers mounted to the new building. The loudspeaker volume is adjustable and will be set to limit the sound level at the adjacent residential property lines to under 55 dB. Based on sound attenuation over distance, not including additional attenuation by the required berm and landscaping, this will allow a source volume of 90 dB.

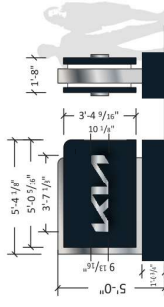
The sound pressure level of a car hauler and other similar delivery trucks at speeds less than 35 miles per hour is approximately 80 dB. Based on the site layout and the location of the loading zone, the delivery trucks should never be closer than 150 feet to the adjacent residential property line. Due to sound attenuation over distance, this will dissipate to 46 dB at the R-4 property line, meeting all sound requirements.

Please feel free to contact us should you need any additional information.

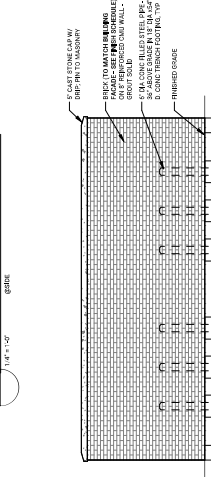
Sincerely,

A handwritten signature in black ink, reading "Pete Pentescu". The signature is fluid and cursive, with the first name "Pete" and last name "Pentescu" clearly distinguishable.

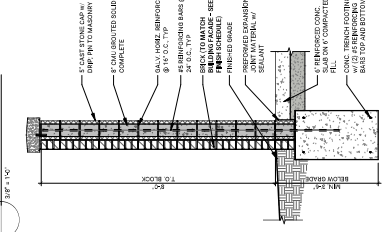
Peter N. Pentescu
Studio Detroit
2040 Park Ave, Suite 200
Detroit, MI 48226
pete@studio-detroit.com
586.747.9717

STUDIO
DETROIT
ARCHITECTS

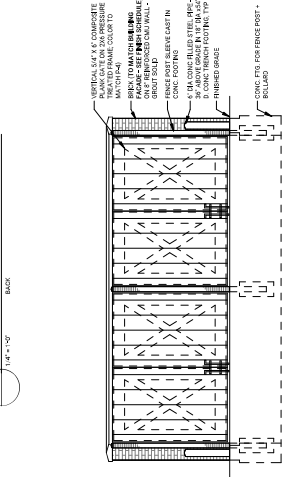
7 DUMPSTER ENCLOSURE ELEVATION



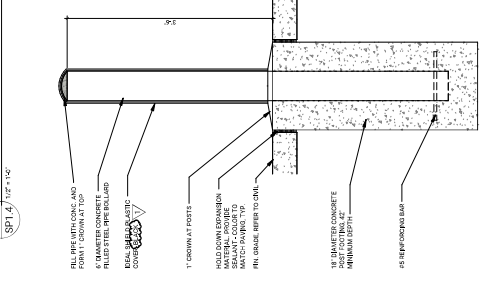
6 MONUMENT SIGN



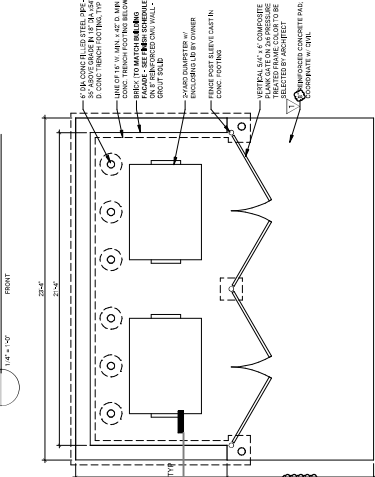
5 DUMPSTER ENCLOSURE ELEVATION



4 DUMPSTER ENCLOSURE DETAIL



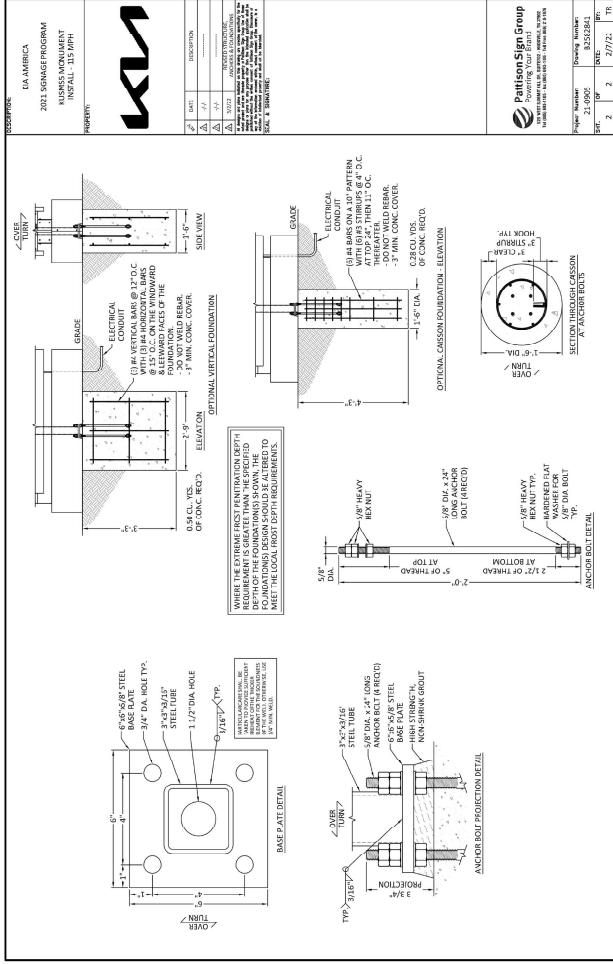
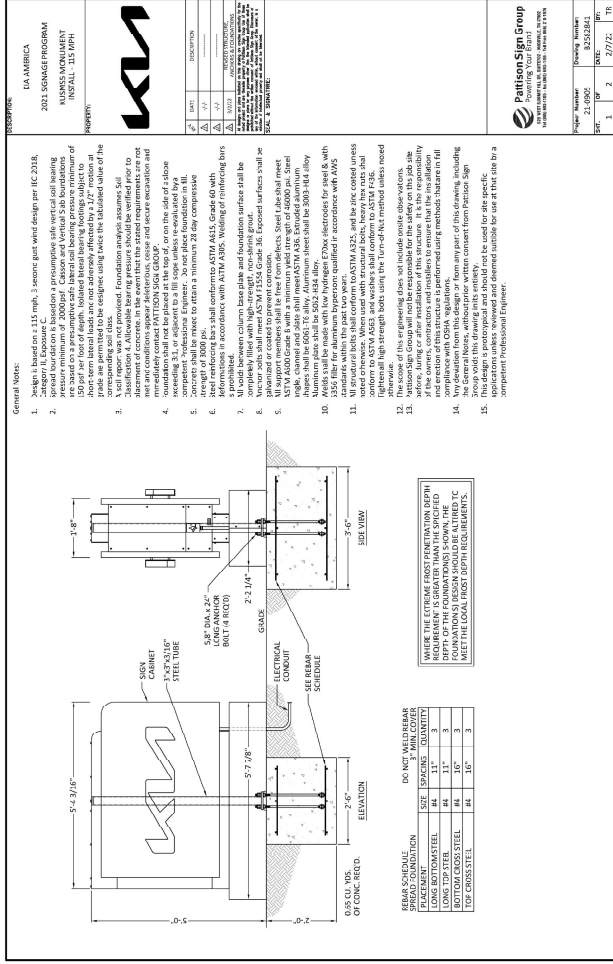
3 DUMPSTER ENCLOSURE ELEVATION



2 DUMPSTER ENCLOSURE PLAN

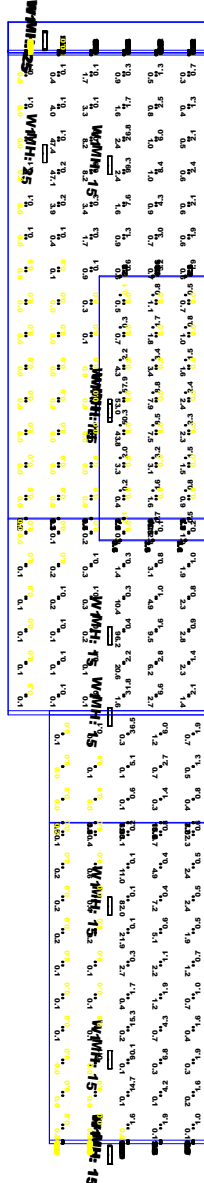


1 TYPICAL BOLLARD DETAIL

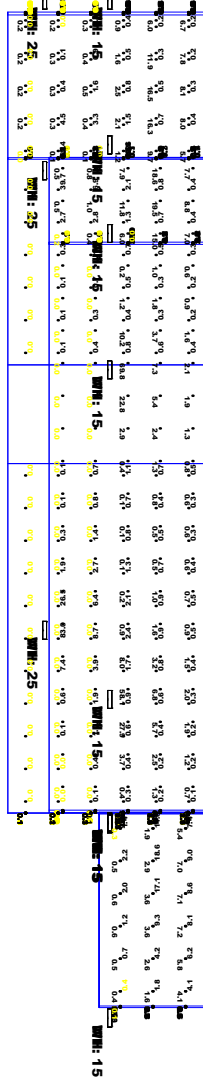


Drawn By: M. Woznicki, LC	Checked By:	Date: 9/15/2025	Scale:

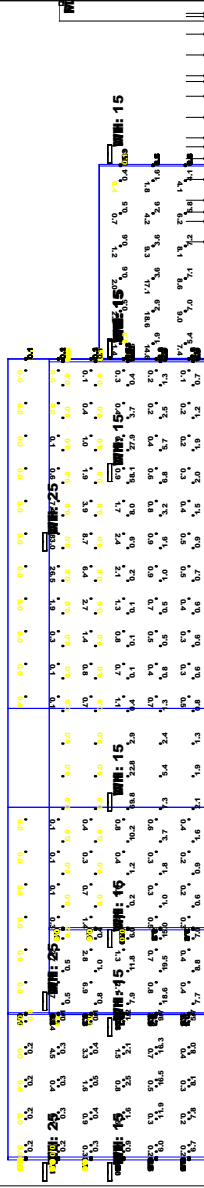
#	Date	Comments	Revisions



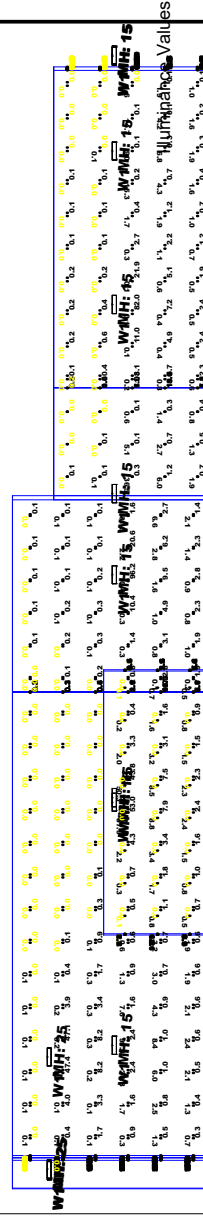
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



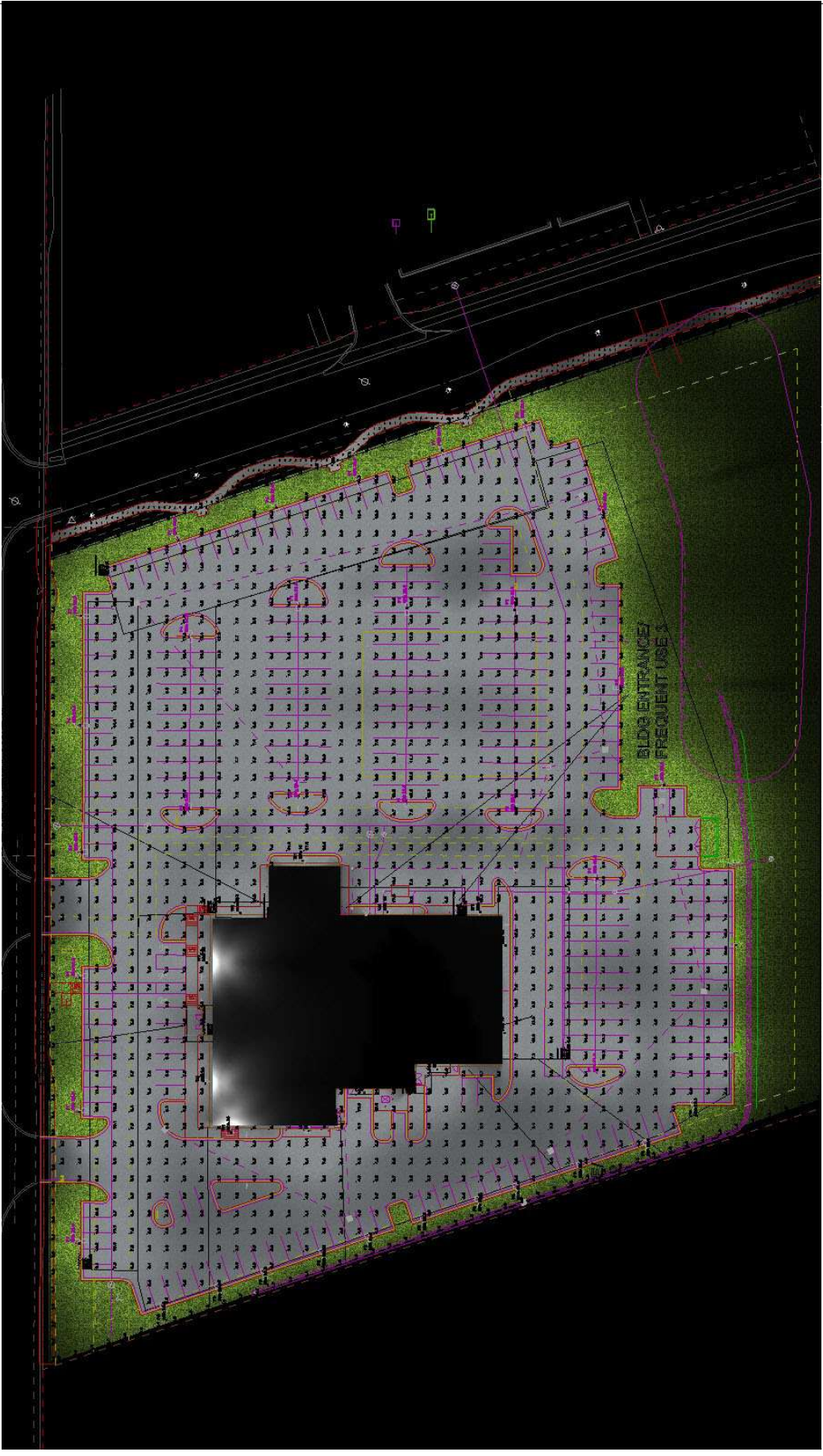
WEST ELEVATION

THE ENGINEER/ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE IESNA RECOMMENDED CONDITIONS, THE LIGHTING LAYOUT AND THE LIGHTING SYSTEMS. THE ENGINEER/ARCHITECT MUST TAKE INTO CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURED LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL INPUTS. THE RECOMMENDED HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER/ARCHITECT IS RESPONSIBLE TO REVIEW FOR COMPLIANCE WITH ALL APPLICABLE CODES.

Feldman KIA Novi

Scale:
Drawn By: M. Woznicki, LC
Checked By:
Date: 9/15/2025

Revisions		
#	Date	Comments

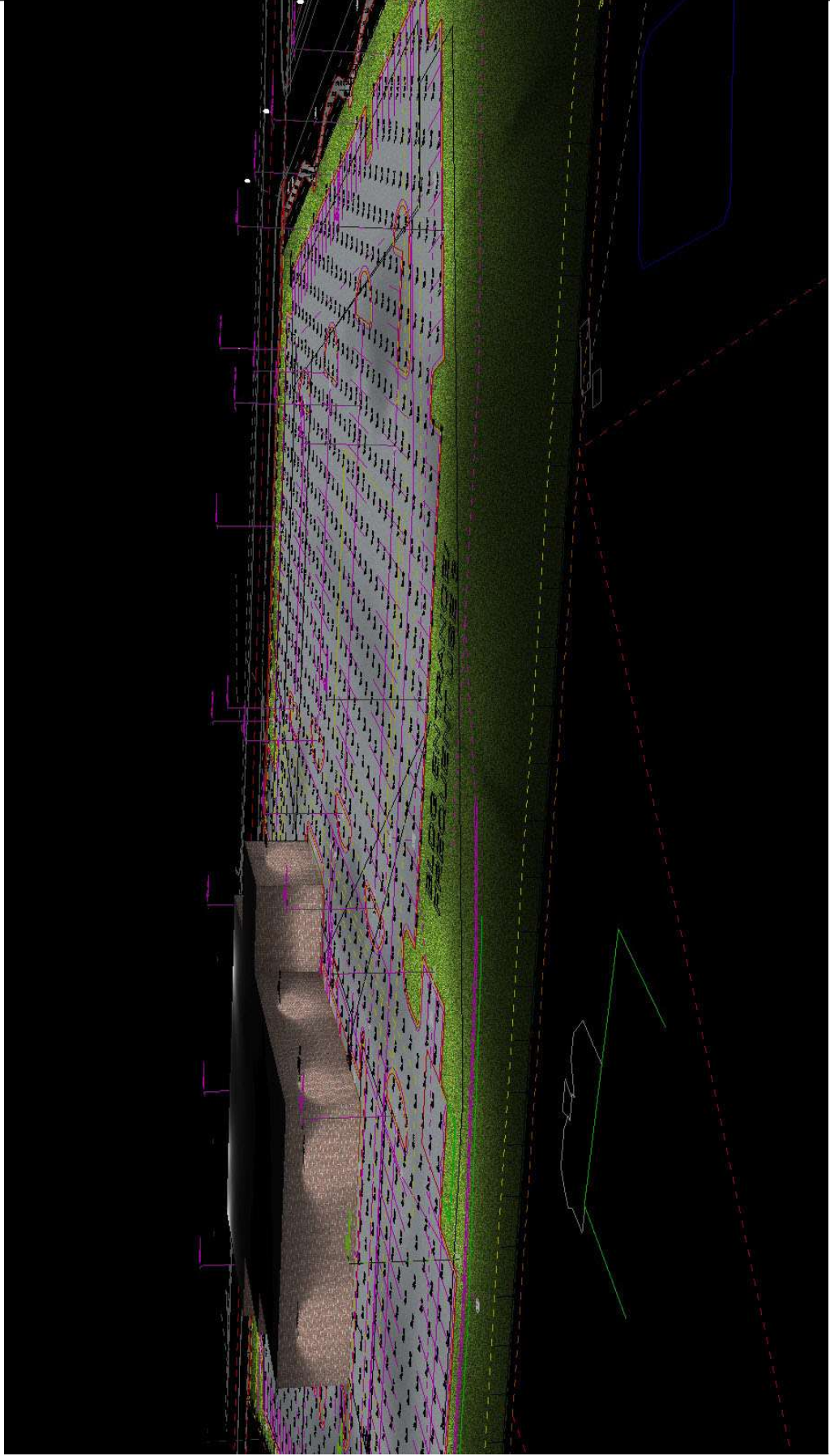


7

Feldman KIA Novi

Scale:	
Date: 9/15/2025	
Checked By:	
Drawn By: M. Woznicki, LC	

Revisions			
#	Date	Comments	





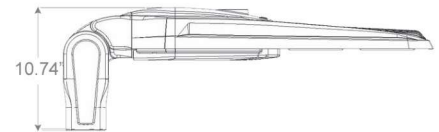
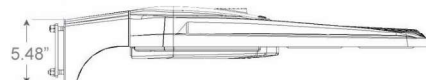
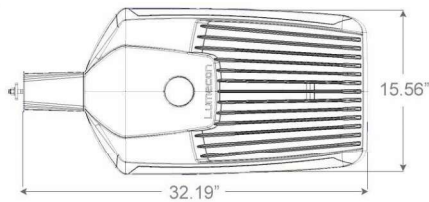
Catalog Number: P1&4 P4 ONLY	
Project:	
Comments:	
Prepared By:	Date:

Description

The sleek fixture design of the LDS-LAL is a blend of modern sophistication and unmatched energy efficiency. The LDS-LAL Large area light includes the benefits of superior thermal efficiency, an industry-leading ten-year all-parts warranty, and custom optics ensuring best-in-class photometric results. Optimize photometric designs with greater pole spacing, uniformity, and lower energy usage. The LDS-LAL includes lumen packages up to 50,000 lumens allowing one-for-one replacements of existing HID fixtures up to 1000 Watt, and is a perfect spec-grade solution for parking lots, pathways, tennis courts, and many other outdoor applications. Proudly Made in the USA.

Dimensions & Weights

Model	Width	Length	Height	Weight
LDS-LAL	15.56"	32.19"	5.48" (MAS) 10.74" (SF)	34.5 lbs



Technical Specifications

Input Voltage: 120-277V or 347-480V.

Housing: Die-cast aluminum housing with 60% gloss polyester powder coat finishes for maximum durability. The base aluminum material is prepared using an environmentally-friendly non-chrome 2-step surface cleaning and passivation process. The process results in a more durable conversion layer than traditional chromate conversion coatings and allows maximum adhesion of the powder coating to the aluminum substrate. Housing features an integrated heat sink and driver compartment built into the fixture design.

Mounting: Mounting arm designed for a square pole (standard). Additional mounting options include a pole mounting arm adaptor.

Split Circuit: Standard except on the 165W model.

Effective Projected Area (EPA): 1.05 ft²

Color Temperature: 2200K, 2700K, 3000K, 4000K (standard), 5000K.

LED Lifetime: All LEDs are rated for a minimum of 100,000 hours of continuous operation at ambient outdoor temperatures from -40°F/-40°C to 115°F/46°C.

Color Rendering Index (CRI): 80

Dimming: 0-10V standard dimming capability.

Custom Optics: Lumecon meticulously engineered premium acrylic optical lenses to maximize the distribution and uniformity of light while minimizing cost. Our arrays distribute light at least 21% further and with 29% more uniformity than leading competitors. Lumecon custom lenses create a uniform, well-lit environment that mitigates illuminance "hot spots" and use less wattage than typical LED area lights.

Vandal Resistant: Our lens is also resistant to vandalism with a low compact design making the lens material dense and impact resistant. We build to withstand high abuse lighting environments.

Surge Protection: Thermally protected 40kV varistor type surge suppressor is included and meets ANSI C136.2-2015: Extreme Level. Also meets IEC61643-11 Class II / EN61643-11 Type 2, and US Dept of Energy MSSLC Model Spec for surge protection. The device is wired in series with the luminaire input power in order to interrupt power to the luminaire when consumed, protecting the LED power supply and circuit boards from additional electrical surges.

Lumecon ETD™ System: The enhanced thermal dissipation system engines are thermally bonded to provide maximum thermal dissipation to the exterior of the fixture to ensure long life. To protect the light engine panel from moisture and corrosion, the LED light engine panel is uniformly coated with a UV stabilized acrylic polymer resin that meets MIL and ASTM dielectric standards, UL, and IPC standards for flammability, moisture resistance and thermal shock.

Certification Data: ETL Listed to UL 1598, UL 8750 for Wet Locations. *Full compliance and test documentation is available for TM-21, LM-79, LM-80, ETL Listing to UL1598 and UL 8750. Salt Fog tested for 3,000 hours per ASTM B117-16 / ASTM D610-08. Ingress Protection: IP66 per ANSI/IEC 60529-2004. Passed 3G vibration @ 100K cycles, per ANSI C136.31-2018.

DesignLights Consortium® (DLC) Qualified Product: Unless noted, not all versions of this product may be DLC® qualified. For a complete list of Lumecon DLC® Qualified Products visit: www.designlights.org.

Dimulator Photo-Control: Maximize the cost-saving benefits of your outdoor LED light fixtures with the stand-alone Dimming solution. All Dimulators (except for CD and DIM 3 versions) have three selectable dimming levels (30%, 50%, 70%) with three different start times (10:00 pm, Midnight, or 2:00 am), which are selectable through the ten position selector switch located on the bottom of the base. All dimming schedules will return to full brightness at 5:00 am. The stand-alone unit is made to work with the ANSI C136.41 receptacle and will provide dimming of LED fixtures.

Manufacturing Origin: US Manufactured and Assembled.

Buy American Act: The product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS, and DOT regulations.

Warranty: 10 Year L70 performance based warranty. For full warranty terms, please visit our website: www.lumecon.com

Ordering Information

LDS-LAL – Options / Ordering Example: LDS-LAL-200-DB-T5-1-40-MAS

Wattage	Color	Distribution	Voltage	Color Temperature	Mounting Methods
165 - 165 Watts	DB - Dark Bronze	T2 - Type II	1 - 120v-277v	22 - 2200K	MAS - Mounting Arm (Square Pole) ⁵
200 - 200 Watts	WH - White	T3 - Type III	2 - 347v-480v	27 - 2700K ⁵	For a Round pole, add UARP option
250 - 250 Watts	BK - Black	T4 - Type IV		30 - 3000K ⁵	SF - Slip Fitter
275 - 275 Watts	GR - Gray	T5 - Type V		40 - 4000K	TM - Tenon Mount ⁵
300 - 300 Watts	CC - Custom Color			50 - 5000K	
330 - 330 Watts	AF - Automotive Finish				

Options & Accessories

UARP - Universal Adaptor Round Pole

R - Receptacle Only

RS - Receptacle Only with Shorting Cap

7P - Seven-pin Twist Lock Photocell Receptacle Only ¹

PC1 - 120v-277v Button Eye Photocell ²

PC2 - 347v-480v Button Eye Photocell ²

PC3 - 120v-277v Twist Lock Photocell (10 year warranty)

PC4 - 347v-480v Twist Lock Photocell (10 year warranty)

OC1 - On/Off Occupancy Sensor ³

OC2 - Dim/High Occupancy Sensor ^{3,4}

OC3 - On/Off Occupancy Sensor w/Photocell ³

OC4 - Dim/High Occupancy Sensor w/Photocell ^{3,4}

SC - Split Circuit (Standard except on the 165W model)

DIM4 - 105-305 VAC, 50/60 Hz with 10 position field adjustable selector switch

DIM4-HV - High Voltage 312-530 VAC, 50/60 Hz with 10 position field adjustable selector switch

DIM4-CD - Constant all-night Dimming

DIM4-CD-HV - Constant all-night Dimming, 315-530 VAC 50/60Hz

DIM4-CUL - 120 VAC, 50/60 Hz, cUL certified version with gray cover

DIM4-ALC - Adaptive Lighting Control with 2% per year incremental increase to compensate for aging fixture

DIM3-XX - Factory set dimming schedule (10 position selector switch not available)

BS5 - Bird Spikes (Field Installed)

BL - Backlight Louver(s) snap over LED Array(s) for Backlight Control at the source.⁶

Accessories ordered as a separate line item:

33-00111 - External Glare Shield

33-00119 - Full Glare Shout

Notes:

- For units with 7P the mounting must be restricted to +/-45° from horizontal aim per ANSI C1136,10-2010. If more than a 45° Tilt, use PC1 or PC2
- Cannot be combined with Occupancy Sensor. Use OC3 or OC4 when Occupancy Sensor and Photocell are needed and aiming greater than 45° from horizontal.
- Must note on PO Mounting Height for proper lens application
- See Occupancy Sensor Default Settings Table
- 3000K or warmer, and fixed mounts must be ordered for IDA certification compliance
- Works with Type 2, Type 3 and Type 4 arrays.

Color Option Samples

Due to variations in monitor settings and color printing settings, colors will not be exact.



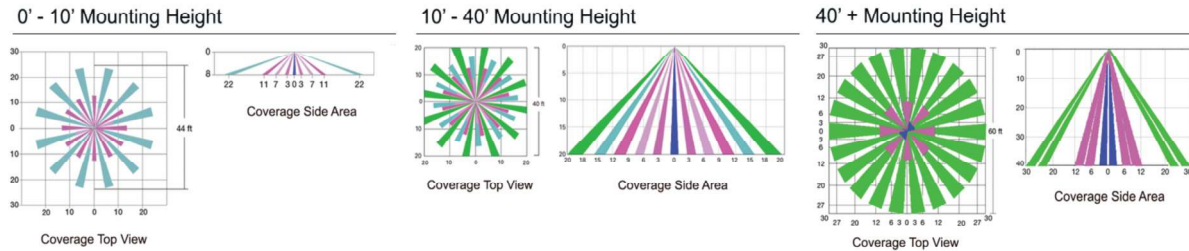
If OCC Sensor Option is selected, mounting height specifications need to be clarified: ☐ Mounting height between 0' - 10'

If Mounting height and parameter settings not specified when ordered. Default mounting height is 10-40' lens and preset factory settings.

☐ Mounting height between 10' - 20'

☐ Mounting height over 20'+

OCC Sensor Patterns



Occupancy Sensor Default Settings - Option OC2

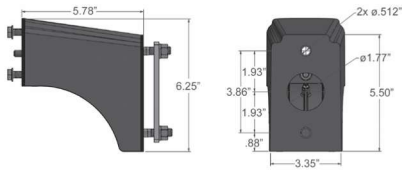
Option	Dimmed State (Unoccupied)	High Level (When occupied)	Photocell Operation (OC4 Option Only*)	Dwell Time (Occupancy time delay)	Ramp-up Time (From unoccupied to occupied)	Ramp-up Time (From occupied to unoccupied)
OC2 and OC4	Approx. 20% Output	100% Output	Enabled @ 1.5 FC*	5 Minutes	Disabled	Disabled

*Note: OC2 and OC4 settings including photocell set point, high/low dim rates, and occupancy sensor time delay are all configurable by using the Wattstopper® App. If any other settings are desired to be set at the factory, please note these changes on Purchase Order.

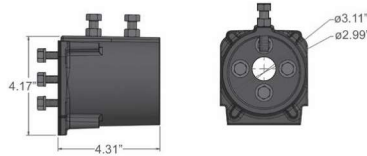
Performance Data

Model	Distribution Type	Watts	2200K					2700K					3000K					4000K					5000K				
			Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy
LDS-LAL-165	Type 2	165W	20,701	3	0	3	127	23,796	3	0	3	146	25,492	3	0	3	156	26,496	3	0	3	162	26,496	3	0	3	162
	Type 3	165W	20,504	3	0	3	126	23,569	3	0	3	145	25,249	3	0	3	155	26,239	3	0	3	161	26,251	3	0	3	161
	Type 4	165W	19,794	3	0	4	123	23,174	3	0	4	144	24,923	3	0	4	154	26,118	3	0	4	160	26,127	3	0	4	160
	Type 5	165W	20,359	5	0	3	126	23,406	5	0	3	145	25,258	5	0	3	156	26,249	5	0	3	162	26,260	5	0	3	162
	Type 2	200W	24,317	4	0	4	122	27,952	4	0	4	140	29,945	4	0	4	150	31,114	4	0	4	156	31,133	4	0	4	156
LDS-LAL-200	Type 3	200W	24,137	4	0	4	121	27,745	4	0	4	139	29,723	4	0	4	149	30,883	4	0	4	155	30,902	4	0	4	155
	Type 4	200W	23,972	4	0	4	120	27,555	4	0	4	138	29,519	4	0	4	148	30,672	4	0	4	153	30,691	4	0	4	154
	Type 5	200W	24,257	5	0	4	121	27,883	5	0	4	140	29,871	5	0	4	149	31,035	5	0	4	155	31,056	5	0	4	155
	Type 2	242W	28,741	4	0	4	119	33,037	4	0	4	136	35,392	4	0	4	146	36,773	4	0	4	152	36,796	4	0	4	152
	Type 3	242W	28,528	4	0	4	118	32,792	4	0	4	135	35,130	4	0	4	145	36,501	4	0	4	151	36,524	4	0	4	151
LDS-LAL-250	Type 4	242W	28,333	4	0	4	117	32,569	4	0	4	134	34,889	4	0	4	144	36,251	4	0	4	150	36,274	4	0	4	150
	Type 5	242W	28,670	5	0	4	118	32,955	5	0	4	136	35,305	5	0	4	146	36,670	5	0	4	151	36,705	5	0	4	151
	Type 2	276W	31,682	4	0	4	115	36,418	4	0	4	132	39,014	4	0	4	141	40,537	4	0	4	147	40,562	4	0	4	147
	Type 3	276W	31,447	4	0	4	114	36,147	4	0	4	131	38,725	4	0	4	140	40,236	4	0	4	146	40,261	4	0	4	146
	Type 4	276W	31,232	4	0	4	113	35,901	4	0	4	130	38,460	4	0	4	19	39,961	4	0	4	145	39,986	4	0	4	145
LDS-LAL-275	Type 5	276W	31,604	5	0	4	115	36,329	5	0	4	132	38,917	5	0	4	141	40,443	5	0	4	147	40,462	5	0	4	147
	Type 2	293W	33,128	4	0	4	113	38,080	4	0	4	130	40,794	4	0	4	139	42,386	4	0	4	145	42,413	4	0	4	145
	Type 3	293W	32,882	4	0	4	112	37,797	4	0	4	129	40,492	4	0	4	138	42,072	4	0	4	144	42,098	4	0	4	144
	Type 4	293W	32,657	4	0	4	112	37,539	4	0	4	128	40,215	4	0	4	137	41,785	4	0	4	143	41,810	4	0	4	143
	Type 5	293W	33,046	5	0	4	113	37,985	5	0	4	130	40,693	5	0	4	139	42,280	5	0	4	144	42,308	5	0	4	144
LDS-LAL-300	Type 2	332W	35,670	4	0	4	108	42,558	4	0	4	129	45,592	4	0	4	137	47,371	4	0	4	143	47,401	4	0	4	143
	Type 3	332W	34,708	4	0	4	105	41,410	4	0	4	125	43,688	4	0	4	132	46,089	4	0	4	139	46,126	4	0	4	139
	Type 4	330W	33,491	4	0	5	105	40,874	4	0	5	123	43,084	4	0	5	131	45,194	4	0	5	137	45,216	4	0	5	137
	Type 5	331W	33,538	5	0	5	107	42,453	5	0	5	128	44,697	5	0	5	135	47,051	5	0	5	143	47,180	5	0	5	142

Mounting Method Dimensions



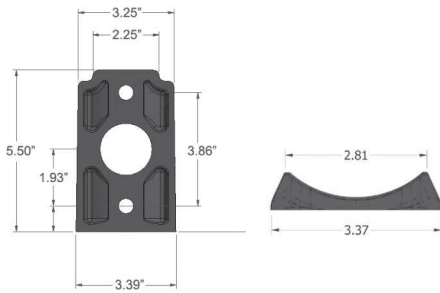
MAS - Square Pole Arm Dimensions



TM - Tenon Arm Dimensions

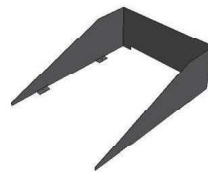
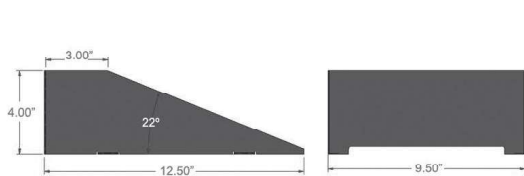


SF - Slip Fitter Arm Dimensions



UARP - Universal Adaptor Round Pole

External Glare Shield and Full Glare Snoot Dimensions

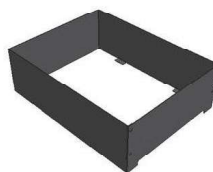


Field Installed for Forward
Glare Reduction



Field Installed for Rear
Glare Reduction

33-00111 - External Glare Shield



33-00119 - Full Glare Snoot

Backlight Louver(s)



BL - Backlight Louver(s) snap over LED Array(s)
for Backlight Control at the source.
Works with Type 2, Type 3 and Type 4 arrays.

Performance Data

Electrical Load Data			AC Current Load (A)				
Fixture Model	Drive Current (mA)	System Watts (W)	120V	208V	240V	277V	480V
LDS-LAL-165	1450	165	1.53	0.88	0.76	0.66	0.38
LDS-LAL-200	910	200	1.85	1.07	0.93	0.80	0.46
LDS-LAL-250	1100	250	2.31	1.34	1.16	1.00	0.58
LDS-LAL-275	1250	275	2.55	1.47	1.27	1.10	0.64
LDS-LAL-300	1325	300	2.78	1.60	1.39	1.20	0.69
LDS-LAL-330	1475	330	3.06	1.76	1.53	1.32	0.76

Lumen Maintenance

Data in the table below references projected performance in a 25°C ambient and is based on 10,000 hours of LED testing. Performance data has been tested per IESNA LM-80-08 and projected per IESNA TM-21-11.

Use the lumen maintenance factor that corresponds to the desired number of operating hours below to calculate LLF.

Lumen Maintenance Factors @ 25°C, by hours:					
Fixture Model	0	25,000	50,000	70,000	100,000
LDS-LAL-165	1.0	0.99	0.994	0.989	0.983
LDS-LAL-200	1.0	0.99	0.994	0.989	0.983
LDS-LAL-250	1.0	0.99	0.994	0.989	0.983
LDS-LAL-275	1.0	0.99	0.994	0.989	0.983
LDS-LAL-300	1.0	0.99	0.994	0.989	0.983
LDS-LAL-330	1.0	0.99	0.994	0.989	0.983



Catalog Number: **W1**

Project:

Comments:

Prepared By:

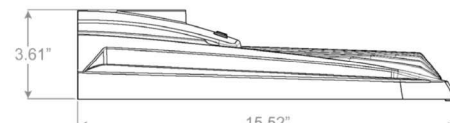
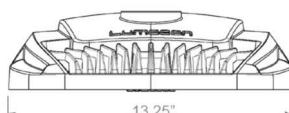
Date:

Description

The sleek fixture design of the LDS-LFC is a blend of modern sophistication and unmatched energy efficiency. The LDS-LFC small area light includes the benefits of superior thermal efficiency, an industry-leading ten-year all-parts warranty, and custom optics ensuring best-in-class photometric results. Optimize photometric designs with greater pole spacing, uniformity, and lower energy usage. The LDS-LFC includes lumen packages up to 30,000 lumens allowing one-for-one replacements of existing HID fixtures up to 1000 Watt and is a perfect spec-grade solution for parking lots, pathways, tennis courts, and many other outdoor applications. Proudly Made in the USA.

Dimensions & Weights

Model	Width	Length	Height	Weight
LDS-LFC	13.25"	15.52"	3.61"	13 lbs



Technical Specifications

Input Voltage: 120-277V or 347-480V.

Housing: Die-cast aluminum housing with 60% gloss polyester powder coat finishes for maximum durability. The base aluminum material is prepared using an environmentally-friendly non-chrome 2-step surface cleaning and passivation process. The process results in a more durable conversion layer than traditional chromate conversion coatings and allows maximum adhesion of the powder coating to the aluminum substrate. Housing features an integrated heat sink and driver compartment built into the fixture design.

Mounting: Wall mount bracket standard.

Split Circuit: Optional

Effective Projected Area (EPA): 0.83 ft²

Color Temperature: 2200K, 2700K, 3000K, 4000K (standard), 5000K.

LED Lifetime: All LEDs are rated for a minimum of 100,000 hours of continuous operation at ambient outdoor temperatures from -40°F/-40°C to 115°F/46°C.

Color Rendering Index (CRI): Minimum of 80 or higher. CRI 90+ available upon request. CRI 90+ not available in 2200K.

Dimming: 0-10V standard dimming capability.

Custom Optics: Lumecon meticulously engineered premium acrylic optical lenses to maximize the distribution and uniformity of light while minimizing cost. Our arrays distribute light at least 21% further and with 29% more uniformity than leading competitors. Lumecon custom lenses create a uniform, well-lit environment that mitigates illuminance "hot spots" and use less wattage than typical LED area lights.

Vandal Resistant: Our lens is also resistant to vandalism with a low compact design making the lens material dense and impact resistant. We build to withstand high abuse lighting environments.

Surge Protection: Thermally protected 40kV varistor type surge suppressor is included and meets ANSI C136.2-2015: Extreme Level. Also meets IEC61643-11 Class II / EN61643-11 Type 2, and US Dept of Energy MSSLC Model Spec for surge protection. The device is wired in series with the luminaire input power in order to interrupt power to the luminaire when consumed, protecting the LED power supply and circuit boards from additional electrical surges.

Lumecon ETD™ System: The enhanced thermal dissipation system engines are thermally bonded to provide maximum thermal dissipation to the exterior of the fixture to ensure long life. To protect the light engine panel from moisture and corrosion, the LED light engine panel is uniformly coated with a UV stabilized acrylic polymer resin that meets MIL and ASTM dielectric standards, UL, and IPC standards for flammability, moisture resistance and thermal shock.

Battery Back-Up and Battery Back-Up Cold Rated (Optional): The BBU operates the LEDs for a code-compliant 90 minutes when triggered into emergency mode. When AC power is restored, the driver automatically returns to charging mode. The BB and BBCR are UL-recognized component and meets all applicable safety standards. BBCR is cold rated to -20°C.

Certification Data: ETL Listed to UL 1598, UL 8750 for Wet Locations. *Full compliance and test documentation is available for TM-21, LM-79, LM-80, ETL Listing to UL1598 and UL 8750. Salt Fog tested for 3,000 hours per ASTM B117-16 / ASTM D610-08. Ingress Protection: IP66 per ANSI/IEC 60529-2004. Passed 3G vibration @ 100K cycles, per ANSI C136.31-2018.

DesignLights Consortium® (DLC) Qualified Product: Unless noted, not all versions of this product may be DLC® qualified. For a complete list of Lumecon DLC® Qualified Products visit: www.designlights.org.

Dimulator Photo-Control: Maximize the cost-saving benefits of your outdoor LED light fixtures with the stand-alone Dimming solution. All Dimulators (except for CD and DIM 3 versions) have three selectable dimming levels (30%, 50%, 70%) with three different start times (10:00 pm, Midnight, or 2:00 am), which are selectable through the ten position selector switch located on the bottom of the base. All dimming schedules will return to full brightness at 5:00 am. The stand-alone unit is made to work with the ANSI C136.41 receptacle and will provide dimming of LED fixtures.

Buy American Act: The product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS, and DOT regulations.

Warranty: 10 Year L70 performance based warranty. For full warranty terms, please visit our website: www.lumecon.com

Ordering Information

LDS-LFC – Options / Ordering Example: LDS-LFC-110-DB-T5-1-50-WM

Wattage	Color	Distribution	Voltage	Color Temperature	Mounting Methods
30 - 30 Watts	DB - Dark Bronze	T2 - Type II	1 - 120-277V	22 - 2200K ⁸	WM - Wall Mount Bracket
45 - 45 Watts	WH - White	T3 - Type III	2 - 347-480V	27 - 2700K ⁸	
60 - 60 Watts	BK - Black	T4 - Type IV		30 - 3000K ⁸	
75 - 75 Watts	GR - Gray	T5 - Type V		40 - 4000K	
80 - 80 Watts	CC - Custom	NR - Narrow		50 - 5000K	
85 - 85 Watts	AF - Automotive Finish				
95 - 95 Watts					
110 - 110 Watts					
125 - 125 Watts					
160 - 160 Watts					
200 - 200 Watts					
220 - 220 Watts					

Options & Accessories

R - Receptacle Only

RS - Receptacle Only with Shorting Cap

7P - Seven-pin Twist Lock Photocell Receptacle Only ¹

PC1 - 120v-277v Button Eye Photocell ²

PC2 - 347v 480v Button Eye Photocell ²

PC3 - 120v-277v Twist Lock Photocell (10 year warranty)

PC4 - 347v-480v Twist Lock Photocell (10 year warranty)

OC1 - On/Off ³

OC2 - Dim/High ^{3,4}

OC3 - On/Off w/Photocell ^{3,4}

OC4 - Dim/High w/Photocell ^{3,4}

BB - Battery Back-Up (only available on the 30W - 80W models and on 120/277V models)

BBCR - Battery Back-Up Cold Rated (only available on the 30W - 80W models and on 120/277v models)

SC - Split Circuit ^{5,6,7}

CWMB - Cosmetic Wall Mount Bracket

DIM4 - 105-305 VAC, 50/60 Hz with 10 position field adjustable selector switch

DIM4-HV - High Voltage 312-530 VAC, 50/60 Hz with 10 position field adjustable selector switch

DIM4-CD - Constant all-night Dimming

DIM4-CD-HV - Constant all-night Dimming, 315-530 VAC 50/60Hz

DIM4-CUL - 120 VAC, 50/60 Hz, cUL certified version with gray cover

DIM4-ALC - Adaptive Lighting Control with 2% per year incremental increase to compensate for aging fixture

DIM3-XX - Factory set dimming schedule (10 position selector switch not available)

BS5 - Bird Spikes (Field Installed)

BL - Backlight Louver(s) snap over LED Array(s) for Backlight Control at the source. ⁶
Notes:

- For units with 7P the mounting must be restricted to +/-45° from horizontal aim per ANSI C1136.10-2010. If more than a 45° Tilt, use PC1 or PC2
- Cannot be combined with Occupancy Sensor. Use OC3 or OC4 when Occupancy Sensor and Photocell are needed and aiming greater than 45° from horizontal.
- Must note on PO Mounting Height for proper lens application
- See Occupancy Sensor Default Settings Table
- Split circuit is only available for 30W, 45W, 60W, and 80W models.
- Split circuit is not compatible with Occupancy sensing our photo-eye control.
- Split Circuit and Battery Back-up cannot both fit in the same housing. Battery Back-Up will require external. Battery Backup will only control one of the circuits.
- 3000K or warmer, and fixed mounts must be ordered for IDA certification compliance.
- Works with Type 2, Type 3 and Type 4 arrays.

Accessories ordered as a separate line item:

33-00112 - External Glare Shield

33-00120 - Full Glare Snoot

Color Option Samples

Due to variations in monitor settings and color printing settings, colors will not be exact.



If OCC Sensor Option is selected, mounting height specifications need to be clarified:

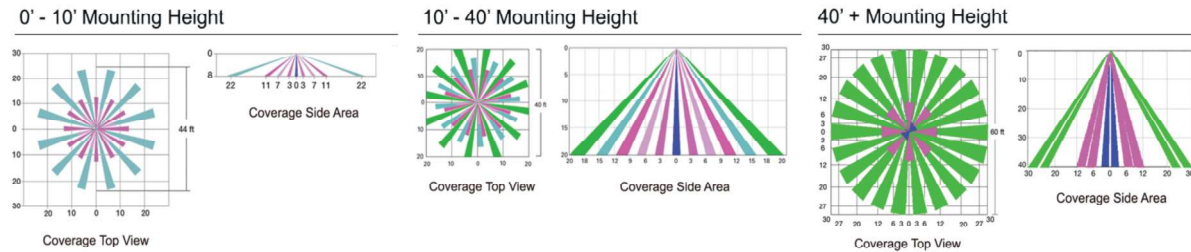
If Mounting height and parameter settings not specified when ordered. Default mounting height is 10-40' lens and preset factory settings.

☐ Mounting height between 0' - 10'

☐ Mounting height between 10' - 20'

☐ Mounting height over 20'+

OCC Sensor Patterns

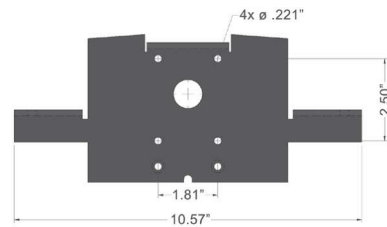


Occupancy Sensor Default Settings - Option OC2

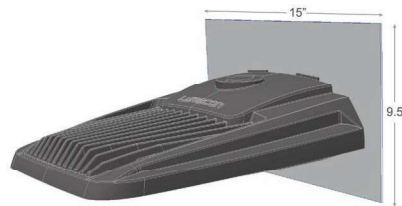
Option	Dimmed State (Unoccupied)	High Level (When occupied)	Photocell Operation (OC4 Option Only*)	Dwell Time (Occupancy time delay)	Ramp-up Time (From unoccupied to occupied)	Ramp-up Time (From occupied to unoccupied)
OC2 and OC4	Approx. 20% Output	100% Output	Enabled @ 1.5 FC*	5 Minutes	Disabled	Disabled

*Note: OC2 and OC4 settings including photocell set point, high/low dim rates, and occupancy sensor time delay are all configurable by using the Wattstopper® App. If any other settings are desired to be set at the factory, please note these changes on Purchase Order.

Mounting Method Dimensions



LDS-LFC Wall Mount Bracket



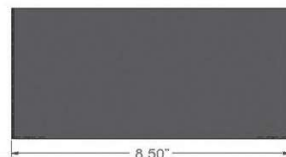
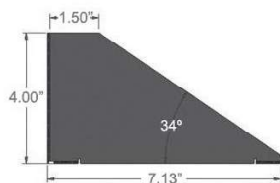
LDS-FC Optional Cosmetic Wall Mount Bracket

Backlight Louver(s)

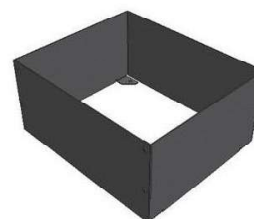


BL - Backlight Louver(s) snap over LED Array(s) for Backlight Control at the source. Works with Type 2, Type 3 and Type 4 arrays.

External Glare Shield and Full Glare Snoot Dimensions



33-00112 - External Glare Shield



33-00120 - Full Glare Snoot

Performance Data

Model	Distribution Type	Watts	2200K			2700K			3000K			4000K			5000K		
			Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy
LDS-SAL/LFC-30	Type 2	30	2,904	1	0	1	98	3,739	1	0	1	131	3791	1	0	1	147
	Type3	30	2,927	1	0	1	99	3,769	1	0	1	132	3821	1	0	1	149
	Type4	30	2,878	1	0	1	97	3,706	1	0	1	131	3757	1	0	1	146
	Types	30	2,975	2	0	2	100	3,749	2	0	2	133	3801	2	0	2	151
LDS-SAL/LFC-45	Type2	45	4,899	1	0	1	103	6,591	1	0	1	147	6683	1	0	1	154
	Type3	45	4,635	1	0	1	97	6,356	1	0	1	141	6,445	1	0	1	146
	Type4	45	4,591	1	0	1	96	6,172	1	0	1	137	6,259	1	0	1	145
	Types	45	4,738	3	0	2	99	6,370	3	0	2	142	6,459	3	0	2	149
LDS-SAL/LFC-60	Type2	60	5,400	1	0	2	90	7,620	1	0	2	127	7,800	1	0	2	135
	Type3	60	5,400	2	0	2	90	7,560	2	0	2	126	7,680	2	0	2	128
	Type4	60	5,340	2	0	2	89	7,440	2	0	2	124	7,560	2	0	2	126
	Types	60	5,520	3	0	3	92	7,680	3	0	3	128	7,800	3	0	3	133
LDS-SAL/LFC-75	Type2	75	5,700	2	0	2	76	8,753	2	0	2	117	8,876	2	0	2	118
	Type3	75	5,625	2	0	2	75	8,648	2	0	2	115	8,770	2	0	2	117
	Type4	75	5,923	2	0	2	79	8,500	2	0	2	113	8,619	2	0	2	115
	Types	75	6,450	3	0	3	86	9,128	3	0	3	117	8,896	3	0	3	119
LDS-SAL/LFC-80	Type2	80	7,669	2	0	2	90	9,256	2	0	2	116	9,560	2	0	2	132
	Type3	80	7,575	3	0	3	89	9,019	3	0	3	114	9,146	3	0	3	114
	Type4	80	7,446	3	0	3	87	8,865	3	0	3	111	8,989	3	0	3	112
	Types	80	7,685	4	0	2	90	9,149	4	0	2	114	9,277	4	0	2	116
LDS-SAL/LFC-85	Type2	85	8,949	2	0	2	105	10,654	2	0	2	128	10,796	2	0	2	129
	Type3	85	9,019	3	0	3	106	10,737	3	0	3	129	10,878	3	0	3	130
	Type4	85	8,696	3	0	3	102	10,353	3	0	3	124	10,495	3	0	3	126
	Types	85	9,175	4	0	2	107	10,923	4	0	2	131	11,065	4	0	2	133
LDS-SAL/LFC-95	Type 2	95	10,644	2	0	2	125	12,672	2	0	2	135	12,813	2	0	2	137
	Type3	95	10,713	3	0	3	126	12,754	3	0	3	136	12,896	3	0	3	138
	Type4	95	10,391	3	0	3	122	12,371	3	0	3	132	12,513	3	0	3	133
	Types	95	10,870	4	0	2	127	12,941	4	0	2	138	13,083	4	0	2	140
LDS-SAL/LFC-110	Type2	110	12,502	2	0	2	114	14,955	2	0	2	135	14,487	2	0	2	131
	Type3	110	12,599	3	0	3	115	15,072	3	0	3	137	14,599	3	0	3	132
	Type4	110	12,146	3	0	3	111	14,524	3	0	3	132	14,350	3	0	3	130
	Types	110	12,819	4	0	2	117	14,698	4	0	2	133	14,517	4	0	2	131
LDS-SAL/LFC-125	Type2	125	13,970	2	0	2	111	16,712	2	0	2	133	16,463	2	0	2	131
	Type3	125	14,079	3	0	3	112	16,841	3	0	3	134	16,590	3	0	3	132
	Type4	125	13,572	3	0	3	108	16,236	3	0	3	129	16,307	3	0	3	130
	Types	125	14,000	4	0	2	112	16,424	4	0	2	131	16,496	4	0	2	131
LDS-SAL/LFC-160	Type2	160	16,962	2	0	2	108	20,290	2	0	2	129	20,575	2	0	2	131
	Type3	160	17,095	3	0	3	109	20,449	3	0	3	130	20,735	3	0	3	132
	Type4	160	16,802	3	0	3	107	20,100	3	0	3	128	20,381	3	0	3	129
	Types	160	17,136	5	0	3	109	20,659	5	0	3	131	20,659	5	0	3	131
LDS-SAL/LFC-200	Type2	200	19,200	2	0	2	96	24,600	2	0	2	123	24,800	2	0	2	124
	Type3	200	19,400	3	0	3	97	24,800	3	0	3	124	25,000	3	0	3	125
	Type4	200	19,000	3	0	3	95	23,400	3	0	3	117	24,600	3	0	3	123
	Types	200	19,200	4	0	2	96	24,200	4	0	2	121	24,200	4	0	2	123
LDS-SAL/LFC-220	Type2	220	21,120	2	0	2	96	27,060	2	0	2	123	27,280	2	0	2	124
	Type3	220	21,340	3	0	3	97	27,280	3	0	3	124	27,500	3	0	3	125
	Type4	220	20,900	3	0	3	95	25,740	3	0	3	117	27,060	3	0	3	123
	Types	220	21,120	4	0	2	96	26,620	4	0	2	121	27,500	4	0	2	125

Performance Data
Electrical Load Data

Fixture Model	Drive Current (mA)	System Watts (W)	AC Current Load (A)				
			120V	208V	240V	277V	480V
LDS-LFC-30	550	30	0.28	0.16	0.14	0.12	0.07
LDS-LFC-45	875	45	0.42	0.24	0.21	0.18	0.10
LDS-LFC-60	1100	60	0.56	0.32	0.28	0.24	0.14
LDS-LFC-75	1475	75	0.70	0.40	0.36	0.31	0.18
LDS-LFC-80	1480	80	0.74	0.43	0.37	0.32	0.19
LDS-LFC-85	695	85	0.79	0.45	0.40	0.35	0.20
LDS-LFC-95	840	95	0.89	0.51	0.44	0.39	0.23
LDS-LFC-110	975	110	1.02	0.59	0.51	0.44	0.25
LDS-LFC-125	1150	125	1.16	0.67	0.58	0.50	0.29
LDS-LFC-160	1450	160	1.48	0.85	0.74	0.64	0.37
LDS-LFC-200	1642	200	1.86	1.06	0.92	0.82	0.48
LDS-LFC-220	1925	220	2.05	1.17	1.00	0.90	0.53

Lumen Maintenance

Data in the table below references projected performance in a 25°C ambient and is based on 10,000 hours of LED testing. Performance data has been tested per IESNA LM-80-08 and projected per IESNA TM-21-11.

Use the lumen maintenance factor that corresponds to the desired number of operating hours below to calculate LLF.

Fixture Model	Lumen Maintenance Factors @ 25°C, by hours:				
	0	25,000	50,000	70,000	100,000
LDS-LFC-30	1.0	0.99	0.96	0.92	0.85
LDS-LFC-45	1.0	0.99	0.96	0.92	0.85
LDS-LFC-60	1.0	0.99	0.96	0.92	0.85
LDS-LFC-75	1.0	0.99	0.96	0.92	0.85
LDS-LFC-80	1.0	0.99	0.96	0.92	0.85
LDS-LFC-85	1.0	0.99	0.96	0.92	0.85
LDS-LFC-95	1.0	0.99	0.96	0.92	0.85
LDS-LFC-110	1.0	0.99	0.96	0.92	0.85
LDS-LFC-125	1.0	0.99	0.96	0.92	0.85
LDS-LFC-160	1.0	0.99	0.96	0.92	0.85
LDS-LFC-200	1.0	0.99	0.96	0.92	0.85
LDS-LFC-220	1.0	0.99	0.96	0.92	0.85



Catalog Number: **P3**

Project:

Comments:

Prepared By:

Date:

Description

The sleek fixture design of the LDS-SAL is a blend of modern sophistication and unmatched energy efficiency. The LDS-SAL small area light includes the benefits of superior thermal efficiency, an industry-leading ten-year all-parts warranty, and custom optics ensuring best-in-class photometric results. Optimize photometric designs with greater pole spacing, uniformity, and lower energy usage. The LDS-SAL includes lumen packages up to 30,000 lumens allowing one-for-one replacements of existing HID fixtures up to 1000 Watt and is a perfect spec-grade solution for parking lots, pathways, tennis courts, and many other outdoor applications. Proudly Made in the USA.

Technical Specifications

Input Voltage: 120-277V or 347-480V.

Housing: Die-cast aluminum housing with 60% gloss polyester powder coat finishes for maximum durability. The base aluminum material is prepared using an environmentally-friendly non-chrome 2-step surface cleaning and passivation process. The process results in a more durable conversion layer than traditional chromate conversion coatings and allows maximum adhesion of the powder coating to the aluminum substrate. Housing features an integrated heat sink and driver compartment built into the fixture design.

Mounting: Mounting arm designed for a square / round pole (standard). Additional mounting options include a pole mounting arm adaptor.

Split Circuit: Optional

Effective Projected Area (EPA): 0.83 ft²

Color Temperature: 2200K, 2700K, 3000K, 4000K (standard), 5000K.

LED Lifetime: All LEDs are rated for a minimum of 100,000 hours of continuous operation at ambient outdoor temperatures from -40°F/-40°C to 115°F/46°C.

Color Rendering Index (CRI): Minimum of 80 or higher, CRI 90+ available upon request. CRI 90+ not available in 2200K.

Dimming: 0-10V standard dimming capability.

Custom Optics: Lumecon meticulously engineered premium acrylic optical lenses to maximize the distribution and uniformity of light while minimizing cost. Our arrays distribute light at least 21% further and with 29% more uniformity than leading competitors. Lumecon custom lenses create a uniform, well-lit environment that mitigates illuminance "hot spots" and use less wattage than typical LED area lights.

Vandal Resistant: Our lens is also resistant to vandalism with a low compact design making the lens material dense and impact resistant. We build to withstand high abuse lighting environments.

Surge Protection: Thermally protected 20kA/ 40kV varistor type surge suppressor is included and meets ANSI C136.2-2015: Extreme Level. Also meets IEC61643-11 Class II / EN61643-11 Type 2, and US Dept of Energy MSSLC Model Spec for surge protection. The device is wired in series with the luminaire input power in order to interrupt power to the luminaire when consumed, protecting the LED power supply and circuit boards from additional electrical surges.

Lumecon ETD™ System: The enhanced thermal dissipation system engines are thermally bonded to provide maximum thermal dissipation to the exterior of the fixture to ensure long life. To protect the light engine panel from moisture and corrosion, the LED light engine panel is uniformly coated with a UV stabilized acrylic polymer resin that meets MIL and ASTM dielectric standards, UL, and IPC standards for flammability, moisture resistance and thermal shock.

Certification Data: ETL Listed to UL 1598, UL 8750 Wet Locations. *Full compliance and test documentation is available for TM-21, LM-79, LM-80, ETL Listing to UL1598 and UL 8750.Salt Fog tested for 3,000 hours per ASTM B117-16 / ASTM D610-08. Ingress Protection: IP66 per ANSI/IEC 60529-2004. Passed 3G vibration @ 100K cycles, per ANSI C136.31-2018.

DesignLights Consortium® (DLC) Qualified Product: Unless noted, not all versions of this product may be DLC® qualified. For a complete list of Lumecon DLC® Qualified Products visit: www.designlights.org.

Dimulator Photo-Control: Maximize the cost-saving benefits of your outdoor LED light fixtures with the stand-alone Dimming solution. All Dimulators (except for CD and DIM 3 versions) have three selectable dimming levels (30%,50%, 70%) with three different start times (10:00 pm, Midnight, or 2:00 am), which are selectable through the ten position selector switch located on the bottom of the base. All dimming schedules will return to full brightness at 5:00 am. The stand-alone unit is made to work with the ANSI C136.41 receptacle and will provide dimming of LED fixtures.

Manufacturing Origin: US Manufactured and Assembled.

Buy American Act: The product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS, and DOT regulations.

Warranty: 10 Year L70 performance based warranty. For full warranty terms, please visit our website: www.lumecon.com

Ordering Information

LDS-SAL – Options / Ordering Example: LDS-SAL-110-DB-T5-1-50-MAS

Wattage	Color	Distribution	Voltage	Color Temperature	Mounting Methods
30 - 30 Watts	DB - Dark Bronze	T2 - Type II	1 - 120v-277v	22 - 2200K ⁸	MAS - Mounting Arm (Square Pole) ⁸ <i>For a Round pole, add UARP option</i>
45 - 45 Watts	GR - Gray	T3 - Type III	2 - 347v-480v	27 - 2700K ⁸	SF - Slip Fitter
60 - 60 Watts	BK - Black	T4 - Type IV		30 - 3000K ⁸	TM - Tenon Mount ⁸
75 - 75 Watts	WH - White	T5 - Type V		40 - 4000K	
80 - 80 Watts	CC - Custom Color			50 - 5000K	
85 - 85 Watts	AF - Automotive Finish				
95 - 95 Watts					
110 - 110 Watts					
125 - 125 Watts					
160 - 160 Watts					
200 - 200 Watts					
220 - 220 Watts					

Options & Accessories

UARP - Universal Adaptor Round Pole

R - Receptacle Only

RS - Receptacle Only with Shorting Cap

7P - Seven-pin Twist Lock Photocell Receptacle Only ¹

PC1 - 120v-277v Button Eye Photocell ²

PC2 - 347v-480v Button Eye Photocell ²

PC3 - 120v-277v Twist Lock Photocell (10 year warranty)

PC4 - 347v-480v Twist Lock Photocell (10 year warranty)

OC1 - On/Off ³

OC2 - Dim/High ^{3,4}

OC3 - On/Off w/Photocell ³

OC4 - Dim/High w/Photocell ^{3,4}

SC - Split Circuit ^{5,6,7}

BB - Battery Back-Up (only available on the 30W - 80W models and on 120/277V models)

BB CR - Battery Back-Up Cold Rated (only available on the 30W - 80W models and on 120/277v models)

DIM4 - 105-305 VAC, 50/60 Hz with 10 position field adjustable selector switch

DIM4-HV - High Voltage 312-530 VAC, 50/60 Hz with 10 position field adjustable selector switch

DIM4-CD - Constant all-night Dimming

DIM4-CD-HV - Constant all-night Dimming, 315-530 VAC 50/60Hz

DIM4-CUL - 120 VAC, 50/60 Hz, cUL certified version with gray cover

DIM4-ALC - Adaptive Lighting Control with 2% per year incremental increase to compensate for aging fixture

DIM3-XX - Factory set dimming schedule (10 position selector switch not available)

BS5 - Bird Spikes (Field Installed)

BL - Backlight Louver(s) snap over LED Array(s) for Backlight Control at the source.⁹

Accessories ordered as a separate line item:

33-00112 - External Glare Shield

33-00120 - Full Glare Snoot

Notes:

- For units with 7P the mounting must be restricted to +/-45° from horizontal aim per ANSI C1136.10-2010. If more than a 45° Tilt, use PC1 or PC2
- Cannot be combined with Occupancy Sensor. Use OC3 or OC4 when Occupancy Sensor and Photocell are needed and aiming greater than 45° from horizontal.
- Must note on PO Mounting Height for proper lens application
- See Occupancy Sensor Default Settings Table
- Split circuit is only available for 30W, 45W, 60W, and 80W models.
- Split circuit is not compatible with Occupancy sensing our photo-eye control.
- Split Circuit and Battery Back-up cannot both fit in the same housing. Battery Back-Up will require external. Battery Backup will only control one of the circuits.
- 3000K or warmer, and fixed mounts must be ordered for IDA certification compliance.
- Works with Type 2, Type 3 and Type 4 arrays.

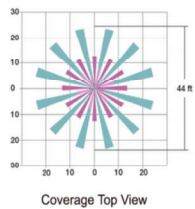
If OCC Sensor Option is selected, mounting height specifications need to be clarified:

If Mounting height and parameter settings not specified when ordered. Default mounting height is 10-40' lens and preset factory settings.

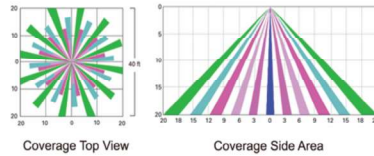
- ☐ Mounting height between 0' - 10'
- ☐ Mounting height between 10' - 20'
- ☐ Mounting height over 20' +

OCC Sensor Patterns

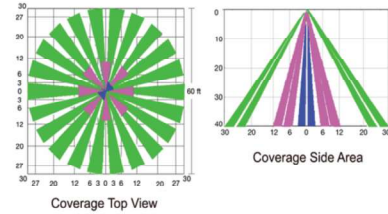
0' - 10' Mounting Height



10' - 40' Mounting Height



40' + Mounting Height



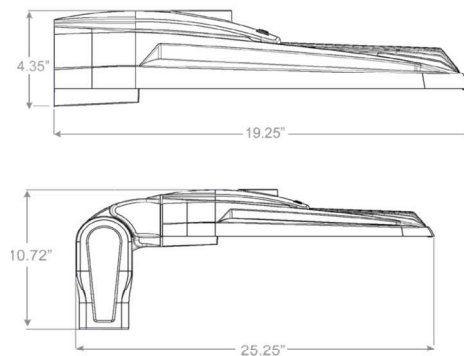
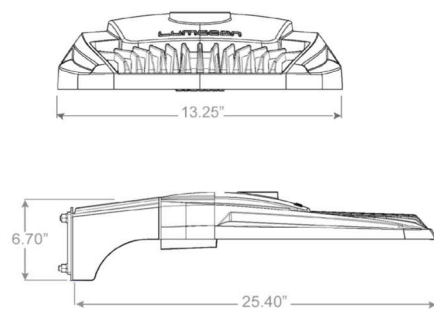
Occupancy Sensor Default Settings - Option OC2

Option	Dimmed State (Unoccupied)	High Level (When occupied)	Photocell Operation (OC4 Option Only*)	Dwell Time (Occupancy time delay)	Ramp-up Time (From unoccupied to occupied)	Ramp-up Time (From occupied to unoccupied)
OC2 and OC4	Approx. 20% Output	100% Output	Enabled @ 1.5 FC*	5 Minutes	Disabled	Disabled

*Note: OC2 and OC4 settings including photocell set point, high/low dim rates, and occupancy sensor time delay are all configurable by using the Wattstopper® App. If any other settings are desired to be set at the factory, please note these changes on Purchase Order.

Dimensions & Weights

Model	Width	Length	Height	Weight
LDS-SAL	13.25"	19.25"	4.35" 6.70" (MAS) 10.72" (SF)	15 lbs

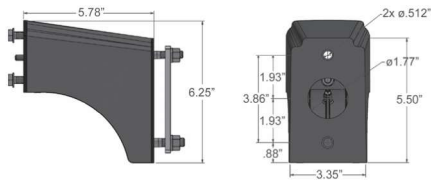


Color Option Samples

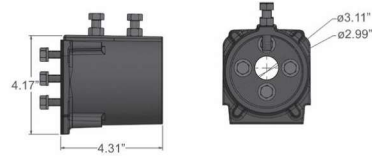
Due to variations in monitor settings and color printing settings, colors will not be exact.



Mounting Method Dimensions



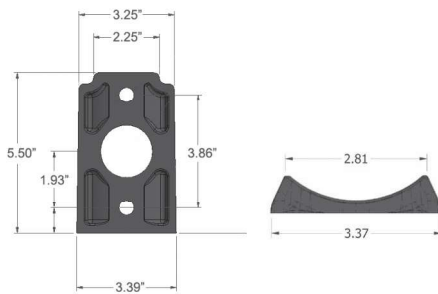
MAS - Square Pole Arm Dimensions



TM - Tenon Arm Dimensions

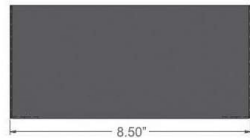
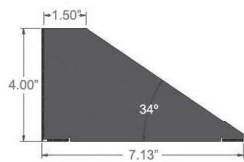


SF - Slip Fitter Arm Dimensions



UARP - Universal Adaptor Round Pole

External Glare Shield and Full Glare Snoot Dimensions



Field Installed for Forward
Glare Reduction



Field Installed for Rear
Glare Reduction

33-00112 – External Glare Shield



33-00120 – Full Glare Snoot

Backlight Louver(s)



BL - Backlight Louver(s) snap over LED Array(s)
for Backlight Control at the source.
Works with Type 2, Type 3 and Type 4 arrays.

Performance Data

Model	Distribution Type	Watts	2200K			2700K			3000K			4000K			5000K		
			Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy	Lumens	B	U	G	Efficacy
LDS-SAL/LFC-30	Type 2	30	2,904	1	0	1	98	3,739	1	0	1	131	4,378	1	0	1	148
	Type3	30	2,927	1	0	1	99	3,769	1	0	1	132	4,412	1	0	1	149
	Type4	30	2,878	1	0	1	97	3,706	1	0	1	129	4,357	1	0	1	147
	Types	30	2,975	2	0	2	100	3,749	2	0	2	131	4,474	2	0	2	151
	Type2	45	4,899	1	0	1	103	6,591	1	0	1	147	6,930	1	0	1	155
LDS-SAL/LFC-45	Type3	45	4,635	1	0	1	97	6,356	1	0	1	141	6,570	1	0	1	146
	Type4	45	4,591	1	0	1	96	6,172	1	0	1	137	6,525	1	0	1	145
	Types	45	4,738	3	0	2	99	6,370	3	0	2	142	6,459	3	0	2	150
	Type2	60	5,400	1	0	2	90	7,620	1	0	2	127	7,800	1	0	2	135
	Type3	60	5,400	2	0	2	90	7,560	2	0	2	126	7,680	2	0	2	136
LDS-SAL/LFC-60	Type4	60	5,520	2	0	2	89	7,440	2	0	2	124	7,560	2	0	2	134
	Types	60	5,520	3	0	3	92	7,680	3	0	3	128	7,800	3	0	3	139
	Type2	75	5,700	2	0	2	76	8,753	2	0	2	117	8,876	2	0	2	133
	Type3	75	5,625	2	0	2	75	8,648	2	0	2	115	8,770	2	0	2	124
	Type4	75	5,925	2	0	2	79	8,500	2	0	2	113	8,619	2	0	2	121
LDS-SAL/LFC-75	Types	75	6,450	3	0	3	86	9,773	3	0	3	117	8,896	3	0	3	123
	Type2	80	7,669	2	0	2	90	9,128	2	0	2	114	9,256	2	0	2	119
	Type3	80	7,575	3	0	3	89	9,019	3	0	3	113	9,146	3	0	3	120
	Type4	80	7,446	3	0	3	87	8,865	3	0	3	111	8,989	3	0	3	118
	Types	80	7,685	4	0	2	90	9,149	4	0	2	114	9,277	4	0	2	119
LDS-SAL/LFC-85	Type2	85	8,949	2	0	2	105	10,654	2	0	2	128	10,796	2	0	2	141
	Type3	85	9,019	3	0	3	106	10,737	3	0	3	129	10,878	3	0	3	142
	Type4	85	8,696	3	0	3	102	10,353	3	0	3	124	10,495	3	0	3	138
	Types	85	9,175	4	0	2	107	10,923	4	0	2	131	11,065	4	0	2	145
	Type2	95	10,644	2	0	2	125	12,672	2	0	2	135	12,813	2	0	2	147
LDS-SAL/LFC-95	Type3	95	10,713	3	0	3	126	12,754	3	0	3	136	12,896	3	0	3	148
	Type4	95	10,391	3	0	3	122	12,371	3	0	3	132	12,513	3	0	3	144
	Types	95	10,870	4	0	2	127	12,941	4	0	2	138	13,083	4	0	2	150
	Type2	110	12,502	2	0	2	114	14,955	2	0	2	135	14,487	2	0	2	132
	Type3	110	12,599	3	0	3	115	15,072	3	0	3	137	14,599	3	0	3	133
LDS-SAL/LFC-110	Type4	110	12,146	3	0	3	111	14,524	3	0	3	132	14,350	3	0	3	130
	Types	110	12,819	4	0	2	117	14,698	4	0	2	133	14,517	4	0	2	132
	Type2	125	13,970	2	0	2	111	16,712	2	0	2	133	16,463	2	0	2	129
	Type3	125	14,079	3	0	3	112	16,841	3	0	3	134	16,590	3	0	3	130
	Type4	125	13,572	3	0	3	108	16,236	3	0	3	129	16,307	3	0	3	128
LDS-SAL/LFC-125	Types	125	14,000	4	0	2	112	16,424	4	0	2	131	16,496	4	0	2	130
	Type2	160	16,962	2	0	2	108	20,290	2	0	2	129	20,575	2	0	2	137
	Type3	160	17,095	3	0	3	109	20,449	3	0	3	130	20,735	3	0	3	138
	Type4	160	16,802	3	0	3	107	20,100	3	0	3	128	20,381	3	0	3	136
	Types	160	17,136	5	0	3	109	20,659	5	0	3	131	21,429	5	0	3	137
LDS-SAL/LFC-160	Type2	200	19,200	2	0	2	96	24,600	2	0	2	123	24,400	2	0	2	125
	Type3	200	19,400	3	0	3	97	24,800	3	0	3	124	25,000	3	0	3	128
	Type4	200	19,000	3	0	3	95	23,400	3	0	3	117	24,600	3	0	3	124
	Types	200	19,200	4	0	2	96	24,200	4	0	2	121	25,000	4	0	2	125
	Type2	220	21,120	2	0	2	96	27,060	2	0	2	124	27,280	2	0	2	124
LDS-SAL/LFC-220	Type3	220	21,340	3	0	3	97	27,280	3	0	3	125	27,500	3	0	3	125
	Type4	220	20,900	3	0	3	95	25,740	3	0	3	117	27,060	3	0	3	123
	Types	220	21,120	4	0	2	96	26,620	4	0	2	121	27,060	4	0	2	125

Performance Data

Electrical Load Data

Fixture Model	Drive Current (mA)	System Watts (W)	AC Current Load (A)				
			120V	208V	240V	277V	480V
LDS-SAL-30	550	30	0.28	0.16	0.14	0.12	0.07
LDS-SAL-45	875	45	0.42	0.24	0.21	0.18	0.10
LDS-SAL-60	1100	60	0.56	0.32	0.28	0.24	0.14
LDS-SAL-75	1475	75	0.70	0.40	0.36	0.31	0.18
LDS-SAL-80	1480	80	0.74	0.43	0.37	0.32	0.19
LDS-SAL-85	695	85	0.79	0.45	0.40	0.35	0.20
LDS-SAL-95	840	95	0.89	0.51	0.44	0.39	0.23
LDS-SAL-110	975	110	1.02	0.59	0.51	0.44	0.25
LDS-SAL-125	1150	125	1.16	0.67	0.58	0.50	0.29
LDS-SAL-160	1450	160	1.48	0.85	0.74	0.64	0.37
LDS-SAL-200	1642	200	1.86	1.06	0.92	0.82	0.48
LDS-SAL-220	1925	220	2.05	1.17	1.00	0.90	0.53

Lumen Maintenance

Data in the table below references projected performance in a 25°C ambient and is based on 10,000 hours of LED testing. Performance data has been tested per IESNA LM-80-08 and projected per IESNA TM-21-11.

Use the lumen maintenance factor that corresponds to the desired number of operating hours below to calculate LLF.

Fixture Model	Lumen Maintenance Factors @ 25°C, by hours:				
	0	25,000	50,000	70,000	100,000
LDS-SAL-30	1.0	0.99	0.96	0.92	0.85
LDS-SAL-45	1.0	0.99	0.96	0.92	0.85
LDS-SAL-60	1.0	0.99	0.96	0.92	0.85
LDS-SAL-75	1.0	0.99	0.96	0.92	0.85
LDS-SAL-80	1.0	0.99	0.96	0.92	0.85
LDS-SAL-85	1.0	0.99	0.96	0.92	0.85
LDS-SAL-95	1.0	0.99	0.96	0.92	0.85
LDS-SAL-110	1.0	0.99	0.96	0.92	0.85
LDS-SAL-125	1.0	0.99	0.96	0.92	0.85
LDS-SAL-160	1.0	0.99	0.96	0.92	0.85
LDS-SAL-200	1.0	0.99	0.96	0.92	0.85
LDS-SAL-220	1.0	0.99	0.96	0.92	0.85

P2



Shown with:
BH1 Fitter
CA - Clear Acrylic Globe

Requires nominal 3" diameter x 2 7/8" tall tenon



FITTER	BH0	BH1	BH2	BH3	BH4	BH5	BH8	BH9	B11	B12	B13
HEIGHT	10.25"	10"	6.75"	8"	6.75"	11.25"	12"	11.5"	13.5"	12"	13.4"

FINIAL	FN1	FN2	FN3	FN4
HEIGHT	5"	4"	3"	3.5"

Technical Specifications

GLOBE MATERIALS

Acrylic - Impact modified and UV resistant with continuous operating temperature up to 80°C. Maximum transmittance of 92% (clear). Acrylic streetlamps are available in clear or white. LD Acrylic - Impact modified and UV resistant with continuous operating temperature up to 80°C and transmittance of 90% to 94% (application dependent).

Polycarbonate - UV stabilized with a continuous operating temperature of 100°C to 125°C, high impact resistance down to -40°C, and transmittance of 88% (application dependent). Polycarbonate streetlamps are available in clear.

FITTER: Slip fits over 2 7/8" and 3" OD tenons on most decorative poles. Requires nominal 3" diameter x 2 7/8" tall tenon. Uses A356 aluminum comprises 92.05% Aluminum, 7% Silicon, 0.35% Magnesium, 0.20% Iron, 0.20% Copper, 0.10% Manganese, and 0.10% Zinc. It is lightweight and highly corrosion-resistant, like stainless steel. Heat treated to improve strength—low impurities cause high strength and ductility.

FINISH: Cast aluminum fitter housing with textured or 60% gloss polyester powder coat finishes for maximum durability. The base aluminum material is prepared using an environmentally friendly non-chrome 2-step surface cleaning and passivation process. The process results in a more durable conversion layer than traditional chromate conversion coatings and allows maximum powder coating adhesion to the aluminum fitter.

POWERED BY THE LUMECON L-RETRO-DG LIGHT ENGINE

INPUT VOLTAGE: 120-277V or 347-480V

EFFECTIVE PROJECTED AREA (EPA): 0.65 ft²

LIGHT ENGINE: Each LED light engine consists of a circuit board of 80 Midpower LEDs. The LED board is mounted to a 0.125 aluminum disk and heat sink for maximum heat dissipation from the LEDs.

LUMECON ETD™ SYSTEM: The enhanced thermal dissipation system engines are thermally bonded to provide maximum thermal dissipation to the fixture's exterior to ensure long life. To protect the light engine panel from moisture and corrosion, the LED light engine panel is uniformly coated with a UV-stabilized acrylic polymer resin that meets MIL and ASTM dielectric standards, UL, and IPC standards for flammability, moisture resistance, and thermal shock.

COLOR TEMPERATURE: 2200K, 2700K, 3000K, 4000K, 5000K.

LED LIFETIME: All LEDs are rated for a minimum of 100,000 hours of continuous operation at ambient temperatures from -40°F/-40°C to 115°F/46°C.

COLOR RENDERING INDEX (CRI): Minimum of 80 or higher.

DIMMING: 0-10V standard dimming capability.

SURGE PROTECTION: Thermally protected 20kA/ 40kV varistor type surge suppressor is included and meets ANSI C136.2- 2015: Extreme Level. It also meets IEC61643-11 Class II / EN61643-11 Type 2 and US Dept of Energy MSSLC Model Spec for surge protection. The device is wired in series with the luminaire input power to interrupt power to the luminaire when consumed, protecting the LED power supply and circuit boards from additional electrical surges.

MANUFACTURING ORIGIN: US Manufactured and Assembled.

BUY AMERICAN ACT: The product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS, and DOT regulations.

WARRANTY: 10 Year L70 performance-based warranty. For full warranty terms, please visit our website: www.lumecon.com.

CERTIFICATION: Built with ETL/UL-certified components.

DESIGNLIGHTS CONSORTIUM® (DLC) QUALIFIED PRODUCT: Unless noted, not all versions of this product may be DLC® qualified. For a complete list of Lumecon DLC® Qualified Products visit: www.designlights.org.



PERFORMANCE DATA

DISTRIBUTION	WATTAGE	2200K		2700K		3000K		4000K		5000K	
		LUMENS	EFFICACY	LUMENS	EFFICACY	LUMENS	EFFICACY	LUMENS	EFFICACY	LUMENS	EFFICACY
Type 5	35	3500	100	4480	128	4480	128	4585	131	4550	130
Type 5	45	4365	97	5580	124	5580	124	5895	131	5670	126
Type 5	55	5170	94	6655	121	6655	121	6765	123	6655	121

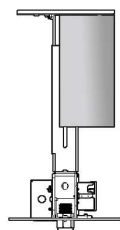
ORDERING INFORMATION

Lumecon Midtown Post-Top Series

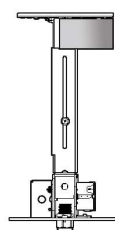
Example Part Number: LM-CRT-35-1-22-CA-BH2-BK-SR-FN1-HSS-PC-7P

REQUIRED							OPTIONAL					
MODEL	WATTAGE	VOLTAGE	CCT	GLOBE	FITTER	FINISH	SOLID ROOF	FINIAL	HOUSE SIDE SHIELD	PHOTOCELL	CONTROLS READY	DISTRIBUTION
LM-CRT	35 - 35 Watts	1 - 120v - 277v	22 - 2200K	CA - Clear Acrylic	X - None	BK - Black Gloss	SR1	FN1 ³	32-00123 - House Side Shield	PC - Button Eye	7P - 7 Pin Receptacle	32-00114 - Type IV
	45 - 45 Watts	2 - 347v - 480v	27 - 2700K	WA - White Acrylic	BH0 - 10.25"	BT - Black Textured		FN2				
	55 - 55 Watts		30 - 3000K	CP - Clear Polycarbonate	BH1 - 10"	DB - Dark Bronze		FN3				
			40 - 4000K		BH2 - 6.75"	GN - Green		FN4 ³				
			50 - 5000K		BH3 - 8"	Premium Finishes						
				BH4 - 6.75"	WH - White Gloss							
				BH5 - 11.25"	CF - Custom Finish							
				BH8 - 12"								
				BH9 - 11.5"								
				BH11 - 13.5"								
			BH12 ¹ - 12"									
			BH13 ² - 13.4"									
							Notes: 1. BH12 is equipped with an access door, a viewing window, a 7-pin twist lock receptacle, and a shorting cap. 2. BH13 not compatible with Cages 3. FN1 and FN4 are Acrylic and only available in black					

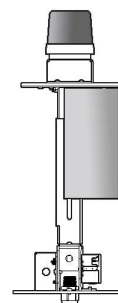
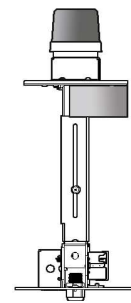
Fitters
Solid Roof

Finials
House Side Shield
Distribution
Controls Ready


32-00123 - House Side Shield



32-00114 - Type IV


7P - Seven-Pin Twist Lock Photocell Receptacle
32-00123 - House Side Shield

7P - Seven-Pin Twist Lock Photocell Receptacle
32-00114 - Type IV

OPTIONAL BASE AND POLE ORDERING INFORMATION

POLE OPTIONS	DECORATIVE BASE OPTIONS
X - None	X - None
H-RSA - Round Straight Aluminum	Arlen-13
H-RTA - Round Tapered Aluminum	Arlen-17
H-RFA - Round Fluted Aluminum	York-17
	Homewood
For additional Options click here: Pole Options	For additional Options click here: Decorative Base Options

Decorative Bases Ordering Information

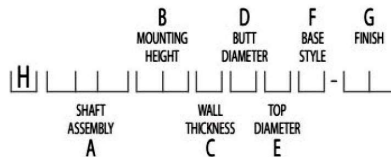
Over 58 Base options available. The most popular listed below. To view all options, download [Base guide here.](#)



Pole Ordering Information

Pole Ordering Example: H-RTA30D8B4-01

Rounded Tapered Aluminum, 30' Mounting Height,
.188" Wall Thickness, 8" Butt Diameter, 4.5" Top Diameter,
4-Bolt Base, Satin Aluminum Finish



A General Assembly

H-RSA - Round Straight Aluminum
H-RTA - Round Tapered Aluminum
H-RFA - Round Fluted Aluminum

B Mounting Heights

08 - 8" 14 - 14" 20 - 20"
10 - 10" 16 - 16" 25 - 25"
12 - 12" 18 - 18" 30 - 30"

C Wall Thickness

B - 0.125" F - 0.250"
C - 0.156" G - 0.312"
D - 0.188" H - 0.375"
E - 0.219"

D Butt Diameter

1 - 10" 5 - 5" 7 - 7"
2 - 12" 6 - 6" 8 - 8"
4 - 4" J - 6.625 9 - 9"

E Top Diameter

A - 3"
B - 4.5"
C - 6"

F Base Style

3 - 3-Bolt Anchor Base
4 - 4-Bolt Anchor Base
V - Bee Hive Base
H - Hinged Anchor Base
E - Direct Buried (Embed)
F - Breakaway Transformer Base

G Finish

01 - Satin Aluminum (RTA and RSA)
02 - Satin Aluminum (SSA)
BA - Black Powder Coat
BH - White Powder Coat
BM - Dark Bronze Powder Coat
BV - Dark Green Powder Coat
GC - Gray Powder Coat
.. - Specify Finish

For additional Options, download [Pole Guide Here](#)

PRO AGREEMENT
(EXCLUDING EXHIBITS)

RECEIVED
OAKLAND COUNTY
REGISTER OF DEEDS

2025 AUG 21 PM 12:49

104637 Liber 60469 Page 268 thru 376
8/22/2025 1:53:17 PM Receipt #000495476
\$21.00 Misc Recording
\$4.00 Remonumentation
\$5.00 Automation
\$0.00 Transfer Tax
UCC #
PAID RECORDED - Oakland County, MI
Lisa Brown, Clerk/Register of Deeds

PLANNED REZONING OVERLAY (PRO) AGREEMENT

FELDMAN KIA OF NOVI

AGREEMENT ("Agreement"), by and between **FELDMAN KIA OF NOVI**, a Michigan Limited Liability Company whose address is 30400 Lyon Center Dr East, New Hudson, MI 48165 (referred to as "**Developer**"); and the **CITY OF NOVI**, whose address is 45175 Ten Mile Road, Novi, MI 48375-3024 (referred to as the "**CITY**").

109P

RECITATIONS:

- A. Developer, the owner and developer of approximately 4.88 acres at the southwest corner of Grand River Avenue and Joseph Drive, proposed to rezone Property from Non-Center Commercial to General Business with a Planned Rezoning Overlay to allow an auto dealership development in the B-3 District.
- B. The "**Property**" is more particularly described and depicted on **Exhibit A**, attached hereto and incorporated herein. The NCC classification shall be referred to as the "**Existing Classification**" and the B-3 classification shall be referred to as the "**Proposed Classification**."
- C. The Proposed Classification would provide Developer with certain material development options not available under the Existing Classification and would be a distinct and material benefit and advantage to the Developer.
- D. The City has reviewed the petition from Developer to amend the Existing Classification of the Property to the Proposed Classification, including the Developer's proposed PRO Plan (including the uses authorized in this Agreement as the only uses permitted on the Property, the site layout, and the building façades, elevations, and design) attached hereto and incorporated herein as **Exhibit B** (the "**PRO Plan**") under the terms of the Planned Rezoning Overlay (PRO) provisions of the City's Zoning Ordinance. The PRO Plan is a conceptual or illustrative plan for the potential development of the Property under the Proposed Classification. Approval by the City of the PRO Plan is not an approval to construct the proposed improvements shown thereon, as any development on the Property will require site plan approval from the City as provided by this Agreement.

OK - AB

The City has further reviewed both (i) the requested deviations as contained in this Agreement (the "**Deviations**") from the strict terms of the City's Zoning Ordinance and other land use ordinances and regulations (collectively, the "**City Ordinances**") and (ii) the proposed PRO Conditions (as defined in Paragraph G.iii below) offered or accepted by Developer, and has concluded that the proposed General Business (B-3) zoning district is a reasonable alternative and fulfills the intent of the Master Plan for Land Use and meets the requirements of the Zoning Ordinance as relates to Planned Rezoning Overlays because it includes site specific features as part of the PRO Conditions that are more restrictive than could otherwise be required by ordinance because, in the specific circumstances of the project, the benefits to the public of the project outweigh any detrimental impacts of the project.

The City therefore finds that the project as a whole is in the public interest. Without the PRO Conditions as set forth herein and Developer's (and/or its successors' and assigns') continuing obligations to comply with the terms of this Agreement, however, the City would not have made such a finding and would not have approved the rezoning to the Proposed Classification or the Deviations.

- E. Developer desires to proceed with obtaining the site plan and engineering approval and the issuance of permits required to develop the Property in accordance with the approved PRO Plan (collectively, the "**Development**"). The City desires to ensure that all of the land that is depicted on the PRO Plan is developed in accordance with, and used only for the specific uses permitted by this Agreement, the related documents and undertakings of Developer, and all applicable laws, City Ordinances, regulations, and standards of the City and other regulatory bodies. This Agreement will govern the development of the Property and is to be recorded with the Register of Deeds for the County of Oakland following execution by the parties.

- G. As an integral part of the Developer's request to the City for rezoning to the Proposed Classification, Developer agrees to develop and construct the sanitary sewer, storm water sewer system, utilities, municipal water system, sidewalks, and other infrastructure necessary to develop and use the Property in conformance with the following undertakings and forbearances by Developer (such undertakings and forbearances hereafter referred to as the "**Undertakings**"):
 - i. **Uses Permitted.** The PRO Plan proposes a new and used car salesroom, showroom and office with a servicing department and outdoor inventory of vehicles, as typically associated with dealerships. Accessory to the car dealership, outdoor space for exclusive sale of new or used automobiles will be permitted under the conditions for special land use approval. The Developer will construct an enhanced sidewalk along the Joseph Drive frontage. The enhanced sidewalk area includes a meandering sidewalk with decorative light poles and the construction of three seating areas.

Developer will build covered shelters with seating at two nearby existing bus stops, including a paved pad with a shelter at the bus stops approximately 300 feet to the east of the property on Grand River Avenue, one on the north and one on the south. On-site detention is proposed for storm water management in a new underground facility, an infiltration trench, and an infiltration basin. The buildings proposed will be constructed in accordance with façade plans attached in Exhibit B. Commercial site signage and/or building signage has not been reviewed and is not included as a part of this PRO Agreement.

- ii. **Compliance with Applicable Laws and Regulations.** Except as expressly authorized herein, the Property shall be developed in accordance with this Agreement, the PRO Plan, all applicable State, County and City statutes, codes, ordinances, regulations, and the City Ordinances, including all applicable requirements of the Zoning Ordinance under the Proposed Classification, and further including all storm water and soil erosion requirements and measures during the design and construction phases of the Development and during the subsequent use of the Property as contemplated in this Agreement (collectively, the “**Legal Requirements**”).

The deviations from the provisions of the City Ordinances, rules, or regulations are depicted in the PRO Plan and are approved by this Agreement; however, except as to the Authorized Deviations listed below, the Property shall be subject to and developed in accordance with all applications, reviews, approvals, permits, and authorizations required under applicable Legal Requirements, including, but not limited to, site plan approval, storm water management plan approval, woodlands and wetlands permits, façade approval, landscape approval, and engineering plan approval.

- iii. **PRO Conditions.** As part of its approval of the PRO Plan and this Agreement, the City Council made certain findings as required by the Zoning Ordinance. Those findings were based in part on the fact that the Developer has agreed that the following conditions shall apply to the Property (collectively, the “**PRO Conditions**”). The Developer (or its successors or assigns) shall be responsible for obtaining all permits, licenses, or approvals required for the development, construction, use, and occupancy of the Development.

- a. **Development Enhancements offered by Developer.**

- 1. The use of the property is a New and Used Car Salesroom, Showroom and Office with a Servicing department, as typically associated with dealerships.

2. Accessory to the Car Dealership, Outdoor Space for exclusive sale of new or used automobiles will be permitted under the conditions for Special Land Use approval:

i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. (*The traffic impact study provided indicates fewer trips generated by the proposed use than other potential uses.*)

ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. (*The use is not expected to increase the demand on public services and utilities relative to other feasible uses of the site.*)

iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats. (*There are no significant natural features or characteristics present on the site.*)

iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. (*The proposed use is similarly compatible to other uses that could be developed under the current NCC zoning district. No major automobile repair or service, as defined in Section 4.50 of the Zoning Ordinance, shall be permitted on the site.*)

v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use. (*The Master Plan recommends Community Commercial uses, which includes uses permitted within the B-2 and B-3 districts.*)

vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner. *(The redevelopment of the site will remove a long-standing non-conforming use and improve the site visually from Grand River Avenue. The investments in the site improvements as well as the jobs created will benefit the area economically.)*

vii. Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located. *(1. Outdoor Space for exclusive sale of new or used automobiles is listed as a Special Land Use in the B-3 District, and 2. the applicant has addressed the concerns previously raised so that the proposed use better conforms to the site design regulations.)*

3. The applicant shall provide a unique streetscape along Joseph Drive with a winding sidewalk and the installation of three bench nodes on concrete platforms, decorative light poles, and significant landscaping across the western side of Joseph Drive, as shown on the PRO Plan, prior to issuance of a final Certificate of Occupancy.

4. The applicant shall construct two covered bus stop shelters along Grand River Avenue to serve the nearby SMART bus stops, the final design of which shall be coordinated with the city, prior to issuance of a final Certificate of Occupancy.

5. The days of operation shall be limited to Monday – Saturday. The business shall not be open on Sundays.

6. The hours of operation shall be limited to the following, as described by the applicant: 7:00 a.m. to 6:00 p.m. on Tuesday, Wednesday and Friday, 7:00 a.m. to 9:00 p.m. on Monday and Thursday, and 8:00 a.m. to 4:00 p.m. on Saturdays.

7. Outdoor speakers for security purposes may be permitted but must be attuned to meet the requirements of the noise ordinance and avoid disturbance of the adjacent residential neighborhood.

8. No outdoor compressors shall be permitted.

9. Automobile transit deliveries shall be limited to 8:00 a.m. to 6:00 p.m. on weekdays and must take place on the site in the designated loading/unloading area. Unloading shall not take place in any public right-of-way. Each instance of unloading in the public right-of-way that is documented by the City of Novi Police Department shall constitute a violation of this PRO Agreement, and shall be considered a site plan violation, and a nuisance *per se* and subject to abatement as provided in Paragraph 5.b below.

In addition to any ticket issued by the police department to the hauler, the City's Code Enforcement officer may issue a ticket for a site plan violation to the Developer. Each instance of unloading in the public right-of-way shall be considered a separate violation and shall be subject to fines and abatement, as permitted by applicable laws and ordinances.

Separate and apart from, and in addition to, any traffic enforcement or code enforcement remedies above, for each violation of this provision, Developer shall pay to the City the amount of \$1,000, which Developer agrees represents the minimum cost to the City of enforcement of this provision, per incident. Such payment is to be made within 30 days of invoice by the City and failure to pay shall be a separate violation of this PRO Agreement.

10. The parking setback shall be no less than 53 feet from the property line to the south.

11. The footprint of the building shall be limited to approximately 18,900 square feet, excluding mezzanine space.

12. The overhead service doors shall remain closed except to allow the entering and existing of vehicles.

13. The berm and landscape plantings along the southern property line shall be installed early in construction to protect the residents from the negative impacts of construction.

14. Developer shall be responsible for all excessive false alarm penalties and fees assessed pursuant to Section 22-36 of the City of Novi Code of Ordinances, as amended, and may not appeal assessments of fees and penalties for police department response.

15. Developer shall prohibit test driving vehicles on Joseph Drive. Each instance documented instance of dealership owned vehicles being test driven on Joseph Drive shall constitute a violation of this PRO Agreement, and shall be considered a site plan violation, and a

nuisance per se. The City's Code Enforcement officer may issue a ticket for a site plan violation to the Developer. Each instance of test driving vehicles on Joseph Drive shall be considered a separate violation and shall be subject to fines and abatement, as permitted by applicable laws and ordinances.

- b. Woodlands. There are no regulated woodland trees on the site.
- c. Wetlands. There are no wetland areas on the site.
- d. Site Utilities and Access. All of the utilities (water, sewer, and storm water) servicing the Development shall be constructed according to the approved Utility Plan provided as part of the PRO Plan, subject to final engineering plan approval by the City at the time of site plan approval. Such Utility Plan may be amended or modified during the site plan approval process as approved by the City. The utilities shall be complete to the extent required for occupancy prior to issuance of a certificate of occupancy.
- e. Access: The installation of roads, drives, and curb cuts shall be determined at the time of preliminary site plan approval. Roads, drives, and curb cuts shall be complete to the extent required for occupancy prior to issuance of a certificate of occupancy.

Developer shall ensure that once constructed, all required vehicular and pedestrian access shall remain open to all required parts of the Development and be properly maintained, including but not limited to the public and private sidewalks, and exterior light fixtures.

- f. Water and Sewer: Developer shall construct and install the improvements and/or connections tying into the municipal water and sewage systems.

All water and sewer improvements shall be designed and constructed by Developer in accordance with the approved PRO Plan and all applicable Legal Requirements, subject to final engineering plan approval at the time of site plan review. Such water and sanitary sewer facilities, including any on-site and off-site facilities, if any, extensions, and easements to reach the area to be served, shall be provided by and at the sole expense of the Developer, and shall be completed and approved as determined at the time of site plan approval before issuance of any building permits for any building.

- g. Storm Water: The storm water management system for the Property shall be approved by the City as part of the review and approval of the site plan for the Property. In general, the storm water collection,

pre-treatment, storage, and transportation facilities shall be included as part of the final engineering plan independently approved for the Development. The Development shall be constructed to achieve a storm water management system that assures that the quality and quantity of storm water will be in accordance with all applicable ordinances, regulations, and laws.

- iv. **Performance Guarantees.** The City shall require Developer to provide performance and financial guarantees for the completion of the improvements, including, without limitation, road, right-of-way improvements, water mains, sanitary sewers, storm drains, site amenities, and landscaping and tree planting activities. Such financial guarantees shall cover the site improvements for the project as determined by the City. Such financial guarantees may include cash deposits or letters of credit as allowed by the current provisions of the City's Code of Ordinances. Deposit and administration of financial guarantees shall be subject to the requirements and conditions of Chapter 26.5 of the City of Novi Code and any other related rules or regulations. Any deviations or requests for relief from this provision shall be considered by City Council as a deviation from Chapter 26.5, and will not require an amendment to the PRO Agreement or PRO Plan if approved by the City Council.
- v. **Compliance with Laws.** The development and use of the Property shall be in accordance with all applicable laws, ordinances, and regulations, including all applicable setback requirements of the Zoning Ordinance under the Proposed Classification, except as expressly authorized herein, all storm water and soil erosion requirements and measures, both throughout the site during the design and construction phases of the Development and during the subsequent use of the Property as contemplated in this Agreement, and all traffic laws.
- vi. **Other City Authority.** Nothing in this Agreement shall prevent the City from exercising its regulatory and other authority with respect to the Property and the Development in a manner consistent with the PRO Plan and this Agreement.
- vii. **Application Fees; Connection Fees.** The Developer shall be responsible to pay all application and review fees as and when required under the City Ordinances, including but not limited to planning, engineering, legal, and any consultant fees in connection with the review and approval of the Development. Such amounts shall be due upon invoice, and failure to pay amounts owed shall entitle the City to cease review, approval, and/or issuance of permits. In addition, the Developer shall pay all required water and sewer connection and tap charges and fees, without reduction, as provided in the City Ordinances as and when required. Such fees may be

timely paid by others in connection with the development of individual unit owners.

- viii. **Property Maintenance Obligations.** Developer agrees, at its expense, to operate, maintain, repair, manage, and improve the entire Development site during buildout of the development. Developer shall be responsible to preserve and maintain the storm water drainage facilities, driveways, sidewalks and pathways, and any and all areas disturbed in connection with the Development to ensure that the same continue to function as intended, and are stabilized, and meet all standards of applicable laws and ordinances for property maintenance, including, but not limited to regular snow and ice removal. Developer shall establish a regular and systematic program of maintenance for the development to ensure that the physical condition and intended function of such areas and facilities shall be perpetually preserved and maintained.

Notwithstanding any other remedies in this Agreement, in the event that Developer shall at any time fail to carry out the responsibilities above, and/or in the event of a failure to preserve and/or maintain such areas or facilities in reasonable order and condition, the City may serve written notice upon Developer setting forth the deficiencies in maintenance and/or preservation. Notice shall also set forth a demand that the deficiencies be cured within a stated reasonable time period, and the date, time, and place of the hearing before the City Council, or such other Council, body, or official delegated by the City Council, for the purpose of allowing Developer to be heard as to why the City should not proceed with the maintenance and/or preservation which has not been undertaken.

At the hearing, the time for curing the deficiencies and the hearing itself may be extended and/or continued to a date certain. If, following the hearing, the City Council or other body or official designated to conduct the hearing determines that the required maintenance and/or preservation have not been undertaken within the time specified in the notice, the City shall have the power and authority, but not the obligation, to enter upon the property, or cause its agents or contractors to enter upon the property, and perform such maintenance and/or preservation as reasonably found by the City to be appropriate. The cost and expense of making and financing such maintenance and/or preservation, including the cost of notices by the City and reasonable legal fees incurred by the City, plus an administrative fee in the amount of 25% of the total of all costs and expenses incurred, shall be paid by Developer, and such amount shall constitute a lien on the property.

The City may require the payment of such monies prior to the commencement of work. If such costs and expenses have not been paid

within 30 days of a billing to the Developer, all unpaid amounts may be placed on the delinquent tax roll of the City and shall accrue interest and penalties, and be collected as, and deemed delinquent real property taxes, according to the laws made and provided for the collection of delinquent real property taxes. In the discretion of the City, such costs and expenses may be collected by suit initiated against Developer, and, in such event, the Developer shall pay all court costs and reasonable attorney fees incurred by the City in connection with such suit.

- ix. **Staff and Consultant Review Letters.** Developer shall comply with all conditions listed in the staff and consultant review letters not inconsistent with the terms of this Agreement.
- x. **Developer Representations.** Developer hereby makes the following acknowledgments, representations, and warranties to City, which representations and warranties shall be true and correct as of the date hereof:
 - a. Developer is duly organized and validly existing, in good standing under the laws of the state of Michigan, authorized to do business under the laws of the state of Michigan and has all requisite power and authority to own and operate its assets and properties, to carry on its business as now being conducted, and to enter into and perform the terms of this Agreement. Developer has provided City with an accurate and complete copy of its Articles of Organization and Certificate of Good Standing in effect as of the date of this Agreement ("Organizational Documents"), and agrees to provide accurate and complete copies of any revisions or modifications to the Organizational Documents.
 - b. Developer has no notice of and there is no pending litigation, administrative action or examination, claim or demand before any court or any federal, state or municipal governmental department, commission, board, bureau, agency or instrumentality thereof which would affect Developer or its principals from carrying out the covenants and promises made herein.
 - c. Developer is financially able to complete the Development.
 - d. Developer shall construct all improvements for the Development in a good and workmanlike manner employing quality contractor(s), construction manager(s), and other professional possessing the requisite experience and competency to construct such improvements.

- e. Developer represents that it has sufficient control of its contractors, employees, agents, suppliers, clients, and other that it can comply with all provisions of this PRO Agreement.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

1. **Developer Obligations.** Upon execution of this Agreement by the parties:
 - a. The Property shall be developed only in accordance with the Undertakings, the PRO Plan, the PRO Conditions, Legal Requirements, City Ordinances (as amended), and this Agreement (collectively, the "**PRO Documents**");
 - b. Developer shall comply with the PRO Documents;
 - c. Developer shall forbear from acting in a manner inconsistent with the PRO Documents;
 - d. Developer shall complete all actions necessary to carry out all of the obligations in the PRO Documents.
2. **Authorized Deviations.** The following deviations from the standards of the Zoning Ordinance are hereby authorized pursuant to §3402.D.1.c of the City's Zoning Ordinance:
 - a. Deviation from Section 3.10.3 to allow the Service Bay Doors to face a major thoroughfare and a residential district. The service reception area is proposed to have a total of four overhead doors. The northern overhead doors are 129 feet from the Grand River Avenue right of way. The southern overhead doors are located 281 feet from the southern property line. There will be a screen wall and berm with landscaping along the southern property line to screen the overhead doors from the residential uses from the south. The overhead doors are needed for customer use.
 - b. Traffic deviation from Section 5.3.12. There are two locations, on either side of the building, where 2 customer parking spaces have an end island on one side, but not the side adjacent to the entry/exit point of the service area. This is supported as the area next to the parking spaces has been striped out.
 - c. Landscape deviation from Section 5.5.3.B.ii and iii to permit a continuous evergreen hedge along Grand River Avenue and Joseph Drive in lieu of the required minimum 3-foot-high berm along the road rights of way. The deviation is supported as the applicant has proposed to use evergreen shrubs to achieve the screening intent of the ordinance.

- d. Landscape deviation from Section 5.5.3.D to permit only 79 percent of the required building foundation landscaping to be located at the building. This is supported as the required foundation area is provided in total, and the remaining landscaping is placed in areas that will enhance the appearance of the site.
 - e. Lighting deviation from Section 5.7.3.L to exceed the 1 footcandle limit at the north and east property lines (3.4 fc and 6.2 fc, respectively). This deviation is supported as these areas are illuminating the sidewalks along the road frontages.
 - f. Façade deviation from Section 5.15 for the north facade to contain 0% brick rather than the minimum 30 percent brick. The front consists of 70 percent showroom glass and 30 percent flat metal panels. The deviation is supported as the addition of brick would not offer an enhancement to the design.
 - g. Landscape deviation from Section 5.5.3.B.ii and iii for insufficient screening berm for the southeastern portion of the property that abuts parcel 22-24-326-004. This deviation is supported as it was requested by the adjacent property owner in order to preserve existing trees, however additional inspection as to the viability of the trees shall be conducted by the applicant before final approval and landscaping shall be provided to achieve the 80-90 percent opacity requirement.
3. **Revocation of Rights.** In the event Developer attempts to or proceeds with actions to complete improvement of the Land in any manner other than as described herein and shown on **Exhibit B**, or if Developer refuses to or cannot comply with the PRO Conditions, the City shall be authorized to revoke all outstanding building permits and certificates of occupancy issued for such building and use.
4. **Modifications; Required Amendments.** Minor modifications to the approved PRO Plan may be approved administratively if the Zoning Ordinance (interpreted as though the approved PRO Plan is an approved site plan for purposes of this Paragraph only) would otherwise allow an administrative site plan review and approval, so long as the City Planner determines that the modifications (i) are minor, (ii) do not deviate from the general intent of the PRO Plan, and (iii) do not result in increased impacts on the surrounding development and existing infrastructure. The Planning Commission shall also be permitted to authorize amendments to the PRO Plan in its review of the site plans for the Development, with regard to parking-related, landscaping-related, and façade-related requirements, provided it would otherwise have that authority under the Zoning Ordinance.

5. **General Provisions:**

- a. The Zoning Board of Appeals (the "**ZBA**") shall have no jurisdiction over the Property or the application of this Agreement, except for sign permits, until after site plan approval and construction of the Development as approved therein. In no event shall the ZBA be permitted to vary any terms or conditions of this Agreement.
- b. A breach of this Agreement shall constitute a nuisance *per se*, which shall be abated. Developer and the City therefore agree that, in the event of a breach of this Agreement by Developer, the City, in addition to any other relief to which it may be entitled at law or in equity, or any other provisions of this Agreement, shall be entitled under this Agreement to relief in the form of specific performance (except as to construction of the buildings, unless construction of a building has commenced) and an order of the court requiring abatement of the nuisance *per se*. In the event of a breach of this Agreement, the City may notify Developer of the occurrence of the breach and issue a written notice requiring the breach be cured within thirty (30) days; provided, however, that if the breach, by its nature, cannot be cured within thirty (30) days, Developer shall not be in the breach hereunder if Developer commences the cure within the thirty (30) day period and diligently pursues the cure to completion. Failure to comply with such notice shall, in addition to any other relief to which the City may be entitled in equity or at law, render Developer liable to the City in any suit for enforcement for actual costs incurred by the City including, but not limited to, reasonable attorneys' fees, expert witness fees and the like.
- c. This Agreement may not be amended except in writing signed by the parties and recorded in the same manner as this Agreement. In the event the Developer desires to propose an amendment, an application shall be made to the City's Department of Community Development, which shall process the application in accordance with the procedures set forth in the Zoning Ordinance.
- d. The parties understand and agree that if any part, term, or provision of this Agreement is held by a court of competent jurisdiction, and as a final enforceable judgment, to be illegal or in conflict with any law of the State of Michigan or the United States, the validity of the remaining portions or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if this Agreement did not contain the particular part, term, or provisions held to be invalid.
- e. This Agreement shall be governed by the laws of the State of Michigan, both as to interpretation and performance. Any and all suits for any and every

breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the County of Oakland, State of Michigan.

- f. No waiver of any breach of this Agreement shall be held to be a waiver of any other or subsequent breach. A delay in enforcement of any provision of this Agreement shall not be construed as a waiver or estoppel of the City's rights to eventually enforce, or take action to enforce, the terms of this Agreement. All remedies afforded in this Agreement shall be taken and construed as cumulative; that is, all remedies afforded in this Agreement are in addition to every other remedy provided by law.
- g. The signers of this Agreement warrant and represent that they have the authority to sign this Agreement on behalf of their respective principals and the authority to bind each party to this Agreement according to its terms. Further, each of the parties represents that the execution of this Agreement has been duly authorized and is binding on such parties as and when provided herein.
- h. This Agreement and all of its covenants, restrictions, and conditions are made for the benefit of the property and the community and shall run with the land described herein as the Property and bind the parties, their heirs, successors, and assigns. The Parties acknowledge that the Property is subject to changes in ownership and/or control at any time, but that heirs, successors, and assigns shall take their interest subject to the terms of this Agreement. All references to the "Developer" in this Agreement shall also include all respective heirs, successors, and assigns of Developer, all future owners of any parcels or units created by the proposed land divisions or condominium(s). The City shall have the right to enforce the Agreement and its covenants, restrictions, and conditions against Developer or its heirs, successors, and assigns.
- i. This Agreement shall be recorded in the Oakland County Register of Deeds.
- j. Developer has negotiated with the City the terms of the PRO Plan, the PRO Conditions, and this Agreement, and such documentation represents the product of the joint efforts and mutual agreements of the Parties. Developer fully accepts and agrees to the final terms, conditions, requirements and obligations of the PRO Plan and PRO Agreement, and Developer shall not be permitted in the future to claim that the effect of the PRO Plan and PRO Agreement results in an unreasonable limitation upon uses of all or a portion of the Property, or claim that enforcement of the PRO Plan and PRO Agreement causes an inverse condemnation, other condemnation or taking of all or any portion of the Property. Developer, and the City agree that this Agreement and its terms, conditions, and requirements are lawful and consistent with the intent and provisions of

local ordinances, state and federal law, and the Constitutions of the State of Michigan and the United States of America. Developer specifically has offered and agreed to proceed with the Undertakings, the PRO Conditions, and any other obligations as set forth in this Agreement in order to protect the public health, safety, and welfare and provide material advantages and development options for Developer, all of which Undertakings, PRO Conditions, and other obligations Developer and the City agree are necessary in order to ensure public health, safety, and welfare, to ensure compatibility with adjacent uses of land, to promote use of the Property in a socially, environmentally, and economically desirable manner, and to achieve other reasonable and legitimate objectives of the City and Developer, as authorized under applicable City ordinances and the Michigan Zoning Enabling Act, MCL 125.3101, *et seq.*, as amended.

Developer further agrees and acknowledges that the terms, conditions, obligations, and requirements of this Agreement are clearly and substantially related to the burdens to be created by the development and use of the Property under the PRO Plan, and are, without exception, clearly and substantially related to the City's legitimate interests in protecting the public health, safety and general welfare.

- k. Developer acknowledges that, at the time of the execution of this Agreement, Developer has not yet obtained site plan or engineering approvals for the Property. Developer acknowledges that the Planning Commission and City engineering staff/consultants may impose additional conditions other than those contained in this Agreement during site plan and engineering reviews and approvals as authorized by law; provided, however, that any such additional conditions shall not be inconsistent with the PRO Plan and this Agreement and shall not change or eliminate any development right authorized thereby. Such conditions shall be incorporated into and made a part of this Agreement.
- l. None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between the Parties.
- m. The Recitations contained in this Agreement and all exhibits attached to this Agreement and referred to herein shall for all purposes be deemed to be incorporated in this Agreement by this reference and made a part of this Agreement. Headings are descriptive only. The Exhibits attached hereto are as follows:

Exhibit A - Description & Depiction of the Property

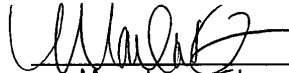
Exhibit B - PRO Plan

Exhibit C – Staff and Consultant Review Letters

- n. This Agreement is intended as the complete integration of all understandings between the Parties related to the subject matter herein. No prior contemporaneous addition, deletion, or other amendment shall have any force or effect whatsoever, unless embodied herein in writing. No subsequent notation, renewal, addition, deletion or other amendment shall have any force or effect unless embodied in a written amendatory or other agreement executed by the parties required herein, other than additional conditions which may be attached to site plan approvals as stated above.
- o. The Parties intend that this Agreement shall create no third-party beneficiary interest except for an assignment pursuant to this Agreement. The Parties are not presently aware of any actions by them or any of their authorized representatives which would form the basis for interpretation construing a different intent and expressly disclaim any such acts or actions, particularly in view of the integration of this Agreement.
- p. Where there is a question with regard to applicable regulations for a particular aspect of the development, construction and use of all or any portion of the Property, or with regard to clarification, interpretation, or definition of terms or regulations, and there are no express provisions of the PRO Plan and this Agreement which apply, the City, in the reasonable exercise of its discretion, shall determine the regulations of the City's Zoning Ordinance, as such Ordinance may have been amended, or other City Ordinances that shall be applicable, provided that such determination is not inconsistent with the nature and intent of the PRO Plan and this Agreement and does not delay, change or eliminate any development rights authorized by the PRO Plan and this Agreement. In the event of a conflict or inconsistency between two or more provisions of the PRO Plan (including notes thereto) and/or this Agreement, or between such documents and applicable City ordinances, the more restrictive provision, as determined in the reasonable discretion of the City, shall apply.
- q. The Parties acknowledge and agree that they have had the opportunity to have the PRO Plan and this Agreement reviewed by legal counsel.
- r. This Agreement is subject to termination and/or expiration in accordance with and as provided by the City's Zoning Ordinance.
- s. This Agreement may be signed in counterparts.

{Signatures begin on following page}


DEVELOPER:
FELDMAN KIA OF NOVI, a Michigan
Limited Liability Company


 By: Marla Sheryl Feldman
 Its: Vice President

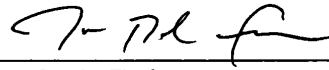
STATE OF MICHIGAN)
) ss
 COUNTY OF OAKLAND)

On this 31st day of July, 2025, before me appeared
Marla Sheryl Feldman, Vice president of **FELDMAN KIA OF NOVI, a**
Michigan Limited Liability Company, on its behalf.

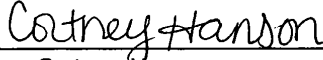
CATHERINE E. BENHAM
 NOTARY PUBLIC, STATE OF MI
 COUNTY OF OAKLAND
 MY COMMISSION EXPIRES Nov 13, 2028
 ACTING IN COUNTY OF Oakland


 Notary Public
Oakland County
 Acting in Oakland County
 My commission expires: 11/13/2028

{Signatures continue on following page}

CITY OF NOVI


By: Justin Fischer
Its: Mayor




By: Cortney Hanson
Its: Clerk

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

On this 28th day of July, 2025, before me appeared **Justin Fischer and Cortney Hanson**, who stated that they had signed this document of their own free will on behalf of the **City of Novi** in their respective official capacities, as stated above.

ALYSSA MARIE CRAIGIE
NOTARY PUBLIC, STATE OF MI
COUNTY OF OAKLAND
MY COMMISSION EXPIRES Sep 23, 2028
ACTING IN COUNTY OF Oakland.


Notary Public
Oakland County
Acting in Oakland County
My commission expires: 9/23/29

Drafted by:

Elizabeth Kudla Saarela
Rosati, Schultz, Joppich & Amstbuechler, PC
27555 Executive Drive, Suite 250
Farmington Hills, MI 48331-5627

When recorded return to:

Cortney Hanson, Clerk
City of Novi
45175 Ten Mile Road
Novi, MI 48375