



## FOUNTAIN VIEW AKA STONERIDGE WEST II JSP18-30

### FOUNTAIN VIEW AKA STONERIDGE WEST II, JSP 18-30

Public hearing at the request of Acqaira Realty Holdings for approval of Preliminary Site Plan, Phasing Plan, Wetland Permit, and Storm Water Management Plan. The subject property is located in Section 10 of the City of Novi north of Twelve Mile Road and west of Novi Road. The applicant is proposing to construct three medical and professional office buildings totaling 40,240 square feet with associated site improvements.

### Required Action

Approval/Denial of the Preliminary Site Plan, Phasing Plan, Wetland Permit, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	8-28-18	<ul style="list-style-type: none"> <li>Items to be addressed on Final Site Plan</li> </ul>
Engineering	Approval recommended	8-23-18	<ul style="list-style-type: none"> <li>Items to be addressed on Final Site Plan</li> </ul>
Landscape	Approval recommended	8-21-18	<ul style="list-style-type: none"> <li><b>Waiver for deficiency in total foundation landscape area (staff supported)</b></li> <li><b>Waiver for use of gray dogwood rather than the required 4.5-6' berm to screen northwestern half of the parking lot (staff supported)</b></li> <li>Items to be addressed on Final Site Plan</li> </ul>
Wetlands	Approval recommended	8-23-18	<ul style="list-style-type: none"> <li><b>Minor Wetland Permit: 0.14 acre wetland impact</b></li> <li><b>Authorization to Encroach upon 25-Foot Natural Feature Setback: 0.14 acres buffer impact</b></li> <li>Items to be addressed on Final Site Plan</li> </ul>
Woodlands	Approval recommended	8-23-18	<ul style="list-style-type: none"> <li>No further review required</li> </ul>
Traffic	Approval recommended	8-24-18	<ul style="list-style-type: none"> <li><b>Waiver for Driveway spacing deficiency to the east</b></li> <li>Items to be addressed on Final Site Plan</li> </ul>
Facade	Approval Recommended	8-27-18	<b>Buildings A &amp; C Section 9 Waivers:</b> <ul style="list-style-type: none"> <li><b>Underage of brick on the rear, left and right facades. (Supported)</b></li> <li><b>Overage of Burnished CMU on all facades. (Supported)</b></li> <li><b>Overage of Standing Seam Metal on rear, left and right facades. (Supported)</b></li> </ul>
Fire	Recommended with conditions	8-9-18	<ul style="list-style-type: none"> <li>Items to be addressed on Final Site Plan</li> </ul>

## Motion Sheet

### Approval –Preliminary Site Plan and Phasing Plan

In the matter of **FOUNTAIN VIEW AKA STONERIDGE WEST II, JSP 18-30**, motion to **approve** the Preliminary Site Plan and Phasing Plan based on and subject to the following:

- a. For buildings A & C, a Section 9 waiver to allow the overage of Burnished CMU on all facades (10% allowed; up to 20% proposed), an underage of Brick on the rear, left and right facades (30% required; minimum 20% proposed) and an overage of Standing Seem Metal on rear, left and right facades (25% allowed; up to 36% proposed). *These deviations are supported because the buildings exhibit well balanced composition and the proportions of materials used are consistent with and will enhance the overall design, and overall the building is consistent with the intent and purpose of the Façade Ordinance.* The Section 9 waiver is hereby granted;
- b. Waiver for deficiency in total foundation landscape area provided which is hereby granted *because the site will be heavily and attractively landscaped, and only the limited paved areas of the building are not landscaped as required;*
- c. Waiver for use of a gray dogwood to screen along the northwestern half of the parking lot in place of the required 4.5-6 foot tall berm, *which is hereby granted because more of the wetland would have to be filled if the required berm was built along the entire northern frontage;*
- d. Waiver for driveway spacing of 140 feet from the driveway to the east, where 230 feet is required, *which is hereby granted because of constraints on the site and in the Twelve Mile right-of-way;*
- e. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- f. *(additional conditions here if any)*

*This motion is made because the plan is otherwise in compliance with the Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*

**-AND-**

### Approval – Wetland Permit

In the matter of **FOUNTAIN VIEW AKA STONERIDGE WEST II, JSP 18-30**, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-AND-**

**Approval –Stormwater Management Plan**

In the matter of **FOUNTAIN VIEW AKA STONERIDGE WEST II, JSP 18-30**, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b) *(additional conditions here if any)*

*This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.*

**-OR-**

**Denial –Preliminary Site Plan**

In the matter of **FOUNTAIN VIEW AKA STONERIDGE WEST II, JSP 18-30**, motion to **deny** the Preliminary Site Plan, for the following reasons...*(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial – Wetland Permit**

In the matter of **FOUNTAIN VIEW AKA STONERIDGE WEST II, JSP 18-30**, motion to **deny** the Wetland Permit based on and subject to the following:

- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- d. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial –Stormwater Management Plan**

In the matter of **FOUNTAIN VIEW AKA STONERIDGE WEST II, JSP 18-30**, motion to **deny** the Stormwater Management Plan, for the following reasons...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

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# STONERIDGE WEST II: JSP18-30

## LOCATION



**LEGEND**

-  Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Lindsay Bell  
Date: 09/20/2018  
Project: STONERIDGE WEST II JSP18-30  
Version #: 1

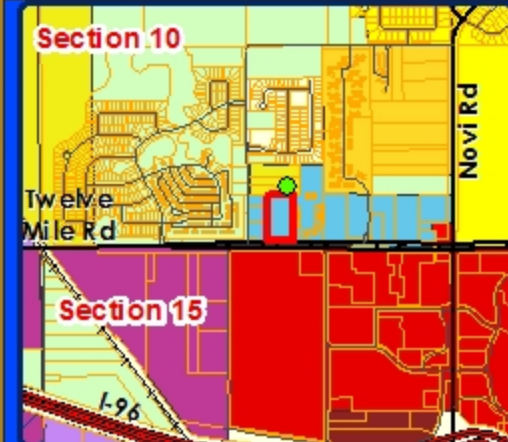
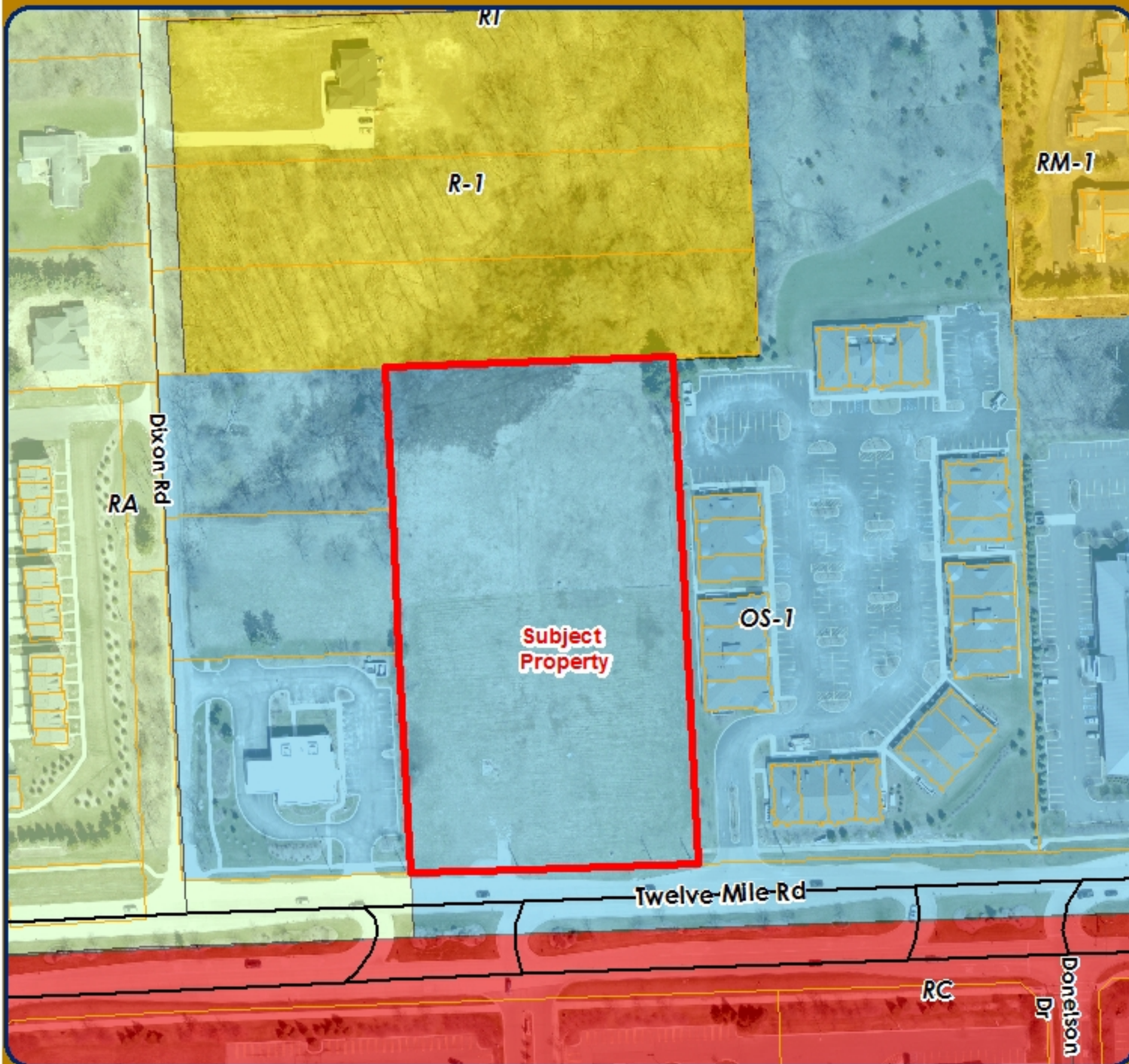


**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor or as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.


# STONERIDGE WEST II: JSP18-30

## ZONING



**LEGEND**

	R-A: Residential Acreage
	R-1: One-Family Residential District
	R-4: One-Family Residential District
	RM-1: Low-Density Multiple Family
	B-3: General Business District
	C: Conference District
	EXO: OST District with EXO Overlay
	I-1: Light Industrial District
	OS-1: Office Service District
	OST: Office Service Technology
	RC: Regional Center District
	Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

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0 35 70 140 210 Feet  
1 inch = 167 feet

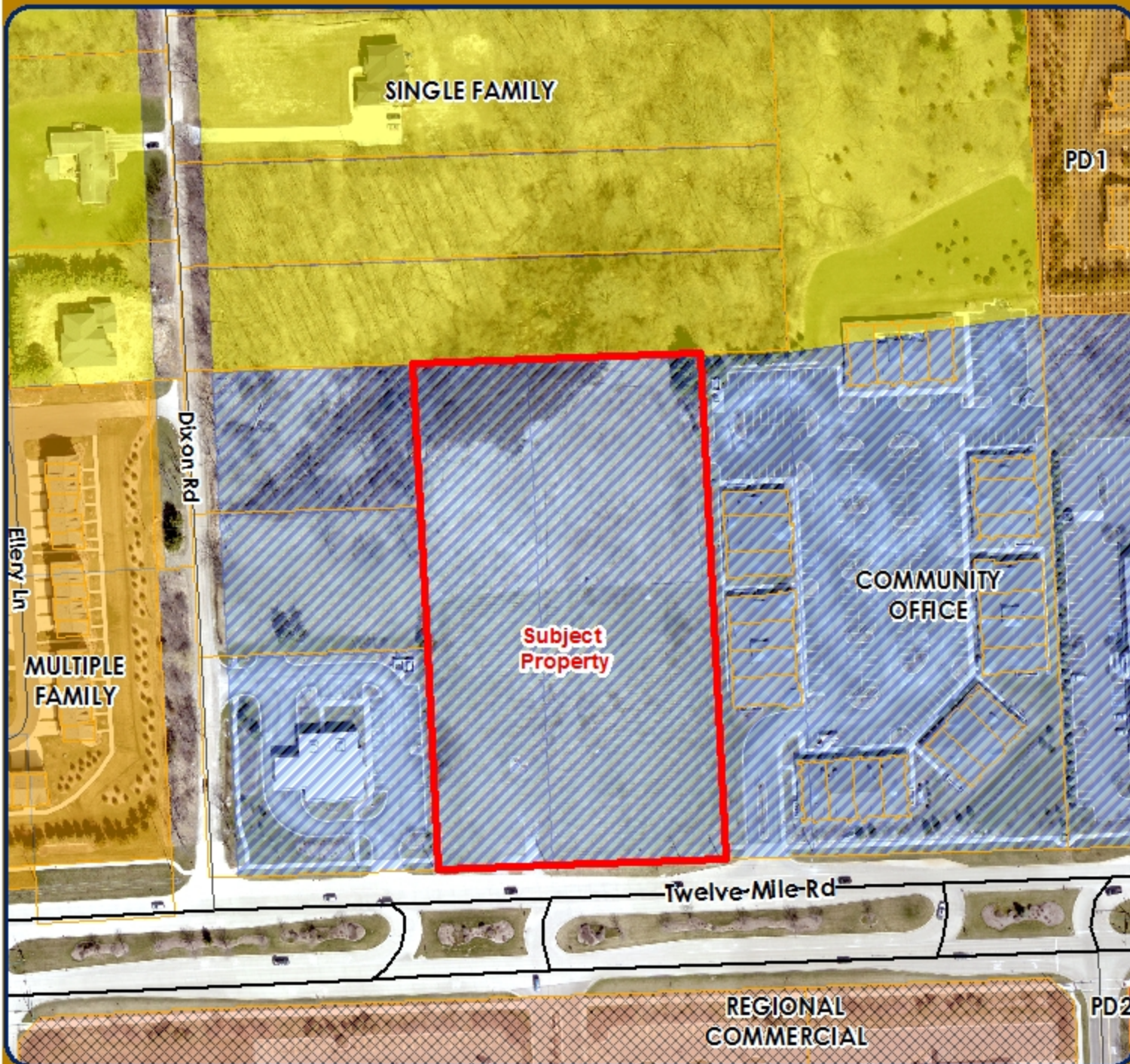


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# STONERIDGE WEST II: JSP18-30

## FUTURE LAND USE



- Single Family
- PUD
- Multiple Family
- PD1
- Community Office
- Office RD Tech
- Industrial RD Tech
- Regional Commercial
- PD2
- Public
- Public Park
- Cemetery
- Subject Property



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
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# STONERIDGE WEST II: JSP18-30

## NATURAL FEATURES



### LEGEND

- WETLANDS
- WOODLANDS
- Subject Property



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
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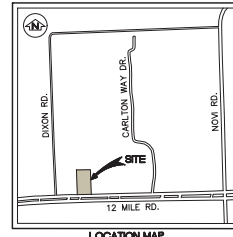
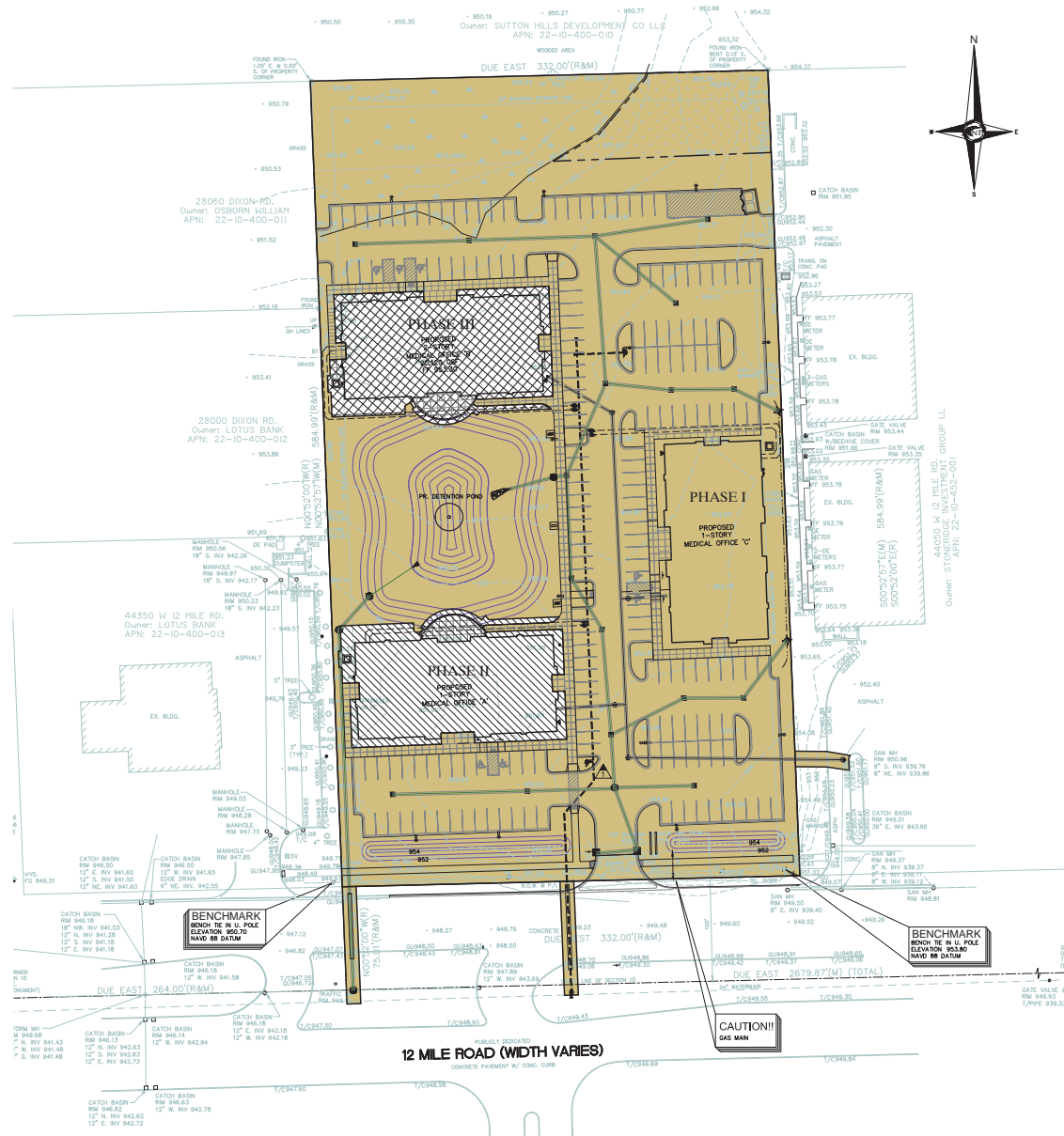
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**SITE PLAN**

(Full plan set available for viewing at the Community Development Department.)





**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRUAS ENGINEERS  
 4677 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257



**PROJECT**  
 Stoneridge West II  
 4244 Twelve Mile Road  
 Novi, MI 48375

**CLIENT**  
 Acquire Realty Holdings  
 4090 12 Mile Road  
 Novi, MI 48377

Contact: Joseph Schimizzi  
 Phone: (888) 560-5540

**PROJECT LOCATION**  
 Part of the SE 1/4  
 Section 10  
 T. 1N. R. 9E  
 City of Novi,  
 Oakland County, Michigan

**SHEET**  
 Phase Plan



**REVISIONS**

NO.	DATE	DESCRIPTION

**DRAWN BY:**  
 N. Naoum

**DESIGNED BY:**  
 J. Johnson

**APPROVED BY:**  
 M. Peterson

**DATE:**  
 09-19-2018

**SCALE:** 1" = 40'

**NFE JOB NO. SHEET NO.**  
**H046-01 1**

**CONSTRUCTION PHASE LEGEND**

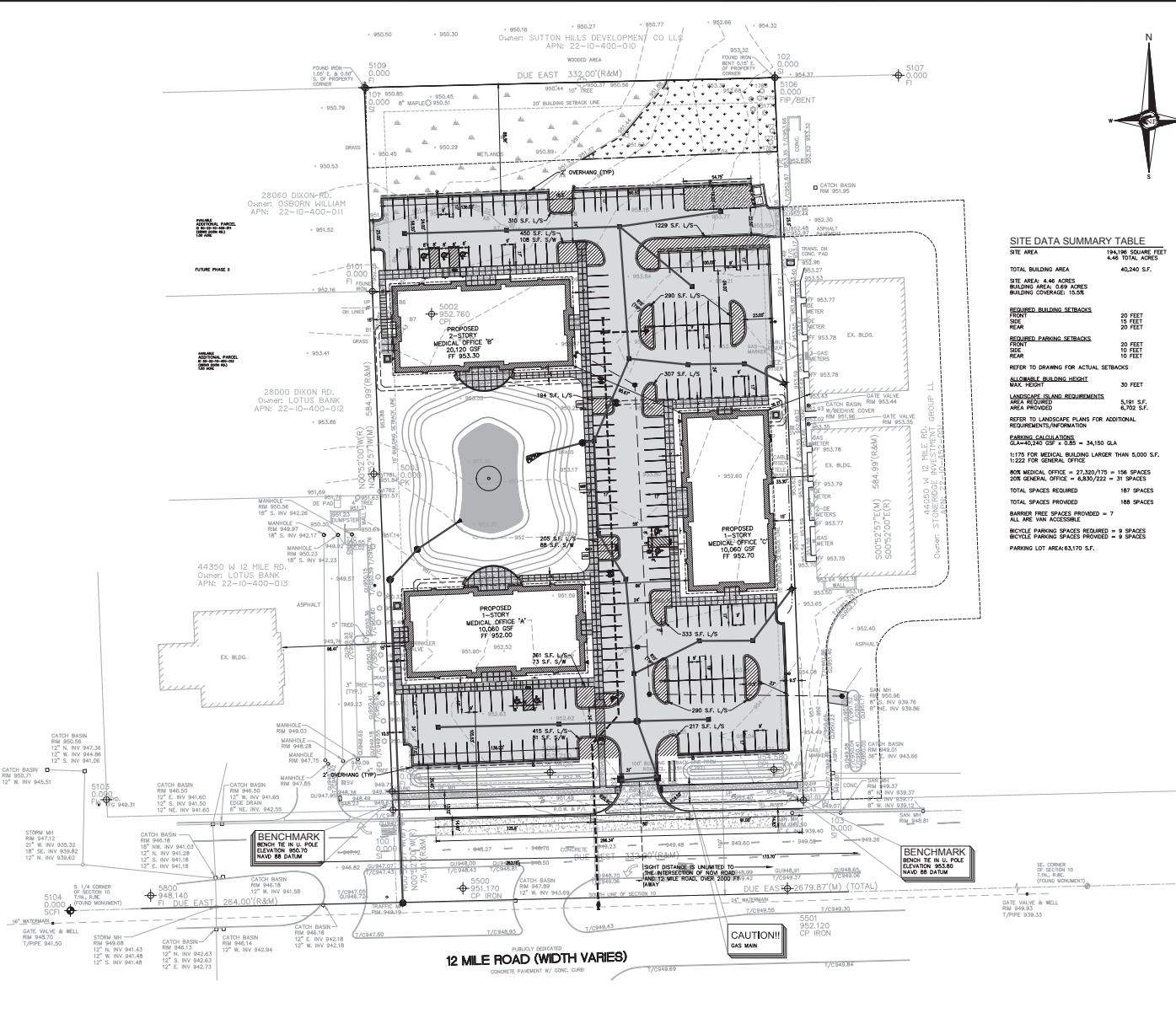
[Solid Yellow]	PHASE I
[Diagonal Hatching]	PHASE II (INCLUDES LANDSCAPING)
[Cross-hatching]	PHASE III (INCLUDES LANDSCAPING)

**LEGEND**

MANHOLE	EXISTING SANITARY SEWER
W/GRANT	SAN. CLEAN OUT
GATE VALVE	EXISTING WATER MAIN
MANHOLE CATCH BASIN	EXISTING STORM SEWER
EX. R. Y. CATCH BASIN	EXISTING BURIED CABLES
UTILITY POLE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
IGN	EXISTING GAS MAIN
MANHOLE	PR. SANITARY SEWER
GATE VALVE	PR. WATER MAIN
MANHOLE	PR. STORM SEWER
PR. R. Y. CATCH BASIN	EXISTING SAND BACKFILL (95% CONC.)
SAND BACKFILL (95% CONC.)	PROPOSED LIGHT POLE

**12 MILE ROAD (WIDTH VARIES)**

**CAUTION!!**  
 GAS MAIN



GENERAL PAVING NOTES  
PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE II (AIR-ENTAINED) WITH A MINIMUM CEMENT CONTENT OF 585 LBS PER CUBIC YARD. MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.  
ASPHALT: BASE COURSE - MOST BITUMINOUS MIXTURE NO. 100, 2.5% SOIL SURFACE COURSE - MOST BITUMINOUS MIXTURE NO. 100S, 3.0% SOIL SURFACE PENETRATION GRADE 85-100, BOND COAT - MOST 55-H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 5.5 INCH LIFT

TABLE: SITE DATA SUMMARY TABLE. Columns include: ITEM, QUANTITY, UNIT. Rows include: SITE AREA (194.16 SQ. FEET), TOTAL BUILDING AREA (42,340 S.F.), SITE AREA 4.46 ACRES, INSULATED BUILDING STRIPS (FRONT 20 FEET, REAR 20 FEET), INSULATED PARKING STRIPS (FRONT 20 FEET, REAR 20 FEET), LANDSCAPE ISLAND REQUIREMENTS AREA PROVIDED (5,381 S.F.), BARBER FREE SPACES PROVIDED (178 SPACES), BICYCLE PARKING SPACES PROVIDED (8 SPACES), PARKING LOT AREA (63,170 S.F.).

PAVEMENT BASE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY (MOISTURE PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.  
ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-584A.  
ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

NOTE: CITY OF NOWI RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC RIGHT-OF-WAY AND/OR CITY EASEMENT.  
1. NO INTERIOR DISPLAY SHALL BE VISIBLE FROM THE EXTERIOR OF THE BUILDING...  
2. WAREHOUSING OR STORAGE OF GOODS OR MATERIAL BEYOND THAT NORMALLY INCIDENTAL TO THE BUSINESS SHALL BE PROHIBITED...  
3. TRAFFIC SIGNS IN THE RIGHT-OF-WAY SHALL BE INSTALLED BY THE OWNER...  
4. TRAFFIC SIGNS WITH HORIZONTAL DIMENSIONS OF 12" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST...  
5. TRAFFIC CONTROL SIGNS SHALL USE THE PRIMA STANDARD ALPHABET SERIES...  
6. THE CROSSHAIR PAVEMENT MARKINGS SHALL COMPLY WITH MAUTD...  
7. PARKING STRIPES MUST BE WHITE. BLUE MAY BE USED FOR ACCESSIBLE PARKING SPACES...  
8. THE INTERSECTION SYMBOL FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH A BLUE BACKGROUND.

PAVING LEGEND: PROPOSED CONCRETE PAVEMENT (diagonal lines), PROPOSED ASPHALT PAVEMENT (cross-hatch).

LEGEND: MANHOLE, HYDRANT, GATE VALVE, CATCH BASIN, EX. R. Y. CATCH BASIN, UTILITY POLE, GUY WIRE, LIGHT POLE, SIGN, EX. GAS MAIN, EX. SANITARY SEWER, EX. WATER MAIN, EX. STORM SEWER, EX. R. Y. CATCH BASIN, PROPOSED LIGHT POLE, EX. TOP OF CURB ELEVATION, EX. GUTTER ELEVATION, EX. TOP OF WALK ELEVATION, EX. TOP OF PAVEL ELEVATION, FINISH GRADE ELEVATION.

DATUM NOTE  
TO HAVE ELEVATIONS IN THE CITY OF NOWI DATUM, SUBTRACT 0.15' FROM ALL GRADES

SCALE: 1" = 40'  
SHEET NO. C3



NOWAK & FRUAS ENGINEERS  
4677 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257



PROJECT  
Stoneridge West II  
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Novi, MI 48375

CLIENT  
Acquiria Realty Holdings  
4090 12 Mile Road  
Novi, MI 48377

Contact: Joseph Schimizzi  
Phone: (888) 560-5540

PROJECT LOCATION  
Part of the SE 1/4  
Section 10  
T. 1N. R. 9E  
City of Novi,  
Oakland County, Michigan

SHEET  
Stringer Dimension Plan

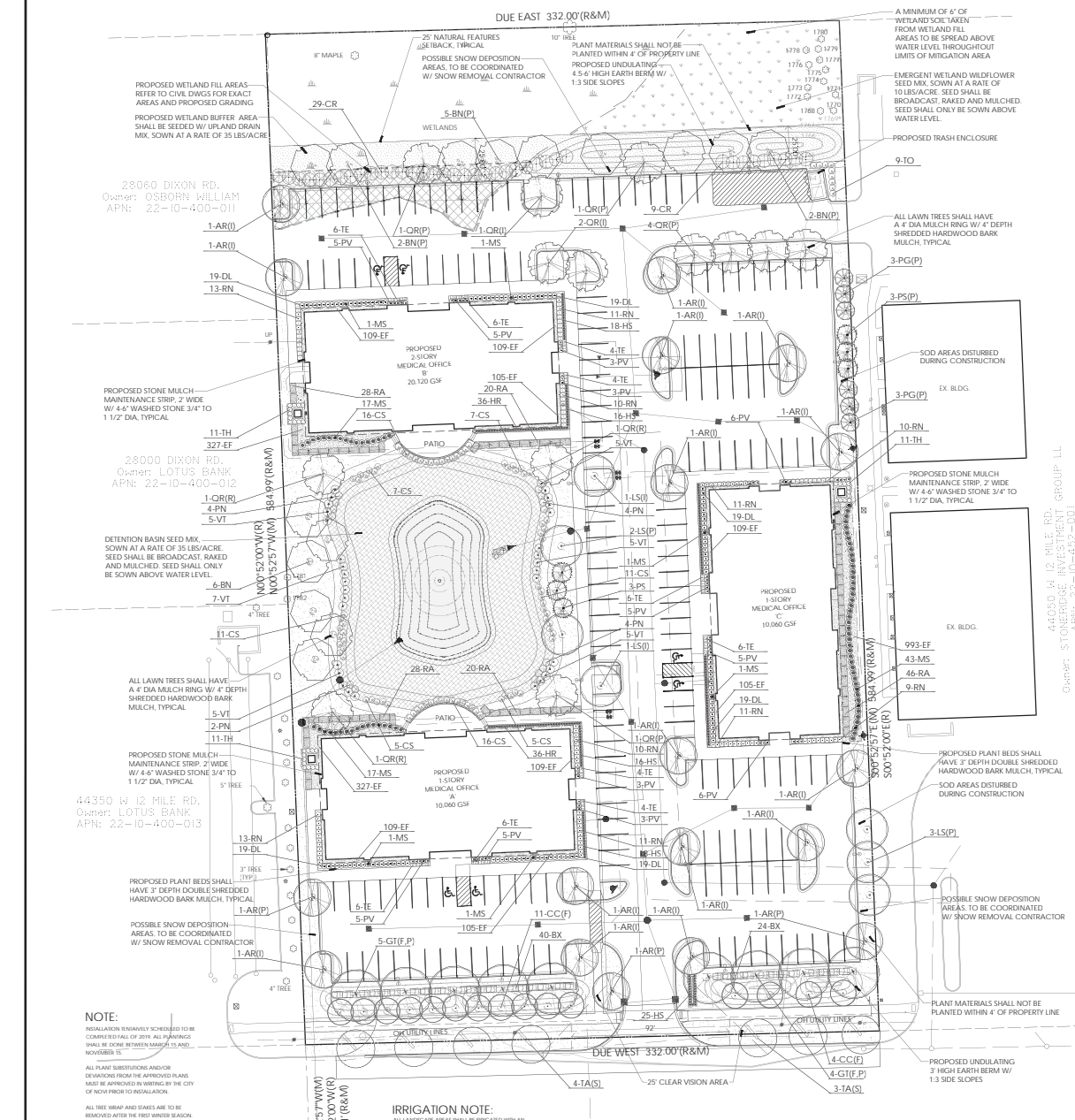


REVISED  
04-28-16 Revised SPA Application  
3-27-18 SPA  
01-31-18 REV. PER CITY REVIEW

DRAWN BY:  
J. Johnson  
DESIGNED BY:  
J. Johnson  
APPROVED BY:  
M. Peterson

DATE:  
02-27-2018

SCALE: 1" = 40'  
SHEET NO. C3



**NOTE:**  
SEE SHEET 13 FOR BASIS OF CALCULATION DIAGRAM

**LANDSCAPE REQUIREMENTS**  
EXISTING SITE ZONING: CS-1 OFFICE SERVICE DISTRICT  
EXISTING SITE AREA: 784,104 S.F. OR 18.46 ACRES  
LANDSCAPE ABSTRACT A-D TO 12 MILE ROAD  
REQUIRE: 25% OF FRONTAGE 40% S.F. / 2.5' x 6-8 OR 9 TREES REQUIRED  
REQUIRE: 7 TREES  
ROW LANDSCAPE SCREENING (F)  
1 TREE PER 50 S.F. (ADJACENT TO PAVG)  
1 TREE PER 100 S.F. (ROW PAVG)  
1 ORNAMENTAL TREE PER 20 S.F. (ROW PAVG)  
12 MILE ROAD  
REQUIRE: 222 L.F. - 205 / 20 L.F. - 8.4' OR 9 TREES REQUIRED  
REQUIRE: 225 L.F. - 205 / 20 L.F. - 15 OR 20 15' ORNAMENTAL TREES REQUIRED  
REQUIRE: 9 CANOPY TREES AND 15 SUB-CANOPY TREES  
REQUIRE: 9 CANOPY AND 15 SUB-CANOPY TREES

**PARKING LOT LANDSCAPE REQUIREMENTS**  
VEHICLE USE AREA  
7.0% OF TOTAL VEHICLE USE AREA UP TO 50,000 S.F. THEN 1%  
28,000 S.F. 8' 2" DIA. x 7,200 S.F.  
11,550 S.F. x 1% = 115.55 OR 122 S.F.  
REQUIRED PARKING LOT SIDEWALK AREA  
REQUIRE: 3,500 S.F. FOR PARKING LOT BRANDS  
REQUIRE: 5,800 S.F.  
REQUIRE: 5,800 S.F.  
REQUIRE: 5,800 S.F.

**LANDSCAPE REPLACEMENT (R)**  
3 WOODLAND REPLACEMENT TREES ARE REQUIRED  
REQUIRE: 3 WOODLAND REPLACEMENT TREES  
REQUIRE: 3 WOODLAND REPLACEMENT TREES  
REQUIRE: 3 WOODLAND REPLACEMENT TREES

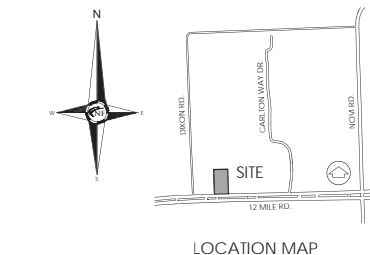
**WONDERS REQUIRED:**  
THE REQUIRED AREA CANNOT BE MET DUE TO THE LARGE CONCRETE PAD AT THE BUILDING ENTRY AT A AND C, AS WELL AS THE STONE OVERLOOK AREAS AT A & B. ALTHOUGH THE AREAS DONOT COUNT FOR LANDSCAPE AREA, THEY ARE PUBLIC SPACES AND MUST BE THE CENTER OF THE CONSTRUCTION.

**GENERAL NOTES:**  
ALL PROPOSED PLANT MATERIAL SHALL BE NORTHERN CALIFORNIA HARDY - GRADE SPECIES INSTALLED IN ACCORDANCE W/ AAN AND CITY OF NOVATO REQUIREMENTS  
MSS 04 (1-800-483-7170) SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION OF ALL MATERIALS

**SOIL NOTE:**  
EXISTING SOIL ON SITE ARE COMPOSED EXCLUSIVELY OF MARLESE SANDY-GRAVELLY 1-8 SLOPES

**PLANT SCHEDULE**

KEY	CITY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT	UNIT/FOTAL COSTS
AR 18	Acacia saligna	Acacia saligna	3" CAL	SEE PLAN	B&B	FILL, MATCHED HEADS	\$400/97,200
BN 15	Calliandra	Calliandra	1 1/2" CAL	SEE PLAN	B&B	CLUMP FORM, 1 CANES	\$400/56,500
CC 15	Calliandra	Calliandra	2 1/2" CAL	SEE PLAN	B&B	FILL, MATCHED HEADS	\$250/33,500
GI 9	Calliandra	Calliandra	3" CAL	SEE PLAN	B&B	FILL, MATCHED HEADS	\$400/53,600
IS 7	Calliandra	Calliandra	3" CAL	SEE PLAN	B&B	FILL, MATCHED HEADS	\$400/52,800
PG 6	Calliandra	Calliandra	8" HT	SEE PLAN	B&B	FILL, MATCHED HEADS	\$325/41,950
PS 4	Calliandra	Calliandra	8" HT	SEE PLAN	B&B	FILL, MATCHED HEADS	\$325/41,950
QR 13	Calliandra	Calliandra	3" CAL	SEE PLAN	B&B	FILL, MATCHED HEADS	\$400/53,500
TA 7	Calliandra	Calliandra	3" CAL	SEE PLAN	B&B	FILL, MATCHED HEADS	\$400/52,800
<b>SHRUBS</b>							
BX 64	Buxus	Buxus	30" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/93,200
CR 38	Calliandra	Calliandra	48" HT	6" OC	B&B		\$50/91,900
CS 56	Calliandra	Calliandra	36" HT	36" OC	B&B		\$50/92,800
PN 14	Calliandra	Calliandra	36" HT	30" OC	B&B		\$50/93,700
SA 142	Calliandra	Calliandra	30" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/93,450
BN 109	Calliandra	Calliandra	3 CAL	30" OC	CONT		\$50/95,450
BD 114	Calliandra	Calliandra	24" HT	30" OC	CONT		\$50/95,700
TE 46	Calliandra	Calliandra	18" HT	24" OC	B&B	MAINTAIN AS HEDGE	\$50/92,200
TR 33	Calliandra	Calliandra	36" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/91,650
TD 9	Calliandra	Calliandra	5" HT	48" OC	B&B		\$50/9490
VT 17	Calliandra	Calliandra	36" HT	36" OC	B&B		\$50/91,600
<b>TREES/MANIPULATION</b>							
FF 2 071	Calliandra	Calliandra	1 GAL	15" OC	CONT	WELL-ROOTED	\$15/931,065
HR 72	Calliandra	Calliandra	2 GAL	18" OC	CONT	WELL-ROOTED	\$15/91,080
HS 93	Calliandra	Calliandra	2 GAL	18" OC	CONT	WELL-ROOTED	\$15/91,395
MS 83	Calliandra	Calliandra	5 GAL	SEE PLAN	CONT	WELL-ROOTED	\$15/930
PV 54	Calliandra	Calliandra	3 GAL	30" OC	CONT	WELL-ROOTED	\$15/9310



**GENERAL LANDSCAPE NOTES**

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPROPRIATE AGENCIES AND LOCAL GOVERNMENT OFFICIALS.  
2. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION AND SHALL MAINTAIN THEM AT ALL TIMES.  
3. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.  
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9. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.  
10. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.

**CITY OF NOVATO NOTES**

- 1. ALL OFFERS SHALL BE SUBMITTED BY 5:00 PM ON THE DATE OF THE BIDDING.
- 2. ALL PROPOSERS SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPROPRIATE AGENCIES AND LOCAL GOVERNMENT OFFICIALS.
- 3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION AND SHALL MAINTAIN THEM AT ALL TIMES.
- 4. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.
- 5. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.
- 6. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.
- 7. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.
- 8. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.
- 9. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.
- 10. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULE PROVIDED.

**SOD NOTE:**  
ALL LAWN AREAS DESIGNATED TO BE SODED, SHALL BE SODED WITH A SPECIES NORMALLY LOCATED IN CALIFORNIA COUNTY. ALL SOIL SHALL BE PLACED ON A PREPARED TROPICAL AND WATERED DAILY UNTIL ESTABLISHED.

**NF ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS  
NOWAK & FRAUS ENGINEERS  
4677 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

**PROJECT**  
Stone Ridge West  
4424 Twelve Mile Road  
Novi, MI 48375

**CLIENT**  
The Ron Jona Collaborative  
2910 Inlander Road  
Southfield, MI 48034

**PROJECT LOCATION**  
Part of the SE, 1/4  
of Section 10  
T. 1N, R. 9E  
City of Novi,  
Oakland County,  
Michigan

**Landscape Plan**

**811**  
Know what's Below  
Call before you dig.

**REVIEWS**  
02/28/14 REVISED SPA APPLICATION  
03/23/14 FINAL SPA  
05/20/14 REVISED PER CITY

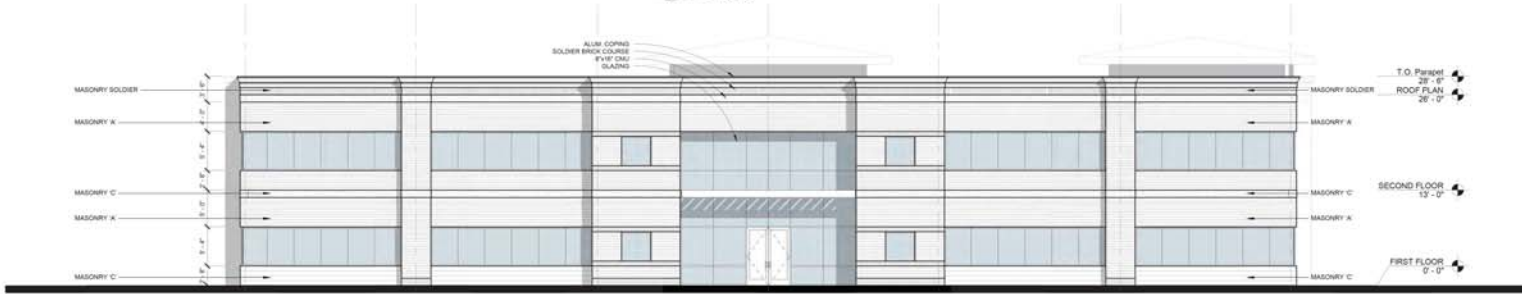
**DRAWN BY:**  
G. Ostrowski  
**DESIGNED BY:**  
G. Ostrowski  
**APPROVED BY:**  
G. Ostrowski  
**DATE:**  
04-11-2014

**SCALE** 1" = 30'  
0 5 10 15 30 45

**NFE JOB NO.** H046-01 **SHEET NO.** L2



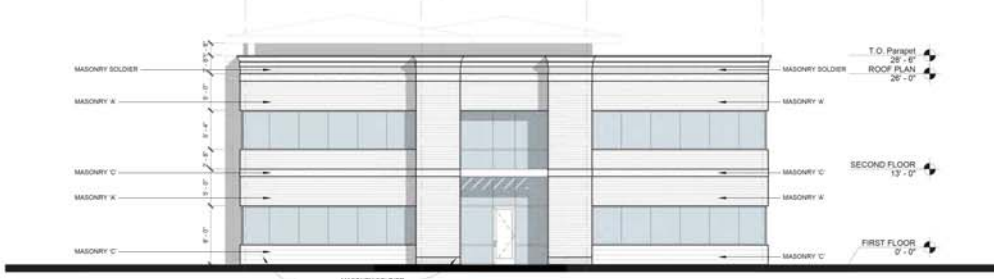
1  
FRONT VIEW-BUILDING 'B'  
Scale: 1/8" = 1'-0"



2  
REAR VIEW-BUILDING 'B'  
Scale: 1/8" = 1'-0"



3  
LEFT VIEW-BUILDING 'B'  
Scale: 1/8" = 1'-0"



4  
RIGHT VIEW-BUILDING 'B'  
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL FINISH SCHEDULE AND NOTES					
MATERIAL/ TAG	MANUFACTURE	COLOR/ MODEL	SIZE	REMARKS/ NOTES	
MASONRY A - FULL BRICK VENEER	OLEN-GARY BRICK	AUSTIC BURGUNDY/ DEEP RED GROUT	3.5"RD X 2.1/4"X 7.5"SW (MCDOLLAR)	CONTRACT: OLEN GARY SUPPLIER	
MASONRY C - BUSHINGED	GRAND BLANC/ CEMEX PRODUCTS	GREYSTONE WHITE/ WHITE GROUT	4"O X 8"X 1 1/4"X 1 1/4"X	CONTRACT: ROW HEAT (813) 694-7300	

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

August 28, 2018

## Planning Review

Stoneridge West II

JSP 18-30

### PETITIONER

Acquira Realty Holdings

### REVIEW TYPE

Preliminary Site Plan

### PROPERTY CHARACTERISTICS

<b>Section</b>	10	
<b>Site Location</b>	North of Twelve Mile, West of Novi Road; 22-10-400-067	
<b>Site School District</b>	Novi Community School District	
<b>Site Zoning</b>	OS-1: Office Service District	
<b>Adjoining Zoning</b>	North	R-1: One-Family Residential District
	East	OS-1: Office Service District
	West	OS-1: Office Service District
	South	RC: Regional Center District
<b>Current Site Use</b>	Vacant	
<b>Adjoining Uses</b>	North	Single family residence
	East	Office Park
	West	Bank; Vacant lot
	South	Twelve Mile Crossing at Fountain Walk
<b>Site Size</b>	4.45 acres	
<b>Plan Date</b>	July 31, 2018	

### PROJECT SUMMARY

The applicant is proposing three new medical/professional office buildings with a total of 40,240 square feet on a 4.46 acre vacant parcel. The parcel is on the north side of Twelve Mile Road, west of Novi Road. The site is planned for Community Office and zoned OS-1, Office Service. The proposal includes parking spaces, wetland mitigation on the north side and a stormwater detention pond.

### RECOMMENDATION

Approval of the ***Preliminary Site Plan is recommended.*** The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations to be addressed in subsequent Site Plan submittals. All reviews recommend approval. **Planning Commission's approval for Preliminary Site Plan, Wetland Permit and Storm Water Management Plan is required.**

### ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:



1. Phasing Plan (Sec 4.19.2.A): The application indicates 2-3 phases of development, however no phasing plan with phase lines has been included in the plan set. Applicant has indicated the entire site will be prepared, including pad sites for all three buildings, with construction of individual buildings to be built in phases. **If the applicant believes construction of the project will exceed 2 years, staff recommends that a phasing plan sheet be included for Planning Commission approval. Such phasing plan should clearly delineate all features, including structures, utilities and landscaping, that will be provided in each phase.**
2. Lighting and Photometric Plan (Sec. 5.7.2): **Complete the Statistics chart and include notes that address the Ordinance requirements. Adjust lighting levels at the main entrance to meet the 1.0 fc minimum. See planning chart for additional details.**
3. Bicycle Parking (Section 5.16): Nine bicycle parking spaces are proposed in 3 clusters on the east side of the detention pond. Each of the 3 locations is within 120 feet of one of the building entrances of each building. **Details of the bicycle parking layouts and rack design should be shown and dimensioned within the plan set. See chart for additional details.**
4. Plan Review Chart: There are additional minor clarifications requested in the Plan review chart. Please refer to the chart for additional details.
5. Economic Impact Information: The following information is requested before the Planning Commission meeting:
  - i. Total cost of the proposed construction & site improvements (*\$6 million indicated in response letter*)
  - ii. Number of anticipated jobs created (during construction & after building is occupied, estimated)
6. Other Reviews:
  - a. Engineering Review: Additional comments to be addressed with Final Site Plan. Engineering recommends approval.
  - b. Landscape Review: Landscape recommends approval with comments to be addressed in Final Site Plan Submittal. **Two landscape waivers are required, but both are supported by staff.** Refer to review letter and chart for more comments.
  - c. Wetlands Review: Wetlands consultant recommends approval to move forward with additional comments to be addressed in Final Site Plan submittal. Refer to review letter for more details.
  - d. Woodlands Review: No impacts to regulated Woodlands or trees are proposed. Further Woodland Review is not necessary.
  - e. Traffic Review: Additional comments to be addressed with Final Site Plan. Traffic recommends approval.
  - f. Facade Review: **The proposed materials on two buildings deviates from the façade ordinance, which will require a Section 9 façade waiver.** Façade consultant recommends approval. See letter for additional details.
  - g. Fire Review: Fire recommends approval. Additional comments to be addressed with Final Site Plan. **Please note the need for an adjustment to the driveway on the south side of Building A.**

#### **NEXT STEP: PLANNING COMMISSION MEETING**

This Site Plan is scheduled to go before Planning Commission for public hearing on **September 26, 2018 at 7:00 p.m.** Please provide the following **no later than 12:00pm, September 20, 2018** if you wish to keep this schedule.

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. **Phasing plan sheet, if applicable.**
3. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.

4. A color rendering of the Site Plan (Optional - to be used for Planning Commission presentation).
5. A sample board of building materials as requested by our Façade Consultant.

### FINAL SITE PLAN SUBMITTAL

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After receiving Planning Commission's approval of the Preliminary Site Plan, please follow the [Final Site Plan Checklist](#) and submit for approval:

1. Seven copies of Final Site Plan sets addressing all comments from Preliminary review and Planning Commission (or a [No Revision Façade Affidavit](#) and 6 copies of FSP, if applicable);
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected**;
3. [Final Site Plan Application](#)

### ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

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After receiving Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**.

### STAMPING SET APPROVAL

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Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### SIGNAGE

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Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

### PRE-CONSTRUCTION MEETING

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

### CHAPTER 26.5

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).

A handwritten signature in black ink that reads "Lindsay Bell". The signature is written in a cursive, flowing style.

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Lindsay Bell – Planner



## PLANNING REVIEW CHART: OS-1 Office Service District

**Review Date:** August 17, 2018  
**Review Type:** Preliminary Site Plan  
**Project Name:** JSP18-30 Stoneridge West II  
**Location:** 44244 W. Twelve Mile Road; Parcel 22-10-400-067  
**Plan Date:** 7/31/2018  
**Prepared by:** Lindsay Bell, Planner  
**E-mail:** lbell@cityofnovi.org; **Phone:** (248) 347-0484

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	Community Office	Medical Office	Yes	
<b>Area Study</b>	The site does not fall under any special category	NA	Yes	
<b>Zoning</b> <i>(Effective January 8, 2015)</i>	OS-1: Office Service District	OS-1	Yes	
<b>Uses Permitted</b> (Sec 3.1.21.B & C)	Sec. 3.1.21.B. - Principal Uses Permitted. Sec. 3.1.21.C. – Special Land Uses Permitted.	Medical Office Buildings	Yes	
<b>Height, bulk, density and area limitations (Sec 3.1.21.D)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i> <b>Access To Major Thoroughfare</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage and access to Twelve Mile Road	Yes	
<b>Minimum Zoning Lot Size</b> for each Unit in Ac <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	4.46 acres	NA	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet <i>(Sec 3.6.2.D)</i>			NA	
<b>Open Space Area</b>	----	---	---	---
<b>Maximum % of</b>	<i>(Sec 3.6.2.D)</i>	15.5%	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Lot Area Covered</b> (By All Buildings)				
<b>Building Height</b> (Sec. 3.1.23.D)	30 feet	Maximum height: 28.5'	Yes	
<b>Building Setbacks</b> (Sec 3.1.21.D)				
Front South @ Twelve Mile	20 ft.	105 ft.	Yes	<b>Dimensions on Site Plan missing for rear building setback</b>
Rear North	20 ft.	157 ft.	Yes	
West Side	15 ft.	15 ft.	Yes	
East Side	15 ft.	15 ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.21.D) Refer to applicable notes in Sec 3.6.2				
Front South @ Twelve Mile	20 ft.	35.45 ft.	Yes	<b>Parking on east side must meet 10 ft setback</b>
Rear North	10 ft. (20ft. when abuts residential zone)	88 ft.	Yes	
West Side	10 ft.	10.5 ft.	Yes	
East Side	10 ft.	9.5 ft.	No	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	No exterior side yard present	NA	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard if - does not extend into the minimum required front yard setback of the district	Does not extend	Yes	
<b>Setbacks from Residential</b> (Sec 3.6.2.L)	All properties abutting residential districts shall have 20' parking setback	Rear yard abuts residential – parking setback exceeds 20'	Yes	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained	Wetlands shown on northern portion of the site – parking area appears to encroach	No	<b>See comments from ECT. Quantify wetlands and 25' buffers impact area</b>
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			<b>See Landscape comments</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q	Parking setbacks conform to the minimum required	NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>OS-1 District Required Conditions (Sec 3.17)</b>				
<b>Interior Display</b> (Sec 3.17.1)	No interior display shall be visible from the exterior of the building.	Notes on sheet C3	Yes	
<b>Outdoor storage</b> (Sec 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Notes on sheet C3	Yes	
<b>Warehousing or indoor storage</b> (Sec 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Notes on sheet C3	Yes	
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking Spaces</b> Medical Office (Sec.5.2.12.D)	Medical Office: For buildings greater than 5,000 square feet, 1 space per 175 SF GLA General Office: 1 space per 222 sf  27,320 GLA/175 = 156 6,820 GLA/222 = 31 156+31= 187 spaces required	Total Proposed = 188 spaces	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	90° Parking: 9 ft. x 17 ft. along 7 ft. wide interior sidewalks	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	The parking stall appears to be 25' from the street right-of-way	Yes	
<b>End Islands</b> (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15	End Islands are proposed – dimensions not shown.	No	<b>Please dimension the radius and the offset distance according to standards.</b>

Item	Required Code	Proposed	Meets Code	Comments
	feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance			
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	7 barrier free parking spaces (for total 201 to 300) including 1 van barrier free parking space	7 barrier Free parking proposed	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces	All van accessible	Yes	<b>Plans show 8' access aisle, however detail on Sheet C4 shows 5' access aisle. Provide correct detail image for van accessible spaces.</b>
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs shown on plans	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	<u>Medical Offices:</u> One (1) space for each twenty (20) employees on the maximum shift, minimum two (2) spaces	9 bicycle parking spaces indicated	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Spaces all shown on east side of detention basin – 3 locations spaced out 55-65 feet; At least one location is w/in 120 feet of each building entrance	Yes  Yes  <b>No</b>	<b>Provide detail of bicycle rack design</b>
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	No Bicycle parking layout provided	<b>No</b>	<b>Provide a plan detail of the bicycle parking as required</b>
<b>Loading Spaces</b> <i>Sec. 5.4.1</i>	- Within the OS districts, loading space shall be provided in the rear yard or - in the case of a double	- Loading area (9.5 x 54.5 = 518 sf) is located adjacent to the dumpster enclosure in the rear yard (NE	Yes	<b>Label the loading space dimensions.</b>

Item	Required Code	Proposed	Meets Code	Comments
	frontage lot, in the interior side yard, - in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.	corner of the parking lot)		
<b>Dumpster</b> Sec 4.19.2.F	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft. from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	<p>Two dumpsters are provided in one enclosure in the rear yard (NE corner of the parking lot)</p> <p>Yes – meets setback requirements</p> <p>Yes, it is away</p>	Yes	
<b>Dumpster Enclosure</b> Sec. 21-145. (c) Chapter 21 of City Code of Ordinances	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	<ul style="list-style-type: none"> <li>- An enclosure is shown on the plans</li> <li>- 6' high</li> <li>- A concrete surface is indicated</li> <li>- 9 Dark Green Arborvitae shown for evergreen screening on east and north sides.</li> </ul>	Yes	
<b>Lighting and Other Equipment Requirements</b>				
<b>Exterior lighting</b> Sec. 5.7	Photometric plan and exterior lighting details needed at time of Preliminary Site Plan submittal	A lighting plan was provided in pdf format	Yes	<a href="#">See Lighting Review chart for more details.</a>
<b>Roof top equipment and wall mounted utility equipment</b> Sec. 4.19.2.E.ii	<ul style="list-style-type: none"> <li>- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building</li> </ul>	Roof top equipment proposed – applicant indicated it will be 100% screened by sloped roof at parapet	Yes	<b>See Façade review for further comments</b>
<b>Roof top appurtenances</b>	Roof top appurtenances shall be screened in	Roof top equipment proposed	Yes	<b>See Façade review for further comments</b>



Item	Required Code	Proposed	Meets Code	Comments
screening	accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.			
<b>Non-Motorized Facilities</b>				
<b>Article XI. Off-Road Non-Motorized Facilities</b>	Non-motorized facilities shall be placed across the frontage of all streets and roadways (public or private) for all projects in accordance with the "Bicycle and Pedestrian Master Plan ", as well as at those locations specified in the City of Novi Subdivision Ordinance (Appendix C) and the City of Novi Zoning Ordinance (Appendix A).	A sidewalk is proposed along Twelve Mile Road – Sheet C4 indicates 6' width	Yes	
<b>Pedestrian Connectivity</b>	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Sidewalks are proposed throughout the site	Yes	
<b>Building Code and Other Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	All exits are connected to internal sidewalk	Yes	
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</li> </ul>	Total cost of construction and site improvements estimated: \$6 million Jobs created: unknown	Yes	
<b>Phasing</b>	<ul style="list-style-type: none"> <li>- All projects must be completed within 2 years of the issuance of any starting permit or phasing plan should be provided</li> </ul>	Phasing is indicated – however plan sheet with phase lines is not provided	<b>No</b>	<b>If a phasing plan is to be approved by the Planning Commission it should be provided in advance of the Planning Commission Meeting</b>
<b>Development/ Business Sign &amp; Street addressing</b>	<ul style="list-style-type: none"> <li>- Signage if proposed requires a permit.</li> <li>- The applicant should contact the Building Division for an address prior to applying for a building permit.</li> </ul>			For further information <u>contact Maureen Underhill 248-735-5602.</u>
<b>Project and Street Naming</b>	Some projects may need approval from the Street and Project Naming Committee.	This project requires approval of the Project Name – please complete the required <a href="#">application</a>		For approval of <u>project and street naming</u> contact Hannah Smith at <u>248-735-0579 (REMOVE THIS PARTIAL NOTE FROM THE PLAN – Applicant should apply for project name approval at this time)</u>
<b>Parcel Split or Combination or Condominium approval</b>	Any parcel splits or condominium approvals must be completed before Stamping Set approval		NA	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent	Provided	Yes	<u>PDF of lighting plan was provided but not hard</u>

Item	Required Code	Proposed	Meets Code	Comments
	unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky			<u>copy - include hard copy in Final Stamping Set</u>
<b>Lighting Plan</b> (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Light pole locations shown on landscape plans	Yes	
<b>Building Lighting</b> (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Lighting fixtures etc. not shown on building elevations	No	<b>Show as required on building elevation drawings</b>
<b>Lighting Plan</b> (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	11' & 24' for building-mounted, 25' pole lights	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Shown	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Shown	Yes	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties		Yes	
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (30 ft.) (or 25 ft. where adjacent to residential districts or uses)	25 ft proposed	Yes	
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting</li> </ul>	Notes included on Lighting plan	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	for security purposes & limited operations shall be permitted after a site's hours of operation			
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred.	Not specified	No	Show which lights are security lighting
<b>Average Light Levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Parking lot is 3.2:1	Yes	
<b>Type of Lamps</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED proposed	Yes	
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min	0.5 min	Yes	
	Loading/unloading areas: 0.4 min	1.1 min	Yes	
	Walkways: 0.2 min	0.3 shown	Yes	
	Building entrances, frequent use: 1.0 min	0.5 min	No	Adjust to min level required
	Building entrances, infrequent use: 0.2 min	0.3 min	Yes	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Max proposed 0.0 at property line	Yes	
<b>Cut off Angles</b> (Sec. 5.7.3.L)	When adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Illumination at the property line adjacent to residential is 0.0	Yes	

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

August 23, 2018

## Engineering Review

Stoneridge West II

JSP18-0030

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### Applicant

Acquira Realty Holdings

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: East of Dixon Road, north of Twelve Mile Road
- Site Size: 4.458 acres
- Plan Date: 07/31/2018
- Design Engineer: Nowak & Fraus Engineers

### Project Summary

- Construction of three separate medical office buildings with associated parking.
- Water service would be provided by an 8-inch extension from the existing 24-inch water main in Twelve Mile Road. Each building has proposed 2-inch domestic lead and a 6-inch fire lead connections to serve the buildings, with fire hydrants on the site.
- Sanitary sewer service would be provided by extension of an 8-inch sewer main from existing sewer manhole on the site to the east, with separate service leads to each building.
- Storm water would be collected by a single storm sewer collection system and detained in a storm water basin on the site prior to discharge to existing storm sewer in Twelve Mile Road.

### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**General**

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The plans shall be prepared on NAVD88 datum. All site benchmarks must be tied in to City benchmarks, and all elevations on the plans must be shown on NAVD88 (rather than including a conversion factor).
3. Right-of-way permits will be required from both the City of Novi and Road Commission for Oakland County.
4. Show and label the master planned 90-foot half right-of-way width for Twelve Mile Road. Dedication of the right-of-way along the parcel frontage is requested with the development.
5. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County.
6. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the final, printed Stamping Set submittal. The recently updated standard detail sheets can be found on the City website at this location:  
<http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>.
7. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided with the next submittal.
8. The six-foot sidewalk along Twelve Mile Road should generally be placed one (1) foot inside the future master planned right-of-way line.
9. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
10. Provide a traffic control plan for the proposed construction activity in Twelve Mile Road.

11. Traffic signs in the RCOC right-of-way will be installed by RCOC. Identify any signs within RCOC right-of-way in the sign quantity table.
12. At a minimum, an emergency access easement must be obtained from the property to the east.
  - a. If the intent is emergency access only, a gate must be provided at the property line. The Fire Marshal must approve of the gate and lock.
  - b. If the intent is for users of each property to be able to access either property along that route, a cross-access easement will be required in addition to the emergency access easement.
13. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

#### Water Main

14. Provide a profile for all proposed water main 8-inch and larger.
15. Label water main size, lengths and pipe material on the utility plan.
16. Provide three (3) signed and sealed sets of utility plans along with the MDEQ permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

#### Sanitary Sewer

17. Revise the Sanitary Sewer Basis of design using the City's Sewer Unit Factor chart, which is attached to this letter.
18. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
19. Provide a note on the Utility Plan and sanitary profile stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
20. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
21. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (01/18 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.



Paving & Grading

22. The newly issued City standard paving details will be incorporated into the plans at the time of stamping sets. Remove any redundant or conflicting details from the plan set, and remove or revise general paving notes to be consistent with pavement mix types and cross sections in standard details.
23. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
24. Revise the entrance driveway to be consistent with the standard dimensions shown in Figure IX.1 and Section 11-216 of the Design and Construction Standards.

Storm Sewer

25. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the storm water basin. This can be added to the last catch basin in the network and does not need to be a separate structure.
26. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet.
27. Show and label all roof conductors, and indicate where they will tie into the storm sewer system on the utility layout and on storm sewer profiles.

Storm Water Management Plan

28. The Storm Water Management Plan (SWMP) shall comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
  - a. Stormwater discharge from the site shall not exceed 0.15 cfs/acre. Revise the storm water detention basin sizing calculations accordingly.
  - b. The outlet control structure shall be designed in accordance with Section 5.6.4.B of the Engineering Design Manual
29. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
30. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
31. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high water elevation of the groundwater table.
32. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum

- slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
33. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.
  34. A 25-foot vegetated buffer shall be provided around the perimeter of each storm water basin. This buffer cannot encroach onto adjacent lots or property.
  35. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.

#### Soil Erosion and Sedimentation Control

36. A SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. A SESC permit application should be submitted under a separate cover at the time of Final Site Plan submittal. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

#### Off-Site Easements

37. Any off-site easements must be executed prior to final approval of the plans. Drafts shall be submitted as soon as possible for review and approval.
  - a. Off-site sanitary sewer easement
  - b. Off-site temporary construction permit
  - c. Secondary emergency access easement on property to the east
  - d. Cross-access easement with property to the east, if applicable.
  - e. Off-site portion of the Storm Drain Facility Maintenance Easement agreement, for access to the outlet control structure.

#### **The following must be submitted with the Final Site Plan:**

38. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
39. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site paving and utilities and **not** any costs associated with demolition, soil erosion control, or building construction items. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

40. Draft copies of all off-site easements listed in item 36 and payment of Legal Review escrow amount. Unused escrow will be returned to the payee at the end of the project.

**The following must be submitted with the Stamping Set:**

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

41. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds. This document is available on our website.
42. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
43. A draft copy of the 20-foot wide easement for the sanitary sewer and monitoring manhole to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
44. A draft copy of the warranty deed for the additional right-of-way along Twelve Mile Road must be submitted for acceptance by the City.
45. Executed copies of approved off-site easements.

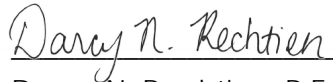
**The following must be addressed prior to construction:**

46. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
47. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
48. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
49. Construction inspection fees in an amount to be determined must be paid to the Community Development Department.
50. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. Unused escrow will be returned to the payee at the end of the project. Note: This amount will include

- engineering legal fees only. There may be additional legal fees for planning legal documents.
51. A storm water performance guarantee in an amount of equal to 120% of the estimated cost required to complete the storm water management facilities as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
  52. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.
  53. A street sign financial guarantee in an amount of \$400 per traffic control sign proposed must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
  54. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
  55. A permit for work within the right-of-way must be obtained from the City of Novi. The application is available from the City Engineering Division or on the City website and may be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Only submit the cover sheet, standard details and plan sheets applicable to the permit.
  56. A permit for work within the right-of-way of 12 Mile Road must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
  57. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved. Only submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.
  58. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved. Only submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.
  59. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resource Commissioner.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechten at (248) 735-5695 with any questions.

  
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Darcy N. Rechten, P.E.

# CITY OF NOVI

## Sewer Unit Factor Chart

(See Notes Following Table)

Usage Type	Unit Factor	Information Source
<b>Auto Dealers</b>	0.300 per 1000 sq. ft.	D
<b>Barber Shops</b>	1.000 per 1000 sq. ft.	A - C
<b>Bars</b>	0.044 per seat	D
<b>Beauty Shops</b>	0.223 per booth	D
<b>Boarding Houses</b>	0.160 per person	A - C
<b>Boarding Schools</b>	0.270 per person	A - C
<b>Bowling Alleys</b> (no bar, or lunch facilities)	0.160 per alley	D
<b>Car Wash:</b>		
a) Manual, Do-It-Yourself	2.500 per stall	D
b) Semi-Automatic (mechanical without conveyor)	12.500 per lane	D
c) Automatic (with conveyor)	33.000 per lane	D
d) Automatic (with recycling water)	8.400 per lane	D
<b>Churches</b>	0.008 per seat	D
<b>Cleaners:</b>		
a) Pick-up Only	0.048 per employee	D
b) With Pressing Facilities	1.250 per press	D
<b>Clinics:</b>		
a) Medical	1.000 per doctor	D
b) Dental	1.400 per dentist	D
<b>Community Buildings</b>	2.000 per building	D
<b>Convalescent and/or Nursing Homes</b>	0.300 per bed	D
<b>Convents</b>	0.200 per person	D
<b>Country Clubs</b>	0.080 per member	A - C
<b>Day Care</b>	0.012 per student	CITY
<b>Drug Stores:</b>		
a) With Fountain Service	0.080 per seat, plus <b>0.140 per 1000 sq. ft.</b>	D
b) Without Fountain Service	0.140 per 1000 sq. ft.	D

# CITY OF NOVI

## Sewer Unit Factor Chart (See Notes Following Table)

<b>Factories</b> (exclusive of excessive industrial use)	0.500 per 1000 sq. ft.	D
<b>Fraternal Organizations</b> (members only)	1.000 per hall	D
<b>Fraternal Organizations</b> (members and rentals)	2.000 per hall	D
<b>Funeral Home</b> (including one residence)	2.200 per funeral home	D
<del>Grocery Stores &amp; Super Markets</del>	<del>1.100 per 1000 sq. ft.</del>	<del>D</del>
<b>Grocery Stores &amp; Super Markets</b>	0.310 per 1000 sq. ft.	D
<b>Health Clubs:</b>		
a) With Showers and/or Pool	2.300 per 1000 sq. ft.	D
b) Without Showers and/or Pool	0.260 per 1000 sq. ft.	D
<b>Hospitals</b>	1.220 per bed	A - C
<b>Hotels and/or Motels</b> (exclusive of swimming, pools, bars, restaurants, etc.)	0.380 per room	A - C
<b>Laundry</b> (self-serve)	0.540 per washer	D
<b>Office Building</b>	0.400 per 1000 sq. ft.	D
<b>Public Institutes</b> (other than hospitals)	0.320 per employee	A - C
<b>Racquet Clubs</b>	0.820 per court	D
<b>Residences:</b>		
Mobile Home Parks & Multiple Family Residences:		
a) One Bedroom	0.600 per dwelling unit	CITY
b) Two Bedroom	0.750 per dwelling unit	CITY
c) Three or more Bedrooms	1.000 per dwelling unit	CITY
Single Family Residential	1.000 per dwelling	CITY
<b>Restaurants:</b>		
a) Conventional Type (with or without drinks)	0.130 per seat	A - B
1. Seasonal Out-door Eating	0.130 per seat x 5/12	CITY
2. Banquet Section	0.130 per seat x 25%	CITY
b) Quick Service Franchise Type (without dishes, dealing mainly in hamburgers, with or without eating in building. Includes, but not necessarily limited to McDonald's, Burger Chef, Burger King, Red Barn, and Hardees.)	5.600 per restaurant	D
c) All Other Restaurants (Includes, but not limited to, drive-ins, snack bars, carryouts, such as fried chicken, pizzas; could have some eating in building, all without dishes.)	1.800 per restaurant	D

# CITY OF NOVI

## Sewer Unit Factor Chart

(See Notes Following Table)

<b>Rooming Houses</b> (No Meals)	0.130 per person	A - C
<b>Schools:</b>		
a) Elementary	0.012 per student	D
b) Junior or Middle School	0.020 per student	D
c) High School	0.038 per student	D
d) Bus Maintenance Facility	0.165 per 1000 sq. ft.	D
<b>Service Station</b>	0.240 per pump	C - D
<b>Store</b> (other than specifically listed)	0.340 per 1000 sq. ft.	CITY
<b>Summer Camps</b>	0.140 per housing unit	D
<b>Swimming Pool</b> (residential excluded)	3.000 per 1000 sq. ft.	D
<b>Theaters</b> (drive-in)	0.012 per car space	D
<b>Theaters</b> (indoor)	0.008 per seat	D
<b>Warehouses</b>	0.100 per 1000 sq. ft.	D

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### Notes Pursuant to Resolutions Dated April 10, 1991 and June 7, 1999:

- 1) In the computing of unit factors to be charged to industrial and commercial users, each separately operated business entity in a common building shall have a unit factor as set forth above (unless modified by agreement) but in no instance less than 1.00 tap unit for each separately operated business entity.
- 2) When the usage requested is not specifically identified under the "Usage Type" column, an estimated temporary tap unit assignment will be initially assigned by the City, and the USER will enter into a monitoring agreement (Exhibit A) to determine the actual tap unit assignment.

### INFORMATION SOURCE:

- A - Cincinnati Report
- B - Gordon McDougall Report to Wayne County
- C - Manual of Septic Tank Practice Publication No. 526, U.S. Department of Health
- D - Oakland County Department of Public Works Studies





## CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT:	SESC Application #: SE -
Contact Name:	DATE COMPLETED:
Phone Number:	DATE OF PLAN:
Fax Number:	<b>STATUS:</b> <span style="border: 1px solid black; display: inline-block; width: 100px; height: 20px; vertical-align: middle;"></span>

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	
8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	

10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$ . The SESC inspection fees will be \$ .
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the edges of all water bodies, water courses or wetlands.	<input type="checkbox"/>	
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check	<input type="checkbox"/>	

	dams as necessary. Drainage ditches steeper than 3% shall be sodded.		
28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

**ADDITIONAL COMMENTS:**

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2.

Reviewed By:



# LEGAL REVIEW TRANSMITTAL FORM

## Engineering Documents

(Include the Transmittal with every submittal)

**CITY USE ONLY**

Date Received:

<b>PROJECT INFORMATION:</b> <i>(To be filled by Staff)</i>		<b>Legal Permit No:</b>
Site Plan No:	JSP18-0030	PL18-0039
Project Name:	Stoneridge West II	<b>Engineer:</b>
Site Address:		DNR

<b>PRIMARY CONTACT INFORMATION:</b> <i>(To be filled by Applicant)</i>			
Contact Name:		Phone:	
Company:		E-mail:	
Contact Address:			

<b>TYPE OF DOCUMENTS SUBMITTING:</b> <i>(To be filled by Staff)</i>	
<input checked="" type="checkbox"/>	Initial Draft
<input type="checkbox"/>	Revised Draft
<input type="checkbox"/>	Final Signed and Notarized (Sign in <b>black ink only</b> or County will reject) Consent page on the easement form should be signed by any lenders on the property
1. Digital copies are also accepted via e-mail for Initial and Revised Drafts. E-mail: <a href="mailto:hsmith@cityofnovi.org">hsmith@cityofnovi.org</a> 2. Hard Copies are required for Final signed and Notarized submittal 3. All exhibits should be letter or legal sized (24" x 36" will not be accepted unless requested)	

**LEGAL DOCUMENTS REQUIRED:** *(To be filled by Staff)*

All items checked below should be submitted together. **Incomplete submittals will not be processed.**

<input checked="" type="checkbox"/>	10: Off-site Title Policy	<input type="checkbox"/>	23: R.O.W. Warranty Deed (add'l on ex. rd.)
<input checked="" type="checkbox"/>	11: Off-Site Temporary Construction Agreement	<input type="checkbox"/>	24: R.O.W. Warranty Deed (new road)
<input checked="" type="checkbox"/>	12: Off-Site Storm Sewer and Drainage Easement	<input type="checkbox"/>	25: Roads Bill Of Sale
<input checked="" type="checkbox"/>	13: Off-Site Sanitary Sewer Easement	<input type="checkbox"/>	26: Roads Sworn Statement <b>(Signed by DEVELOPER Only)</b>
<input type="checkbox"/>	14: Off-Site Water Main Easement	<input type="checkbox"/>	27: Roads Waivers Of Lien <b>(Signed by ROADS CONTRACTOR Only)</b>
<input type="checkbox"/>	15: Title Policy	<input type="checkbox"/>	28: Ingress-Egress Easement
<input type="checkbox"/>	16: Storm Drain Facility Maintenance Easement	<input checked="" type="checkbox"/>	29: Cross-Access Easement
<input type="checkbox"/>	17: Sanitary Sewer Easement	<input checked="" type="checkbox"/>	30: Emergency Access Easement
<input type="checkbox"/>	18: Sanitary Sewer Manhole Access Easement	<input type="checkbox"/>	31: Sidewalk or Pathway Easement
<input type="checkbox"/>	19: Water Main Easement	<input type="checkbox"/>	32: Boardwalk Bill of Sale
<input type="checkbox"/>	20: Utilities Bill of Sale (SanSew/WM) <b>(Signed by DEVELOPER Only)</b>	<input type="checkbox"/>	33: Other
<input type="checkbox"/>	21: Utilities Sworn Statement (SanSew/WM) <b>(Signed by DEVELOPER Only)</b>		
<input type="checkbox"/>	22: Utility Waivers Of Lien <b>(Signed by UTILITY CONTRACTOR Only)</b>		

**MAINTENANCE/FINANCIAL GUARANTEES**

Submit directly to Bond Coordinator under **SEPARATE COVER**. For any questions, call Angela Pawlowski, @ 248-347-0441

*Additional Documents may be required during the review process*

## LANDSCAPING REVIEW

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# PLAN REVIEW CENTER REPORT

August 21, 2018

## Preliminary Site Plan - Landscaping

Stoneridge West II

### Review Type

Preliminary Landscape Review

### Job #

JSP18-0030

### Property Characteristics

- Site Location: 44244 Twelve Mile Road
- Site Acreage: 4.5 acres
- Site Zoning: OS-1
- Adjacent Zoning: North: R-1, East & West: OS-1, South: 12 Mile Road
- Plan Date: 7/30/2018

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

### Recommendation

This project is **recommended for approval**. There are two landscape waivers required but both are supported by staff. Changes recommended below can be addressed on Final Site Plans.

### Landscape Waivers

1. Deficiency in total foundation landscape area provided. *This waiver is supported by staff because the site will be heavily and attractively landscaped and only the limited paved areas of the buildings are not landscaped as required. There is a large landscaped open space between Buildings A and B that includes the detention pond and other landscaped area.*
2. Use of a gray dogwood screen along the western half of the parking lot in place of the required 4.5-6' berm. *This waiver is supported by staff because more of the wetland would have to be filled if the required berm was built along the entire northern frontage.*

### Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants (LDM 2.e.(4))

1. Provided.
2. The street trees proposed may need to be converted to subcanopy trees at a rate of 1.5 trees per canopy tree if they are within 15 feet of the overhead lines.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No woodland trees appear to exist on the site. Existing landscape trees are located and identified.

2. **Please show the required tree and silt fencing consistently between the demolition, grading and landscape plans.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Property is adjacent to Residential on the north side.
2. The required 4.5-6 foot tall buffer is provided on for the east half of the site.
3. A dense screen of gray dogwoods is proposed as screening for the west half of the site in lieu of the required berm. A landscape waiver is required for this deviation from the ordinance.
4. *A request for this waiver would be supported by staff because less of the wetland would be disturbed using the dogwoods instead of building the full berm.*

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The required berm and landscaping are provided along the Twelve Mile Road frontage.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. The required trees are provided.
2. As noted above, subcanopy trees may be required in place of the canopy trees, depending on the position of the trees relative to the overhead lines.
3. If the trees are within 15 feet of the lines, please make this conversion.
4. The Road Commission for Oakland County (RCOC) will need to make the ultimate determination on whether the trees can be planted. **If they deny some or all of the trees, please provide us with a copy of the denial.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 3,922 sf of islands and 20 trees are required. 5,651 sf of islands and 20 trees are provided.
2. **The island with the hydrant at the southeast corner of Building A should be enlarged and a canopy tree should be planted in it at least 10 feet from the hydrant to meet the requirement for endcap landscape islands for each parking bay.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the 1,219 linear feet of parking lot periphery, 36 canopy trees are required.
2. 32 trees, including 9 evergreen trees along the east edge, and 9 shared greenbelt trees are provided to meet this requirement.

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zone will be screened from the north by a dense planting of gray dogwoods.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the net building foundations' peripheries, 9,840sf of foundation landscape area is required, but only 8,933sf (91% of the requirement) is provided. **This shortage requires a landscape waiver.**
2. *As the deficiency is not significant, and the large detention/landscape area provides area far in excess of the deficiency, exclusive of the pond, this waiver request is supported by staff.*
3. Greater than 60% of the frontages of the buildings facing Twelve Mile Road are landscaped.

Plant List (LDM 2.h. and t.)

**Please add the standard costs for seed, sod and mulch to the cost summary.**

Planting Notations and Details (LDM)

**Please see the landscape chart for a detailed discussion of details and notes.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. Sufficient cover of the periphery is provided with 3 species of shrubs native to Michigan.
2. **Please survey the site for *Phragmites australis*. If any is found, please note it on the existing conditions sheet, and propose a plan for complete removal of it from the site.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

1. Provided.
2. **Please copy the berms shown on the landscape plan to the Grading plans.**

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

1. It appears that no woodlands exist on the site so no replacements are required
2. **Please see the ECT woodland and wetland review for a discussion of any woodland replacements that may be required.**

Corner Clearance (Zoning Sec 5.9)

Provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect



## LANDSCAPE REVIEW SUMMARY CHART – Preliminary Site Plan

**Review Date:** August 21, 2018  
**Project Name:** JSP18– 0030: Stoneridge West II  
**Plan Date:** July 30, 2018  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

### Landscape Waivers:

1. Deficiency in total foundation landscape area provided. *This waiver is supported because the site will be heavily and attractively landscaped and only the limited paved areas of the buildings are not landscaped as required. There is a large landscaped open space between Buildings A and B that includes the detention pond and other landscaped area.*
2. Use of a gray dogwood screen along the western half of the parking lot in place of the required 4.5-6' berm. *This waiver is supported by staff because more of the wetland would have to be filled if the required berm was built along the entire northern frontage.*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Scale 1" =30'	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Need for Final Site Plans</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> OS-1 <u>North:</u> R-1 <u>East, West:</u> OS-1 <u>South:</u> 12 Mile Rd	Yes	
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	Sheet C1	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>	Sheets C1, C2, L1	Yes	<ol style="list-style-type: none"> <li>1. The trees to be removed may not be regulated trees. If this is the case, they would not need to be replaced.</li> <li>2. <b>See the ECT review for detailed reviews of wetlands and woodlands.</b></li> <li>3. <b>Please show silt and tree protection fencing on C2.</b></li> <li>4. <b>Make sure the fence lines on C2 and L1 match.</b></li> </ol>
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>	Sheets C7, L2	Yes	
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	<ol style="list-style-type: none"> <li>1. The overhead line along 12 Mile Road may require the use of subcanopy trees at the rate of 1.5 trees per canopy tree required if the larger trees will impact/be impacted by the lines.</li> <li>2. <b>Please check the spacing and make the change if required.</b></li> </ol>
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> <li>• Spot elevations provided on Sheet C4.</li> <li>• ROW berm</li> </ul>	Yes	<ol style="list-style-type: none"> <li>1. <b>Please make sure greenbelt berm contours on C4 match those on</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
		elevations shown on landscape plan.		<b>Landscape plan, which show required undulations.</b> 2. The berm contours adjacent to the parking lot at the north end of the site should also appear on C4 as they are shown on L1 and L2.
<b>Snow deposit (LDM.2.q.)</b>	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	Sod is indicated on islands.	Yes	
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ A minimum of 200sf unpaved area per tree planted in an island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	Yes	Yes	
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Dimensions shown on C3	Yes	
<b>Contiguous space limit (i)</b>	Maximum of 15 contiguous spaces	15 is maximum bay length	Yes	1. Endcap islands and islands used to break up bays must be landscaped with a deciduous canopy tree. 2. <b>Please enlarge the island at the southeast corner of Building A, at the south end of the parking bay, and add a canopy tree at least 10 feet from the hydrant.</b>

Item	Required	Proposed	Meets Code	Comments
<b>Plantings around Fire Hydrant (d)</b>	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	All trees are at least 10 feet from structures and 5 feet from underground lines.	Yes	
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (LDM 2.3.(5))</b>	<ul style="list-style-type: none"> <li>25 ft corner clearance required. Refer to Zoning Section 5.5.9</li> <li>Show Road Commission for Oakland County clear vision zones for roads under RCOC jurisdiction.</li> </ul>	25 foot corner clearance zone shown at 12 Mile Road.	No	<ol style="list-style-type: none"> <li>Please indicate clear vision zone per RCOC regulations for 12 Mile Road entry.</li> <li>Remove any shrubs taller than 30" or trees from the zone.</li> <li>If RCOC does not allow some or all of the Road street trees, the disallowed trees do not need to be planted, but documentation of that ruling must be provided.</li> </ol>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li><math>A = x \text{ sf} * 7.5 \% = A \text{ sf}</math></li> <li><math>50,000 * 7.5\% = 3750 \text{ sf}</math></li> </ul>			
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li><math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li><math>(67,152 - 50000) * 1\% = 172 \text{ sf}</math></li> </ul>			
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
<b>All Categories</b>				
C = A+B Total square footage	$3750 + 172 = 3922 \text{ SF}$	5651 sf	Yes	

Item	Required	Proposed	Meets Code	Comments
of landscaped islands				
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> <li>3922/200 = 20 Trees</li> </ul>	20 trees	Yes	
<b>Perimeter Green space</b>	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li>1219/35 = 36 trees</li> </ul>	32 trees + 9 double-counted greenbelt trees	Yes	
<b>Access way perimeter</b>	<ul style="list-style-type: none"> <li>1 canopy tree per 35 lf on each side of road, less widths of access drives.</li> <li>53/35 = 2 trees on each side</li> </ul>	Calculations include accessway	Yes	
<b>Parking land banked</b>	<ul style="list-style-type: none"> <li>NA</li> </ul>	None		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	Landscaped berm 4.5-6 feet high required between site and residential property to north	<ul style="list-style-type: none"> <li>4.5-6' berm provided on east half of parking lot.</li> <li>Dense planting of gray dogwood planted along west half of parking lot for screening.</li> </ul>	Yes/No	<ol style="list-style-type: none"> <li>A landscape waiver is required to not provide the required berm along the entire northern parking lot frontage</li> <li>The waiver request for the use of the dogwoods instead of a berm on the western half of the frontage would be supported by staff because building the entire required berm would impact more of the wetland.</li> </ol>
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>	An undulating berm a minimum of 3 feet high with a 3 foot wide crest is required along 12 Mile Road	Berm 2.5 ft (max) tall with 1 ft wide crest	No	<b>Please match the contours shown on the landscape plan, which shows the required undulations, on the Grading Plan.</b>
<b>Cross-Section of Berms (LDM 2.j)</b>				

Item	Required	Proposed	Meets Code	Comments
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul>	Yes		<b>Please add callouts to detail showing that it is constructed of loam with a 6" top layer of topsoil.</b>
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed		
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		NA		
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	Adj. to Parking: 20 ft.	20 ft	Yes	
Min. berm crest width	3 ft	1-3 ft max width		<b>20 foot wide greenbelt does not allow undulations and full 3 foot crest.</b>
Minimum berm height (9)	3 ft	4 ft max height	Yes	
3' wall	(4)(7)	None		
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	<ul style="list-style-type: none"> <li>▪ Adj to Parking: 1 tree per 35 lf</li> <li>▪ <math>(332-31)/35 = 9</math> trees</li> </ul>	9 trees	Yes	
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 20 lf</li> <li>▪ <math>(332-31)/20 = 15</math> trees</li> </ul>	15 trees	Yes	
<b>Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)</b>	<ul style="list-style-type: none"> <li>▪ Parking &amp; No Parking: 1 tree per 35 lf</li> <li>▪ <math>(332 - 92 \text{ ft})/35 = 7</math> trees</li> </ul>	7 trees	Yes	<ol style="list-style-type: none"> <li>1. Please make sure with RCOC that trees can be planted. If they can't, provide us a copy of their denial.</li> <li>2. If the overhead wires are within 15 feet of</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				the trees, please use subcanopy trees at a rate of 1.5 trees per canopy tree required.
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b>				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Interior Street to Industrial subdivision</b> (LDM 1.d.(2))	<ul style="list-style-type: none"> <li>▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</li> <li>▪ No evergreen trees closer than 20 ft.</li> <li>▪ 3 sub canopy trees per 40 l.f. of total linear frontage</li> <li>▪ Plant massing for 25% of ROW</li> </ul>	NA		
<b>Screening of outdoor storage, loading/unloading</b> (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		A dense line of gray dogwoods is proposed to screen the loading area from the north.	Yes	
<b>Transformers/Utility boxes</b> (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>	Transformers at each building are fully screened.	Yes	If any transformer locations are added, screening shrubs per standard detail are required.
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>▪ A: (428-18)lf x 8ft = 3280 sf</li> <li>▪ B: (428-18)lf x 8ft = 3280 sf</li> <li>▪ C: (428-18)lf x 8ft = 3280 sf</li> <li>▪ Total area: 9,840 sf</li> </ul>	Total area provided: 8,933 sf (91% of requirement)	No	<ol style="list-style-type: none"> <li>1. A landscape waiver is required for the deficiency in foundation landscaping.</li> <li>2. The waiver request is supported by staff because the buildings are all heavily landscaped and the open space between Buildings A and B is attractively landscaped and provides more than the additional required landscaping.</li> </ol>

Item	Required	Proposed	Meets Code	Comments
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	77% of Building A's frontage and 82% of Building C's frontage facing 12 Mile Road will be landscaped.	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements (Sec. 5.5.3.E.iv)</b>	<ul style="list-style-type: none"> <li>Clusters of large native shrubs (at least 3 species) shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>	<ul style="list-style-type: none"> <li>It appears that at least 70% of the basin rims will be landscaped with large shrubs.</li> <li>3 native species are used.</li> <li>Seed mix instructions are provided.</li> </ul>	Yes	
<b>Phragmites Control (Sec 5.5.6.C)</b>	<ul style="list-style-type: none"> <li>Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey.</li> <li>Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	None indicated	TBD	<ol style="list-style-type: none"> <li>Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its removal.</li> <li>If none is found, please indicate that on the survey.</li> </ol>
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date (LDM 2.i. &amp; Zoning Sec 5.5.5.B)</b>	Provide intended date	Between Mar 15 and Nov 15.	No	Please add note
<b>Maintenance &amp; Statement of intent (LDM 2.m &amp; Zoning Sec 5.5.6)</b>	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	Please have all of the City of Novi Notes printed darker.
<b>Plant source (LDM 2.n &amp; LDM 3.a.(2))</b>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan (LDM 2.s.)</b>	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on	A note indicates that an automatic irrigation system will be provided.		1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and</u>



Item	Required	Proposed	Meets Code	Comments
	Final Site Plans.			<u>long- term survival on Final Site Plans.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	<b>Please change General Landscape Note #6 to show a 2-year period, and note that failing material should be replaced within 3 months of discovery.</b>
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) - Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	14 of 24 species are native to Michigan (58%).
Type and amount of lawn		No	No	<u>Please add areas in SY of sod and seed in cost table.</u>
Cost estimate (LDM 2.t)		No	No	<u>Please add areas and costs of sod and seed in cost table.</u>
<b>Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	1. None of the planting details printed correctly. 2. <b>Please check future plans to be sure they are visible.</b>
Evergreen Tree		Yes	Yes	<b>See above</b>
Multistem Tree		Yes	Yes	<b>See above</b>
Shrub		Yes	Yes	<b>See above</b>
Perennial/ Ground Cover		Yes	Yes	<b>See above</b>
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	<b>See above</b>
Tree protection fencing	Located at Critical Root Zone (1' outside of	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	dripline)			
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions (LDM 3.a)</b>	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material (LDM 3.b)</b>	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
<b>Landscape tree credit (LDM3.b.(d))</b>	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
<b>Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)</b>	2.5" canopy trees 6' evergreen trees	Yes	Yes	
<b>Plant size credit (LDM3.c.(2))</b>	NA	No		
<b>Prohibited Plants (LDM 3.d)</b>	No plants on City Invasive Species List	None	Yes	
<b>Recommended trees for planting under overhead utilities (LDM 3.e)</b>	Label the distance from the overhead utilities		TBD	As noted above, if the street trees are too close to the overhead lines, subcanopy trees should be used at a rate of 1.5 trees per canopy tree.
<b>Collected or Transplanted trees (LDM 3.f)</b>		No		
<b>Nonliving Durable Material: Mulch (LDM 4)</b>	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>	Yes	Yes	Please change the peat in General Landscape Note #11 to compost.

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi

Item	Required	Proposed	Meets Code	Comments
<p>requirements or standards.</p> <p>2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.</p> <p>3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.</p>				

WETLAND REVIEW

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ECT Project No. 180513-0100

August 23, 2018

Ms. Barbara McBeth, AICP  
City Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

Re: Stoneridge West II (JSP18-0030)  
Wetland Review of the Preliminary Site Plan (PSP18-0117)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Stoneridge West II project prepared by Nowak & Fraus Engineers dated July 30, 2018 and stamped "Received" by the City of Novi Community Development Department on August 2, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance.

**ECT currently recommends approval of the Preliminary Site Plan for Wetlands. The Applicant shall address the items noted in the *Wetland Comments* Section of this letter prior to receiving Wetland approval of the Final Site Plan.**

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Required (Minor)
Wetland Mitigation	Not Required
Wetland Buffer Authorization	Required
MDEQ Permit	Not Required
Wetland Conservation Easement	Not Required

The proposed project is located north of Twelve Mile Road and east of Dixon Road in Section 10 (Parcel ID 50-22-10-400-067). The Plan includes the construction of two (2) proposed 1-story medical office buildings (+/- 10,000 square feet), a 2-story medical office building (+/- 20,000 square feet), associated parking, utilities and stormwater detention basin.

Based on our review of the Plan, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps and Novi aerial photos, the subject site appears to contain areas of existing wetland as well as existing trees, however the City's Wetland and Woodland Map does not appear to indicate the presence of City-Regulated Wetlands or Woodlands on the subject property (see Figure 1).

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48105

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769-3164

**Wetland Evaluation**

Environmental Consulting & Technology, Inc. (ECT) conducted a wetland evaluation for the proposed project site on August 22, 2018. ECT's in-office review of available materials included the City of Novi Regulated Wetland and Watercourse map (see Figure 1), USGS topographic quadrangle map, NRCS soils map, and USFWS National Wetland Inventory map. The Plan indicates one (1) wetland area located in the northwest portion of the site (Wetland A; flags A1 to A11), however this wetland area is not indicated on the City's Regulated Wetlands Map.

The focus of the site inspection was to review site conditions in order to determine whether City-regulated wetlands are found on-site. Wetland boundary flagging was not apparent in the field at the time of this site inspection. Based on the existing vegetation and topography however, it is ECT's assessment that the on-site wetlands have been accurately portrayed on the Plan.

The following is a brief description of the on-site wetland features:

Wetland A (Wetland Flags A1 to A11) – Emergent wetland located in the northwest portion of the site. The on-site area of Wetland A is listed as 21,771 square feet (0.50-acre). The dominant wetland vegetation includes reed canary grass (*Phalaris arundinacea*) and dogbane (*Apocynum cannabinum*). This wetland continues off-site to the north and west.

**Wetland Impact Review**

Currently, the Plan indicates one (1) direct impact to Wetland A for the purpose of constructing the proposed parking area (see *Wetland Plan*, Sheet C6). The total amount of direct (i.e., fill or excavation) impact to on-site wetlands currently indicated is 5,882 square feet (0.14-acre).

The following table summarizes the proposed wetland impacts as listed on the *Wetland Plan* (Sheet C6):

**Table 1. Proposed Wetland Impacts**

<i>Wetland</i>	<i>Area (Acres)</i>	<i>City Regulated?</i>	<i>MDEQ Regulated?</i>	<i>Impact Area (Sq. Ft.)</i>	<i>Impact Area (acre)</i>	<i>Estimated Impact Volume (cubic yards)</i>
A	0.50	Yes City Regulated /Essential	No	5,882	0.14-acre	Not Indicated
<b>TOTAL</b>	<b>0.50</b>	--	--	<b>5,882</b>	<b>0.14-acre</b>	<b>Not Indicated</b>

In addition to the proposed wetland impacts, the Plan proposes disturbance to on-site 25-foot wetland buffer area. The following table summarizes the proposed impacts to the 25-foot wetland buffer:

**Table 2. Proposed Wetland Buffer Impacts**

<b>Wetland</b>	<b>Buffer Area (Acres)</b>	<b>City Regulated?</b>	<b>Impact Area (Sq. Ft.)</b>	<b>Impact Area (acre)</b>
A	0.19	<b>Yes City Regulated /Essential</b>	5,896	0.14-acre
<b>TOTAL</b>	<b>0.19</b>	<b>--</b>	<b>5,896</b>	<b>0.14-acre</b>

The Plans currently indicate and quantify the areas of existing wetland and 25-foot wetland buffer. The areas of proposed wetland and wetland buffer impacts are also indicated on the Plan. The applicant shall provide information on subsequent plans that clearly indicates the volume of proposed wetland fill/excavation (cubic yards). This information is required before any necessary City of Novi Wetland and Watercourse Permits or Authorization to Encroach Upon the 25-Foot Natural Features Setback letters can be issued.

**Regulatory Status - MDEQ**

ECT has evaluated the on-site wetlands and believes that they are considered to be essential/regulated by the City of Novi as they meet one or more of the essentiality criteria (i.e., functions and values) outlined in the City of Novi Wetland and Watercourse Protection Ordinance. As noted, the wetlands appear to accurately flagged in the field and appear to indicated accurately on the *Wetland Plan* (Sheet C6).

The Michigan Department of Environmental Quality (MDEQ) generally regulates wetlands that are within 500 feet of an inland lake, pond, or stream, or within 1,000 feet of a Great Lake, Lake St. Clair, the St. Clair River, or the Detroit River. Isolated wetlands five (5) acres in size or greater are also regulated. The MDEQ may also exert regulatory control over isolated wetlands less than five acres in size “...if the department determines that protection of the area is essential to the preservation of the natural resources of the state from pollution, impairment, or destruction and the department has notified the owner”.

ECT has been provided correspondence between the MDEQ and Nowak & Fraus Engineers (e-mail dated Monday, August 20, 2018) that states that the on-site wetland is not regulated by State law and that a wetland permit from the MDEQ is not required for this project.

**Regulatory Status – City of Novi**

The City of Novi Wetland and Watercourse Protection Ordinance (City of Novi Code of Ordinances, Part II, Chapter 12, Article V.; Division 2.) describes the regulatory criteria for wetlands and review standards for wetland permit applications. The City of Novi regulates wetlands that are: (1) contiguous to a lake, pond, river or stream, as defined in Administrative Rule 281.921; (2) two (2) acres in size or greater; or (3) less than two (2) acres in size but deemed essential to the preservation of the natural resources of the city under the criteria set forth in subsection 12-174(b). Wetlands deemed regulated by the City of Novi require the approval of a use permit for any proposed impacts to the wetland.

ECT has evaluated the areas of on-site wetland and believes the wetland is regulated by the City’s Wetland and Watercourse Protection Ordinance because it meets one or more of the essentiality criteria in the Ordinance (i.e., stormwater storage and wildlife habitat).

It should be noted that in those cases where an activity results in the impact to wetland areas of 0.25-acre or greater that are deemed essential under City of Novi Ordinance subsection 12-174(b) mitigation shall be required. The applicant shall submit a mitigation plan which provides for the establishment of replacement wetlands at a ratio of 1:1 through 2:1 times the area of the natural wetland impaired or destroyed, if impacts meet or exceed the 0.25-acre threshold. In general, the MDEQ's threshold for the requirement of wetland mitigation is 0.3-acre of wetland impacts. Wetland mitigation does not appear to be a requirement of the current Plan as the total wetland impact is 0.14-acre.

As noted above, any proposed use of the wetlands will require a City of Novi *Wetland Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback* for any proposed impacts to the 25-foot wetland buffers. The applicant is urged to minimize impacts to on-site wetlands and wetland setbacks to the greatest extent practicable. The City regulates wetland buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:

*“There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses”.*

Finally, as proposed, the project will require a City of Novi Minor Use wetland permit. The granting or denying of nonresidential minor use permits shall be the responsibility of the Community Development Department. A nonresidential minor use permit is a permit for activities consisting of no more than one (1) of the following activities which have a minimal environmental effect:

- a. Minor fills of three hundred (300) cubic yards or less and not exceeding ten thousand (10,000) square feet in a wetland area, providing the fill consists of clean, nonpolluting materials which will not cause siltation and do not contain soluble chemicals or organic matter which is biodegradable, and providing that any upland on the property is utilized to the greatest degree possible. All fills shall be stabilized with sod, or seeded, fertilized and mulched, or planted with other native vegetation, or riprapped as necessary to prevent soil erosion.
- b. Installation of a single water outfall provided that the outlet is riprapped or otherwise stabilized to prevent soil erosion.
- c. Watercourse crossings by utilities, pipelines, cables and sewer lines which meet all of the following design criteria:
  - i. The method of construction proposed is the least disturbing to the environment employable at the given site;
  - ii. The diameter of pipe, cable or encasement does not exceed twenty (20) inches;
  - iii. A minimum of thirty (30) inches of cover will be maintained between the top of the cable or pipe and the bed of the stream or other watercourse on buried crossings; and
  - iv. Any necessary backfilling will be of washed gravel.
- d. Extension of a wetland/watercourse permit previously approved by the Planning Commission.
- e. Replacement of a culvert of an identical length and size, and at the same elevation. If the proposed culvert is of a greater length or size than the existing culvert, or is a new culvert



altogether, it must meet the conditions of subpart c., above, to qualify for a nonresidential minor use permit.

- f. Temporary impacts where the encroachment into protected areas is less than five hundred (500) feet.

Because the project contains one (1) area of wetland fill and does not propose a stormwater outfall to wetlands, a Minor-Use Wetland Permit will be required.

### **Wetland Comments**

ECT recommends that the Applicant address the items noted below in subsequent site plan submittals:

1. It appears as though a City of Novi *Wetland Minor Use Permit* would be required for any proposed impacts to site wetlands (as the proposed impact to wetlands are less than 10,000 square feet). A City of Novi *Authorization to Encroach the 25-Foot Natural Features Setback* would be required for any proposed impacts to on-site 25-foot wetland buffers. A wetland use permit from the MDEQ will not be required for this project.
2. ECT encourages the Applicant to minimize impacts to on-site wetlands and wetland setbacks to the greatest extent practicable. The Applicant should consider modification of the proposed site design to preserve wetland and wetland buffer areas. The City regulates wetland buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:  
  

*“There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses”.*
3. The Applicant should demonstrate that alternative site layouts that would reduce the overall impacts to wetlands and wetland setbacks have been reviewed and considered.
4. The Plans currently indicate and quantify the areas of existing wetland and 25-foot wetland buffer. The areas of proposed wetland and wetland buffer impacts are also indicated on the Plan. The applicant shall provide information on subsequent plans that clearly indicates the volume of proposed wetland fill/excavation (cubic yards). This information is required before any necessary City of Novi Wetland and Watercourse Permits or Authorization to Encroach Upon the 25-Foot Natural Features Setback letters can be issued.
5. The City’s threshold for the requirement of wetland mitigation is 0.25-acre of proposed wetland impact. This should be considered on subsequent site Plan submittals, if necessary. The current Plan appears to propose on-site wetland mitigation, however this will not likely be a requirement of the City of Novi Wetland Permit.
6. The applicant should ensure that any proposed snow storage areas are located such that any runoff will not directly affect on-site wetlands.

Stoneridge West II (PSP18-0030)  
Wetland Review of the Preliminary Site Plan (PSP18-0117)  
August 23, 2018  
Page 6 of 8

**Wetland Conclusion**

The project site contains wetland and 25-foot wetland setback that are regulated by the City of Novi. One (1) wetland impact is currently proposed that will require a City of Novi *Wetland and Watercourse Minor Use Permit* and an *Authorization to Encroach the 25-Foot Natural Features Setback* for proposed impacts to the 25-foot wetland buffers. An MDEQ wetland permit will not be required for this project.

**Recommendation**

ECT currently recommends approval of the Preliminary Site Plan for Wetlands. The Applicant shall address the items noted in the *Wetland Comments* Section of this letter prior to receiving Wetland approval of the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,  
**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Pete Hill, P.E.  
Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner  
Sri Komaragiri, City of Novi Planner  
Rick Meader, City of Novi Landscape Architect  
Hannah Smith, City of Novi Planning Assistant

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map  
Site Photos



**Figure 1.** City of Novi Regulated Wetland & Woodland Map (approximate parcel boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue. No regulated wetland or woodland areas are mapped on the subject property.

*Site Photos*



**Photo 1.** Looking north at Wetland A in the northwestern portion of the site (ECT, August 22, 2018).



**Photo 2.** Typical vegetation within Wetland A (ECT, August 22, 2018).

WOODLAND REVIEW

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ECT Project No. 180513-0200

August 23, 2018

Ms. Barbara McBeth, AICP  
City Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

Re: Stoneridge West II (JSP18-0030)  
Woodland Review of the Preliminary Site Plan (PSP18-0117)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Stoneridge West II project prepared by Nowak & Fraus Engineers dated July 30, 2018 and stamped "Received" by the City of Novi Community Development Department on August 2, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The purpose of the Woodlands Protection Ordinance is to:

- 1) *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
- 2) *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- 3) *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

**ECT currently recommends approval of the Preliminary Site Plan for Woodlands and no further woodland review of the proposed project is necessary.**

The proposed project is located north of Twelve Mile Road and east of Dixon Road in Section 10 (Parcel ID 50-22-10-400-067). The Plan includes the construction of two (2) proposed 1-story medical office buildings (+/- 10,000 square feet), a 2-story medical office building (+/- 20,000 square feet), associated parking, utilities and stormwater detention basin.

Based on our review of the application, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached), and our woodland verification site inspection conducted on August 22, 2018 the proposed project site does not contain areas that are mapped as City-Regulated

Woodlands. The City of Novi regulates trees that are 8-inch diameter-at-breast-height (DBH) or greater and are located within areas designated as regulated on the City Regulated Woodland map. In addition, any tree 36-inches DBH or greater are also regulated.

#### **On-Site Woodland Evaluation**

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on August 22, 2018. ECT's in-office review of available materials included the City of Novi Regulated Woodland map and other available mapping. As noted above, the project site does not contain areas mapped as City-Regulated Woodland.

An existing tree list is included on Sheet L1 (*Tree Preservation Plan*). This Plan identifies tree tag numbers, diameter-at-breast-height (DBH), common name, botanical name and condition. The surveyed trees have been marked with aluminum tree tags allowing ECT to compare the tree diameters reported on the Plan with the existing trees in the field. ECT found that the Plan appears to accurately depict the location, species composition and the size of the existing trees. ECT took a sample of diameter-at-breast-height (DBH) measurements and found that the data provided on the Plan was consistent with the field measurements.

The on-site trees are white spruce (*Picea glauca*) and eastern red cedar (*Juniperus virginiana*), generally located in the northeastern section of the subject site. A maple (*Acer spp.*) is shown on the Plan and is located within the existing wetland area. Finally, two (2) eastern red cedar trees are located along the western property line, west of the proposed stormwater detention basin. The *Tree Preservation Plan* indicates nineteen (19) total surveyed trees on the site.

#### **City of Novi Woodland Review Standards & Woodland Permit Requirements**

Based on Section 37-29 (*Application Review Standards*) of the City of Novi Woodland Ordinance, the following standards shall govern the grant or denial of an application for a use permit required by this article:

*No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees, similar woody vegetation, and related natural resources shall have priority over development when there are location alternatives.*

In addition,

*“The removal or relocation of trees shall be limited to those instances when necessary for the location of a structure or site improvements and when no feasible and prudent alternative location for the structure or improvements can be had without causing undue hardship”.*

The City of Novi regulates all trees 8-inches diameter-at-breast-height (DBH) and greater that are located within the areas delineated as regulated woodlands on the City-Regulated Woodlands Map. The City also regulates any individual tree greater than or equal to 36-inches DBH, irrespective of whether such tree is within a regulated woodland. Proposed woodland impacts will require a Woodland Permit and the regulated trees shall be relocated or replaced by the permit grantee.

It should be noted that the purpose of the City of Novi Woodland Protection Ordinance (Chapter 37) is to:

- *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation,*

*and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*

- *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

#### **Proposed Woodland Impacts and Replacements**

As noted above, this site does not contain areas mapped as City of Novi Regulated Woodlands and does not contain any trees 36-inches DBH or greater.

Based on the *Tree List* information provided on the *Tree Preservation Plan* (Sheet L1), there appear to be a total of **19** surveyed trees on the subject property. None of these are City-Regulated Woodland Trees.

A total of five (5) trees are proposed for removal but will not require Woodland Replacement Credits.

Currently, the Plan indicates that three (3) Woodland Replacement Credits are required and will be planted around the proposed stormwater detention basin.

#### **Woodland Review Comments**

ECT recommends that the Applicant address the items noted below in subsequent site plan submittals:

1. The Plan proposes that removal of five (5) trees (white spruce) that are 8 inches diameter-at-breast-height (DBH) or greater. These trees are however not located within area mapped as City of Novi Regulated Woodland. This project will not require a City of Novi Woodland Permit and will not require the planting of Woodland Replacement Credits.

#### **Recommendation**

ECT currently recommends approval of the Preliminary Site Plan for Woodlands and no further woodland review of the proposed project is necessary.



Stoneridge West II (JSP18-0030)  
Woodland Review of the Preliminary Site Plan (PSP18-0117)  
August 23, 2018  
Page 4 of 6

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

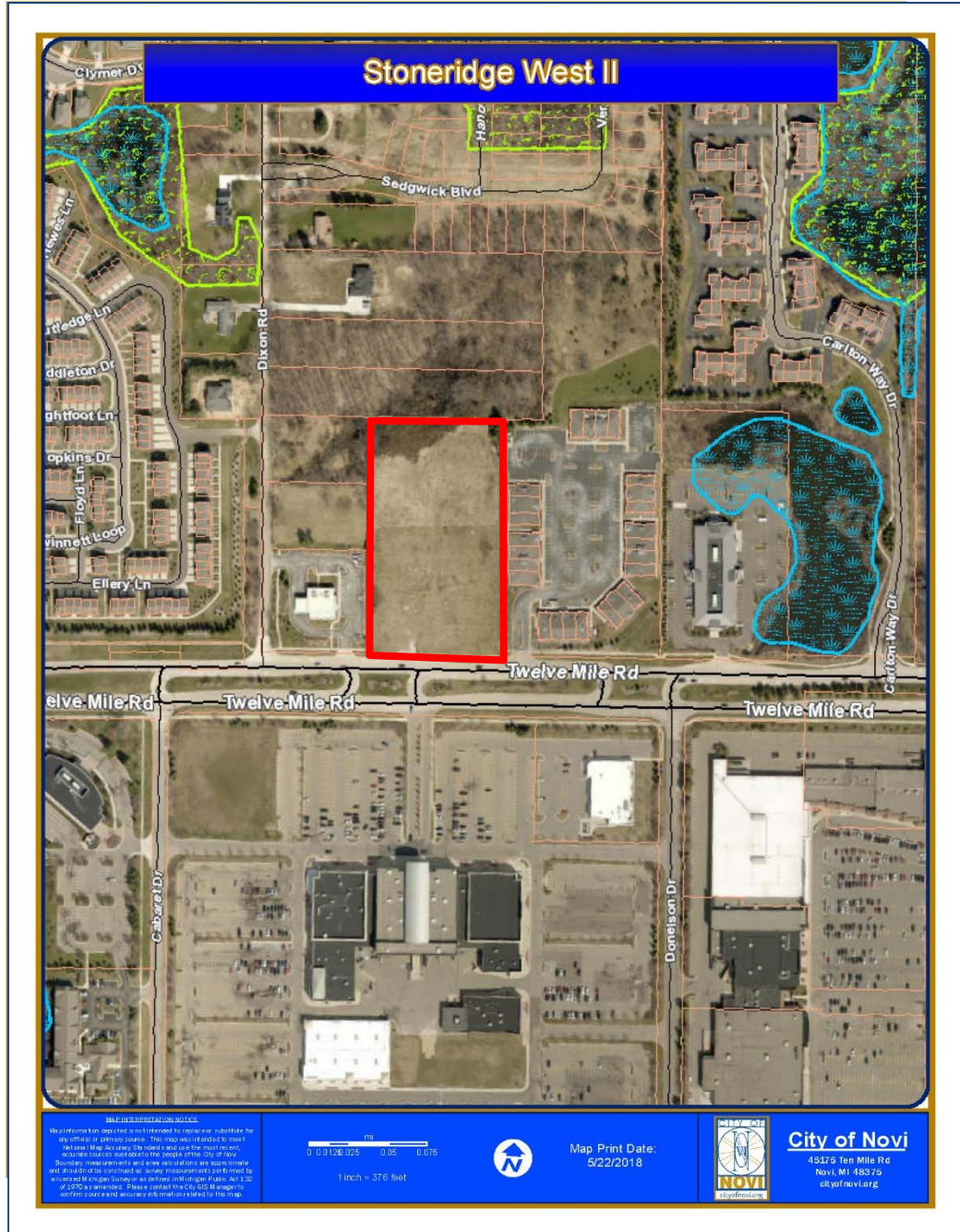
**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Pete Hill, P.E.  
Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner ([lbell@cityofnovi.org](mailto:lbell@cityofnovi.org))  
Sri Komaragiri, City of Novi Planner ([skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org))  
Rick Meader, City of Novi Landscape Architect ([rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org))  
Hannah Smith, City of Novi Planning Assistant ([hsmith@cityofnovi.org](mailto:hsmith@cityofnovi.org))

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map  
Site Photos



**Figure 1.** City of Novi Regulated Wetland & Woodland Map (approximate parcel boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue. No regulated wetland or woodland areas are mapped on the subject property.

*Site Photos*



**Photo 1.** Looking northwest at Tree No. 1781 and 1782 (eastern red cedars) to be preserved (ECT, August 22, 2018).



**Photo 2.** Looking northeast at existing spruce trees in the northeast section of the site. The southernmost 5 trees will be removed for the proposed development (ECT, August 22, 2018).

TRAFFIC REVIEW

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AECOM  
 27777 Franklin Road  
 Southfield  
 MI, 48034  
 USA  
 aecom.com

**Project name:**  
 JSP18-0030 Stoneridge West II Preliminary Site  
 Plan Traffic Review

**From:**  
 AECOM

**Date:**  
 August 24, 2018

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**CC:**  
 Sri Komaragiri, Lindsay Bell, George Melistas, Darcy  
 Rechten, Hannah Smith

# Memo

**Subject:** JSP18-0030 Stoneridge West II Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Acqira Realty Holdings, is proposing a 40,240 GSF medical office development on the north side of 12 Mile Road, between Dixon Road and Carlton Way Drive.
2. 12 Mile Road is under the jurisdiction of the Road Commission for Oakland County (RCOC).
3. The site is currently zoned OS-1 and the applicant is not proposing a zoning change at this time.
4. Summary of traffic-related waivers/variances:
  - a. **It does not appear that the driveway spacing requirements will be met and a City Council variance may be required.**

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10<sup>th</sup> Edition, as follows:

ITE Code: 720 – Medical/Dental Office Building  
 Development-specific Quantity: 40,240 GSF  
 Zoning Change: N/A

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	99	77	100	No

<b>PM Peak-Hour Trips</b>	138	99	100	No
<b>Daily (One-Directional) Trips</b>	1,400	N/A	750	Yes

2. The number of trips exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

<b>Trip Impact Study Recommendation</b>	
<b>Type of Study:</b>	<b>Justification</b>
<b>Traffic Impact Statement</b>	The proposed development's daily trip generation estimate is in excess of the City's threshold of 750 trips.

3. The applicant has indicated that a traffic impact study is underway and will be provided once it is complete. AECOM will review under a separate letter once the study is provided.

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant is proposing one main point of access to 12 Mile Road.
  - a. The applicant has not provided driveway dimensions of 31' width, 24.5' entering radius and 25.9' exiting radius. The dimensions provided do not meet the City standard dimensions, but are within the range. The applicant may be required to seek an administrative variance for not providing standard dimensions as shown in Figure IX.1.
  - b. The applicant shall provide driveway spacing measurements between the near approach curb to near approach curb for adjacent driveways. Based on the 45 mile per hour speed limit along 12 Mile Road, that driveway spacing must be 230' or more, per Section 11-216.c. **It does not appear that the driveway spacing requirements will be met and a City Council variance may be required. The applicant has stated that the driveway location has been approved by the Road Commission for Oakland County, but has not provided written approval of the location, as requested.**
2. The applicant has included the sight distance measurement to the east on the site plans, which exceeds the requirements of Figure XIII-E.
3. The applicant has provided a connection to the right turn lane from the property to the east to extend through to the existing right turn lane to Dixon Road, as required by Section 11-216(d)(5)c.
  - a. The applicant should include maintaining traffic notes and details in future submittals for the construction of the right turn lane. The applicant stated in their response letter that this was provided on sheets C3 and C4, but it is not.
  - b. The applicant shall provide proposed pavement marking details for modifications to Twelve Mile Road.
4. The applicant is proposing an internal connection to the adjacent property to the east, which can serve as a secondary point of access, and a stub to the west near the north property line. The applicant has indicated widths of 25.5' and 25.0', respectively for each of these connections.

## INTERNAL SITE OPERATIONS

*The following comments relate to the on-site design and traffic flow operations.*

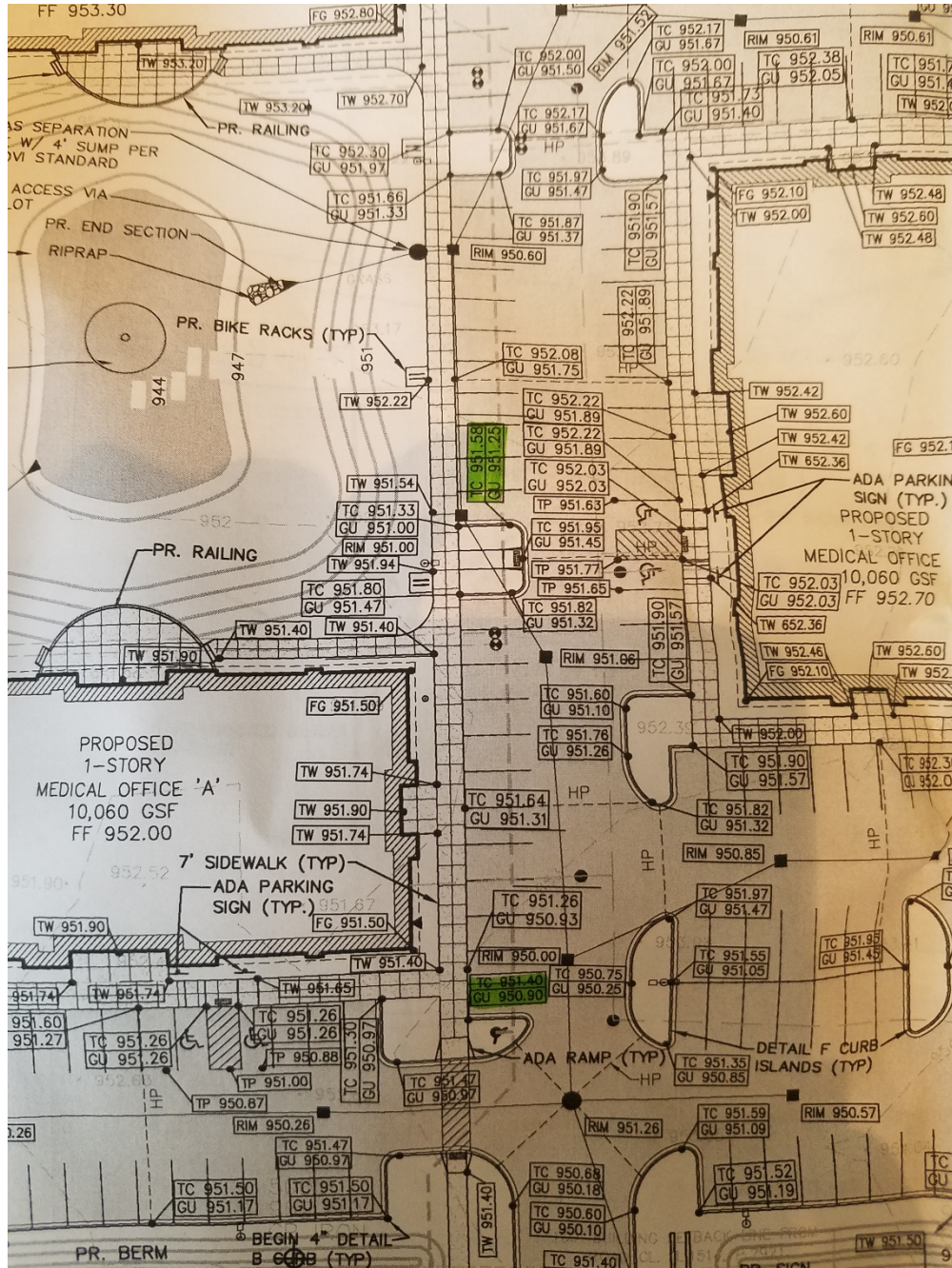
### 1. General Traffic Flow

- a. The applicant has provided aisle widths throughout the site, which are generally 24', which is compliant.
  - i. Along the east side of the site near the north, there is an aisle width of 23'. According to Section 5.3.2 of the Zoning Ordinance, this dimension may be acceptable because there is no adjacent parking present, unless the Planning Commission finds that the 24' width is warranted for the proposed use.
  - ii. There is a dimension of 23' shown for the aisle width along the east side of the site near the south that appears to be measuring an angled distance. The dimension should be updated to reflect the actual, perpendicular width of the aisle.
  - iii. There is an aisle width dimension shown near the dumpster indicating 22.5' which should further be clarified as it is nearly adjacent to another dimension with a width of 25.5'. The applicant should review and update as appropriate or provide commentary as to why the width changes along the segment.
- b. The applicant has included dimensions for the outside curb radii of the landscape islands throughout the site, but shall provide dimensions for the inside landscape island radii and other landscaped area curb radii throughout the site to review accessibility and compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance.
  - i. Note that all end islands shall be constructed three (3) feet shorter than the adjacent parking space. The applicant appears to have reduced the length of the end islands in some locations, but not in all instances of end islands and should do so on the next submittal.
- c. The applicant has proposed a loading zone and trash receptacle in the rear yard.
  - i. The applicant has indicated the size of the proposed loading zone, as required by Section 5.4 of the Zoning Ordinance.
  - ii. The applicant has provided truck turning patterns throughout the site to be able to access the dumpster, but has not provided turn patterns to access the loading zone without interfering with parking spaces.
    1. The applicant should show, via turning patterns, how a truck will access the loading zone without encroaching into the parking area and maintaining the entirety of the truck within the loading zone and not in the maneuvering aisle.
    2. The easternmost parking space along the north parking bay may pose a concern when a truck is accessing the trash receptacle.
  - iii. The applicant should consider providing a landscape peninsula between the northernmost parking bay and loading zone to protect the vehicle at the end of the adjacent parking bay, or may provide justification as to why a landscape peninsula is not provided.
- d. The applicant should consider providing additional pavement near the west side of the site at the southern parking area to allow vehicles to effectively back out of the westernmost parking spaces.

### 2. Parking Facilities

- a. The applicant should refer to the Planning Review Letter for bicycle and vehicle parking quantity requirements.
- b. The applicant has provided parking space dimensions for standard parking spaces as well as barrier-free parking spaces and aisles, which are in conformance with standard dimensions.

- i. The applicant has indicated that all barrier-free spaces are designated as van accessible.
- c. The applicant has generally provided appropriate curb heights throughout the site, with the exception of two call-outs on the grading plan, as shown in the attached photo.
  - i. The northern call-out highlighted in green in the photo is indicating 4" and should be updated to 6".
  - ii. The southern call-out highlighted in green in the photo is indicating 6" and should be updated to be 4".



- iii. The applicant has indicated a clear 2' overhang in front of the 17' parking spaces.
- d. The applicant has provided nine bicycle parking spaces throughout the site.
  - i. The bicycle parking layout shown on sheet C-4 is in compliance with City standards, with the exception of a 4' maneuvering aisle.



- ii. The applicant should further review the locations of the proposed bicycle parking areas against Section 5.16.5 of the Zoning Ordinance and relocated them as applicable or may provide dimensions indicating that they are in compliance with standards.
  - iii. Note that all bicycle parking facilities shall be accessible from adjacent street(s) and pathway(s) via a paved route that has a minimum width of 6'. The applicant would be required to increase the width of the proposed sidewalk adjacent to the bicycle parking areas to be 8' wide to meet this requirement, or may choose to relocate the bicycle parking areas nearer to the building entrances and update route widths as applicable.
3. Sidewalk Requirements
- a. The applicant is proposing a 5' sidewalk along 12 Mile Road to connect the existing sidewalk east and west of the site. The proposed 5' sidewalk is not in compliance with the City's Non-motorized Master Plan, or Article XI of the City Design and Construction Ordinance.
    - i. The applicant should update the sidewalk width to be 6'.
    - ii. The applicant should indicate the location of the sidewalk with respect the roadway right-of-way line.
  - b. The applicant has indicated 7' sidewalk within the site along the east side of Office 'A' and should confirm the width of the other sidewalks provided throughout the site.
    - i. Sidewalks throughout the site are required to be a minimum of 5' wide.
    - ii. Note that when a 17' parking space abuts a sidewalk, the sidewalk shall be 4" in height and a minimum of 7' wide to accommodate a 2' vehicle overhand and provide 5' of unobstructed travel way for non-motorized users.
    - iii. See also comment 2.iii above for additional width requirements where the sidewalk serves as an access route to the bicycle parking areas.

## SIGNING AND STRIPING

- 1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
- 2. The applicant should include applicable signing and pavement marking details for the modifications to 12 Mile Road with the extension of the right turn lane.
- 3. The applicant has indicated the location of proposed signs throughout the site, but should provide further clarification as to which sign is to be placed at each location.
- 4. The applicant should include a sign quantity table in future submittals to indicate the sign, size, MMUTCD designation and quantity.
  - a. The applicant has provided appropriate signing notes on the site plans.
  - b. The applicant should update the barrier-free signage detail on sheet SP1.2 to be consistent with sheet C4 or may remove it and add the applicable details to the detail on sheet C4 for simplicity.
  - c. The applicant has provided notes and details related to proposed pavement markings.
    - i. The applicant has indicated that the crosswalk pavement markings shall comply with the MMUTCD, but should provide a detail of the proposed design so that it can be reviewed prior to installation.
    - ii. The applicant should position the international symbol for accessibility to be flush with the maneuvering aisle.
    - iii. The applicant has included arrow pavement marking details on sheet SP1.2 and should indicate where they are proposed on the plans, or remove them. The provided details are not compliant with standards and, if used, should be updated.

Memo

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer



Paula K. Johnson, PE  
Senior Traffic Engineer

## FAÇADE REVIEW

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August 27, 2018

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review – Preliminary S.P.**  
**Stoneridge West II, JSP18-0030**  
 Façade Region: 1, Zoning District: OS-1,

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Plan Approval of the above referenced project based on the drawings prepared by Jona Abro Architects, dated 7/16/18. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

<b>Building A &amp; C</b>	Front	Rear	Left	Right	Ordinance Maximum (Minimum)
Brick	33%	<b>23%</b>	<b>20%</b>	<b>20%</b>	100% (30%)
Burnished Concrete Masonry Unit (CMU)	<b>17%</b>	<b>17%</b>	<b>20%</b>	<b>20%</b>	10%
EIFS	12%	13%	15%	15%	25%
Flat Metal (Trim)	13%	11%	12%	12%	50%
Standing Seam Metal	25%	<b>36%</b>	<b>33%</b>	<b>33%</b>	25%

**Building A & C** - As shown above the minimum percentage of Brick is not provided on the rear, left and right facades, the percentage of Burnished CMU exceeds the maximum amount allowed by the Ordinance on all facades and the percentage of Standing Seam Metal exceeds the Ordinance on the rear, left and right facades. A Section 9 Waiver would be required for these deviations.

<b>Building B</b>	Front	Rear	Left	Right	Ordinance Maximum (Minimum)
Brick	84%	85%	84%	82%	100% (30%)
Burnished Concrete Masonry Unit (CMU)	8%	10%	10%	8%	10%
Flat Metal (Trim)	4%	5%	6%	4%	50%
Standing Seam Metal	4%	0%	0%	6%	25%

**Building B** – As shown above Building B is in full compliance with the Façade Ordinance.

**Dumpster Enclosure** - The drawings (SP1.2) indicates that the dumpster will be clad in Brick to match the building.

**Recommendation** – Buildings A and C exhibit well balanced composition and the proportions of materials used are consistent with and will enhance the overall design. The deviations in percentage of material are comparatively minor in nature. Therefore, it is our recommendation that the design are consistent with the intent and purpose of the Façade Ordinance and the a Section 9 waiver be granted for the following deviations;

1. The underage of Brick on the rear, left and right facades.
2. The overage of Burnished CMU on all facades
3. The overage of Standing Seam Metal on the rear, left and right facades.

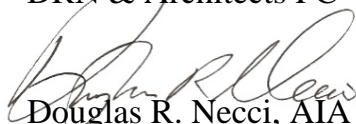
**Note** – A sample board was not available at the time of this review. The applicant should provide a sample board illustration carefully coordinated colors and textures as required by Section 5.15.4.D of the Ordinance not less than 5 days prior to the Planning Commission Meeting.

**Notes to the Applicant:**

1. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".  
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.
2. Roof Appurtenances – The drawings indicate that all roof appurtenances are fully screened using the building parapets. It is the applicant's responsibility to coordinate parapet and roof equipment heights to maintain full screening.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA

## FIRE REVIEW

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August 9, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

RE: Stoneridge West II development – 44244 12 Mile Rd.

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Gwen Markham

Kelly Breen

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**Director of Public Safety  
Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

JSP# 18-30  
PSP# 18 -0074  
PSP# 18-0117

**Project Description:**

Build 3 commercial buildings total. 2x - 1 story medical office(s) and 1x – 2 story medical office.

**Comments:**

- **All** fire hydrants **MUST** in installed and operational prior to any building construction begins.
- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. (D.C.S. Sec 11-239(b)(5))
- For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. (D.C.S. Sec.11-68(a)(9))
- All hydrants shall be accessible by improved roadways capable of supporting fire apparatus and equipment weighing up to 35 tons. (D.C.S. Sec. 11-68 (f)(1)e)
- All hydrants shall have two 2-1/2 inch male outlets and one 4-1/2 inch male steamer connection. Threads shall be National Standard. (D.C.S. Sec. 11-68 (f)(2))
- Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other object for a minimum of 3 feet (914 mm). (International Fire Code)
- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674. (See Attachment B)
- South side of building "A", **MUST** provide some type of turn around due to the drive way is longer than 150'. **IFC 503.2.5.**

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**Recommendation:**

Approved with conditions

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file



APPLICANT RESPONSE LETTER

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# PLAN REVIEW CENTER REPORT

August 28, 2018

Planning Review

Stoneridge West II

JSP 18-30

## PETITIONER

Acquira Realty Holdings

## REVIEW TYPE

Preliminary Site Plan

## PROPERTY CHARACTERISTICS

Section	10	
Site Location	North of Twelve Mile, West of Novi Road; 22-10-400-067	
Site School District	Novi Community School District	
Site Zoning	OS-1: Office Service District	
Adjoining Zoning	North	R-1: One-Family Residential District
	East	OS-1: Office Service District
	West	OS-1: Office Service District
	South	RC: Regional Center District
Current Site Use	Vacant	
Adjoining Uses	North	Single family residence
	East	Office Park
	West	Bank; Vacant lot
	South	Twelve Mile Crossing at Fountain Walk
Site Size	4.45 acres	
Plan Date	July 31, 2018	

## PROJECT SUMMARY

The applicant is proposing three new medical/professional office buildings with a total of 40,240 square feet on a 4.46 acre vacant parcel. The parcel is on the north side of Twelve Mile Road, west of Novi Road. The site is planned for Community Office and zoned OS-1, Office Service. The proposal includes parking spaces, wetland mitigation on the north side and a stormwater detention pond.

## RECOMMENDATION

Approval of the *Preliminary Site Plan is recommended*. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations to be addressed in subsequent Site Plan submittals. All reviews recommend approval. **Planning Commission's approval for Preliminary Site Plan, Wetland Permit and Storm Water Management Plan is required.**

## ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Phasing Plan (Sec 4.19.2.A): The application indicates 2-3 phases of development, however no phasing plan with phase lines has been included in the plan set. Applicant has indicated the entire site will be prepared, including pad sites for all three buildings, with construction of individual buildings to be built in phases. **If the applicant believes construction of the project will exceed 2 years, staff recommends that a phasing plan sheet be included for Planning Commission approval. Such phasing plan should clearly delineate all features, including structures, utilities and landscaping, that will be provided in each phase.**
2. Lighting and Photometric Plan (Sec. 5.7.2): **Complete the Statistics chart and include notes that address the Ordinance requirements. Adjust lighting levels at the main entrance to meet the 1.0 fc minimum. See planning chart for additional details.**
3. Bicycle Parking (Section 5.16): Nine bicycle parking spaces are proposed in 3 clusters on the east side of the detention pond. Each of the 3 locations is within 120 feet of one of the building entrances of each building. **Details of the bicycle parking layouts and rack design should be shown and dimensioned within the plan set. See chart for additional details.**
4. Plan Review Chart: There are additional minor clarifications requested in the Plan review chart. Please refer to the chart for additional details.
5. Economic Impact Information: The following information is requested before the Planning Commission meeting:
  - i. Total cost of the proposed construction & site improvements (*\$6 million indicated in response letter*)
  - ii. Number of anticipated jobs created (during construction & after building is occupied, estimated)
6. Other Reviews:
  - a. Engineering Review: Additional comments to be addressed with Final Site Plan. Engineering recommends approval.
  - b. Landscape Review: Landscape recommends approval with comments to be addressed in Final Site Plan Submittal. **Two landscape waivers are required, but both are supported by staff.** Refer to review letter and chart for more comments.
  - c. Wetlands Review: Wetlands consultant recommends approval to move forward with additional comments to be addressed in Final Site Plan submittal. Refer to review letter for more details.
  - d. Woodlands Review: No impacts to regulated Woodlands or trees are proposed. Further Woodland Review is not necessary.
  - e. Traffic Review: Additional comments to be addressed with Final Site Plan. Traffic recommends approval.
  - f. Facade Review: **The proposed materials on two buildings deviates from the façade ordinance, which will require a Section 9 façade waiver.** Façade consultant recommends approval. See letter for additional details.
  - g. Fire Review: Fire recommends approval. Additional comments to be addressed with Final Site Plan. **Please note the need for an adjustment to the driveway on the south side of Building A.**

#### **NEXT STEP: PLANNING COMMISSION MEETING**

This Site Plan is scheduled to go before Planning Commission for public hearing on **September 26, 2018 at 7:00 p.m.** Please provide the following **no later than 12:00pm, September 20, 2018** if you wish to keep this schedule.

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. **Phasing plan sheet, if applicable.**
3. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.

4. A color rendering of the Site Plan (Optional - to be used for Planning Commission presentation).
5. A sample board of building materials as requested by our Façade Consultant.

Architect to provide  
color rendering and  
sample board

### FINAL SITE PLAN SUBMITTAL

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After receiving Planning Commission's approval of the Preliminary Site Plan, please follow the [Final Site Plan Checklist](#) and submit for approval:

1. Seven copies of Final Site Plan sets addressing all comments from Preliminary review and Planning Commission (or a [No Revision Façade Affidavit](#) and 6 copies of FSP, if applicable);
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected**;
3. [Final Site Plan Application](#)

### ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

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After receiving Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**.

### STAMPING SET APPROVAL

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Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### SIGNAGE

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Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

### PRE-CONSTRUCTION MEETING

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

### CHAPTER 26.5

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).

A handwritten signature in black ink that reads "Lindsay Bell". The signature is written in a cursive, flowing style.

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Lindsay Bell – Planner



## PLANNING REVIEW CHART: OS-1 Office Service District

**Review Date:** August 17, 2018  
**Review Type:** Preliminary Site Plan  
**Project Name:** JSP18-30 Stoneridge West II  
**Location:** 44244 W. Twelve Mile Road; Parcel 22-10-400-067  
**Plan Date:** 7/31/2018  
**Prepared by:** Lindsay Bell, Planner  
**E-mail:** lbell@cityofnovi.org; **Phone:** (248) 347-0484

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	Community Office	Medical Office	Yes	
<b>Area Study</b>	The site does not fall under any special category	NA	Yes	
<b>Zoning</b> <i>(Effective January 8, 2015)</i>	OS-1: Office Service District	OS-1	Yes	
<b>Uses Permitted</b> (Sec 3.1.21.B & C)	Sec. 3.1.21.B. - Principal Uses Permitted. Sec. 3.1.21.C. – Special Land Uses Permitted.	Medical Office Buildings	Yes	
<b>Height, bulk, density and area limitations (Sec 3.1.21.D)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i> <b>Access To Major Thoroughfare</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage and access to Twelve Mile Road	Yes	
<b>Minimum Zoning Lot Size</b> for each Unit in Ac <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	4.46 acres	NA	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet <i>(Sec 3.6.2.D)</i>			NA	
<b>Open Space Area</b>	----	---	---	---
<b>Maximum % of</b>	<i>(Sec 3.6.2.D)</i>	15.5%	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Lot Area Covered</b> (By All Buildings)				
<b>Building Height</b> (Sec. 3.1.23.D)	30 feet	Maximum height: 28.5'	Yes	
<b>Building Setbacks</b> (Sec 3.1.21.D)				
Front South @ Twelve Mile	20 ft.	105 ft.	Yes	<b>Dimensions on Site Plan missing for rear building setback</b> <span style="border: 1px solid red; padding: 2px;">Any missing setbacks will appear on future plans</span>
Rear North	20 ft.	157 ft.	Yes	
West Side	15 ft.	15 ft.	Yes	
East Side	15 ft.	15 ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.21.D) Refer to applicable notes in Sec 3.6.2				
Front South @ Twelve Mile	20 ft.	35.45 ft.	Yes	<span style="border: 1px solid red; padding: 2px;">The additional 0.5' will be provided</span>
Rear North	10 ft. (20ft. when abuts residential zone)	88 ft.	Yes	
West Side	10 ft.	10.5 ft.	Yes	<b>Parking on east side must meet 10 ft setback</b>
East Side	10 ft.	9.5 ft.	No	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	No exterior side yard present	NA	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard if - does not extend into the minimum required front yard setback of the district	Does not extend	Yes	
<b>Setbacks from Residential</b> (Sec 3.6.2.L)	All properties abutting residential districts shall have 20' parking setback	Rear yard abuts residential - parking setback exceeds 20'	Yes	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained	Wetlands shown on northern portion of the site - parking area appears to encroach	No	<b>See comments from ECT. Quantify wetlands and 25' buffers impact area</b> <span style="border: 1px solid red; padding: 2px;">plan quantifies impact area</span>
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			See Landscape comments
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q	Parking setbacks conform to the minimum required	NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>OS-1 District Required Conditions (Sec 3.17)</b>				
<b>Interior Display</b> (Sec 3.17.1)	No interior display shall be visible from the exterior of the building.	Notes on sheet C3	Yes	
<b>Outdoor storage</b> (Sec 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Notes on sheet C3	Yes	
<b>Warehousing or indoor storage</b> (Sec 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Notes on sheet C3	Yes	
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking Spaces</b> Medical Office (Sec.5.2.12.D)	Medical Office: For buildings greater than 5,000 square feet, 1 space per 175 SF GLA General Office: 1 space per 222 sf  27,320 GLA/175 = 156 6,820 GLA/222 = 31 156+31= 187 spaces required	Total Proposed = 188 spaces	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	90° Parking: 9 ft. x 17 ft. along 7 ft. wide interior sidewalks	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	The parking stall appears to be 25' from the street right-of-way	Yes	
<b>End Islands</b> (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15	End Islands are proposed – dimensions not shown.	No	Please dimension the radius and the offset distance according to standards.  <div style="border: 1px solid red; padding: 5px; color: red;">The typical dim is shown, all remaining dims will be added</div>



Item	Required Code	Proposed	Meets Code	Comments
	feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance			
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	7 barrier free parking spaces (for total 201 to 300) including 1 van barrier free parking space	7 barrier Free parking proposed	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces	All van accessible  <b>Future plans to show 8' in the detail</b>	Yes	<b>Plans show 8' access aisle, however detail on Sheet C4 shows 5' access aisle. Provide correct detail image for van accessible spaces.</b>
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs shown on plans	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	<u>Medical Offices:</u> One (1) space for each twenty (20) employees on the maximum shift, minimum two (2) spaces	9 bicycle parking spaces indicated	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Spaces all shown on east side of detention basin – 3 locations spaced out 55-65 feet; At least one location is w/in 120 feet of each building entrance	Yes          <b>No</b>	<b>Provide detail of bicycle rack design</b> <b>A profile view will be added to plan</b>
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	No Bicycle parking layout provided	<b>No</b>	<b>Provide a plan detail of the bicycle parking as required</b> <b>A detail is on sheet C4</b>
<b>Loading Spaces</b> <i>Sec. 5.4.1</i>	- Within the OS districts, loading space shall be provided in the rear yard or - in the case of a double	- Loading area (9.5 x 54.5 = 518 sf) is located adjacent to the dumpster enclosure in the rear yard (NE	Yes	<b>Label the loading space dimensions.</b> <b>C3 calls dims out: 19.5' x 54.75' = 1,067</b>

Item	Required Code	Proposed	Meets Code	Comments
	frontage lot, in the interior side yard, - in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.	corner of the parking lot)		
<b>Dumpster</b> Sec 4.19.2.F	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft. from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	<p>Two dumpsters are provided in one enclosure in the rear yard (NE corner of the parking lot)</p> <p>Yes – meets setback requirements</p> <p>Yes, it is away</p>	Yes	
<b>Dumpster Enclosure</b> Sec. 21-145. (c) Chapter 21 of City Code of Ordinances	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	<ul style="list-style-type: none"> <li>- An enclosure is shown on the plans</li> <li>- 6' high</li> <li>- A concrete surface is indicated</li> <li>- 9 Dark Green Arborvitae shown for evergreen screening on east and north sides.</li> </ul>	Yes	
<b>Lighting and Other Equipment Requirements</b>				
<b>Exterior lighting</b> Sec. 5.7	Photometric plan and exterior lighting details needed at time of Preliminary Site Plan submittal	A lighting plan was provided in pdf format	Yes	<a href="#">See Lighting Review chart for more details.</a>
<b>Roof top equipment and wall mounted utility equipment</b> Sec. 4.19.2.E.ii	<ul style="list-style-type: none"> <li>- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building</li> </ul>	Roof top equipment proposed – applicant indicated it will be 100% screened by sloped roof at parapet	Yes	<b>See Façade review for further comments</b>
<b>Roof top appurtenances</b>	Roof top appurtenances shall be screened in	Roof top equipment proposed	Yes	<b>See Façade review for further comments</b>

Item	Required Code	Proposed	Meets Code	Comments
screening	accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.			
<b>Non-Motorized Facilities</b>				
<b>Article XI. Off-Road Non-Motorized Facilities</b>	Non-motorized facilities shall be placed across the frontage of all streets and roadways (public or private) for all projects in accordance with the "Bicycle and Pedestrian Master Plan ", as well as at those locations specified in the City of Novi Subdivision Ordinance (Appendix C) and the City of Novi Zoning Ordinance (Appendix A).	A sidewalk is proposed along Twelve Mile Road – Sheet C4 indicates 6' width	Yes	
<b>Pedestrian Connectivity</b>	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Sidewalks are proposed throughout the site	Yes	
<b>Building Code and Other Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	All exits are connected to internal sidewalk	Yes	
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</li> </ul>	Total cost of construction and site improvements estimated: \$6 million Jobs created: unknown	Yes	
<b>Phasing</b>	<ul style="list-style-type: none"> <li>- All projects must be completed within 2 years of the issuance of any starting permit or phasing plan should be provided</li> </ul>	Phasing is indicated – however plan sheet with phase lines is not provided	<b>No</b> <b>Phasing plan to be provided?</b>	<b>If a phasing plan is to be approved by the Planning Commission it should be provided in advance of the Planning Commission Meeting</b>
<b>Development/ Business Sign &amp; Street addressing</b>	<ul style="list-style-type: none"> <li>- Signage if proposed requires a permit.</li> <li>- The applicant should contact the Building Division for an address prior to applying for a building permit.</li> </ul>			For further information <u>contact Maureen Underhill 248-735-5602.</u>
<b>Project and Street Naming</b>	Some projects may need approval from the Street and Project Naming Committee.	This project requires approval of the Project Name – please complete the required <a href="#">application</a>	<b>Project name application is being submitted at this time</b>	For approval of <u>project and street naming contact Hannah Smith at 248-735-0579 (REMOVE THIS PARTIAL NOTE FROM THE PLAN – Applicant should apply for project name approval at this time)</u>
<b>Parcel Split or Combination or Condominium approval</b>	Any parcel splits or condominium approvals must be completed before Stamping Set approval		NA	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent	Provided	Yes	<u>PDF of lighting plan was provided but not hard</u>

Item	Required Code	Proposed	Meets Code	Comments
	unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky			<u>copy - include hard copy in Final Stamping Set</u>
<b>Lighting Plan</b> (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Light pole locations shown on landscape plans	Yes	
<b>Building Lighting</b> (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Lighting fixtures etc. not shown on building elevations	No	Show as required on building elevation drawings  <div style="border: 1px solid red; padding: 2px; display: inline-block; color: red;">See architect submittal</div>
<b>Lighting Plan</b> (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	11' & 24' for building-mounted, 25' pole lights	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Shown	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Shown	Yes	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties		Yes	
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (30 ft.) (or 25 ft. where adjacent to residential districts or uses)	25 ft proposed	Yes	
<b>Standard Notes</b> (Sec. 5.7.3.B)	- Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting	Notes included on Lighting plan	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	for security purposes & limited operations shall be permitted after a site's hours of operation			
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred.	Not specified	No	Show which lights are security lighting  <b>See architect submittal</b>
<b>Average Light Levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Parking lot is 3.2:1	Yes	
<b>Type of Lamps</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED proposed	Yes	
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min	0.5 min	Yes	
	Loading/unloading areas: 0.4 min	1.1 min	Yes	
	Walkways: 0.2 min	0.3 shown	Yes	
	Building entrances, frequent use: 1.0 min	0.5 min	No	Adjust to min level required <b>See architect submittal</b>
	Building entrances, infrequent use: 0.2 min	0.3 min	Yes	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Max proposed 0.0 at property line	Yes	
<b>Cut off Angles</b> (Sec. 5.7.3.L)	When adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Illumination at the property line adjacent to residential is 0.0	Yes	



# PLAN REVIEW CENTER REPORT

August 23, 2018

## Engineering Review

Stoneridge West II

JSP18-0030

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### Applicant

Acquira Realty Holdings

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: East of Dixon Road, north of Twelve Mile Road
- Site Size: 4.458 acres
- Plan Date: 07/31/2018
- Design Engineer: Nowak & Fraus Engineers

### Project Summary

- Construction of three separate medical office buildings with associated parking.
- Water service would be provided by an 8-inch extension from the existing 24-inch water main in Twelve Mile Road. Each building has proposed 2-inch domestic lead and a 6-inch fire lead connections to serve the buildings, with fire hydrants on the site.
- Sanitary sewer service would be provided by extension of an 8-inch sewer main from existing sewer manhole on the site to the east, with separate service leads to each building.
- Storm water would be collected by a single storm sewer collection system and detained in a storm water basin on the site prior to discharge to existing storm sewer in Twelve Mile Road.

### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**General**

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The plans shall be prepared on NAVD88 datum. All site benchmarks must be tied in to City benchmarks, and all elevations on the plans must be shown on NAVD88 (rather than including a conversion factor).
3. Right-of-way permits will be required from both the City of Novi and Road Commission for Oakland County.
4. Show and label the master planned 90-foot half right-of-way width for Twelve Mile Road. Dedication of the right-of-way along the parcel frontage is requested with the development.
5. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County.
6. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the final, printed Stamping Set submittal. The recently updated standard detail sheets can be found on the City website at this location:  
<http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>.
7. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided with the next submittal.
8. The six-foot sidewalk along Twelve Mile Road should generally be placed one (1) foot inside the future master planned right-of-way line.
9. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
10. Provide a traffic control plan for the proposed construction activity in Twelve Mile Road.



11. Traffic signs in the RCOC right-of-way will be installed by RCOC. Identify any signs within RCOC right-of-way in the sign quantity table.
12. At a minimum, an emergency access easement must be obtained from the property to the east.
  - a. If the intent is emergency access only, a gate must be provided at the property line. The Fire Marshal must approve of the gate and lock.
  - b. If the intent is for users of each property to be able to access either property along that route, a cross-access easement will be required in addition to the emergency access easement.
13. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

Water Main

14. Provide a profile for all proposed water main 8-inch and larger.
15. Label water main size, lengths and pipe material on the utility plan.
16. Provide three (3) signed and sealed sets of utility plans along with the MDEQ permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

17. Revise the Sanitary Sewer Basis of design using the City's Sewer Unit Factor chart, which is attached to this letter.
18. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
19. Provide a note on the Utility Plan and sanitary profile stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
20. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
21. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (01/18 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

### Paving & Grading

22. The newly issued City standard paving details will be incorporated into the plans at the time of stamping sets. Remove any redundant or conflicting details from the plan set, and remove or revise general paving notes to be consistent with pavement mix types and cross sections in standard details.
23. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
24. Revise the entrance driveway to be consistent with the standard dimensions shown in Figure IX.1 and Section 11-216 of the Design and Construction Standards.

### Storm Sewer

25. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the storm water basin. This can be added to the last catch basin in the network and does not need to be a separate structure.
26. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet.
27. Show and label all roof conductors, and indicate where they will tie into the storm sewer system on the utility layout and on storm sewer profiles.

### Storm Water Management Plan

28. The Storm Water Management Plan (SWMP) shall comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
  - a. Stormwater discharge from the site shall not exceed 0.15 cfs/acre. Revise the storm water detention basin sizing calculations accordingly.
  - b. The outlet control structure shall be designed in accordance with Section 5.6.4.B of the Engineering Design Manual
29. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
30. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
31. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high water elevation of the groundwater table.
32. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum

- slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
33. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.
  34. A 25-foot vegetated buffer shall be provided around the perimeter of each storm water basin. This buffer cannot encroach onto adjacent lots or property.
  35. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.

#### Soil Erosion and Sedimentation Control

36. A SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. A SESC permit application should be submitted under a separate cover at the time of Final Site Plan submittal. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

#### Off-Site Easements

37. Any off-site easements must be executed prior to final approval of the plans. Drafts shall be submitted as soon as possible for review and approval.
  - a. Off-site sanitary sewer easement
  - b. Off-site temporary construction permit
  - c. Secondary emergency access easement on property to the east
  - d. Cross-access easement with property to the east, if applicable.
  - e. Off-site portion of the Storm Drain Facility Maintenance Easement agreement, for access to the outlet control structure.

#### **The following must be submitted with the Final Site Plan:**

38. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
39. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site paving and utilities and **not** any costs associated with demolition, soil erosion control, or building construction items. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

40. Draft copies of all off-site easements listed in item 36 and payment of Legal Review escrow amount. Unused escrow will be returned to the payee at the end of the project.

**The following must be submitted with the Stamping Set:**

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

41. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds. This document is available on our website.
42. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
43. A draft copy of the 20-foot wide easement for the sanitary sewer and monitoring manhole to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
44. A draft copy of the warranty deed for the additional right-of-way along Twelve Mile Road must be submitted for acceptance by the City.
45. Executed copies of approved off-site easements.

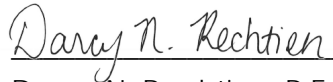
**The following must be addressed prior to construction:**

46. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
47. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
48. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
49. Construction inspection fees in an amount to be determined must be paid to the Community Development Department.
50. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. Unused escrow will be returned to the payee at the end of the project. Note: This amount will include

- engineering legal fees only. There may be additional legal fees for planning legal documents.
51. A storm water performance guarantee in an amount of equal to 120% of the estimated cost required to complete the storm water management facilities as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
  52. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.
  53. A street sign financial guarantee in an amount of \$400 per traffic control sign proposed must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
  54. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
  55. A permit for work within the right-of-way must be obtained from the City of Novi. The application is available from the City Engineering Division or on the City website and may be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Only submit the cover sheet, standard details and plan sheets applicable to the permit.
  56. A permit for work within the right-of-way of 12 Mile Road must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
  57. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved. Only submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.
  58. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved. Only submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.
  59. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resource Commissioner.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechten at (248) 735-5695 with any questions.

  
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Darcy N. Rechten, P.E.

# CITY OF NOVI

## Sewer Unit Factor Chart

(See Notes Following Table)

Usage Type	Unit Factor	Information Source
<b>Auto Dealers</b>	0.300 per 1000 sq. ft.	D
<b>Barber Shops</b>	1.000 per 1000 sq. ft.	A - C
<b>Bars</b>	0.044 per seat	D
<b>Beauty Shops</b>	0.223 per booth	D
<b>Boarding Houses</b>	0.160 per person	A - C
<b>Boarding Schools</b>	0.270 per person	A - C
<b>Bowling Alleys</b> (no bar, or lunch facilities)	0.160 per alley	D
<b>Car Wash:</b>		
a) Manual, Do-It-Yourself	2.500 per stall	D
b) Semi-Automatic (mechanical without conveyor)	12.500 per lane	D
c) Automatic (with conveyor)	33.000 per lane	D
d) Automatic (with recycling water)	8.400 per lane	D
<b>Churches</b>	0.008 per seat	D
<b>Cleaners:</b>		
a) Pick-up Only	0.048 per employee	D
b) With Pressing Facilities	1.250 per press	D
<b>Clinics:</b>		
a) Medical	1.000 per doctor	D
b) Dental	1.400 per dentist	D
<b>Community Buildings</b>	2.000 per building	D
<b>Convalescent and/or Nursing Homes</b>	0.300 per bed	D
<b>Convents</b>	0.200 per person	D
<b>Country Clubs</b>	0.080 per member	A - C
<b>Day Care</b>	0.012 per student	CITY
<b>Drug Stores:</b>		
a) With Fountain Service	0.080 per seat, plus <b>0.140 per 1000 sq. ft.</b>	D
b) Without Fountain Service	0.140 per 1000 sq. ft.	D

# CITY OF NOVI

## Sewer Unit Factor Chart (See Notes Following Table)

<b>Factories</b> (exclusive of excessive industrial use)	0.500 per 1000 sq. ft.	D
<b>Fraternal Organizations</b> (members only)	1.000 per hall	D
<b>Fraternal Organizations</b> (members and rentals)	2.000 per hall	D
<b>Funeral Home</b> (including one residence)	2.200 per funeral home	D
<del>Grocery Stores &amp; Super Markets</del>	<del>1.100 per 1000 sq. ft.</del>	<del>D</del>
<b>Grocery Stores &amp; Super Markets</b>	0.310 per 1000 sq. ft.	D
<b>Health Clubs:</b>		
a) With Showers and/or Pool	2.300 per 1000 sq. ft.	D
b) Without Showers and/or Pool	0.260 per 1000 sq. ft.	D
<b>Hospitals</b>	1.220 per bed	A - C
<b>Hotels and/or Motels</b> (exclusive of swimming, pools, bars, restaurants, etc.)	0.380 per room	A - C
<b>Laundry</b> (self-serve)	0.540 per washer	D
<b>Office Building</b>	0.400 per 1000 sq. ft.	D
<b>Public Institutes</b> (other than hospitals)	0.320 per employee	A - C
<b>Racquet Clubs</b>	0.820 per court	D
<b>Residences:</b>		
Mobile Home Parks & Multiple Family Residences:		
a) One Bedroom	0.600 per dwelling unit	CITY
b) Two Bedroom	0.750 per dwelling unit	CITY
c) Three or more Bedrooms	1.000 per dwelling unit	CITY
Single Family Residential	1.000 per dwelling	CITY
<b>Restaurants:</b>		
a) Conventional Type (with or without drinks)	0.130 per seat	A - B
1. Seasonal Out-door Eating	0.130 per seat x 5/12	CITY
2. Banquet Section	0.130 per seat x 25%	CITY
b) Quick Service Franchise Type (without dishes, dealing mainly in hamburgers, with or without eating in building. Includes, but not necessarily limited to McDonald's, Burger Chef, Burger King, Red Barn, and Hardees.)	5.600 per restaurant	D
c) All Other Restaurants (Includes, but not limited to, drive-ins, snack bars, carryouts, such as fried chicken, pizzas; could have some eating in building, all without dishes.)	1.800 per restaurant	D



# CITY OF NOVI

## Sewer Unit Factor Chart

(See Notes Following Table)

<b>Rooming Houses</b> (No Meals)	0.130 per person	A - C
<b>Schools:</b>		
a) Elementary	0.012 per student	D
b) Junior or Middle School	0.020 per student	D
c) High School	0.038 per student	D
d) Bus Maintenance Facility	0.165 per 1000 sq. ft.	D
<b>Service Station</b>	0.240 per pump	C - D
<b>Store</b> (other than specifically listed)	0.340 per 1000 sq. ft.	CITY
<b>Summer Camps</b>	0.140 per housing unit	D
<b>Swimming Pool</b> (residential excluded)	3.000 per 1000 sq. ft.	D
<b>Theaters</b> (drive-in)	0.012 per car space	D
<b>Theaters</b> (indoor)	0.008 per seat	D
<b>Warehouses</b>	0.100 per 1000 sq. ft.	D

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### Notes Pursuant to Resolutions Dated April 10, 1991 and June 7, 1999:

- 1) In the computing of unit factors to be charged to industrial and commercial users, each separately operated business entity in a common building shall have a unit factor as set forth above (unless modified by agreement) but in no instance less than 1.00 tap unit for each separately operated business entity.
- 2) When the usage requested is not specifically identified under the "Usage Type" column, an estimated temporary tap unit assignment will be initially assigned by the City, and the USER will enter into a monitoring agreement (Exhibit A) to determine the actual tap unit assignment.

### INFORMATION SOURCE:

- A - Cincinnati Report
- B - Gordon McDougall Report to Wayne County
- C - Manual of Septic Tank Practice Publication No. 526, U.S. Department of Health
- D - Oakland County Department of Public Works Studies



## CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT: \_\_\_\_\_ SESC Application #: SE -

Contact Name: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_

Phone Number: \_\_\_\_\_ DATE OF PLAN: \_\_\_\_\_

Fax Number: \_\_\_\_\_ **STATUS:**

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	
8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	

10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$ . The SESC inspection fees will be \$ .
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the edges of all water bodies, water courses or wetlands.	<input type="checkbox"/>	
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check	<input type="checkbox"/>	

	dams as necessary. Drainage ditches steeper than 3% shall be sodded.		
28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

**ADDITIONAL COMMENTS:**

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2.

Reviewed By:



# LEGAL REVIEW TRANSMITTAL FORM

## Engineering Documents

(Include the Transmittal with every submittal)

**CITY USE ONLY**

Date Received:

<b>PROJECT INFORMATION:</b> (To be filled by Staff)		<b>Legal Permit No:</b>
Site Plan No:	JSP18-0030	PL18-0039
Project Name:	Stoneridge West II	<b>Engineer:</b>
Site Address:		DNR

<b>PRIMARY CONTACT INFORMATION:</b> (To be filled by Applicant)			
Contact Name:		Phone:	
Company:		E-mail:	
Contact Address:			

<b>TYPE OF DOCUMENTS SUBMITTING:</b> (To be filled by Staff)	
<input checked="" type="checkbox"/>	Initial Draft
<input type="checkbox"/>	Revised Draft
<input type="checkbox"/>	Final Signed and Notarized (Sign in <b>black ink only</b> or County will reject) Consent page on the easement form should be signed by any lenders on the property
1. Digital copies are also accepted via e-mail for Initial and Revised Drafts. E-mail: <a href="mailto:hsmith@cityofnovi.org">hsmith@cityofnovi.org</a> 2. Hard Copies are required for Final signed and Notarized submittal 3. All exhibits should be letter or legal sized (24" x 36" will not be accepted unless requested)	

**LEGAL DOCUMENTS REQUIRED:** (To be filled by Staff)

All items checked below should be submitted together. **Incomplete submittals will not be processed.**

<input checked="" type="checkbox"/>	10: Off-site Title Policy	<input type="checkbox"/>	23: R.O.W. Warranty Deed (add'l on ex. rd.)
<input checked="" type="checkbox"/>	11: Off-Site Temporary Construction Agreement	<input type="checkbox"/>	24: R.O.W. Warranty Deed (new road)
<input checked="" type="checkbox"/>	12: Off-Site Storm Sewer and Drainage Easement	<input type="checkbox"/>	25: Roads Bill Of Sale
<input checked="" type="checkbox"/>	13: Off-Site Sanitary Sewer Easement	<input type="checkbox"/>	26: Roads Sworn Statement (Signed by <b>DEVELOPER Only</b> )
<input type="checkbox"/>	14: Off-Site Water Main Easement	<input type="checkbox"/>	27: Roads Waivers Of Lien (Signed by <b>ROADS CONTRACTOR Only</b> )
<input type="checkbox"/>	15: Title Policy	<input type="checkbox"/>	28: Ingress-Egress Easement
<input type="checkbox"/>	16: Storm Drain Facility Maintenance Easement	<input checked="" type="checkbox"/>	29: Cross-Access Easement
<input type="checkbox"/>	17: Sanitary Sewer Easement	<input checked="" type="checkbox"/>	30: Emergency Access Easement
<input type="checkbox"/>	18: Sanitary Sewer Manhole Access Easement	<input type="checkbox"/>	31: Sidewalk or Pathway Easement
<input type="checkbox"/>	19: Water Main Easement	<input type="checkbox"/>	32: Boardwalk Bill of Sale
<input type="checkbox"/>	20: Utilities Bill of Sale (SanSew/WM) (Signed by <b>DEVELOPER Only</b> )	<input type="checkbox"/>	33: Other
<input type="checkbox"/>	21: Utilities Sworn Statement (SanSew/WM) (Signed by <b>DEVELOPER Only</b> )		
<input type="checkbox"/>	22: Utility Waivers Of Lien (Signed by <b>UTILITY CONTRACTOR Only</b> )		

**MAINTENANCE/FINANCIAL GUARANTEES**

Submit directly to Bond Coordinator under **SEPARATE COVER**. For any questions, call Angela Pawlowski, @ 248-347-0441

Additional Documents may be required during the review process



# PLAN REVIEW CENTER REPORT

August 21, 2018

## Preliminary Site Plan - Landscaping

Stoneridge West II

### Review Type

Preliminary Landscape Review

### Job #

JSP18-0030

### Property Characteristics

- Site Location: 44244 Twelve Mile Road
- Site Acreage: 4.5 acres
- Site Zoning: OS-1
- Adjacent Zoning: North: R-1, East & West: OS-1, South: 12 Mile Road
- Plan Date: 7/30/2018

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

### Recommendation

This project is **recommended for approval**. There are two landscape waivers required but both are supported by staff. Changes recommended below can be addressed on Final Site Plans.

### Landscape Waivers

1. Deficiency in total foundation landscape area provided. *This waiver is supported by staff because the site will be heavily and attractively landscaped and only the limited paved areas of the buildings are not landscaped as required. There is a large landscaped open space between Buildings A and B that includes the detention pond and other landscaped area.*
2. Use of a gray dogwood screen along the western half of the parking lot in place of the required 4.5-6' berm. *This waiver is supported by staff because more of the wetland would have to be filled if the required berm was built along the entire northern frontage.*

### Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants (LDM 2.e.(4))

1. Provided.
2. The street trees proposed may need to be converted to subcanopy trees at a rate of 1.5 trees per canopy tree if they are within 15 feet of the overhead lines.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No woodland trees appear to exist on the site. Existing landscape trees are located and identified.

2. **Please show the required tree and silt fencing consistently between the demolition, grading and landscape plans.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Property is adjacent to Residential on the north side.
2. The required 4.5-6 foot tall buffer is provided on for the east half of the site.
3. A dense screen of gray dogwoods is proposed as screening for the west half of the site in lieu of the required berm. A landscape waiver is required for this deviation from the ordinance.
4. *A request for this waiver would be supported by staff because less of the wetland would be disturbed using the dogwoods instead of building the full berm.*

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The required berm and landscaping are provided along the Twelve Mile Road frontage.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. The required trees are provided.
2. As noted above, subcanopy trees may be required in place of the canopy trees, depending on the position of the trees relative to the overhead lines.
3. If the trees are within 15 feet of the lines, please make this conversion.
4. The Road Commission for Oakland County (RCOC) will need to make the ultimate determination on whether the trees can be planted. **If they deny some or all of the trees, please provide us with a copy of the denial.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 3,922 sf of islands and 20 trees are required. 5,651 sf of islands and 20 trees are provided.
2. **The island with the hydrant at the southeast corner of Building A should be enlarged and a canopy tree should be planted in it at least 10 feet from the hydrant to meet the requirement for endcap landscape islands for each parking bay.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the 1,219 linear feet of parking lot periphery, 36 canopy trees are required.
2. 32 trees, including 9 evergreen trees along the east edge, and 9 shared greenbelt trees are provided to meet this requirement.

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zone will be screened from the north by a dense planting of gray dogwoods.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the net building foundations' peripheries, 9,840sf of foundation landscape area is required, but only 8,933sf (91% of the requirement) is provided. **This shortage requires a landscape waiver.**
2. *As the deficiency is not significant, and the large detention/landscape area provides area far in excess of the deficiency, exclusive of the pond, this waiver request is supported by staff.*
3. Greater than 60% of the frontages of the buildings facing Twelve Mile Road are landscaped.

Plant List (LDM 2.h. and t.)

**Please add the standard costs for seed, sod and mulch to the cost summary.**

Planting Notations and Details (LDM)

**Please see the landscape chart for a detailed discussion of details and notes.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. Sufficient cover of the periphery is provided with 3 species of shrubs native to Michigan.
2. **Please survey the site for *Phragmites australis*. If any is found, please note it on the existing conditions sheet, and propose a plan for complete removal of it from the site.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

1. Provided.
2. **Please copy the berms shown on the landscape plan to the Grading plans.**

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

1. It appears that no woodlands exist on the site so no replacements are required
2. **Please see the ECT woodland and wetland review for a discussion of any woodland replacements that may be required.**

Corner Clearance (Zoning Sec 5.9)

Provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect



## LANDSCAPE REVIEW SUMMARY CHART – Preliminary Site Plan

**Review Date:** August 21, 2018  
**Project Name:** JSP18– 0030: Stoneridge West II  
**Plan Date:** July 30, 2018  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

All landscape comments to be addressed by the NFE Landscape Architect prior to the next plan submittal

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

Please consider approval of these two Landscape waivers

### Landscape Waivers:

1. Deficiency in total foundation landscape area provided. *This waiver is supported because the site will be heavily and attractively landscaped and only the limited paved areas of the buildings are not landscaped as required. There is a large landscaped open space between Buildings A and B that includes the detention pond and other landscaped area.*
2. Use of a gray dogwood screen along the western half of the parking lot in place of the required 4.5-6' berm. *This waiver is supported by staff because more of the wetland would have to be filled if the required berm was built along the entire northern frontage.*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Scale 1" =30'	Yes	
<b>Project Information</b> <i>(LDM 2.d.)</i>	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA	Yes	Yes	
<b>Sealed by LA.</b> <i>(LDM 2.g.)</i>	Requires original signature	Yes	Yes	<u>Need for Final Site Plans</u>
<b>Miss Dig Note</b> <i>(800) 482-7171 (LDM.3.a.(8))</i>	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> OS-1 <u>North:</u> R-1 <u>East, West:</u> OS-1 <u>South:</u> 12 Mile Rd	Yes	
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	Sheet C1	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>	Sheets C1, C2, L1	Yes	<ol style="list-style-type: none"> <li>1. The trees to be removed may not be regulated trees. If this is the case, they would not need to be replaced.</li> <li>2. <b>See the ECT review for detailed reviews of wetlands and woodlands.</b></li> <li>3. <b>Please show silt and tree protection fencing on C2.</b></li> <li>4. <b>Make sure the fence lines on C2 and L1 match.</b></li> </ol>
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>	Sheets C7, L2	Yes	
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	<ol style="list-style-type: none"> <li>1. The overhead line along 12 Mile Road may require the use of subcanopy trees at the rate of 1.5 trees per canopy tree required if the larger trees will impact/be impacted by the lines.</li> <li>2. <b>Please check the spacing and make the change if required.</b></li> </ol>
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> <li>• Spot elevations provided on Sheet C4.</li> <li>• ROW berm</li> </ul>	Yes	<ol style="list-style-type: none"> <li>1. <b>Please make sure greenbelt berm contours on C4 match those on</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
		elevations shown on landscape plan.		<b>Landscape plan, which show required undulations.</b> 2. The berm contours adjacent to the parking lot at the north end of the site should also appear on C4 as they are shown on L1 and L2.
<b>Snow deposit (LDM.2.q.)</b>	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	Sod is indicated on islands.	Yes	
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ A minimum of 200sf unpaved area per tree planted in an island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	Yes	Yes	
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Dimensions shown on C3	Yes	
<b>Contiguous space limit (i)</b>	Maximum of 15 contiguous spaces	15 is maximum bay length	Yes	1. Endcap islands and islands used to break up bays must be landscaped with a deciduous canopy tree. 2. <b>Please enlarge the island at the southeast corner of Building A, at the south end of the parking bay, and add a canopy tree at least 10 feet from the hydrant.</b>

Item	Required	Proposed	Meets Code	Comments
<b>Plantings around Fire Hydrant (d)</b>	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	All trees are at least 10 feet from structures and 5 feet from underground lines.	Yes	
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (LDM 2.3.(5))</b>	<ul style="list-style-type: none"> <li>25 ft corner clearance required. Refer to Zoning Section 5.5.9</li> <li>Show Road Commission for Oakland County clear vision zones for roads under RCOC jurisdiction.</li> </ul>	25 foot corner clearance zone shown at 12 Mile Road.	No	<ol style="list-style-type: none"> <li>Please indicate clear vision zone per RCOC regulations for 12 Mile Road entry.</li> <li>Remove any shrubs taller than 30" or trees from the zone.</li> <li>If RCOC does not allow some or all of the Road street trees, the disallowed trees do not need to be planted, but documentation of that ruling must be provided.</li> </ol>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li><math>A = x \text{ sf} * 7.5\% = A \text{ sf}</math></li> <li><math>50,000 * 7.5\% = 3750 \text{ sf}</math></li> </ul>			
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li><math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li><math>(67,152 - 50000) * 1\% = 172 \text{ sf}</math></li> </ul>			
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% * x \text{ sf} = B \text{ SF}$	NA		
<b>All Categories</b>				
C = A+B Total square footage	$3750 + 172 = 3922 \text{ SF}$	5651 sf	Yes	

Item	Required	Proposed	Meets Code	Comments
of landscaped islands				
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> <li>3922/200 = 20 Trees</li> </ul>	20 trees	Yes	
<b>Perimeter Green space</b>	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li>1219/35 = 36 trees</li> </ul>	32 trees + 9 double-counted greenbelt trees	Yes	
<b>Access way perimeter</b>	<ul style="list-style-type: none"> <li>1 canopy tree per 35 lf on each side of road, less widths of access drives.</li> <li>53/35 = 2 trees on each side</li> </ul>	Calculations include accessway	Yes	
<b>Parking land banked</b>	<ul style="list-style-type: none"> <li>NA</li> </ul>	None		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	Landscaped berm 4.5-6 feet high required between site and residential property to north	<ul style="list-style-type: none"> <li>4.5-6' berm provided on east half of parking lot.</li> <li>Dense planting of gray dogwood planted along west half of parking lot for screening.</li> </ul>	Yes/No	<ol style="list-style-type: none"> <li>A landscape waiver is required to not provide the required berm along the entire northern parking lot frontage</li> <li>The waiver request for the use of the dogwoods instead of a berm on the western half of the frontage would be supported by staff because building the entire required berm would impact more of the wetland.</li> </ol>
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>	An undulating berm a minimum of 3 feet high with a 3 foot wide crest is required along 12 Mile Road	Berm 2.5 ft (max) tall with 1 ft wide crest	No	<b>Please match the contours shown on the landscape plan, which shows the required undulations, on the Grading Plan.</b>
<b>Cross-Section of Berms (LDM 2.j)</b>				

Item	Required	Proposed	Meets Code	Comments
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul>	Yes		<b>Please add callouts to detail showing that it is constructed of loam with a 6" top layer of topsoil.</b>
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed		
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		NA		
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	Adj. to Parking: 20 ft.	20 ft	Yes	
Min. berm crest width	3 ft	1-3 ft max width		<b>20 foot wide greenbelt does not allow undulations and full 3 foot crest.</b>
Minimum berm height (9)	3 ft	4 ft max height	Yes	
3' wall	(4)(7)	None		
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	<ul style="list-style-type: none"> <li>▪ Adj to Parking: 1 tree per 35 lf</li> <li>▪ <math>(332-31)/35 = 9</math> trees</li> </ul>	9 trees	Yes	
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 20 lf</li> <li>▪ <math>(332-31)/20 = 15</math> trees</li> </ul>	15 trees	Yes	
<b>Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)</b>	<ul style="list-style-type: none"> <li>▪ Parking &amp; No Parking: 1 tree per 35 lf</li> <li>▪ <math>(332 - 92 \text{ ft})/35 = 7</math> trees</li> </ul>	7 trees	Yes	<ol style="list-style-type: none"> <li>1. Please make sure with RCOC that trees can be planted. If they can't, provide us a copy of their denial.</li> <li>2. If the overhead wires are within 15 feet of</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<b>the trees, please use subcanopy trees at a rate of 1.5 trees per canopy tree required.</b>
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b>				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Interior Street to Industrial subdivision</b> (LDM 1.d.(2))	<ul style="list-style-type: none"> <li>▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</li> <li>▪ No evergreen trees closer than 20 ft.</li> <li>▪ 3 sub canopy trees per 40 l.f. of total linear frontage</li> <li>▪ Plant massing for 25% of ROW</li> </ul>	NA		
<b>Screening of outdoor storage, loading/unloading</b> (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		A dense line of gray dogwoods is proposed to screen the loading area from the north.	Yes	
<b>Transformers/Utility boxes</b> (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>	Transformers at each building are fully screened.	Yes	If any transformer locations are added, screening shrubs per standard detail are required.
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>▪ A: (428-18)lf x 8ft = 3280 sf</li> <li>▪ B: (428-18)lf x 8ft = 3280 sf</li> <li>▪ C: (428-18)lf x 8ft = 3280 sf</li> <li>▪ Total area: 9,840 sf</li> </ul>	Total area provided: 8,933 sf (91% of requirement)	No	<ol style="list-style-type: none"> <li>1. <b>A landscape waiver is required for the deficiency in foundation landscaping.</b></li> <li>2. <i>The waiver request is supported by staff because the buildings are all heavily landscaped and the open space between Buildings A and B is attractively landscaped and provides more than the additional required landscaping.</i></li> </ol>

Item	Required	Proposed	Meets Code	Comments
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	77% of Building A's frontage and 82% of Building C's frontage facing 12 Mile Road will be landscaped.	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements (Sec. 5.5.3.E.iv)</b>	<ul style="list-style-type: none"> <li>Clusters of large native shrubs (at least 3 species) shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>	<ul style="list-style-type: none"> <li>It appears that at least 70% of the basin rims will be landscaped with large shrubs.</li> <li>3 native species are used.</li> <li>Seed mix instructions are provided.</li> </ul>	Yes	
<b>Phragmites Control (Sec 5.5.6.C)</b>	<ul style="list-style-type: none"> <li>Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey.</li> <li>Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	None indicated	TBD	<ol style="list-style-type: none"> <li>Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its removal.</li> <li>If none is found, please indicate that on the survey.</li> </ol>
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date (LDM 2.i. &amp; Zoning Sec 5.5.5.B)</b>	Provide intended date	Between Mar 15 and Nov 15.	No	Please add note
<b>Maintenance &amp; Statement of intent (LDM 2.m &amp; Zoning Sec 5.5.6)</b>	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	Please have all of the City of Novi Notes printed darker.
<b>Plant source (LDM 2.n &amp; LDM 3.a.(2))</b>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan (LDM 2.s.)</b>	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on	A note indicates that an automatic irrigation system will be provided.		1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and</u>



Item	Required	Proposed	Meets Code	Comments
	Final Site Plans.			<u>long- term survival on Final Site Plans.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	<b>Please change General Landscape Note #6 to show a 2-year period, and note that failing material should be replaced within 3 months of discovery.</b>
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) - Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	14 of 24 species are native to Michigan (58%).
Type and amount of lawn		No	No	<u>Please add areas in SY of sod and seed in cost table.</u>
Cost estimate (LDM 2.t)		No	No	<u>Please add areas and costs of sod and seed in cost table.</u>
<b>Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	1. None of the planting details printed correctly. 2. <b>Please check future plans to be sure they are visible.</b>
Evergreen Tree		Yes	Yes	<b>See above</b>
Multistem Tree		Yes	Yes	<b>See above</b>
Shrub		Yes	Yes	<b>See above</b>
Perennial/ Ground Cover		Yes	Yes	<b>See above</b>
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	<b>See above</b>
Tree protection fencing	Located at Critical Root Zone (1' outside of	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	dripline)			
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions (LDM 3.a)</b>	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material (LDM 3.b)</b>	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
<b>Landscape tree credit (LDM3.b.(d))</b>	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
<b>Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)</b>	2.5" canopy trees 6' evergreen trees	Yes	Yes	
<b>Plant size credit (LDM3.c.(2))</b>	NA	No		
<b>Prohibited Plants (LDM 3.d)</b>	No plants on City Invasive Species List	None	Yes	
<b>Recommended trees for planting under overhead utilities (LDM 3.e)</b>	Label the distance from the overhead utilities		TBD	<b>As noted above, if the street trees are too close to the overhead lines, subcanopy trees should be used at a rate of 1.5 trees per canopy tree.</b>
<b>Collected or Transplanted trees (LDM 3.f)</b>		No		
<b>Nonliving Durable Material: Mulch (LDM 4)</b>	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>	Yes	Yes	<b>Please change the peat in General Landscape Note #11 to compost.</b>

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi

Item	Required	Proposed	Meets Code	Comments
<p>requirements or standards.</p> <p>2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.</p> <p>3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.</p>				

ECT Project No. 180513-0100

August 23, 2018

Ms. Barbara McBeth, AICP  
 City Planner  
 Community Development Department  
 City of Novi  
 45175 W. Ten Mile Road  
 Novi, Michigan 48375

As noted on p. 6 of 8:  
 All wetland comments will be addressed prior to receiving wetland approval of the Final Site Plan.

Re: Stoneridge West II (JSP18-0030)  
 Wetland Review of the Preliminary Site Plan (PSP18-0117)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Stoneridge West II project prepared by Nowak & Fraus Engineers dated July 30, 2018 and stamped "Received" by the City of Novi Community Development Department on August 2, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance.

**ECT currently recommends approval of the Preliminary Site Plan for Wetlands. The Applicant shall address the items noted in the *Wetland Comments* Section of this letter prior to receiving Wetland approval of the Final Site Plan.**

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Required (Minor)
Wetland Mitigation	Not Required
Wetland Buffer Authorization	Required
MDEQ Permit	Not Required
Wetland Conservation Easement	Not Required

The proposed project is located north of Twelve Mile Road and east of Dixon Road in Section 10 (Parcel ID 50-22-10-400-067). The Plan includes the construction of two (2) proposed 1-story medical office buildings (+/- 10,000 square feet), a 2-story medical office building (+/- 20,000 square feet), associated parking, utilities and stormwater detention basin.

Based on our review of the Plan, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps and Novi aerial photos, the subject site appears to contain areas of existing wetland as well as existing trees, however the City's Wetland and Woodland Map does not appear to indicate the presence of City-Regulated Wetlands or Woodlands on the subject property (see Figure 1).

**Wetland Evaluation**

Environmental Consulting & Technology, Inc. (ECT) conducted a wetland evaluation for the proposed project site on August 22, 2018. ECT's in-office review of available materials included the City of Novi Regulated Wetland and Watercourse map (see Figure 1), USGS topographic quadrangle map, NRCS soils map, and USFWS National Wetland Inventory map. The Plan indicates one (1) wetland area located in the northwest portion of the site (Wetland A; flags A1 to A11), however this wetland area is not indicated on the City's Regulated Wetlands Map.

The focus of the site inspection was to review site conditions in order to determine whether City-regulated wetlands are found on-site. Wetland boundary flagging was not apparent in the field at the time of this site inspection. Based on the existing vegetation and topography however, it is ECT's assessment that the on-site wetlands have been accurately portrayed on the Plan.

The following is a brief description of the on-site wetland features:

Wetland A (Wetland Flags A1 to A11) – Emergent wetland located in the northwest portion of the site. The on-site area of Wetland A is listed as 21,771 square feet (0.50-acre). The dominant wetland vegetation includes reed canary grass (*Phalaris arundinacea*) and dogbane (*Apocynum cannabinum*). This wetland continues off-site to the north and west.

**Wetland Impact Review**

Currently, the Plan indicates one (1) direct impact to Wetland A for the purpose of constructing the proposed parking area (see *Wetland Plan*, Sheet C6). The total amount of direct (i.e., fill or excavation) impact to on-site wetlands currently indicated is 5,882 square feet (0.14-acre).

The following table summarizes the proposed wetland impacts as listed on the *Wetland Plan* (Sheet C6):

**Table 1. Proposed Wetland Impacts**

<b>Wetland</b>	<b>Area (Acres)</b>	<b>City Regulated?</b>	<b>MDEQ Regulated?</b>	<b>Impact Area (Sq. Ft.)</b>	<b>Impact Area (acre)</b>	<b>Estimated Impact Volume (cubic yards)</b>
A	0.50	Yes City Regulated /Essential	No	5,882	0.14-acre	Not Indicated
<b>TOTAL</b>	<b>0.50</b>	--	--	<b>5,882</b>	<b>0.14-acre</b>	<b>Not Indicated</b>

In addition to the proposed wetland impacts, the Plan proposes disturbance to on-site 25-foot wetland buffer area. The following table summarizes the proposed impacts to the 25-foot wetland buffer:

**Table 2. Proposed Wetland Buffer Impacts**

<b>Wetland</b>	<b>Buffer Area (Acres)</b>	<b>City Regulated?</b>	<b>Impact Area (Sq. Ft.)</b>	<b>Impact Area (acre)</b>
A	0.19	<b>Yes City Regulated /Essential</b>	5,896	0.14-acre
<b>TOTAL</b>	<b>0.19</b>	<b>--</b>	<b>5,896</b>	<b>0.14-acre</b>

The Plans currently indicate and quantify the areas of existing wetland and 25-foot wetland buffer. The areas of proposed wetland and wetland buffer impacts are also indicated on the Plan. The applicant shall provide information on subsequent plans that clearly indicates the volume of proposed wetland fill/excavation (cubic yards). This information is required before any necessary City of Novi Wetland and Watercourse Permits or Authorization to Encroach Upon the 25-Foot Natural Features Setback letters can be issued.

**Regulatory Status - MDEQ**

ECT has evaluated the on-site wetlands and believes that they are considered to be essential/regulated by the City of Novi as they meet one or more of the essentiality criteria (i.e., functions and values) outlined in the City of Novi Wetland and Watercourse Protection Ordinance. As noted, the wetlands appear to accurately flagged in the field and appear to indicated accurately on the *Wetland Plan* (Sheet C6).

The Michigan Department of Environmental Quality (MDEQ) generally regulates wetlands that are within 500 feet of an inland lake, pond, or stream, or within 1,000 feet of a Great Lake, Lake St. Clair, the St. Clair River, or the Detroit River. Isolated wetlands five (5) acres in size or greater are also regulated. The MDEQ may also exert regulatory control over isolated wetlands less than five acres in size "...if the department determines that protection of the area is essential to the preservation of the natural resources of the state from pollution, impairment, or destruction and the department has notified the owner".

ECT has been provided correspondence between the MDEQ and Nowak & Fraus Engineers (e-mail dated Monday, August 20, 2018) that states that the on-site wetland is not regulated by State law and that a wetland permit from the MDEQ is not required for this project.

**Regulatory Status – City of Novi**

The City of Novi Wetland and Watercourse Protection Ordinance (City of Novi Code of Ordinances, Part II, Chapter 12, Article V.; Division 2.) describes the regulatory criteria for wetlands and review standards for wetland permit applications. The City of Novi regulates wetlands that are: (1) contiguous to a lake, pond, river or stream, as defined in Administrative Rule 281.921; (2) two (2) acres in size or greater; or (3) less than two (2) acres in size but deemed essential to the preservation of the natural resources of the city under the criteria set forth in subsection 12-174(b). Wetlands deemed regulated by the City of Novi require the approval of a use permit for any proposed impacts to the wetland.

ECT has evaluated the areas of on-site wetland and believes the wetland is regulated by the City’s Wetland and Watercourse Protection Ordinance because it meets one or more of the essentiality criteria in the Ordinance (i.e., stormwater storage and wildlife habitat).

It should be noted that in those cases where an activity results in the impact to wetland areas of 0.25-acre or greater that are deemed essential under City of Novi Ordinance subsection 12-174(b) mitigation shall be required. The applicant shall submit a mitigation plan which provides for the establishment of replacement wetlands at a ratio of 1:1 through 2:1 times the area of the natural wetland impaired or destroyed, if impacts meet or exceed the 0.25-acre threshold. In general, the MDEQ's threshold for the requirement of wetland mitigation is 0.3-acre of wetland impacts. Wetland mitigation does not appear to be a requirement of the current Plan as the total wetland impact is 0.14-acre.

As noted above, any proposed use of the wetlands will require a City of Novi *Wetland Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback* for any proposed impacts to the 25-foot wetland buffers. The applicant is urged to minimize impacts to on-site wetlands and wetland setbacks to the greatest extent practicable. The City regulates wetland buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:

*“There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses”.*

Finally, as proposed, the project will require a City of Novi Minor Use wetland permit. The granting or denying of nonresidential minor use permits shall be the responsibility of the Community Development Department. A nonresidential minor use permit is a permit for activities consisting of no more than one (1) of the following activities which have a minimal environmental effect:

- a. Minor fills of three hundred (300) cubic yards or less and not exceeding ten thousand (10,000) square feet in a wetland area, providing the fill consists of clean, nonpolluting materials which will not cause siltation and do not contain soluble chemicals or organic matter which is biodegradable, and providing that any upland on the property is utilized to the greatest degree possible. All fills shall be stabilized with sod, or seeded, fertilized and mulched, or planted with other native vegetation, or riprapped as necessary to prevent soil erosion.
- b. Installation of a single water outfall provided that the outlet is riprapped or otherwise stabilized to prevent soil erosion.
- c. Watercourse crossings by utilities, pipelines, cables and sewer lines which meet all of the following design criteria:
  - i. The method of construction proposed is the least disturbing to the environment employable at the given site;
  - ii. The diameter of pipe, cable or encasement does not exceed twenty (20) inches;
  - iii. A minimum of thirty (30) inches of cover will be maintained between the top of the cable or pipe and the bed of the stream or other watercourse on buried crossings; and
  - iv. Any necessary backfilling will be of washed gravel.
- d. Extension of a wetland/watercourse permit previously approved by the Planning Commission.
- e. Replacement of a culvert of an identical length and size, and at the same elevation. If the proposed culvert is of a greater length or size than the existing culvert, or is a new culvert

altogether, it must meet the conditions of subpart c., above, to qualify for a nonresidential minor use permit.

- f. Temporary impacts where the encroachment into protected areas is less than five hundred (500) feet.

Because the project contains one (1) area of wetland fill and does not propose a stormwater outfall to wetlands, a Minor-Use Wetland Permit will be required.

### **Wetland Comments**

ECT recommends that the Applicant address the items noted below in subsequent site plan submittals:

1. It appears as though a City of Novi *Wetland Minor Use Permit* would be required for any proposed impacts to site wetlands (as the proposed impact to wetlands are less than 10,000 square feet). A City of Novi *Authorization to Encroach the 25-Foot Natural Features Setback* would be required for any proposed impacts to on-site 25-foot wetland buffers. A wetland use permit from the MDEQ will not be required for this project.
2. ECT encourages the Applicant to minimize impacts to on-site wetlands and wetland setbacks to the greatest extent practicable. The Applicant should consider modification of the proposed site design to preserve wetland and wetland buffer areas. The City regulates wetland buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:  
  

*“There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses”.*
3. The Applicant should demonstrate that alternative site layouts that would reduce the overall impacts to wetlands and wetland setbacks have been reviewed and considered.
4. The Plans currently indicate and quantify the areas of existing wetland and 25-foot wetland buffer. The areas of proposed wetland and wetland buffer impacts are also indicated on the Plan. The applicant shall provide information on subsequent plans that clearly indicates the volume of proposed wetland fill/excavation (cubic yards). This information is required before any necessary City of Novi Wetland and Watercourse Permits or Authorization to Encroach Upon the 25-Foot Natural Features Setback letters can be issued.
5. The City’s threshold for the requirement of wetland mitigation is 0.25-acre of proposed wetland impact. This should be considered on subsequent site Plan submittals, if necessary. The current Plan appears to propose on-site wetland mitigation, however this will not likely be a requirement of the City of Novi Wetland Permit.
6. The applicant should ensure that any proposed snow storage areas are located such that any runoff will not directly affect on-site wetlands.



Stoneridge West II (PSP18-0030)  
Wetland Review of the Preliminary Site Plan (PSP18-0117)  
August 23, 2018  
Page 6 of 8

**Wetland Conclusion**

The project site contains wetland and 25-foot wetland setback that are regulated by the City of Novi. One (1) wetland impact is currently proposed that will require a City of Novi *Wetland and Watercourse Minor Use Permit* and an *Authorization to Encroach the 25-Foot Natural Features Setback* for proposed impacts to the 25-foot wetland buffers. An MDEQ wetland permit will not be required for this project.

**Recommendation**

ECT currently recommends approval of the Preliminary Site Plan for Wetlands. The Applicant shall address the items noted in the *Wetland Comments* Section of this letter prior to receiving Wetland approval of the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,  
**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Pete Hill, P.E.  
Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner  
Sri Komaragiri, City of Novi Planner  
Rick Meader, City of Novi Landscape Architect  
Hannah Smith, City of Novi Planning Assistant

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map  
Site Photos



**Figure 1.** City of Novi Regulated Wetland & Woodland Map (approximate parcel boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue. No regulated wetland or woodland areas are mapped on the subject property.

*Site Photos*



**Photo 1.** Looking north at Wetland A in the northwestern portion of the site (ECT, August 22, 2018).



**Photo 2.** Typical vegetation within Wetland A (ECT, August 22, 2018).

ECT Project No. 180513-0200

August 23, 2018

Ms. Barbara McBeth, AICP  
City Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

Re: Stoneridge West II (JSP18-0030)  
Woodland Review of the Preliminary Site Plan (PSP18-0117)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Stoneridge West II project prepared by Nowak & Fraus Engineers dated July 30, 2018 and stamped "Received" by the City of Novi Community Development Department on August 2, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The purpose of the Woodlands Protection Ordinance is to:

- 1) *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
- 2) *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- 3) *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

**ECT currently recommends approval of the Preliminary Site Plan for Woodlands and no further woodland review of the proposed project is necessary.**

The proposed project is located north of Twelve Mile Road and east of Dixon Road in Section 10 (Parcel ID 50-22-10-400-067). The Plan includes the construction of two (2) proposed 1-story medical office buildings (+/- 10,000 square feet), a 2-story medical office building (+/- 20,000 square feet), associated parking, utilities and stormwater detention basin.

Based on our review of the application, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached), and our woodland verification site inspection conducted on August 22, 2018 the proposed project site does not contain areas that are mapped as City-Regulated

Woodlands. The City of Novi regulates trees that are 8-inch diameter-at-breast-height (DBH) or greater and are located within areas designated as regulated on the City Regulated Woodland map. In addition, any tree 36-inches DBH or greater are also regulated.

#### **On-Site Woodland Evaluation**

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on August 22, 2018. ECT's in-office review of available materials included the City of Novi Regulated Woodland map and other available mapping. As noted above, the project site does not contain areas mapped as City-Regulated Woodland.

An existing tree list is included on Sheet L1 (*Tree Preservation Plan*). This Plan identifies tree tag numbers, diameter-at-breast-height (DBH), common name, botanical name and condition. The surveyed trees have been marked with aluminum tree tags allowing ECT to compare the tree diameters reported on the Plan with the existing trees in the field. ECT found that the Plan appears to accurately depict the location, species composition and the size of the existing trees. ECT took a sample of diameter-at-breast-height (DBH) measurements and found that the data provided on the Plan was consistent with the field measurements.

The on-site trees are white spruce (*Picea glauca*) and eastern red cedar (*Juniperus virginiana*), generally located in the northeastern section of the subject site. A maple (*Acer spp.*) is shown on the Plan and is located within the existing wetland area. Finally, two (2) eastern red cedar trees are located along the western property line, west of the proposed stormwater detention basin. The *Tree Preservation Plan* indicates nineteen (19) total surveyed trees on the site.

#### **City of Novi Woodland Review Standards & Woodland Permit Requirements**

Based on Section 37-29 (*Application Review Standards*) of the City of Novi Woodland Ordinance, the following standards shall govern the grant or denial of an application for a use permit required by this article:

*No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees, similar woody vegetation, and related natural resources shall have priority over development when there are location alternatives.*

In addition,

*“The removal or relocation of trees shall be limited to those instances when necessary for the location of a structure or site improvements and when no feasible and prudent alternative location for the structure or improvements can be had without causing undue hardship”.*

The City of Novi regulates all trees 8-inches diameter-at-breast-height (DBH) and greater that are located within the areas delineated as regulated woodlands on the City-Regulated Woodlands Map. The City also regulates any individual tree greater than or equal to 36-inches DBH, irrespective of whether such tree is within a regulated woodland. Proposed woodland impacts will require a Woodland Permit and the regulated trees shall be relocated or replaced by the permit grantee.

It should be noted that the purpose of the City of Novi Woodland Protection Ordinance (Chapter 37) is to:

- *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation,*

*and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*

- *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

#### **Proposed Woodland Impacts and Replacements**

As noted above, this site does not contain areas mapped as City of Novi Regulated Woodlands and does not contain any trees 36-inches DBH or greater.

Based on the *Tree List* information provided on the *Tree Preservation Plan* (Sheet L1), there appear to be a total of **19** surveyed trees on the subject property. None of these are City-Regulated Woodland Trees.

A total of five (5) trees are proposed for removal but will not require Woodland Replacement Credits.

Currently, the Plan indicates that three (3) Woodland Replacement Credits are required and will be planted around the proposed stormwater detention basin.

#### **Woodland Review Comments**

ECT recommends that the Applicant address the items noted below in subsequent site plan submittals:

1. The Plan proposes that removal of five (5) trees (white spruce) that are 8 inches diameter-at-breast-height (DBH) or greater. These trees are however not located within area mapped as City of Novi Regulated Woodland. This project will not require a City of Novi Woodland Permit and will not require the planting of Woodland Replacement Credits.

#### **Recommendation**

ECT currently recommends approval of the Preliminary Site Plan for Woodlands and no further woodland review of the proposed project is necessary.

Stoneridge West II (JSP18-0030)  
Woodland Review of the Preliminary Site Plan (PSP18-0117)  
August 23, 2018  
Page 4 of 6

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

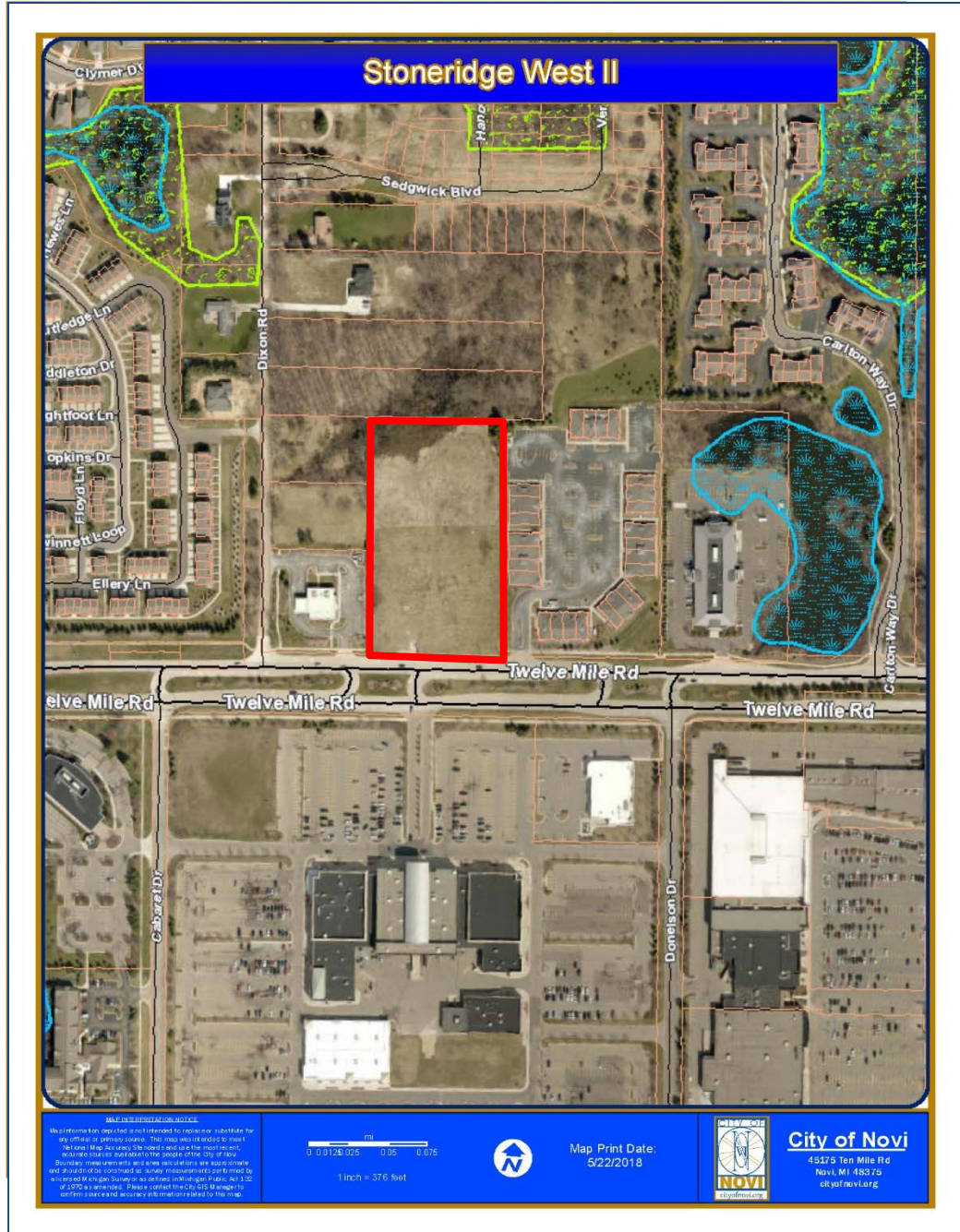
**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Pete Hill, P.E.  
Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner ([lbell@cityofnovi.org](mailto:lbell@cityofnovi.org))  
Sri Komaragiri, City of Novi Planner ([skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org))  
Rick Meader, City of Novi Landscape Architect ([rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org))  
Hannah Smith, City of Novi Planning Assistant ([hsmith@cityofnovi.org](mailto:hsmith@cityofnovi.org))

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map  
Site Photos



**Figure 1.** City of Novi Regulated Wetland & Woodland Map (approximate parcel boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue. No regulated wetland or woodland areas are mapped on the subject property.



*Site Photos*



**Photo 1.** Looking northwest at Tree No. 1781 and 1782 (eastern red cedars) to be preserved (ECT, August 22, 2018).



**Photo 2.** Looking northeast at existing spruce trees in the northeast section of the site. The southernmost 5 trees will be removed for the proposed development (ECT, August 22, 2018).



AECOM  
 27777 Franklin Road  
 Southfield  
 MI, 48034  
 USA  
 aecom.com

**Project name:**  
 JSP18-0030 Stoneridge West II Preliminary Site  
 Plan Traffic Review

**From:**  
 AECOM

**Date:**  
 August 24, 2018

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**CC:**  
 Sri Komaragiri, Lindsay Bell, George Melistas, Darcy  
 Rechten, Hannah Smith

# Memo

**Subject:** JSP18-0030 Stoneridge West II Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Acqira Realty Holdings, is proposing a 40,240 GSF medical office development on the north side of 12 Mile Road, between Dixon Road and Carlton Way Drive.
2. 12 Mile Road is under the jurisdiction of the Road Commission for Oakland County (RCOC).
3. The site is currently zoned OS-1 and the applicant is not proposing a zoning change at this time.
4. Summary of traffic-related waivers/variances:
  - a. **It does not appear that the driveway spacing requirements will be met and a City Council variance may be required.**

Please consider approval of this waiver. The driveway location is acceptable to RCOC

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10<sup>th</sup> Edition, as follows:

ITE Code: 720 – Medical/Dental Office Building  
 Development-specific Quantity: 40,240 GSF  
 Zoning Change: N/A

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	99	77	100	No

<b>PM Peak-Hour Trips</b>	138	99	100	No
<b>Daily (One-Directional) Trips</b>	1,400	N/A	750	Yes

2. The number of trips exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

<b>Trip Impact Study Recommendation</b>	
<b>Type of Study:</b>	<b>Justification</b>
<b>Traffic Impact Statement</b>	The proposed development's daily trip generation estimate is in excess of the City's threshold of 750 trips.

3. The applicant has indicated that a traffic impact study is underway and will be provided once it is complete. AECOM will review under a separate letter once the study is provided.

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant is proposing one main point of access to 12 Mile Road.
  - a. The applicant has not provided driveway dimensions of 31' width, 24.5' entering radius and 25.9' exiting radius. The dimensions provided do not meet the City standard dimensions, but are within the range. The applicant may be required to seek an administrative variance for not providing standard dimensions as shown in Figure IX.1.
  - b. The applicant shall provide driveway spacing measurements between the near approach curb to near approach curb for adjacent driveways. Based on the 45 mile per hour speed limit along 12 Mile Road, that driveway spacing must be 230' or more, per Section 11-216.c. **It does not appear that the driveway spacing requirements will be met and a City Council variance may be required. The applicant has stated that the driveway location has been approved by the Road Commission for Oakland County, but has not provided written approval of the location, as requested.**
2. The applicant has included the sight distance measurement to the east on the site plans, which exceeds the requirements of Figure XIII-E.
3. The applicant has provided a connection to the right turn lane from the property to the east to extend through to the existing right turn lane to Dixon Road, as required by Section 11-216(d)(5)c.
  - a. The applicant should include maintaining traffic notes and details in future submittals for the construction of the right turn lane. The applicant stated in their response letter that this was provided on sheets C3 and C4, but it is not.
  - b. The applicant shall provide proposed pavement marking details for modifications to Twelve Mile Road.
4. The applicant is proposing an internal connection to the adjacent property to the east, which can serve as a secondary point of access, and a stub to the west near the north property line. The applicant has indicated widths of 25.5' and 25.0', respectively for each of these connections.

## INTERNAL SITE OPERATIONS

*The following comments relate to the on-site design and traffic flow operations.*

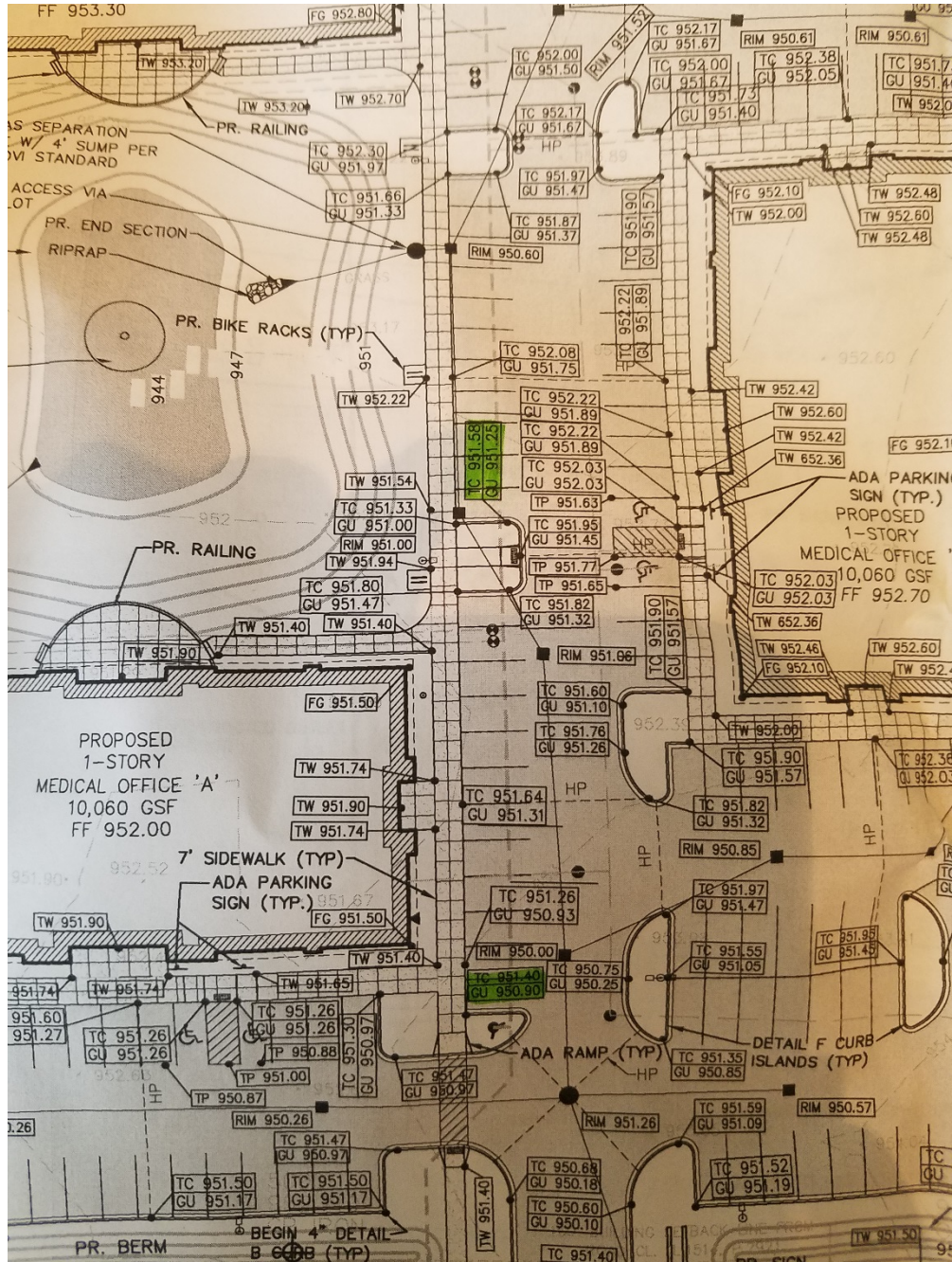
### 1. General Traffic Flow

- a. The applicant has provided aisle widths throughout the site, which are generally 24', which is compliant.
  - i. Along the east side of the site near the north, there is an aisle width of 23'. According to Section 5.3.2 of the Zoning Ordinance, this dimension may be acceptable because there is no adjacent parking present, unless the Planning Commission finds that the 24' width is warranted for the proposed use.
  - ii. There is a dimension of 23' shown for the aisle width along the east side of the site near the south that appears to be measuring an angled distance. The dimension should be updated to reflect the actual, perpendicular width of the aisle.
  - iii. There is an aisle width dimension shown near the dumpster indicating 22.5' which should further be clarified as it is nearly adjacent to another dimension with a width of 25.5'. The applicant should review and update as appropriate or provide commentary as to why the width changes along the segment.
- b. The applicant has included dimensions for the outside curb radii of the landscape islands throughout the site, but shall provide dimensions for the inside landscape island radii and other landscaped area curb radii throughout the site to review accessibility and compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance.
  - i. Note that all end islands shall be constructed three (3) feet shorter than the adjacent parking space. The applicant appears to have reduced the length of the end islands in some locations, but not in all instances of end islands and should do so on the next submittal.
- c. The applicant has proposed a loading zone and trash receptacle in the rear yard.
  - i. The applicant has indicated the size of the proposed loading zone, as required by Section 5.4 of the Zoning Ordinance.
  - ii. The applicant has provided truck turning patterns throughout the site to be able to access the dumpster, but has not provided turn patterns to access the loading zone without interfering with parking spaces.
    1. The applicant should show, via turning patterns, how a truck will access the loading zone without encroaching into the parking area and maintaining the entirety of the truck within the loading zone and not in the maneuvering aisle.
    2. The easternmost parking space along the north parking bay may pose a concern when a truck is accessing the trash receptacle.
  - iii. The applicant should consider providing a landscape peninsula between the northernmost parking bay and loading zone to protect the vehicle at the end of the adjacent parking bay, or may provide justification as to why a landscape peninsula is not provided.
- d. The applicant should consider providing additional pavement near the west side of the site at the southern parking area to allow vehicles to effectively back out of the westernmost parking spaces.

### 2. Parking Facilities

- a. The applicant should refer to the Planning Review Letter for bicycle and vehicle parking quantity requirements.
- b. The applicant has provided parking space dimensions for standard parking spaces as well as barrier-free parking spaces and aisles, which are in conformance with standard dimensions.

- i. The applicant has indicated that all barrier-free spaces are designated as van accessible.
- c. The applicant has generally provided appropriate curb heights throughout the site, with the exception of two call-outs on the grading plan, as shown in the attached photo.
  - i. The northern call-out highlighted in green in the photo is indicating 4" and should be updated to 6".
  - ii. The southern call-out highlighted in green in the photo is indicating 6" and should be updated to be 4".



- iii. The applicant has indicated a clear 2' overhang in front of the 17' parking spaces.
- d. The applicant has provided nine bicycle parking spaces throughout the site.
  - i. The bicycle parking layout shown on sheet C-4 is in compliance with City standards, with the exception of a 4' maneuvering aisle.

- ii. The applicant should further review the locations of the proposed bicycle parking areas against Section 5.16.5 of the Zoning Ordinance and relocated them as applicable or may provide dimensions indicating that they are in compliance with standards.
  - iii. Note that all bicycle parking facilities shall be accessible from adjacent street(s) and pathway(s) via a paved route that has a minimum width of 6'. The applicant would be required to increase the width of the proposed sidewalk adjacent to the bicycle parking areas to be 8' wide to meet this requirement, or may choose to relocate the bicycle parking areas nearer to the building entrances and update route widths as applicable.
3. Sidewalk Requirements
- a. The applicant is proposing a 5' sidewalk along 12 Mile Road to connect the existing sidewalk east and west of the site. The proposed 5' sidewalk is not in compliance with the City's Non-motorized Master Plan, or Article XI of the City Design and Construction Ordinance.
    - i. The applicant should update the sidewalk width to be 6'.
    - ii. The applicant should indicate the location of the sidewalk with respect the roadway right-of-way line.
  - b. The applicant has indicated 7' sidewalk within the site along the east side of Office 'A' and should confirm the width of the other sidewalks provided throughout the site.
    - i. Sidewalks throughout the site are required to be a minimum of 5' wide.
    - ii. Note that when a 17' parking space abuts a sidewalk, the sidewalk shall be 4" in height and a minimum of 7' wide to accommodate a 2' vehicle overhand and provide 5' of unobstructed travel way for non-motorized users.
    - iii. See also comment 2.iii above for additional width requirements where the sidewalk serves as an access route to the bicycle parking areas.

## SIGNING AND STRIPING

- 1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
- 2. The applicant should include applicable signing and pavement marking details for the modifications to 12 Mile Road with the extension of the right turn lane.
- 3. The applicant has indicated the location of proposed signs throughout the site, but should provide further clarification as to which sign is to be placed at each location.
- 4. The applicant should include a sign quantity table in future submittals to indicate the sign, size, MMUTCD designation and quantity.
  - a. The applicant has provided appropriate signing notes on the site plans.
  - b. The applicant should update the barrier-free signage detail on sheet SP1.2 to be consistent with sheet C4 or may remove it and add the applicable details to the detail on sheet C4 for simplicity.
  - c. The applicant has provided notes and details related to proposed pavement markings.
    - i. The applicant has indicated that the crosswalk pavement markings shall comply with the MMUTCD, but should provide a detail of the proposed design so that it can be reviewed prior to installation.
    - ii. The applicant should position the international symbol for accessibility to be flush with the maneuvering aisle.
    - iii. The applicant has included arrow pavement marking details on sheet SP1.2 and should indicate where they are proposed on the plans, or remove them. The provided details are not compliant with standards and, if used, should be updated.

Memo

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer



Paula K. Johnson, PE  
Senior Traffic Engineer



August 27, 2018

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review – Preliminary S.P.**  
**Stoneridge West II, JSP18-0030**  
 Façade Region: 1, Zoning District: OS-1,

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Plan Approval of the above referenced project based on the drawings prepared by Jona Abro Architects, dated 7/16/18. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

<b>Building A &amp; C</b>	Front	Rear	Left	Right	Ordinance Maximum (Minimum)
Brick	33%	<b>23%</b>	<b>20%</b>	<b>20%</b>	100% (30%)
Burnished Concrete Masonry Unit (CMU)	<b>17%</b>	<b>17%</b>	<b>20%</b>	<b>20%</b>	10%
EIFS	12%	13%	15%	15%	25%
Flat Metal (Trim)	13%	11%	12%	12%	50%
Standing Seam Metal	25%	<b>36%</b>	<b>33%</b>	<b>33%</b>	25%

**Building A & C** - As shown above the minimum percentage of Brick is not provided on the rear, left and right facades, the percentage of Burnished CMU exceeds the maximum amount allowed by the Ordinance on all facades and the percentage of Standing Seam Metal exceeds the Ordinance on the rear, left and right facades. A Section 9 Waiver would be required for these deviations.

<b>Building B</b>	Front	Rear	Left	Right	Ordinance Maximum (Minimum)
Brick	84%	85%	84%	82%	100% (30%)
Burnished Concrete Masonry Unit (CMU)	8%	10%	10%	8%	10%
Flat Metal (Trim)	4%	5%	6%	4%	50%
Standing Seam Metal	4%	0%	0%	6%	25%

**Building B** – As shown above Building B is in full compliance with the Façade Ordinance.



**Dumpster Enclosure** - The drawings (SP1.2) indicates that the dumpster will be clad in Brick to match the building.

**Recommendation** – Buildings A and C exhibit well balanced composition and the proportions of materials used are consistent with and will enhance the overall design. The deviations in percentage of material are comparatively minor in nature. Therefore, it is our recommendation that the design are consistent with the intent and purpose of the Façade Ordinance and the a Section 9 waiver be granted for the following deviations;

1. The underage of Brick on the rear, left and right facades.
2. The overage of Burnished CMU on all facades
3. The overage of Standing Seam Metal on the rear, left and right facades.

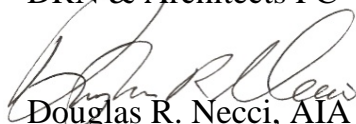
**Note** – A sample board was not available at the time of this review. The applicant should provide a sample board illustration carefully coordinated colors and textures as required by Section 5.15.4.D of the Ordinance not less than 5 days prior to the Planning Commission Meeting.

**Notes to the Applicant:**

1. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".  
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.
2. Roof Appurtenances – The drawings indicate that all roof appurtenances are fully screened using the building parapets. It is the applicant's responsibility to coordinate parapet and roof equipment heights to maintain full screening.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA



August 9, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

RE: Stoneridge West II development – 44244 12 Mile Rd.

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Gwen Markham

Kelly Breen

**City Manager**  
Peter E. Auger

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Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

JSP# 18-30  
PSP# 18 -0074  
PSP# 18-0117

**Project Description:**

Build 3 commercial buildings total. 2x - 1 story medical office(s) and 1x – 2 story medical office.

**Comments:**

- **All** fire hydrants **MUST** in installed and operational prior to any building construction begins.
- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. (D.C.S. Sec 11-239(b)(5))
- For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. (D.C.S. Sec.11-68(a)(9))
- All hydrants shall be accessible by improved roadways capable of supporting fire apparatus and equipment weighing up to 35 tons. (D.C.S. Sec. 11-68 (f)(1)e)
- All hydrants shall have two 2-1/2 inch male outlets and one 4-1/2 inch male steamer connection. Threads shall be National Standard. (D.C.S. Sec. 11-68 (f)(2))
- Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other object for a minimum of 3 feet (914 mm). (International Fire Code)
- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674. (See Attachment B)
- South side of building "A", **MUST** provide some type of turn around due to the drive way is longer than 150'. **IFC 503.2.5.**

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**We are looking at the feasibility of either:**

- 1. install a gated emergency driveway to the adjoining parking lot, or**
- 2. shorten to 150' and ask for a variance on the 5 parking spaces lost.**

**Recommendation:**

Approved with conditions

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

FAÇADE BOARD

Stoneridge West

Masonry A

EIFS

Masonry C

Metal Roof

Metal Frame