



GUERNSEY FARMS DAIRY REMODEL JSP19-41

GUERNSEY FARMS DAIRY REMODEL JSP 19-41

Consideration at the request of McGuire Brothers, LLC for Planning Commission's approval of Preliminary Site Plan and Storm Water Management plan. The subject property is located eastside of Novi Road north of Eight Mile Road. The applicant is proposing to make some interior changes to restaurant seating layout and outdoor seating area. The plan also proposes a number of changes to exterior site layout and traffic circulation by reducing the number of curb cuts along Novi Road. It also proposes an alternate location for 'Welcome to Novi' sign along its frontage.

Required Action

Approve or deny the Preliminary Site Plan and Storm Water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	12-12-19	<ul style="list-style-type: none"> • An acceptable alternative location for Welcome to Novi sign to be determined with the next submittal. • The applicant should contact the railroad for proposed improvements in their Right-of-way. • A Zoning Board of Appeals variance for lack of curb around landscape islands. • Items to be addressed by the applicant prior to Final Site Plan approval.
Engineering	Approval recommended	12-18-19	<ul style="list-style-type: none"> • A City Council variance for use of bumper blocks in lieu of curb. • Items to be addressed by the applicant prior to Final Site Plan approval.
Landscaping	Approval recommended	12-03-19	<p>Planning Commission waiver for the following:</p> <ul style="list-style-type: none"> • Lack of berm along right-of-way. • Deficiency in greenbelt width provided. • Lack of right-of-way greenbelt landscaping. • Lack of street trees. • Deficiency in interior parking lot island area and trees (including landscaped endcaps). • Deficiency in parking lot perimeter trees provided. • Parking bay with 17 spaces without a landscape island. <p>Items to be addressed by the applicant prior to Final Site Plan approval.</p>
Traffic	Approval recommended	12-17-19	<p>Planning Commission waiver for the following:</p> <ul style="list-style-type: none"> • For not meeting the minimum requirements for opposite side driveway spacing along Novi Road. • For the use of painted islands and bumper blocks in place of raised end islands and curbs.

			<ul style="list-style-type: none"> • For lack of a six foot aisle provided for bicycle parking. • A Zoning Board of Appeals variance for lack of raised curb for end islands. <p>Items to be addressed by the applicant prior to Final Site Plan approval.</p>
Façade	Approval recommended	12-16-19	<ul style="list-style-type: none"> • Section 9 Waiver for overage of EIFS.
Fire	Approval recommended	12-09-19	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval.

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Guernsey Farms Dairy Remodel JSP 19-41, motion to approve the Preliminary Site Plan based on and subject to the following:

1. Landscape waiver from Sec. 5.5.3.B.ii for **lack of berm** along Novi Road due to lack of space from existing conditions, which is hereby granted;
2. Landscape waiver from Sec. 5.5.3.B.ii for reduction in required **greenbelt width** for areas where *the deficiency is an existing condition*, which is hereby granted;
3. The applicants shall revise the plans to comply with **greenbelt landscaping** for other areas where the deficiency is not due to an existing condition;
4. Landscape waiver from Section 5.5.3.B.ii, iii for not providing **street trees** due to lack of room within the Novi Road right-of-way for trees, which is hereby granted;
5. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for reduction in number of **interior parking perimeter trees** based on the revised landscape plan submitted on January 09, 2019, which is hereby granted;
6. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for reduction in number of **parking lot perimeter trees**, provided the applicant shall work with the City's landscape architect to provide better growing conditions for the proposed trees along the perimeter of the outdoor seating area, which is hereby granted;
7. Landscape waiver for exceeding the **maximum number of parking spaces between landscape end islands**. A maximum of 15 is allowed, the plans propose 17, which is hereby granted;
8. Planning Commission waiver for not meeting the minimum distance requirements for **opposite side driveway spacing** per Section 11.216 and Figure IX.12 of the City's Code of Ordinances, which is hereby granted;
9. Planning Commission waiver for the **use of painted islands in place of raised end islands** and curbs, which is hereby granted;
10. Planning Commission waiver for not meeting the minimum requirements for access path to bicycle parking. A minimum of 6 feet is required, 5 feet is existing), which is hereby granted;
11. A section 9 waiver is required for **Overage of EIFS** (25% maximum allowed, 41% on West façade and 59% on South façade proposed), which is hereby granted;
12. Subject to Zoning Board of Appeals variance for **lack of raised curbs** around the landscape islands as shown on the site plan;
13. A City Council variance for use of **bumper blocks in lieu of raised curb**;
14. The applicant shall work with the City to identify an alternate acceptable location for relocation of the existing Welcome to Novi sign;
15. The applicant shall designate the parking spaces opposite the southern entrance for employee parking to avoid conflicts with the incoming traffic;
16. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the Final Site Plan; and
17. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Guernsey Farms Dairy Remodel JSP 19-41, motion to **approve** the Stormwater

Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR

Denial – Preliminary Site Plan

In the matter of Guernsey Farms Dairy Remodel JSP 19-41, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

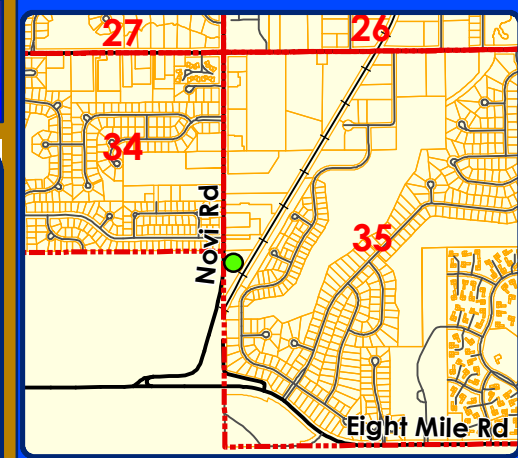
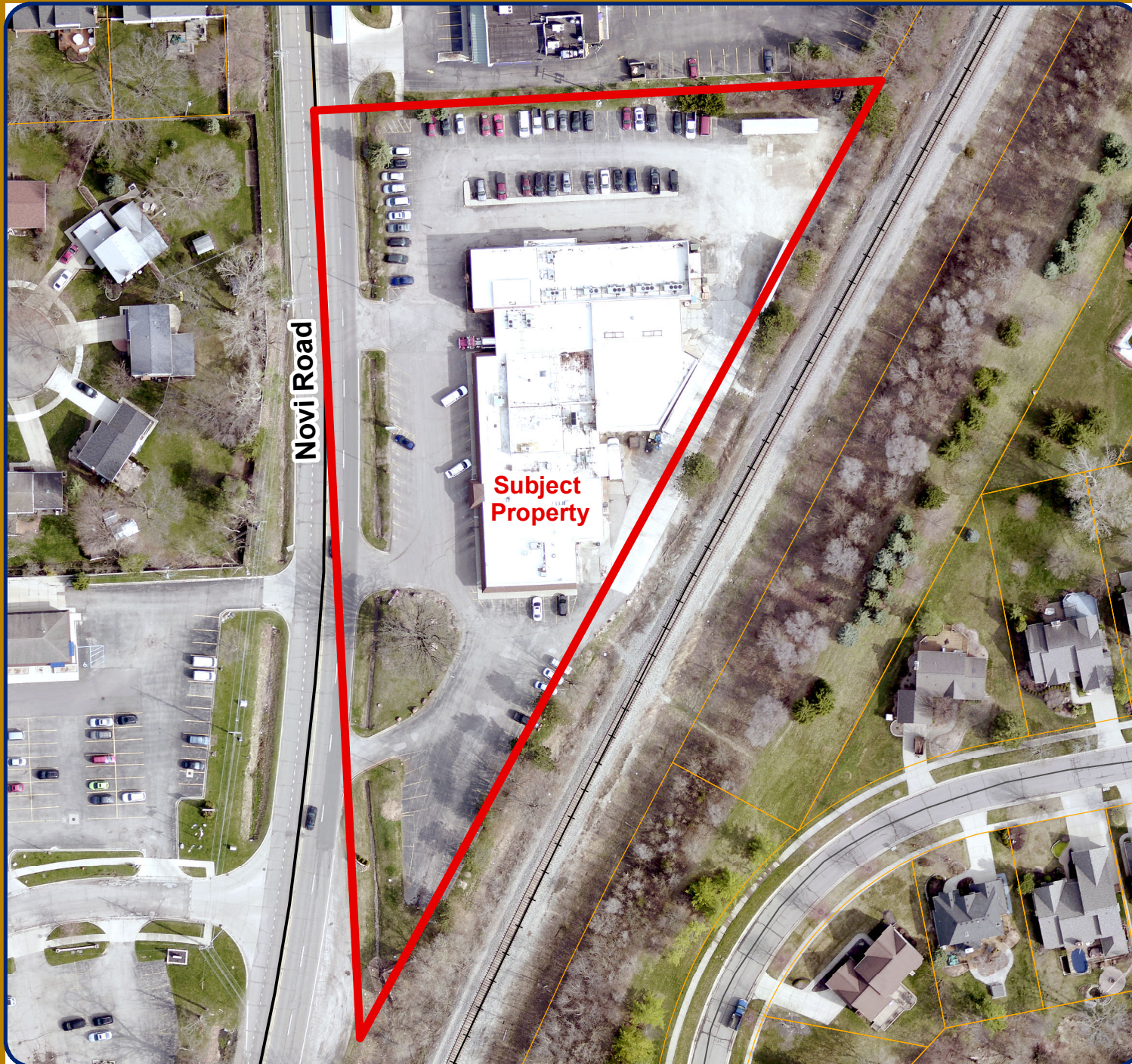
Denial – Stormwater Management Plan

In the matter of Guernsey Farms Dairy Remodel JSP 19-41, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP 19-41 GUERNSEY FARMS DAIRY REMODEL

Location



LEGEND

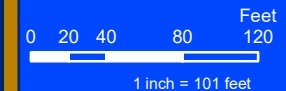
-  Sections
-  Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 05/03/19
JSP 19-41 GUERNSEY FARMS DAIRY REMODEL
Version #: 1

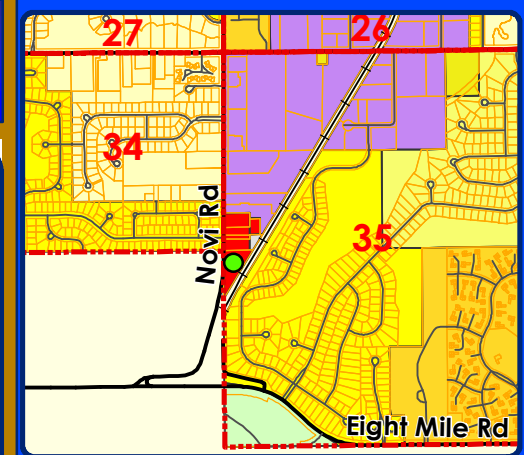
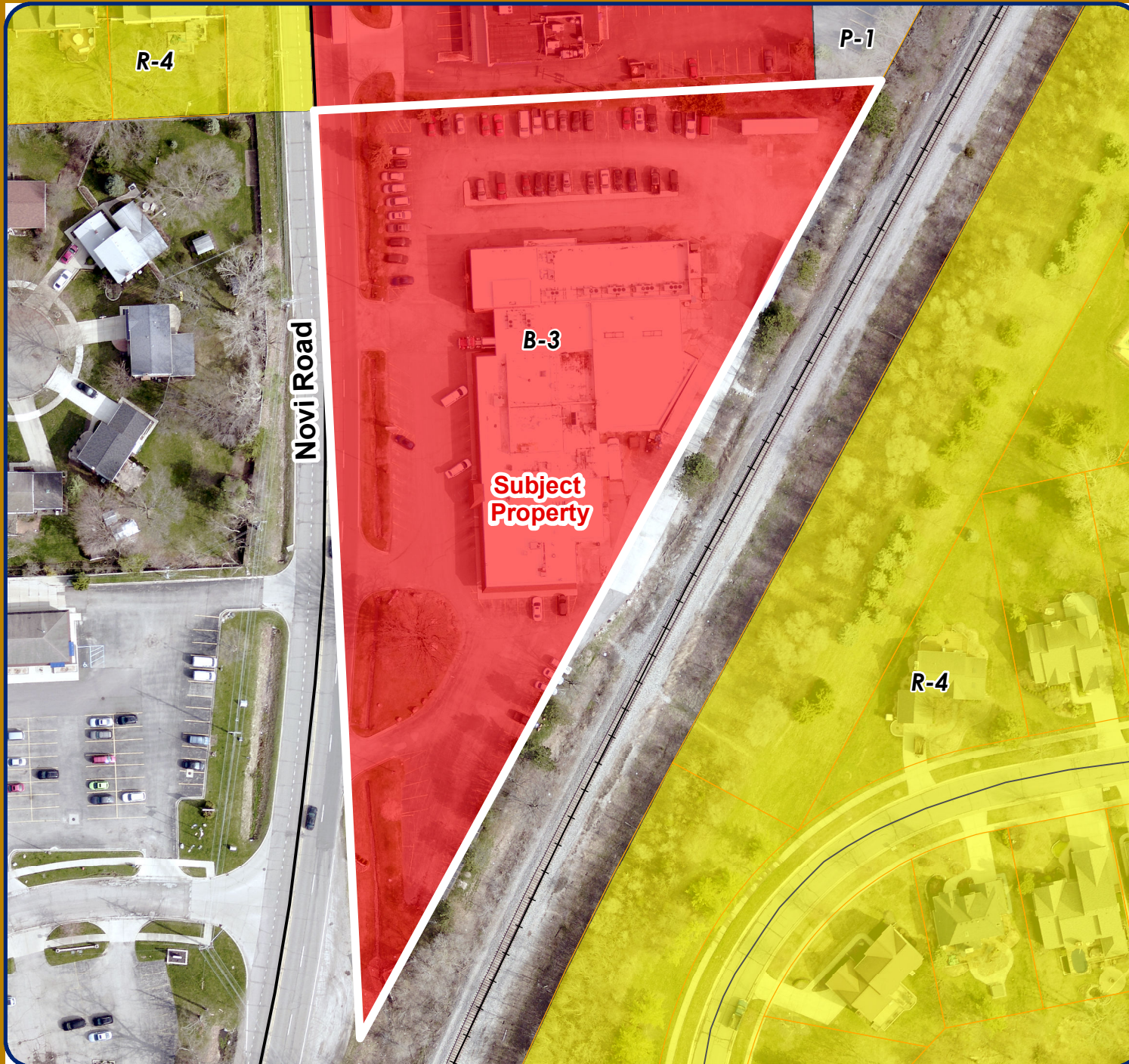


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 19-41 GUERNSEY FARMS DAIRY REMODEL

Zoning



LEGEND

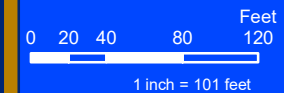
- Sections
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- I-1: Light Industrial District
- P-1: Vehicular Parking District



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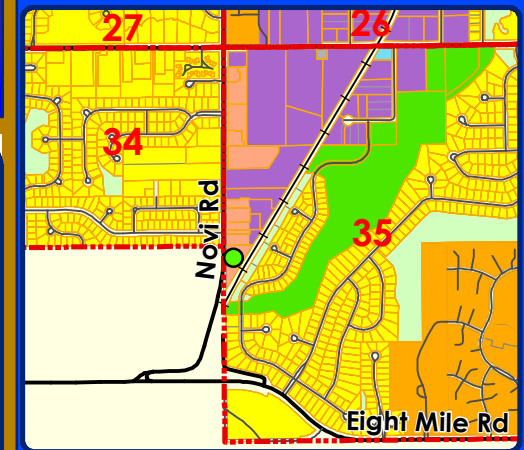
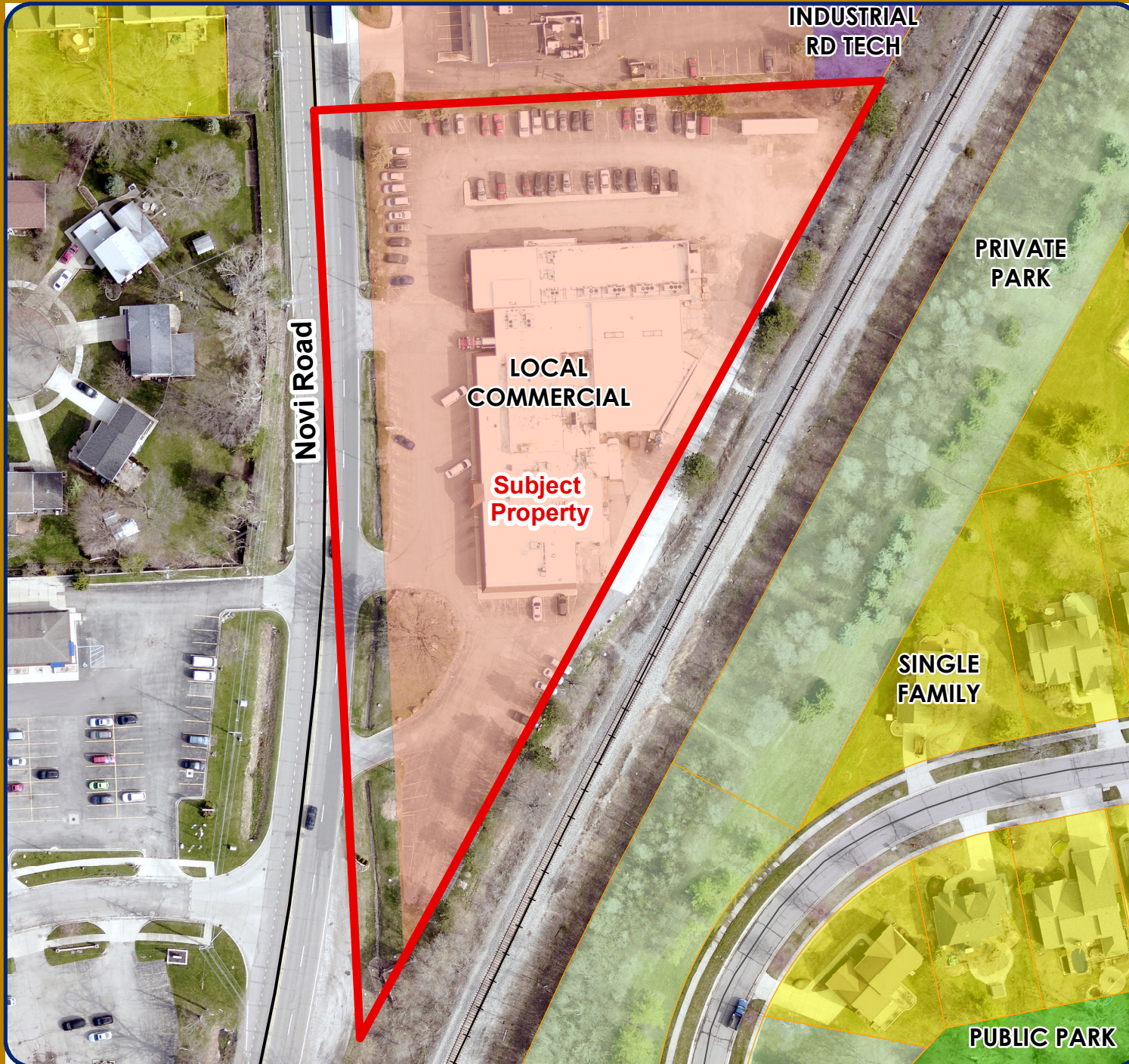


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JSP 19-41 GUERNSEY FARMS DAIRY REMODEL

Future Landuse



LEGEND

Sections

FUTURE LAND USE

Single Family

Multiple Family

Industrial RD Tech

Local Commercial

Public

Public Park

Private Park

Cemetery



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1 inch = 101 feet

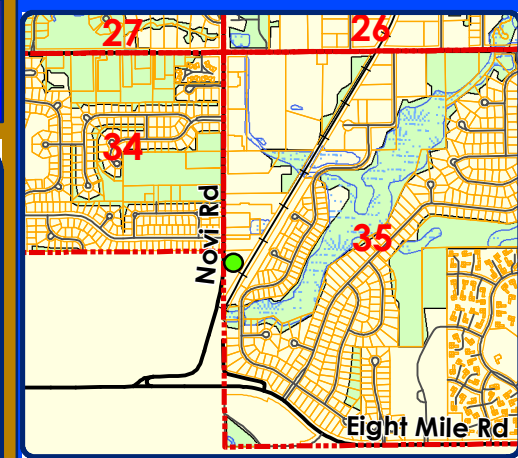


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Natural Features

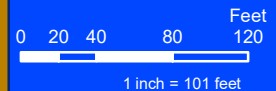


LEGEND

- Sections
- WETLANDS
- WOODLANDS

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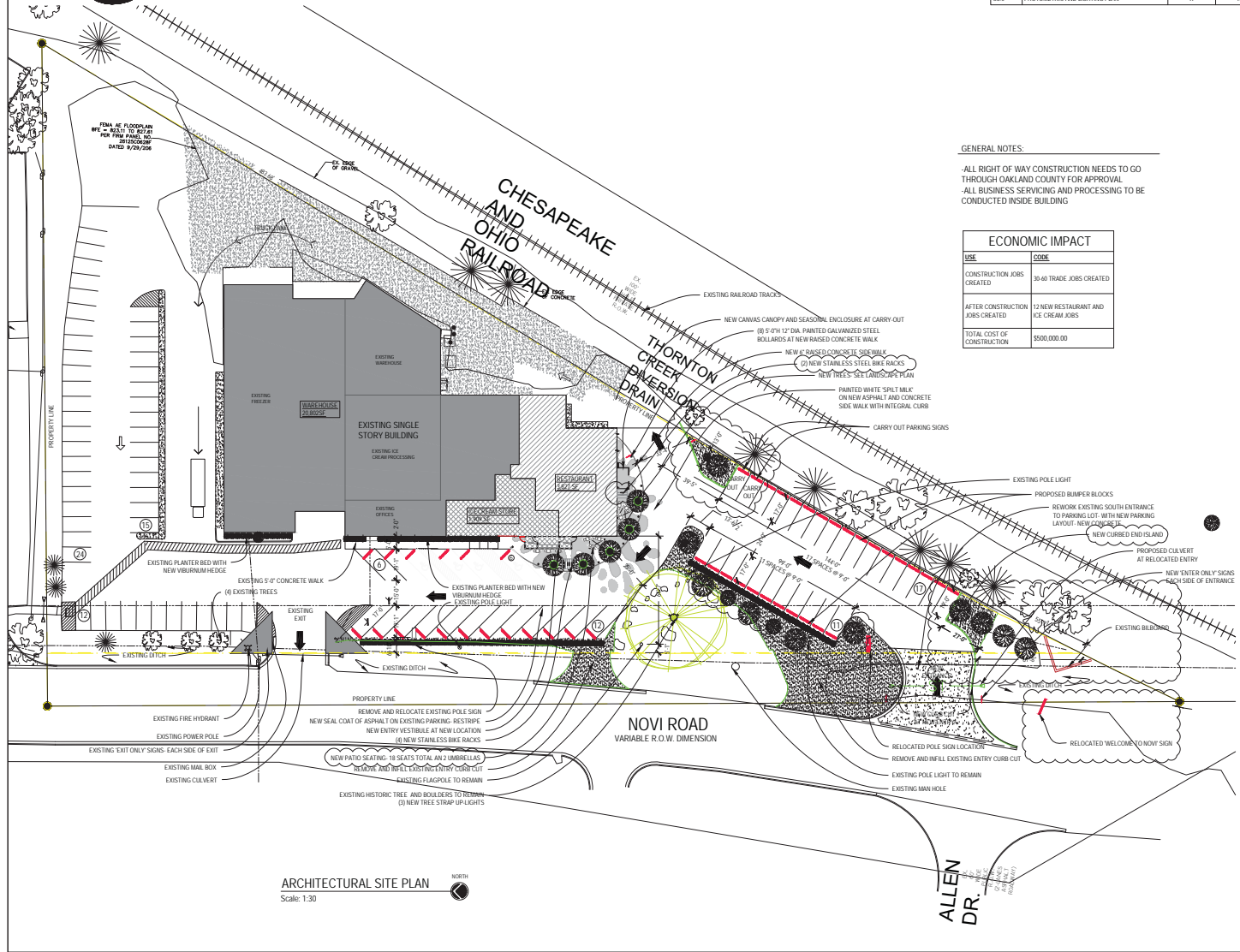
REVISED SITE PLAN
(Submitted 01-09-20 via e-mail)

Guernsey FARMS DAIRY

SHEET INDEX			
SHEET #	SHEET TITLE	SITE PLAN APPLICATION	REV1
G001	COVER SHEET/ARCHITECTURAL SITE PLAN	X	X
LP101	LANDSCAPE PLAN	X	X
LP102	LANDSCAPE DETAILS	X	X
A101	OVERALL FLOOR PLAN	X	X
A201	EXTERIOR ELEVATIONS	X	X
C1	TOPOGRAPHIC BOUNDARY TREE SURVEY	X	X
C1.0	DEMOLITION PLAN	X	X
C2.0	DIMENSIONAL SITE PLAN	X	X
C2.1	SITE DETAIL SHEETS	X	X
C3.0	GRADING AND PAVING PLAN	X	X
C4.0	ROW REMOVAL AND CONSTRUCTION PLAN	X	X
C4.1	ROW GRADING AND UTILITY PLAN	X	X
C5.0	PHOTOMETRIC AND LIGHTING PLAN	X	X



RONANDROMAN
architects et al.
1715 E. FRANK ST., BIRMINGHAM, MI 48109
971.248.7233 FAX: 971.248.7233.5793



GENERAL NOTES:

- ALL RIGHT OF WAY CONSTRUCTION NEEDS TO GO THROUGH OAKLAND COUNTY FOR APPROVAL
- ALL BUSINESS SERVICING AND PROCESSING TO BE CONDUCTED INSIDE BUILDING

ECONOMIC IMPACT	
USE	CODE
CONSTRUCTION JOBS CREATED	30-40 TRADE JOBS CREATED
AFTER CONSTRUCTION JOBS CREATED	12 NEW RESTAURANT AND ICE CREAM JOBS
TOTAL COST OF CONSTRUCTION	\$500,000.00

LOCATION / ZONING MAP

CODE DATA:

ZONING:	B-3 GENERAL BUSINESS
EXISTING USE GROUP:	A-2 (ASSEMBLY, RESTAURANT)
SITE AREA:	129,373 S.F. OR 2.97 ACRES
BUILDING AREA:	63 SF
REMOVED AIRLOCK:	209 SF
ADDED AIRLOCK:	
ICE CREAM STORE:	1,909 SF
RESTAURANT:	3,827 SF
WAREHOUSE:	20,802 SF
TOTAL:	26,538 S.F.

SITE COVERAGE: 20%

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE - ROMAN BONISLAWSKI, R.A. LICENSE #: 37397

PARKING CALCULATIONS			
USE	CODE	CALCULATION	SPACES
RETAIL (S.2.12 C-1)	1:200 GROSS LEASABLE	1,909 SF / 200 =	10 SPACES
ST. DOWN RESTAURANT (S.2.12 C-4)	1:200 GROSS LEASABLE	3,827 SF / 70 = 55	58 SPACES
	1 FOR EACH EMPLOYEE + 1 FOR EACH CUSTOMER	10 EMPLOYEES + 96 CUSTOMERS = 58	
WAREHOUSE (S.2.12 D)	ONE SPACE FOR EACH 100 SQUARE FEET OF USABLE FLOOR AREA	20,802 SF / 100 =	20 SPACES
TOTAL PARKING REQUIRED:			97 SPACES
TOTAL PARKING PROVIDED:			97 SPACES PROVIDED
ADA PARKING:	4 SPACES	PROVIDED	4 SPACES
BIKE PARKING:	5% OF REQUIRE PARKING SPACES	97 x 0.05 = 5 SPACES	5 SPACES PROVIDED

NOTE: EXISTING OFF-STREET PARKING SETBACK IS NON-CONFORMING

ARCHITECT/ DESIGNER

RON AND ROMAN ARCHITECTS, INC.
275 E. FRANK STREET
BIRMINGHAM, MI 48009
JEREMAH ARMSTRONG #248-723-5790
JEREMAH@RONANDROMAN.COM

OWNER

GUERNSEY FARMS DAIRY
21300 NOVI RD.
NORTHVILLE, MI 48116
JOE KINVILLE #248-921-2434
JOE@GUERNSEYFARMSDAIRY.COM

ARCHITECTURAL SITE PLAN
Scale: 1:30

Project:

GUERNSEY FARMS DAIRY
21300 Novi Rd., Northville, MI 48109

Scale:

Issue Date:	11/20/2019
SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/20/2019
REVISION	2/8, 10/20/20
REVISION	1/6/2020

Sheet Title:

COVER SHEET

Sheet Number:

G001

ARCHITECT/ DESIGNER

RON AND ROMAN ARCHITECTS, INC.
275 E. FRANK STREET
BIRMINGHAM, MI 48009
JEREMAH ARMSTRONG #248-723-5790
JEREMAH@RONANDROMAN.COM

OWNER

GUERNSEY FARMS DAIRY
21300 NOVI RD.
NORTHVILLE, MI 48116
JOE KINVILLE #248-921-2434
JOE@GUERNSEYFARMSDAIRY.COM

LANDSCAPE WAIVERS REQUIRED

- MINIMUM GREENBELT WIDTH DEFICIENCY AT NEW PARKING AREAS. EXISTING NON-CONFORMING CONDITION DECREASED
- MINIMUM BERM CREST WIDTH DEFICIENCY (HEDGE IS PROPOSED IN LIEU OF A BERM)
- GREENBELT CANOPY TREE DEFICIENCY ADJACENT TO PARKING WITH PARKING BETWEEN RIGHT OF WAY AND BUILDING (EXISTING CONDITION WITH INSUFFICIENT SPACE)
- GREENBELT SUB-CANOPY TREE DEFICIENCY ADJACENT TO PARKING WITH PARKING BETWEEN RIGHT OF WAY AND BUILDING (EXISTING CONDITION WITH INSUFFICIENT SPACE)
- GREENBELT CANOPY TREE DEFICIENCY ADJACENT TO PARKING (PROVIDING 2 TREES BUT INSUFFICIENT SPACE TO PROVIDE REQUIRED AMOUNT)
- GREENBELT SHRUB DEFICIENCY ADJACENT TO PARKING WITH PARKING BETWEEN RIGHT OF WAY AND BUILDING (INSUFFICIENT SPACE TO PROVIDE REQUIRED AMOUNT - HEDGE PROVIDED)
- GREENBELT CANOPY DECIDUOUS DEFICIENCY BETWEEN SIDEWALK AND CURB (EXISTING DITCH DOES NOT PROVIDE ENOUGH SPACE)
- INTERIOR PARKING LOT ISLAND DECIDUOUS TREE DEFICIENCY (PROVIDING 8 TREES BUT INSUFFICIENT SPACE TO PROVIDE 1 ADDITIONAL REQUIRE)
- PERIMETER PARKING LOT CANOPY TREE DEFICIENCY (PROVIDING 15 INSTEAD OF 17 TREES DUE TO INSUFFICIENT SPACE)
- INTERIOR SITE LANDSCAPING DEFICIENCY (INSUFFICIENT SPACE)

GENERAL LANDSCAPING NOTES:

- ALL EXISTING SITE TREES TO REMAIN. SEE EXISTING CIVIL DRAWING FOR TREE CHART
- ALL PLANTS AND TREES TO BE NORTHERN NURSERY GROWN, NO 1. GRADE
- ALL PLANTS ARE GUARANTEED TO BE INSTALLED PER LANDSCAPE PLAN AND ALL PLANTS AND PLANTING MATERIALS TO HAVE A 2 YEAR MAINTENANCE GUARANTEE.
- PLANTS TO BE HOSE WATERED AS NECESSARY. OWNER TO GUARANTEE THE SURVIVAL OR RE-ACCOMMODATION OF THE WATERED PLANTS FOR 2 YEARS
- MISS DIG TO BE NOTIFIED BEFORE PLANTING
- INSTALLATION DATE OF LANDSCAPING NEEDS TO BE BETWEEN MARCH AND NOVEMBER 15. ANTICIPATED INSTALL DATE IS MARCH 20TH
- CITY OF NOVI MUST APPROVE ANY SUBSTITUTIONS OF PLANTS OR PLANT MATERIALS THAT DEVIATE FROM THIS LANDSCAPE PLAN**
- ALL PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 4 FT. OF PROPERTY LINE
- PROVIDE TREE PROTECTION FENCING AT EAST/ROADSIDE PROPERTY LINE. AND AT THE ONE LARGE OAK TREE DURING CONSTRUCTION
- ALL PLANTING TO BE MAINTAINED BY OWNER. IF ANY PLANTING WERE TO DIE THEY ARE GUARANTEED TO BE REPLACED BY OWNER

PLANT LIST AND COSTS

KEY NOTE	PLANT TYPE	BOTANICAL NAME	SIZE	ROOT	QTY	COST PER UNIT	TOTAL COST
(S1)	SHRUB- BOSTON IVY	PARthenocissus TRICOLORATA VETCHER	2' P POT	CONTAINER	13	\$15.00	\$195.00
(S2)	SHRUB- VIRBURNUM ARBORWOOD	VIRBURNUM DILATUM	3/4" HIGH	CONTAINER	106	\$5.00	\$530.00
(S3)	TREE- MALE GINKGO	GINKGO BILوبا (MALE)	2"	CALIPER	5	\$400.00	\$2,000.00
(S4)	TREE- HONEY LOCUST	QUERCUS TRICANTHOS	2"	CALIPER	4	\$400.00	\$2,400.00
(S5)	TREE- WHITE OAK	QUERCUS ALBA	2"	CALIPER	5	\$400.00	\$2,000.00
(S6)	SUB-CANOPY TREE	-	2"	CALIPER	2	\$400.00	\$800.00
(G1)	GROUND COVER- GRASS SEED	COMBAT EXTREME NORTHERN ZONE TALL FESCUE AND KENTUCKY BLUE GRASS MIX	-	BAG	6525Y	\$3 SY	\$1,957.50
(G2)	TREE GRATES	-	5' 0" DIA.	-	5	\$500	\$2,500.00
(G3)	GROUND COVER- THIRDS GROUND NATURAL MULCH	TRIPLE GROUND HARDWOOD BARK 2" @ SHRUBS	-	BAG	48	\$9 SY	\$432.00
TOTAL COST							\$16,891.00

RIGHT OF WAY SCREENING REQUIREMENTS

CANOPY	BERM LOCATION	REQUIRED	CALCULATION	PROPOSED	MEETS CODE? / WAIVER
GREENBELT WIDTH	ADJACENT TO PARKING	25 FEET	N/A	7' 0" TO 55' 0"	WAIVER TO REDUCE EXISTING NON-CONFORMING CONDITION
MINIMUM BERM WIDTH	ADJACENT TO PARKING	3 FEET	N/A	3' 0" HEDGE	WAIVER TO USE HEDGE INSTEAD OF BERM
MINIMUM BERM HEIGHT	ADJACENT TO PARKING	3 FEET	N/A	3' 0" HEDGE	WAIVER TO USE HEDGE INSTEAD OF BERM
THREE FOOT WALL	TOPOGRAPHIC BOUNDARY TREE CANOPY	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	YES
CANOPY DECIDUOUS OR LARGE EVERGREEN TREES	ADJACENT TO PARKING BETWEEN R.O.W. AND BUILDING	1 TREE PER 75 LF (NET OF ACCESS DRIVES)	230-64(DRIVE)/75LF - 2 TREES	0 EXISTING TREES	WAIVER NEEDED DUE TO INSUFFICIENT SPACE
	ADJACENT TO PARKING	1 TREE PER 25 LF (NET OF ACCESS DRIVES)	225-49(DRIVE)/25LF - 5 TREES	5 TREES PROVIDED - 1 TREE EXISTING - 4 TREES	YES
	ADJACENT TO PARKING BETWEEN R.O.W. AND BUILDING	1 TREE PER 20 LF (NET OF ACCESS DRIVES)	230-64(DRIVE)/20LF - 4 TREES	0 EXISTING TREES	WAIVER NEEDED DUE TO INSUFFICIENT SPACE
	ADJACENT TO PARKING BETWEEN R.O.W. AND BUILDING	1 TREE PER 20 LF (NET OF ACCESS DRIVES)	225-49(DRIVE)/20LF - 9 TREES	0 EXISTING - PROVIDED - 2 TREES	WAIVER NEEDED DUE TO INSUFFICIENT SPACE
SHRUBS	ADJACENT TO PARKING BETWEEN R.O.W. AND BUILDING	1 SHRUB PER 20 LF FRONTAGE (NET OF ACCESS DRIVES)	230-64(DRIVE)/20LF - 8 SHRUBS	0 ADDITIONAL SHRUBS PROVIDED - ONLY HEDGE	WAIVER NEEDED DUE TO INSUFFICIENT SPACE AND NO SIDEWALK
CANOPY DECIDUOUS TREES IN AREA BETWEEN SIDEWALK AND CURB	ADJACENT TO PARKING AREA BETWEEN SIDEWALK AND CURB	1 TREE PER 20 LF FRONTAGE (NET OF SIDE VISION DRIVES)	N/A	NONE	WAIVER DUE TO INSUFFICIENT SPACE AND NO SIDEWALK

RESIDENTIAL ADJACENT TO NON-RESIDENTIAL BERM REQUIREMENTS

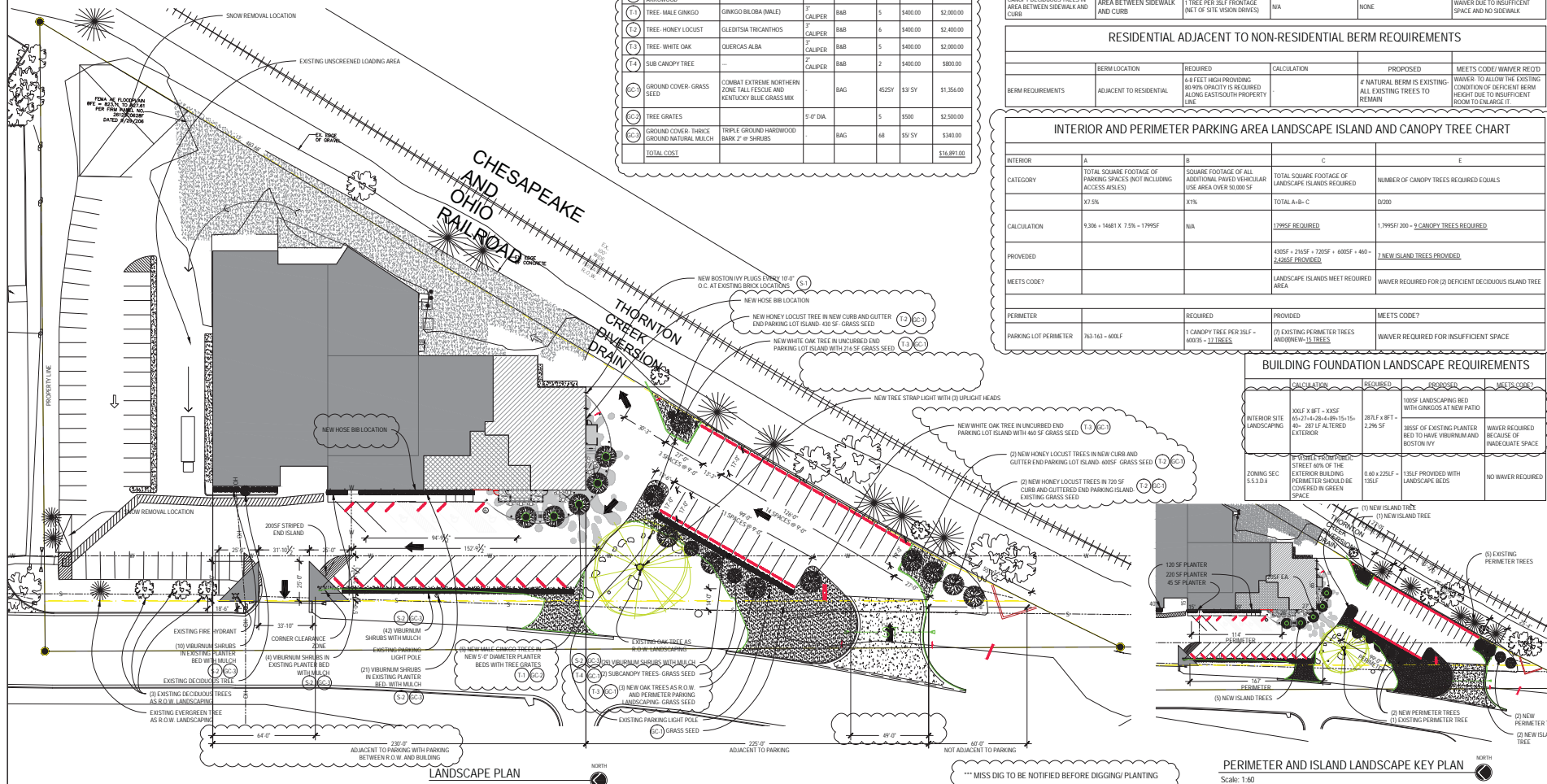
BERM REQUIREMENTS	BERM LOCATION	REQUIRED	CALCULATION	PROPOSED	MEETS CODE? / WAIVER REQD
	ADJACENT TO RESIDENTIAL	8 FEET HIGH PROVIDING 80% OPACITY IS REQUIRED ALONG EAST/SOUTH PROPERTY LINE		4 NATURAL BERM IS EXISTING - ALL EXISTING TREES TO REMAIN	WAIVER TO ALLOW THE EXISTING CONDITION OF DEFICIENT BERM HEIGHT DUE TO INSUFFICIENT ROOM TO ENLARGE IT

INTERIOR AND PERIMETER PARKING AREA LANDSCAPE ISLAND AND CANOPY TREE CHART

INTERIOR	A	B	C	E
CATEGORY	TOTAL SQUARE FOOTAGE OF PARKING SPACES (NOT INCLUDING ACCESS AREAS)	SQUARE FOOTAGE OF ALL ADDITIONAL PAVED VEHICULAR USE AREA OVER 30,000 SF	TOTAL SQUARE FOOTAGE OF LANDSCAPE ISLANDS REQUIRED	NUMBER OF CANOPY TREES REQUIRED (EQUALS TOTAL A+B+C)
	475 SF	878 SF		9/200
CALCULATION	9,300 + 14681 x 7.5% = 17995 SF	N/A	17995 SF REQUIRED	17995 SF / 200 = 9 CANOPY TREES REQUIRED
PROVIDED			4356 SF + 2145 SF + 2256 SF + 605 SF + 440 = 2480 SF PROVIDED	1 NEW ISLAND TREES PROVIDED
MEETS CODE?			LANDSCAPE ISLANDS MEET REQUIRED AREA	WAIVER REQUIRED FOR (2) DEFICIENT DECIDUOUS ISLAND TREE
PERIMETER				
PARKING LOT PERIMETER	763.143 - 600 LF	1 CANOPY TREE PER 35 LF + 400 SF = 17 TREES	(1) EXISTING PERIMETER TREES AND NEW 15 TREES	WAIVER REQUIRED FOR INSUFFICIENT SPACE

BUILDING FOUNDATION LANDSCAPE REQUIREMENTS

INTERIOR SITE LANDSCAPING	ZONING SEC. 5.5.3.D.4	REQUIRED	PROPOSED	MEETS CODE?
	3'-0" MIN. FROM BUILDING STREET 40% OF THE EXTERIOR BUILDING PERIMETER SHOULD BE COVERED IN GREEN SPACE	287.6 x 8 FT - 2,296 SF	105 SF LANDSCAPING BED WITH GINGKOS AT NEW PATIO 385 SF OF EXISTING PLANTER BED TO HAVE VIRBURNUM AND BOSTON IVY	NO WAIVER REQUIRED
	6.0 x 2.25 FT - 135 LF PROVIDED WITH LANDSCAPE BEDS			



PERIMETER AND ISLAND LANDSCAPE KEY PLAN
Scale: 1:60

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Project:
GUERNSEY FARMS DAIRY
21300 Novi Rd., Northville, MI 48116

Scale:

Issue Date:
SITE PLAN REVIEW 11/20/2019
BUILDING PERMIT 12/20/2019
REVISION 2/8 1/23/2020
REVISION 1/6 1/26/2020

Sheet Title:
LANDSCAPE PLAN

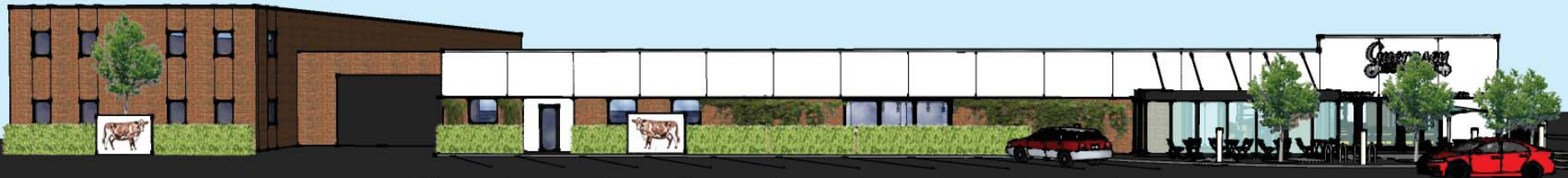
Sheet Number:
LP101

ORIGINAL SITE PLAN

(Full plan set available for viewing at the Community Development Department)

BUILDING ELEVATIONS









PLANNING REVIEW



PLAN REVIEW CENTER REPORT

December 12, 2019

Planning Review

GUERNSEY FARMS DAIRY REMODEL

JSP 19-41

PETITIONER

McGuire Brothers, LLC

REVIEW TYPE

Preliminary and Final Site Plan

PROPERTY CHARACTERISTICS

Section	23	
Site Location	21300 Novi Road	
Site School	Northville School District	
Site Zoning	B-3: General Business	
Adjoining Zoning	North	B-3, General Business
	East	R-4, Single Family Residential
	West	R-4, Single Family Residential; City of Northville
	South	City of Northville
Current Site	Guernsey Farms Dairy	
Adjoining Uses	North	Novi bowl
	East	Single family residential development
	West	Single family residential development
	South	City of Northville
Site Size	2.95 acres	
Plan Date	11-20-19	

PROJECT SUMMARY

The subject property has an existing single story building. Guernsey Dairy Farm along with its restaurant occupies approximately 5,736 square foot and the warehouse along with the ice-cream processing center occupies about 20, 802 square feet. The applicant is proposing to make some interior changes to restaurant seating layout and add approximately 1 outdoor seating area. The restaurant offers carry-out and sit-down service. Alcohol service is provided inside the restaurant only. The site plan also proposes a number of changes to exterior site layout and traffic circulation, reducing the number of curb cuts along Novi Road. It also proposes an alternate location for 'Welcome to Novi' sign along its frontage.

RECOMMENDATION

Approval of the **Preliminary Site Plan and Final Site Plan is recommended.** The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission approval of the Preliminary Site Plan and Storm Water Management Plan is required.**

PROJECT HISTORY

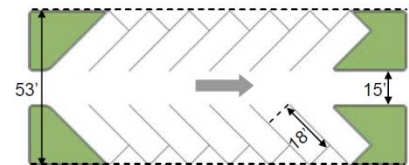
A pre-application meeting for this project was conducted on October 11, 2019.

ORDINANCE REQUIREMENTS

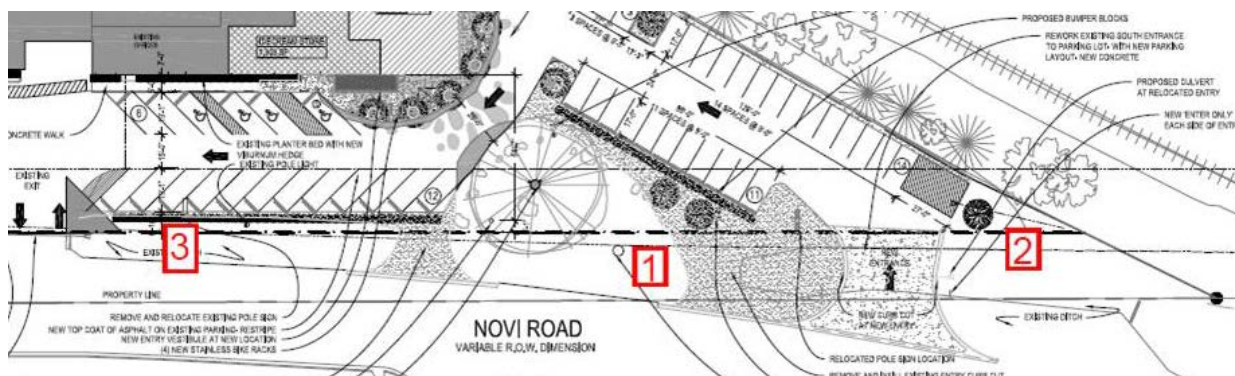
This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. **Railroad ROW:** It appears that a part of loading area and drive aisle encroaches onto Railroad Right-of-way. The current site plan is not proposing any changes in that area. **Current site plan approval does not include approval of the pre-existing conditions. The applicant indicated in the response letter that they reached out to the railways and is awaiting a response. Please provide an update with the next submittal. Some of the existing parking perimeter trees are located within the railroad right of way. Applicant is asked to determine if there is an off-site easement for the location of the trees and landscaping. Current site plan approval does not include approval of the pre-existing conditions. The applicant should address this item in the response letter.**

2. **Site Plan Submittal:** The current site plan has a number of missing information and inconsistencies. Please refer to all review letters in detail. **Few major items are listed below that need to be addressed with revised submittal:**
 - a. Please label a sheet as Preliminary/Final site plan. This should include all the parking information, dimensions and all related site improvements per site and development manual.
 - b. Sheet G001 refers to one-way circulation. All other sheets refer to two way entry at two proposed curb cuts. Please revise to be consistent.
 - c. Sheet G001 refers to a painted island to the south of northern entryway (see below). It is not consistent in the sheet set. For example, sheet C2.0 do not show the painted island.
 - d. Please provide the 18 feet dimension for the proposed angled parking as shown in this image and the location of the wheel stops.

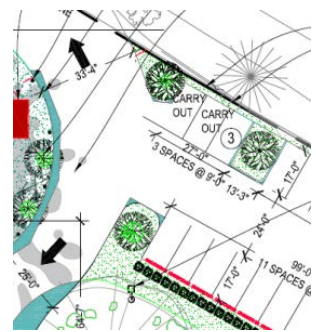


3. **Welcome to Novi Sign:** The plan proposes relocating the existing Welcome to Novi sign which is currently located on their property. We provide the following comments:
 - a. The proposed location appears to be located within a parcel owned by Road Commission of Oakland County for Right-of-way purposes. It is also proposed within Northville City limits. Additional permits from outside agencies may be required for this location.
 - b. The proposed site plan sheet should also indicate the location of existing billboard.
 - c. Staff recommends three alternate locations for relocation. The approximate general areas are as shown in the image below numbered in the order of preference. These will provide better visibility and are within City of Novi city limits.
 - d. The applicant should work with the City of Novi Community Development and Community Relations staff to identify the procedure for relocation.



4. **Parking lot Improvements:** The existing parking lot is considered legal non-conforming as it does not meet the requirements of minimum parking setbacks and has the required curb. Proposed improvements are making the circulation slightly better and adding some landscape. However, the area where the changes are proposed is expected to meet the current standards. Following items would require approval from the Planning Commission, the City Council and the Zoning Board of Appeals:

a. **End Islands:** Per section 5.3.12, End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance. The proposed layout is proposing three end islands. The end island next to carry out spaces does not have a raised curb and do not meet the dimensional requirements. The island south of the carry out spaces does not have a raised curb. **A Zoning Board of Appeals variance is required for this deviation as it deviates from the Zoning Ordinance requirements. As an alternate, the applicant could revise the end islands to meet the requirements.**



b. **Wheel stops:** Per Section 5.5.3.C.ii.c. Landscape standards, wheel stops or curbing shall be installed to prevent vehicles from encroaching more than two (2) feet into any parking landscape area. **The applicant should include wheel stops for the proposed parking along the Railroad ROW.**

c. **Bicycle Parking Layout:** Per section 5.16.6.D. the Planning Commission can approve deviations from bike layout requirements as listed below. All waivers are supported by staff.

A. **Bike parking is proposed to be accessed by five foot sidewalk, while six foot minimum is required. Handicap accessible signage is proposed on the sidewalk which may obstruct the accessibility. The applicant should relocate the barrier free parking signage either on the building façade or on the pavement in front the wheel stops.**

B. **When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations. All 8 spaces are proposed at one location near the single entrance to the facility.**

C. **Spaces to be paved and the bike rack shall be inverted "U" design. Proposed bike rack design is acceptable.**

d. **Lack of curb and gutter:** Per Sec. 11-239(b)(1),(2) of Novi City Code, Driveway and parking lot surfacing requirements, the entire parking area including parking spaces and maneuvering lanes are required to be hard-surfaced and curbed. **The proposed parking lot improvements proposed either wheel stops or no curb along the driveway and parking lot perimeter. A City Council variance approval is supported by staff.**

5. **Lighting and Photometric Plan:** The lighting and photometric plan appears to be incomplete. However, additional detail is required to complete the review. **Please refer to plan review chart for standard requirements. Please clearly indicate what are existing and the proposed locations.**

6. **Plan Review Chart:** Planning review chart provides additional comments and requests clarification for certain items. **Please address them in addition to the comments provided in this letter.**

7. **Other Reviews:** Following reviews are recommending approval of Preliminary site plan, but not the final site plan: Traffic and Landscape_A revised submittal as noted in the next section is required.

Following reviews are recommending approval of both preliminary and final site plan: Planning, Engineering, Façade and Fire. Remaining comments in these reviews should be addressed with electronic stamping sets as noted in the next section.

NEXT STEP: PLANNING COMMISSION MEETING

The site plan is scheduled for Planning Commission's consideration on January 15, 2019. Please provide the following by January 03, 2019.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE**
2. Revised renderings addressing Façade comments
3. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit**

AFTER PLANNING COMMISSISON APPROVAL

1. Zoning Board Of Appeals Meeting

Planning review identified one ZBA variance that is required. Please note that the Planning Commission approval is required prior to ZBA consideration. Please contact Kate Oppermann at 248-347-0459 for ZBA application deadlines and process. **The deadline for February 11 ZBA meeting is January 2.** A variance will not be required if the plans are revised to conform.

2. Revised Final Site Plan Submittal

Traffic and Landscape reviews are currently not recommending approval. After receiving Planning Commission's approval of the Preliminary Site Plan and Zoning Board of Appeals approval for the noted variances, please submit the following for approval:

1. Three copies of Final Site Plan sets addressing all comments from Preliminary review,
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. Site Plan revisions application
4. Drafts of any legal documents. See attached engineering legal document transmittal.

3. Electronic Stamping Set Submittal And Response Letter

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

4. Stamping Set Approval

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval. Pre-Con meetings are generally held after Stamping Sets have been issued.

5. Pre-Construction Meeting

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. **No work on the site may be commenced before a pre-construction meeting is held.** Please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled.

SIGNAGE

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits. **The followings items shown on the current plans would require a sign permit and are not considered as part of the current approval.**

1. Temporary mural signs of the Guernsey cow images
2. Building signage
3. Relocation of monument sign is subject to City of Novi Community relations review
4. Murals painted on the building such as the blue ribbon

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner



PLANNING REVIEW CHART : B-3 Community Business District

Review Date: December 12, 2019
Review Type: Preliminary Site Plan
Project Name: **JSP 19-41 Guernsey Dairy Farm Remodel**
Plan Date: November, 2019
Prepared by: Sri Ravali Komaragiri
Contact: **E-mail:** skomaragiri@cityofnovi.org **Phone:** 248.735.5607

Items in **Bold** need to be addressed with the next submittal
 Items in **Bold and Underlined** do not comply with the Zoning Ordinance at this time
 Items underlined need to be addressed prior to the approval of the stamping sets or later as noted

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Local Commercial	Retail & Restaurant	Yes	
Area Study	Not part of any studies	Not applicable	NA	
Zoning <i>(Effective Dec. 25, 2013)</i>	B-3: General Business District	B-3: General Business District	Yes	
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B: Principal Uses Permitted. Sec 3.1.12C: Special Land Uses	Existing cold storage facility, restaurant and retail	Yes	
Phasing		Phasing is not proposed	NA	
Retail Business or Service Establishments allowed under B-3 (Sec. 4.27)				
Retail Business <i>(Sec 4.27.1.A)</i>	Any retail business whose principal activity is the sale of merchandise in an enclosed building.	Retail for sale of ice creams	Yes	
Restaurants <i>(Sec 4.27.1.C)</i>	Restaurants (sit down), banquet facilities or other places serving food or beverage, except those having the character of a drive-in or having a drive-through window.	Sit-down restaurants with a carry-out service	Yes	
B-3 Business District Required Conditions (Sec. 3.10)				
Uses enclosed within buildings (Sec. 3.10.1.B)	All business, servicing or processing, except for off-street parking, loading/ unloading shall	Outdoor seating proposed. A note is added to the sheet for other uses.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	be conducted within completely enclosed buildings			
Height, bulk, density and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Novi Road	Yes	
Minimum Zoning Lot Size and Lot width (Sec 3.6.2.D)	2 acres Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	2.97 Acres	Yes	A portion of existing loading area and related drives in the back encroach into the Railroad Right-of-way. The current site plan is not proposing any changes in that area. Current site plan approval does not include approval of the pre-existing conditions. The applicant indicated in the response letter that they reached out to the railways and is awaiting a response.
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	Existing building. No change proposed to the footprint	NA	
Building Height (Sec. 3.1.23.D)	30 ft or 2 stories, whichever is less	Existing building. No change in height proposed	NA	
Building Setbacks (Sec 3.1.12.D)				
Front (Novi Road)	30 ft.	Appears to comply	Yes	Label setbacks on plan
Rear (west)	20 ft.	Existing non-conforming	Yes	
Side (south)	15 ft.	Appears to comply	Yes	
Side (north)	15 ft.	Appears to comply	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (Novi Road)	20 ft. for both	Existing non-conforming for existing angle parking; Addition of	Yes	Railway ROW between residential. The use does not abut

Item	Required Code	Proposed	Meets Code	Comments
		three angle spaces is increasing the non-conformity Proposed perpendicular space is closer than 20 ft.		residential Label setbacks on plan
Rear (west)	10 ft. 20 ft. if it abuts residential	Existing non-conforming	Yes	
Side (south)	10 ft. 20 ft. if it abuts residential	Appears to comply	Yes	
Side (north)	10 ft. 20 ft. if it abuts residential	Appears to comply	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Not applicable	NA	
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided	No?	See landscape letter for additional details Some of the existing parking perimeter trees are located within the railroad right of way. Applicant is asked to determine if there is an off-site easement for the location of the trees and landscaping. Current site plan approval does not include approval of the pre-existing conditions.

Item	Required Code	Proposed	Meets Code	Comments
				The applicant should address this item in the response letter.
Parking, Loading, and Dumpster Requirements				
Retail (5.2.12.C.a) Sit down Restaurant (5.2.12.C.a) Warehouse (5.2.12.E)	1 for each 200 gross leasable 1 for each 70 gross floor area, or 1 for each employee plus 1 for each 2 customer allowed under maximum capacity, whichever is greater One (1) space for each seven hundred (700) square feet of usable floor area	With the addition, the restaurant will have a total of 92 indoor seats and 16 outdoor seats. 10 employees: 5 spaces Warehouse: 20,802 SF = 29 spaces Retail: 1,909/200 = 10 spaces	No?	Outdoor seating is not included in the parking calculations as it does not exceed 20
Parking Space Dimensions and Maneuvering Lanes <i>(Sec. 5.3.2)</i>	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	- 90° Parking: 9 ft. x 19 ft. - 27 ft. two way drives 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks	Yes	
	- 45° parking - 18 ft. one-way lane - 9 ft. x 18ft. parking space - Total width for 2 Tier: 53 feet	45° parking - 15 ft. one-way lane - 9 ft. x 18 ft. - Total width for 2 Tier: 53 feet	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) <i>(Sec. 5.3.13)</i>	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA	NA	
End Islands <i>(Sec. 5.3.12)</i>	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall	End islands with no raised curbs are proposed.	Yes?	An end island without a raised curb requires a variance from the Zoning Board of Appeals. Please review the plan to propose a curb around end islands.

Item	Required Code	Proposed	Meets Code	Comments
	generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance			
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	- For 76 to 100 spaces 4 handicap spaces are required including 1van accessible -	2 van accessible 2 car accessible spaces provided	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces	8 ft. wide spaces with 8 ft. wide access aisle proposed.	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs indicated	No	Provide the required signage
Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i>	Five (5) percent of required automobile spaces, minimum two (2) spaces Required: 8 spaces	8 spaces proposed	Yes	
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Location appears to be less than 120 ft. All 8 spaces are proposed at one location near the single entrance to the facility. Proposed spaces are not inverted "U" design, but are consistent Accessible by 5 foot sidewalk	No	Planning Commission approval for the deviations from the standards is required
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft.	Bike parking is proposed	Yes?	Provide the required information. Refer to Traffic review for more details.

Item	Required Code	Proposed	Meets Code	Comments
	Parking space depth: 2 ft. single, 2 ½ ft. double			
Loading Spaces (Sec. 5.4.2) Dumpster (Sec 4.19.2.F) Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	-	No change to existing	NA	
Outdoor Restaurants (Sec. 4.84)				
Accessory Use (Sec. 4.84)	Outdoor seating as an accessory use is allowed per section 4.84.	Outdoor seating for 16 people is proposed.	Yes	
Site Plan Review (Sec. 4.84.1)	If the seating area is proposed as part of a site plan application it shall require site plan review and approval by the Planning Commission	The seating will be reviewed along with the current site plan	Yes	
Building and fire codes (Sec. 4.84.1)	Outdoor seating areas shall also comply with all applicable building and fire codes	Will be reviewed with Outdoor seating permit	NA	
Timings (Sec. 4.84.2)	Permitted between March 1 st and November 30 th .	Note added to plan	Yes	
Pathway (Sec. 4.84.4)	Outdoor seating areas shall be located in a manner to maintain a minimum pathway width of six (6) feet (clear of structures such as light poles, trees and hydrants) along the sidewalk	No sidewalk near the outdoor spaces. However, the seating is randomly placed close to the driveway. Few bollards are placed intermittently	Yes?	Staff recommends a railing to protect the outdoor users from the vehicular traffic
Enclosure (Sec. 4.84.4)	It shall be enclosed where there is alcohol service.	Alcohol is not served at this location	NA	Please confirm
Location (Sec. 4.84.5)	If located in public, ROW, then approval from all related agencies is	It is not located in Public-Right of way	NA	

Item	Required Code	Proposed	Meets Code	Comments
	required. Additional requirements may apply.			
Parking (Sec. 4.84.6)	For more than 20 seating, parking shall be calculated.	Additional parking not required; Outdoor seating for 16 people is proposed	NA	
Hours of Operation (Sec. 4.84.7)	Hours of operation same as inside restaurant.	Indicate hours of operation	Yes	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- 6 foot sidewalk required along Novi Road	None proposed. The applicant has provided a marked pedestrian pathway across a portion of the parking lot that was discussed during the Concept Meeting.	NA	Refer to Engineering review for more details.
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Mostly provided	Yes?	Refer to all review letters for more comments
Economic Impact	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied)	Not provided at this time	No	Required prior to Planning Commission meeting
Other Permits and Approvals				

Item	Required Code	Proposed	Meets Code	Comments
Development/ Business Sign	Signage if proposed requires a permit.	The plan proposes some significant changes to signage as part of the remodel. Existing Welcome to Novi Sign is proposed to be relocated. Additional information will be required as the project moves forward.	Yes	<u>It appears that the proposed signs may require a ZBA approval for non-conformance.</u> For sign permit information contact Maureen Underhill at 248-347-0438.
Other Legal Requirements				
Welcome to Novi Sign	To be determined	License agreements may be required based on the proposed location	TBD	
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided, but is incomplete. It references existing layout.	No	
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			Indicate any additional building lighting is proposed?
Lighting Plan (Sec. 5.7.A.2)	Specifications for all proposed & existing lighting fixtures			
	Photometric data			
	Fixture height			
	Mounting & design			

Item	Required Code	Proposed	Meets Code	Comments
	Glare control devices			
	Type & color rendition of lamps			
	Hours of operation			
Maximum Height of the Poles (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)			
Lighting Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> ▪ Electrical service to light fixtures shall be placed underground ▪ Flashing light shall not be permitted ▪ Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred. 			
Avg/Min Ration (Sec.5.7.3.E)	Average to minimum light level of the surface being lit to the lowest light of the surface being lit not to exceed 4:1			
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps			
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min			
	Loading & unloading areas: 0.4 min			

Item	Required Code	Proposed	Meets Code	Comments
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			
	Building entrances, infrequent use: 0.2 min			
Max. Illumination adjacent to Non-Residential <i>(Sec. 5.7.3.K)</i>	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle			
Max. Illumination adjacent to Residential <i>(Sec. 5.7.3.L)</i>	<ul style="list-style-type: none"> ▪ Cut off angles of fixtures must be 90° adjacent to residential districts ▪ Max illumination at the property line shall not exceed 0.5 foot candle 			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

December 18, 2019

Engineering Review

Guernsey Farms Dairy Remodel
JSP19-0041

Applicant

McGuire Brothers, LLC

Review Type

Combined Preliminary & Final Site Plan

Property Characteristics

- Site Location: East side of Novi Road, between Eight Mile Road and Nine Mile Road
- Site Size: 2.97 acres
- Plan Date: 11/20/2019
- Design Engineer: Kalabat Engineering

Project Summary

- Remodel of an existing 26,062 square-foot building, with minor enclosure additions, and modification of existing parking and driveways. Site access would continue to be provided via two entrances on Novi Road.
- No alterations to existing water or sanitary sewer service are proposed.
- Storm water would continue to sheet flow untreated and undetained to Thornton Creek Diversion Drain.

Recommendation

Approval of the Combined Preliminary & Final Site Plan is recommended, with items to be addressed at Stamping Set submittal.

Comments:

The Combined Preliminary & Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

2. Provide the City's standard detail sheets for storm sewer (2 sheets- rev. 02/16/2018) and paving (2 sheets-rev. 03/05/2018) at the time of the Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
3. The same-side driveway spacing dimensions have been added and are acceptable. However, add opposite-side driveway spacing dimensions to show compliance with Section 11.216 and Figure IX.12 of the City's Code of Ordinances. A waiver granted by the Planning Commission may be required if driveway spacing requirements are not met. If needed, the Engineering Division supports this waiver request.
4. Since the 30-foot half right-of-way of Novi Road is not recorded or dedicated, do not show as "existing" on the plans. The dedication is requested as part of this project. If intending to dedicate, label the right-of-way as "proposed" rather than "existing".
5. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
6. Traffic signs in the RCOC right-of-way will be installed by RCOC.
7. Provide a traffic control plan and/or details for the proposed road work activities.
8. **The applicant should be aware that work is proposed in the City of Northville (i.e., west of the section line/centerline of the due north-south portion of Novi Road) and may be subject to permitting and/or review by the City of Northville. It is the applicant's responsibility to obtain all pertinent permits from that municipality prior to starting work.**
9. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas.

Storm Sewer

10. Since the culvert is proposed with less than 3 feet of cover, specify Class V pipe as the material.
11. The applicant is reminded the proposed culvert will require approval from Oakland County (applicant has noted an application will be submitted).
12. Other than removing two existing culverts and replacing with one proposed, no changes to existing storm system are proposed.

Storm Water Management Plan

13. Storm water presently sheet flows untreated and undetained to Thornton Creek Diversion Drain. Since impervious area is decreasing and the nature of the improvements is minor, no additional storm water measures would be required at this time.

Paving & Grading

14. Sidewalks along the Novi Road frontage are not proposed or required at this time. Site access is provided by designated on-site crosswalks.
15. Regarding the allowance of bumper blocks as an alternative to concrete curb and gutter, along with areas lacking either, the applicant's Design and Construction Standards Request for Variance from City Council is supported by Engineering.
16. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Revise curb detail accordingly, or else remove since City curb detail will be included on City standard detail sheets for paving.
17. Provide top of curb grades to indicate height of curb adjacent to parking stalls or drive areas.
18. The proposed drive approach on Novi Road appears to be concrete, according to the hatch. Specify with labeling or legend.
19. Planters have been depicted for the proposed trees in the sidewalk area surrounding the proposed building entrances, but not for shrubs. Show the forms/planters for the shrubs, as well.

Flood Plain

20. Although the 100-year floodplain encompasses portions of the property, the improvements are not currently proposed to impact the floodplain.

Soil Erosion and Sediment Control

21. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Off-Site Easements

22. No off-site easements are anticipated for the proposed improvements. If any are proposed, they must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.

The following must be submitted with the Stamping Set:

23. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
24. A draft copy of the warranty deed for the proposed 30-foot half right-of-way along Novi Road must be submitted for review and acceptance by the City. Please note this document must be submitted with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website.

The following must be addressed prior to construction:

25. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
26. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
27. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. All unused escrow will be returned to the payee at the end of the project. This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
28. A street sign financial guarantee in the amount of \$2000 (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
29. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
30. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the City website and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details and plan sheets applicable to the permit only.
31. A permit for work within the road right-of-way of Novi Road must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the road right-of-way will be constructed in accordance with the RCOC standards.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

32. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the warranty deed documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

33. Provide a warranty deed for the additional proposed road right-of-way along Novi Road for acceptance by the City.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Victor Boron at (248) 735-5695 with any questions.



Victor Boron
Civil Engineer

cc: Sri Komaragiri, Community Development
Angela Sosnowski, Community Development
Tina Glenn, Treasurers
Kristin Pace, Treasurers
Ben Croy, Engineering
Kate Richardson, Engineering
T. Meadows, T. Reynolds, Spalding DeDecker

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

December 3, 2019

Preliminary/Final Site Plan - Landscaping

Guernsey Dairy Remodel

Review Type

Combined Preliminary/Final Landscape Review

Job

JSP19-0041

Property Characteristics

- Site Location: 29000 Meadowbrook Road
- Site Acreage: 2.95 ac.
- Site Zoning: B-3
- Adjacent Zoning: North: B-3, East: South: R-4, West: Northville SFR
- Plan Date: 8/19/2019

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated for approval of the Preliminary Site Plan. Underlined items must be included in the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This letter and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Please use the current landscape ordinance in revising your calculations. It can be found at:
<http://cityofnovi.org/Reference/Code-of-Ordinances-and-City-Charter/18-283LandscapeStandards.aspx>

Recommendation

This project is **recommended for approval for Preliminary Site Plan, assuming the Planning Commission grants the waivers required, but not Final Site Plan.** The large number of landscape waivers is partially the result of an existing site with tight spacing. Due to this, most of the waivers are supported by staff, but some of them could be reduced or eliminated with more effort. Those and other modifications should be addressed on Final Site Plans.

LANDSCAPE WAIVERS REQUIRED:

- Lack of berm along right-of-way. *Supported by staff because a screening hedge is proposed between the parking in front of the building and the road and because, between the existing paving and the large tree to be preserved, there isn't room for the berm.*
- Deficiency in greenbelt width provided. *Supported by staff where the deficiency is an existing condition but the reduction in the provided greenbelt width at the south end is not supported by staff.*
- Lack of right-of-way greenbelt landscaping. *Supported by staff for areas where new landscaping can't be added due to existing spatial constraints but not where there is sufficient room to plant the required trees.*
- Lack of street trees. *Supported by staff due to lack of room within the Novi Road right-of-way for trees.*
- Deficiency in interior parking lot island area and trees (including landscaped endcaps) – *not supported by staff*
- Deficiency in parking lot perimeter trees provided – *Not supported by staff*

Please provide a list of all landscape waivers requested that includes the impact (ie deficiency in area or trees provided) on sheet Ip101.

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided.
2. **Please add tree fencing on the Demolition Plan as well as a tree protection fence detail.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is across the railroad track from the residential development to the east so no screening berm is required. The parking lot is at least 5 feet below the railroad tracks so the headlights from the parking lot are blocked by the berm and the trees on it.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt width and screening berm are not provided west of the building, and at the south end of the southern parking lot. **Landscape waivers are required for these deficiencies** but are supported by staff as they are existing conditions and hedges are provided to help block the headlights from shining at traffic on Novi Road. The waiver for the lack of greenbelt width is not supported for the section that would be decreased from the existing condition.
2. The number of canopy and subcanopy greenbelt trees is also deficient. **A landscape waiver is required for this.** Staff supports the deficiency for the section of parking lot west of the building because there is insufficient room for canopy and subcanopy trees.
3. There is room for all of the required canopy trees and some of the subcanopy trees in the large greenbelt area south of the large oak to remain. For this section, staff will support a lack of some of the subcanopy trees (not all), but not for the deficiency in canopy trees. **Please add trees where possible to decrease or eliminate the unsupported waiver areas that won't damage the existing oak tree.**
4. **A landscape waiver is required for the lack of street trees provided.** This waiver is supported by staff because there isn't sufficient room in the Novi Road right-of-way for the trees.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the paved area of the impacted parking areas, 1799sf of interior landscape area, 9 interior landscape trees and 17 perimeter canopy trees are required. Only 1358sf of qualifying area, 4 interior trees and 14 perimeter trees (including 2 double-counted greenbelt oaks) are provided.
2. **Landscape waivers are required for the deficiencies in area, interior trees, perimeter trees, and lack of trees in endcap islands.** Staff only supports the lack of a landscaped endcap island on the south side of the north entry (although it should be curbed), a deficiency of 4 interior trees (if the 5 ginkgoes are counted as perimeter trees), and a deficiency of 1 perimeter tree. There is room on the site for the additional trees to be planted in the southern unplanted endcap and along the east side of the parking lot to decrease the deficiencies to those numbers. **Please add the additional trees.**
3. **Please change the paved snow deposit area to a landscaped corner and move the adjacent tree to that corner island where it can be either an interior tree or perimeter tree (but not both).**
4. If desired, the interior island 3 spaces from the north end of the east bay could be moved southward to provide more spaces closer to the building.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. Based on the perimeter of the section of the building being remodeled, 2440 SF of landscape area is required and 685 SF is provided. **This deficiency requires a landscape waiver that is not currently supported by staff.**
2. Decorative paving can also be used toward the foundation landscaping requirement. Please show the area of decorative paving proposed (in SF), along with an image of the materials and what the paving will appear. With the proposed landscaping and the decorative paving, and possibly additional landscaping, the deficiency can be eliminated or reduced to a level that can be supported by staff.

Welcome to Novi sign relocation

1. The plans indicate that the existing sign will be moved to a site about 90 feet south of the new entry's south edge (approximately 105 feet south of its existing location, still within the right-of-way).
2. **Please get permission from the city for this move. Sheryl Walsh, of the Community Relations department, must approve its new location.**

Plant List (LDM 2.h. and t.)

1. Provided
2. 3 of 5 species used (60%) are native to Michigan. This is acceptable.
3. The tree diversity standard of the Landscape Design Manual section 4 is not met (only 3 species are used, and 45% of the trees provided are ginkgoes. This is not acceptable. **Please use additional tree species for the additional greenbelt and parking lot plantings to bring the percentage of ginkgoes and honeylocusts down to a level closer to the 15%/25% level required. (When additional species are added, the total number of native species should not dip below 50%).**

Planting Notations and Details (LDM)

1. Provided
2. **Please add and revise notes per the detailed instructions on the landscape chart.**
3. **Please provide a detail for how the ginkgo tree roots will be protected from compaction and receive enough water and air for their survival. The proposed river rock is not sufficient.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. If no detention basin is required by Engineering, then no detention basin landscaping is required.
2. **Please identify all areas of the site with *Phragmites australis*.** If any is found, please add a plan for its complete eradication. If none is found, please note that on the existing conditions sheet.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. A note indicates that the plantings will be hand-watered.
2. **Please show the locations of hose bibbs on the building to be used for watering on the landscape plan.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader meader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY/FINAL SITE PLAN

Review Date: December 3, 2019
Project Name: Guernsey Dairy Remodel
Plan Date: August 19, 2019
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant for approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

Please use the current landscape ordinance in revising your calculations. It can be found at: <http://cityofnovi.org/Reference/Code-of-Ordinances-and-City-Charter/18-283LandscapeStandards.aspx>

LANDSCAPE WAIVERS REQUIRED:

- Lack of berm along right-of-way. *Supported by staff because a screening hedge is proposed between the parking in front of the building and the road and because, between the existing paving and the large tree to be preserved, there isn't room for the berm.*
- Deficiency in greenbelt width provided. *Supported by staff where the deficiency is an existing condition but the reduction in the provided greenbelt width at the south end is not supported by staff.*
- Lack of right-of-way greenbelt landscaping. *Supported by staff for areas where new landscaping can't be added due to existing spatial constraints but not where there is sufficient room to plant the required trees.*
- Lack of street trees. *Supported by staff due to lack of room within the Novi Road right-of-way for trees.*
- Deficiency in interior parking lot island area and trees (including landscaped endcaps) – *not supported by staff*
- Deficiency in parking lot perimeter trees provided – *not supported by staff*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	<ul style="list-style-type: none"> ▪ Proposed plantings on Sheet LP101 ▪ Site plan scale: 1"=30' 	Yes	
Project Information <i>(LDM 2.d.)</i>	Name and Address	Address and business name on LP101	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Address and business name on LP101	Yes	

Item	Required	Proposed	Meets Code	Comments
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Plans were created by architectural firm – allowed based on extent of building addition.	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Plans were created by architectural firm – allowed based on extent of building addition.	Yes	
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	No	No	Please include on landscape plan
Zoning (LDM 2.f.)	Include all adjacent zoning	Shown on G001 Site: B-3 East, South: RR tracks, R-4 North: B-3, P-1 West: Northville SFR, Commercial	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	Topo Survey and legal description on Sheet 1 (6 th sheet in set).	Yes	Please change the sheet number so it is easier to find in the set.
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. 	<ul style="list-style-type: none"> ▪ All existing trees appear on Sheet 1 ▪ Tree chart does not include all trees shown ▪ Description and size are shown with callouts for all trees not in the chart ▪ No tree protection fence for existing trees is provided. 	<ul style="list-style-type: none"> ▪ Yes ▪ No 	<ol style="list-style-type: none"> 1. The only tree that would require replacement, based on its size, since the site does not have regulated woodlands on it, would be the large white oak, which is being saved. 2. Please show tree protection fencing for all trees on the site that are to remain. 3. Please add a tree protection fence detail, showing the fence at 12" outside of the dripline. 4. Please have an arborist evaluate the health of the existing pines along the east side of the parking lot, as they appear to be failing. If they die,

Item	Required	Proposed	Meets Code	Comments
				they must be replaced.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	Sheet C3.0	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Proposed revised layout shown on Landscape Plan	Yes	Please provide separate landscape plan with proposed layout.
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts 	<ul style="list-style-type: none"> • Existing utilities shown – there are no overhead utility lines • No proposed changes are shown • All existing light poles are shown and no new poles are proposed. 	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> • Proposed elevations and existing contours are provided on Sheet C3.0 • No new berms are proposed 	Yes	See the discussion regarding the berm requirements below.
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	At both ends of the site	No	<ol style="list-style-type: none"> 1. The snow deposit area on the south end should be a landscaped area with a tree in it, not paved, as it will be used for parking when there is not snow there, effectively creating a 16 space parking bay. 2. Please change that corner to a landscaped corner and move the snow deposit area to the south end of the parking lot.

LANDSCAPING REQUIREMENTS

Item	Required	Proposed	Meets Code	Comments
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed of loam with 6" top layer of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements <i>(Zoning Sec 5.5.A)</i>	No screening berm is required because a railroad separates Guernsey's lot from the residential development to the east.	<ul style="list-style-type: none"> ▪ Single Family residential homes are across the railroad track berm ▪ Trees exist on the berm and are scheduled to remain ▪ There are no homes directly across the tracks from the parking lot and the existing berm between the homes and the railroad tracks are at least 5 feet tall with evergreen trees and other vegetation. 	Yes	
Planting requirements <i>(LDM 1.a.)</i>	LDM Novi Street Tree List	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed.	NA	If any walls are proposed please include them on the landscape plan.
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> ▪ Adjacent to pkg: 20 feet ▪ Not adjacent to pkg: 25 feet 	<ul style="list-style-type: none"> ▪ 8-55 feet ▪ All adjacent to parking 	No	<ol style="list-style-type: none"> 1. A landscape waiver is required for areas with less than required greenbelt width. 2. Most of the greenbelt deficiencies are existing conditions so

Item	Required	Proposed	Meets Code	Comments
				<p><i>the waiver would be supported for those areas.</i></p> <p>3. It appears that the applicant is increasing the deficiency near the pole sign location. <i>The waiver for that area is not supported by staff.</i></p>
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	<ul style="list-style-type: none"> ▪ Adjacent to parking: 3 feet ▪ Not adjacent to parking: Not required 	Hedge is proposed between the parking bays and the road in lieu of a berm.	No	<p>1. A landscape waiver is required for the lack of the required greenbelt berm.</p> <p>2. <i>As there is either no room for the berm or the berm would negatively impact the large oak tree, and the hedge will block headlights better than is currently done, the waiver is supported by staff.</i></p>
Minimum berm height (9)	<ul style="list-style-type: none"> ▪ Adjacent to parking: 3 feet ▪ Not adjacent to parking: Not required 	None	No	See above
3' wall	<ul style="list-style-type: none"> ▪ (4)(7) 	None		
<p>Canopy deciduous or large evergreen trees Notes (1) (10)</p>	<p><u>Calculations for area undergoing modifications only</u></p> <ul style="list-style-type: none"> ▪ Adjacent to pkg with pkg between ROW and building: 1 tree per 75lf frontage (net of access drives) ▪ $(230-64)lf/75 = 2$ trees ▪ Adjacent to pkg: 1 tree per 35 lf frontage (net of access drives) ▪ $(225-49)lf/35 = 5$ trees 	<ul style="list-style-type: none"> ▪ 0 existing trees where pkg is between ROW & bldg ▪ 3 trees between ROW & parking south of building 	No	<p>1. Please revise the calculations per the revised ordinance.</p> <p>2. Please provide all required trees in the greenbelt of the southern section</p> <p>3. A landscape waiver is required for any trees not provided.</p> <p>4. <i>This waiver would be supported by staff for the parking area west of the building as there is not sufficient room for the trees.</i></p> <p>5. It would not be</p>

Item	Required	Proposed	Meets Code	Comments
				<i>supported for the section of parking south of the building as it appears there is sufficient room for the required trees.</i>
Sub-canopy deciduous trees Notes (2)(10)	<p><u>Calculations for area undergoing modifications only</u></p> <ul style="list-style-type: none"> ▪ Adjacent to pkg with pkg between ROW and building: 1 tree per 40lf frontage (net of access drives) ▪ $(230-64)lf/40 = 4$ trees ▪ Adjacent to pkg: 1 tree per 20 lf frontage (net of access drives) ▪ $(225-49)lf/20 = 9$ trees 	None	No	<ol style="list-style-type: none"> 1. Please revise the calculations per the revised ordinance. 2. Please provide all required trees in greenbelt for southern section 3. A landscape waiver is required for any trees not provided. Justification must be provided for any trees not provided. 4. <i>This waiver would be supported by staff for the parking area west of the building as there is not sufficient room for the trees.</i> 5. <i>It would not be supported for the section of parking south of the building as it appears there is sufficient room for at least some of the required trees. There may not be sufficient room to plant all of the trees without negatively impacting the existing oak, so a waiver for some of them would be supported, but some should be provided where possible.</i>
Shrubs Notes (4)(6)	<ul style="list-style-type: none"> ▪ Adjacent to pkg with pkg between ROW and building: 1 shrub per 20lf frontage (net of access drives) ▪ $(230-64)lf/20 = 8$ shrubs 	A hedge is provided at end of parking spaces but no additional shrubs.	No	<ol style="list-style-type: none"> 1. The lack of required shrubs requires a landscape waiver. 2. <i>This waiver would be supported by staff as there is no room for additional shrubs in</i>

Item	Required	Proposed	Meets Code	Comments
				<i>the area where they should be planted per the ordinance.</i>
Canopy deciduous trees in area between sidewalk and curb <i>(Novi Street Tree List)</i>	1 tree per 35lf frontage (net of sight vision zones)	None	No	<ol style="list-style-type: none"> The lack of street trees requires a landscape waiver. <i>As the existing ditch does not leave room for street trees, this waiver is supported by staff.</i>
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Constructed of loam 6" top layer of topsoil 	No new berms are proposed		If new berms are proposed, please include typical cross section details for each berm provided to landscape plans.
Type of Ground Cover		None	No	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole		TBD	Please space proposed trees appropriately from all underground utilities.
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements <i>(LDM 1.c)</i>	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	Clear vision areas are provided	Yes	
Name, type and number of ground cover <i>(LDM 1.c.(5))</i>	As proposed on planting islands	Seed and river rock are proposed.	No to river rock	Please use live groundcovers in place of the river rock in the island, and tree grates or porous paving for the ginkgoes where compacting foot traffic will be frequent.
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands <i>(a, b. i)</i>	<ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per tree planted in island 6" curbs Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> Islands are shown – some with no trees Proposed islands are only striped, not curbed or landscaped. 	No	<ol style="list-style-type: none"> Please add deciduous canopy to all landscaped islands. Please dimension the widths of all landscape islands. If islands aren't sufficiently large, please enlarge them as required.

Item	Required	Proposed	Meets Code	Comments
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 17 feet long	Yes	
Contiguous space limit (i)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaces All endcap islands should also be at least 200sf with 1 tree planted in it. 	Maximum bay for parking areas is 14 spaces long, plus the 25 foot long (2 spaces minimum) paved snow deposit area, (which would be used for parking during the non-snow months)	No	<ol style="list-style-type: none"> A landscape waiver is required for the longer bay as it is configured. <i>It is not supported by staff.</i> Please make the end island a landscaped island with a tree and deposit the snow at the end of the aisle, not a paved area. The interior island in along the east side could be moved more to the south to provide more spaces closer to the building if desired.
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins)	No hydrants are located south of the north exit point.		
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Rock is used in some islands	No	Please use grass in the islands, not rock.
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	Yes	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$ $A = (9306+14681) \times 7.5\% = 1799 \text{ sf}$	1758 SF (see calculations below)	No	Please revise the calculations per the current ordinance.
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000	$A = x \text{ SF} \times 5\% = A \text{ sf}$	NA		

Item	Required	Proposed	Meets Code	Comments
sf x 5%				
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\%$ $= B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	<ul style="list-style-type: none"> ▪ C = A + B ▪ 1799 + 0 = 1799 SF 	1758 sf -The 200sf end island is striped so it can't count toward the area provided -The 200sf endcap without a tree also can't be counted toward the total 1358 sf provided	No	<ol style="list-style-type: none"> 1. Please revise the calculations per the current ordinance. 2. Please provide all island area required. 3. All interior and endcap islands must have a canopy tree planted in them to count toward the landscape area requirement and all endcaps must have trees in them. Please add a canopy tree in the southwestern endcap island. 4. The deficiency in area requires a landscape waiver <i>that is not supported by staff</i>
D = D/200 Number of canopy trees required	<ul style="list-style-type: none"> ▪ D/200 = xx Trees ▪ 1799/200 = 9 trees 	4 trees	No	<ol style="list-style-type: none"> 1. Please revise the calculations per the current ordinance. 2. Add trees to meet the requirement 3. A waiver would be required for all island area or trees not provided. 4. <i>The waiver should be reduced as much as possible by adding trees where they can be added, including in the endcap island at the south entry. If there are no more reasonable places to plant trees, a landscape waiver for the remaining trees</i>

Item	Required	Proposed	Meets Code	Comments
				<i>would be supported by staff.</i>
Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)	1 Canopy tree per 35 lf 763 – 163 (narrow greenbelt area west of building)/35 = 17 trees	14 trees (7 existing, 7 proposed), 5 of which are evergreen and 2 of which are greenbelt canopy trees within 15 feet of the paving	No	<ol style="list-style-type: none"> Please provide all required trees within 15 feet of the curb. A landscape waiver is required for all required trees not provided. <i>It would be supported for the narrow greenbelt area west of the building. It would also be supported for the trees remaining that couldn't be planted due to a lack of reasonable area.</i>
Parking land banked	NA	No		
Other Landscaping				
Other Screening				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		Loading area in the rear of the site (east side) is unchanged.		
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	No utility boxes are shown		<ol style="list-style-type: none"> Provide proper screening for any transformers. Include city standard detail with other landscape details.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building involved in the project (less paved access areas) x 8 with a minimum width of 4 ft (for modified areas only) 305 lf x 8ft = 2440 SF 	Shrubs and vines are proposed along the base of the building and walls. 685 sf landscape area	No	<ol style="list-style-type: none"> Please provide calculations for total building perimeter. Note – pedestrian walks along the building may not be deducted, only the widths of the doors. Please provide required foundation landscaping with labels showing SF of

Item	Required	Proposed	Meets Code	Comments
				foundation areas. 4. Please provide a detail of paving at building – decorative paving can be used to meet the foundation landscaping requirement. 5. A landscape waiver is requested for the deficiency in foundation landscaping provided. Please work to reduce the deficiency as much as possible. <i>Currently it is not supported by staff.</i>
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	60%	Yes	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements <i>(Sec. 5.5.3.E.iv)</i>	<ul style="list-style-type: none"> ▪ Clusters of large native shrubs shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	None proposed as there is no detention basin on the site and no basin is proposed.	TBD	
Phragmites Control <i>(Sec 5.5.6.C)</i>	<ul style="list-style-type: none"> ▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	None indicated	TBD	1. Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its complete removal. 2. If none is found, please indicate that on the survey.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 2.I. & Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> • Provide intended dates • Should be between March 15 and 	Between Mar 15 and Nov 15	Yes	

Item	Required	Proposed	Meets Code	Comments
	November 15.			
Maintenance & Statement of intent <i>(LDM 2.m & Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	<ul style="list-style-type: none"> • 2 year guarantee • No maintenance note 	<ul style="list-style-type: none"> • Yes • No 	Please add maintenance note
Plant source <i>(LDM 2.n & LDM 3.a.(2))</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan <i>(LDM 2.s.)</i>	A fully automatic irrigation system and a method of draining OR an alternate method of providing required water to plants is required with Final Site Plan.	A note indicates that all plantings will be watered by hose.	TBD	<u>Please show the location(s) of hose bibb(s) on the landscape plan that will be used to water the plantings</u>
Welcome to Novi Sign		Sign is shown as being relocated to a spot about 90 feet south of the new entry's south edge.	TBD	Please verify that that location is acceptable in terms of topography, visibility and acceptance by the city's department of Community Relations.
Other information <i>(LDM 2.u)</i>	Required by Planning Commission	NA		<ol style="list-style-type: none"> 1. Please provide a detail for the area in which the gingkoes will be planted – porous pavement, tree grate, etc., to prevent soil compaction in the root zones. 2. Please maximize the area through which the trees' roots can get water and air.
Establishment period <i>(Zoning Sec 5.5.6.B)</i>	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. <i>(Zoning Sec 5.5.5.E)</i>	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	Please underline this note
Plant List (LDM 2.h.) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	A plant list is provided on Sheet LP101	Yes	

Item	Required	Proposed	Meets Code	Comments
Root type		No	No	Include Container or B&B on plant list
Botanical and common names		<ul style="list-style-type: none"> ▪ 3 of 5 species used are native to Michigan. ▪ The tree diversity is very limited. 	<ul style="list-style-type: none"> ▪ Yes ▪ No 	Please follow the tree diversity guidelines in Section 4 of the Landscape Design Manual. By adding other species to meet the parking lot tree requirements more closely, and adding subcanopy greenbelt trees, the balance should improve.
Type and amount of lawn		Lawn seed mix is specified	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	No	No	1. <u>Please add on Final Site Plans.</u> 2. <u>Use \$3/syd for seed cost, \$15 ea for ivy.</u>
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		NA		
Multi-stem Tree		NA		Add if necessary
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	1. Please include detail showing fence one foot outside of dripline. 2. Show tree protection fence lines for all trees to be saved on the Demolition Plan.
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	No trees are shown as being removed		
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees	No		

Item	Required	Proposed	Meets Code	Comments
	outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM			
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Yes		
Plant size credit (LDM 3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No invasive plants proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	NA		
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 	Included in planting details		

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP19-0041 – Guernsey Farms Dairy Remodel
Combined Preliminary and Final Site Plan Traffic
Review

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

From:
AECOM

Date:
December 17, 2019

CC:
Sri Komaragiri, Lindsay Bell, Kate Richardson,
Madeleine Kopko, Victor Boron

Memo

Subject: JSP19-0041 –Guernsey Farms Dairy Remodel Combined Preliminary and Final Site Plan Traffic Review

The preliminary and final site plan submittal was reviewed to the level of detail provided and AECOM **recommends approval for the preliminary site plan and denial for the final site plan** based on the need for additional or updated information required in order to properly complete the review.

GENERAL COMMENTS

1. The applicant is proposing changes to the parking lot area and small additions to the restaurant. The building is proposed to be 26,538 SF with the minor additions.
2. The development is located on Novi Road, south of 9 Mile Road. The segment of Novi Road is under the jurisdiction of the City of Northville.
3. Summary of traffic-related waivers/variances:
 - a. A variance may be required for opposite side driveway spacing.
 - b. The applicant has indicated they will be seeking a variance for the use of painted islands and bumper blocks in place of raised end islands and curbs.
 - c. A variance may be required for lack of a six foot aisle provided for bicycle parking.
 - d. A variance may be required for the proposed white “spilt milk” pavement markings.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation estimate based on the ITE Trip Generation Manual, 10th Edition, due to the fact that the building footprint is not changing significantly and the land use codes will also not be changing.
2. The land use for the site is not changing. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant is proposing to remove two (2) existing driveways and add a new entrance to the facility.
 - a. Dimensions for the proposed driveway are indicated, including width and radii. The dimensions are within the standard ranges as shown in Figure IX.1 of the City's Code of Ordinances. The applicant could revise to the standard dimensions. The applicant has dimensioned same side driveway spacing along Novi Road but should also indicate opposite side driveway spacing to ensure compliance with Section 11.26.d and Figure IX.12 of the City's Code of Ordinances. A waiver may be required if opposite side driveway spacing requirements are not met.
 - b. There is no existing sidewalk located along the property and the applicant is not proposing to construct sidewalk.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. The applicant is not proposing any changes to the existing loading zone area.
 - a. The applicant could include truck turning movements for trucks accessing the existing loading area along the back of the building.
2. The applicant is not proposing any changes to the existing trash enclosure.
3. The applicant has indicated aisle widths throughout the site that meet City standards.
4. The applicant has indicated that the traffic through the new parking area is to be one-way. However, the driveway servicing the area is indicated to be two-way on sheet C2.0. The applicant should revise the plans to match the one-way operations.
5. Parking Facilities
 - a. The applicant should refer to the Planning Review letter for information related to parking space requirements within and around the site.
 - b. The applicant is proposing no more than 15 parking spaces adjacent without an island, which is in compliance with City requirements.
 - c. The applicant has indicated one pavement marking island and one "green space" island without curb. Per Section 5.3.12 of the City's Zoning Ordinance, raised end islands are required but a waiver may be granted for this requirement. The applicant has indicated they are seeking this waiver. AECOM would support this waiver with the condition that the bumper block waiver is also granted.
 - i. The end island on the north side of the carry out parking spaces is more than 3 feet shorter than the adjacent parking space. The applicant should extend the landscape area as close to 3 feet shorter than the parking space as possible while maintaining the required radius.
 - d. The applicant has indicated a 6" curb height which is in compliance with City standards.
 - e. The applicant is proposing four (4) accessible spaces.
 - i. The applicant should indicate which spaces are van accessible with appropriate signage. One (1) space is required to be van accessible.
 - ii. The detail for the accessible spaces on sheet C2.1 should be updated to account for the angled parking condition present in the site plan.
 - f. The applicant has provided details for the parking bumper blocks.
 - i. The applicant has indicated they are seeking a waiver for the use of bumper blocks in lieu of curbs.
 - ii. Parking bumpers are to be yellow in color.
 - iii. Parking bumpers are to be placed such that the face of the parking bumper is 17 feet from the access aisle. Current detail specifies the back of the parking bumper is to be located two (2) feet from the back of the parking space, leaving only 14.5' for the parking space with the 17' spaces specified in the site plan. The detail should be updated.

- iv. Parking bumpers are to be placed such that a 3 foot access aisle is maintained between parking bumpers.
 - v. Parking bumpers should be added to the parking spaces on the east side of the parking lot.
 - g. The applicant has indicated where bicycle parking is to be located on site.
 - i. The applicant should indicate the design and layout of bicycle parking in future submittals. Refer to Section 5.16 of the City's Zoning Ordinance for City requirements.
 - 1. The bike racks are required to be of the inverted "U" design and a minimum of 36" high. A detail for the racks intended to be used should be provided.
 - 2. The site plan indicates four (4) bike racks are to be installed. The layout provided is for three (3) bike racks each to the side of the access aisle. The applicant should provide a layout that matches the footprint presented in the site plan.
 - ii. Note that a six foot accessible route is required from the adjacent street to the bicycle parking facilities.
 - 1. A six foot wide ramp should be provided from the bike parking to the parking lot surface. The applicant has indicated there is insufficient space to meet the six foot requirement. The applicant should seek a waiver if this requirement cannot be met.
6. Sidewalk Requirements
- a. The applicant has indicated a proposed sidewalk ramp and should include the latest Michigan Department of Transportation (MDOT) sidewalk ramp detail.
 - b. Note that sidewalk ramps are required near the accessible parking spaces.
 - c. The applicant has indicated a pedestrian path delineated with pavement markings. A detail has been provided.
 - d. The applicant could consider adding a striped pathway between the carry out parking spaces and the carry out entrance.

SIGNING AND STRIPING

- 1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD).
 - a. The applicant should provide a signing quantities table and additional details (MMUTCD designation and proposed size).
 - i. Accessible parking signs are to be MMUTCD code R7-8. Van accessible placards are MMUTCD code R7-8P and must be accompanied by a R7-8 sign.
 - ii. The applicant should include proposed signing for the one-way operation.
 - iii. The applicant should include details for the proposed carry-out signing shown on sheet G001.
- 2. The applicant should indicate all of the proposed signing on site and provide notes and details related to the proposed signing.
 - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
 - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
 - d. Traffic control signs shall use the FHWA Standard Alphabet series.
 - e. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
- 3. The applicant has included notes for the proposed color and width of the accessible parking pavement markings.
 - a. The applicant should also include notes for the proposed color and width of the standard parking stalls and should note that where a standard space is adjacent to an accessible space, abutting blue and white (or yellow) stripes shall be installed.
- 4. The applicant has provided a detail for the proposed crosswalk pavement markings. The applicant should indicate the color of the proposed crosswalk pavement markings.

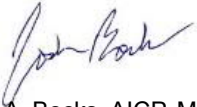
Memo

5. The applicant has provided a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.
6. The applicant should provide a detail for the proposed pavement marking arrows.
7. The applicant should provide a detail for the proposed hatched pavement marking area on the south end of the parking lot.
8. The applicant is proposing painted white "spilt milk" markings on sheet G001. Details for this should be included in future submittals and a waiver may be required.
9. The applicant should include any maintenance of traffic details required when working along Novi Road.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Josh A. Bocks, AICP, MBA
Senior Transportation Planner/Project Manager



Patricia Thompson, EIT
Traffic Engineer

FACADE REVIEW



December 16, 2019

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Façade Review Status Summary:
Approved, Section 9 Waiver Recommended.

Re: **FACADE ORDINANCE REVIEW**
Guernsey Farms Dairy Remodel, JSP19-41
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project based on the drawings and sample board prepared by Ronandroman Architects, dated 11/20/19. The proposed percentages of materials on each elevation are shown in the table below. The maximum percentage allowed by the Ordinance is shown in the right hand column.

	West (front)	South	East	North	Façade Ordinance Section 5.15 Maximum
Brick (existing)	47%	30%	UN	UN	100% (30% Minimum)
EIFS	41%	59%	UN	UN	25%
Granite (base)	2%	1%	UN	UN	50%
Fabric Awning	0%	9%	UN	UN	10%
Flat Metal (Canopy & Coping)	10%	1%	UN	UN	50%
UN = Unaltered					

This project is considered a Façade Alteration as described in Section 5.15.6 of the Façade Ordinance. The proposed façade alteration consists primary of replacing existing asphalt shingle mansard roof with new EIFS wall panels and addition of a more well-defined front entrance. It appears from the rendering and drawings that the existing Brick will not be painted (painted Brick is not permitted by the Façade Ordinance). Section 5.15.6 of the Ordinance states that when new materials are proposed for an existing building façade, the entire façade shall be brought into compliance. As shown above the minimum percentage of Brick is provided and all materials are in full compliance with the Ordinance with the exception of the EIFS on the west and south facades. A Section 9 Waiver is required for this deviation.

Recommendation – In this case the EIFS represents a significant aesthetic improvement as compared to the existing material that it replaces (asphalt shingles). We believe that the proposed alteration will represent a significant improvement to the overall appearance of the building. Therefore, it is our recommendation that this application is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of EIFS on the west and south facades.

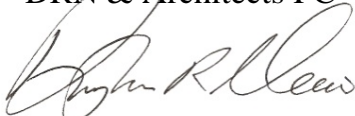
Notes to the Applicant:

1. Façade Ordinance requires façade inspection(s) for all projects. Materials and colors must be consistent with those displayed on the approved sample board or otherwise approved. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time, prior to installation. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.
2. All roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Chart and harmonious with other façade materials.
3. Changes in façade materials and/or colors from what was submitted and approved will require reapplication. It is the applicant's responsibility to submit such changes prior to the aforementioned façade inspection request.
4. No dumpster enclosure is indicated on the Site Plan. In the event that a dumpster enclosure is required, it should be constructed of materials matching the primary structure (Brick).

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,

DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



December 9, 2019

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Madeleine Kopko-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
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Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

RE: Guernsey Farms Dairy Remodel

PSP# 19-0166

PSP# 19-0147

Project Description:

Parking lot renovations

Comments:

Meets fire department's standards

Recommendation:

APPROVED

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal stroke extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

R O N A N D R O M A N

January 3, 2020

City of Novi Planning Department
45175 W. 10 Mile Road
Novi, MI 48375

Re: Plan Review Center Report- Guernsey Farms Dairy

Dear Ms. Komaragiri,

We have received your Planning Review dated December 12, 2019, and are submitting this response to your questions and comments. We believe that this re-submittal has now addressed all of your concerns and issues.

The following includes your line item followed by our responses, noted in red:

Ordinance Requirements

1. **Railroad ROW:** It appears that a part of loading area and drive aisle encroaches onto Railroad Right-of-way. The current site plan is not proposing any changes in that area. Current site plan approval does not include approval of the pre-existing conditions. The applicant indicated in the response letter that they reached out to the railways and is awaiting a response. Please provide an update with the next submittal. Some of the existing parking perimeter trees are located within the railroad right of way. Applicant is asked to determine if there is an off-site easement for the location of the trees and landscaping. Current site plan approval does not include approval of the pre-existing conditions. The applicant should address this item in the response letter.
The owners are still investigating any possible easement that may exist with the railroad ROW, or if an additional easement is needed.
2. **Site Plan Submittal:** The current site plan has a number of missing information and inconsistencies. Please refer to all review letters in detail. Few major items are listed below that need to be addressed with revised submittal:
 - a. Please label a sheet as Preliminary/Final site plan. This should include all the parking information, dimensions and all related site improvements per site and development manual.
Sheet C2.0 will be labeled accordingly
 - b. Sheet G001 refers to one-way circulation. All other sheets refer to two way entry at two proposed curb cuts. Please revise to be consistent.
The other sheets will be revised to show one way circulation
 - c. Sheet G001 refers to a painted island to the south of northern entryway (see below). It is not consistent in the sheet set. For example, sheet C2.0 do not show the painted island.
The drawings will be modified to show the painted island
 - d. Please provide the 18 feet dimension for the proposed angled parking as shown in this image and the location of the wheel stops.
18 ft dimension will be provided
3. **Welcome to Novi Sign:** The plan proposes relocating the existing Welcome to Novi sign which is currently located on their property. We provide the following comments:

R O N A N D R O M A N

- a. *The proposed location appears to be located within a parcel owned by Road Commission of Oakland County for Right-of-way purposes. It is also proposed within Northville City limits. Additional permits from outside agencies may be required for this location.
We will relocate the sign to not be in any other jurisdictions*
 - b. *The proposed site plan sheet should also indicate the location of existing billboard.
The billboard and notation will be added to this sheet.*
 - c. *Staff recommends three alternate locations for relocation. The approximate general areas are as shown in the image below numbered in the order of preference. These will provide better visibility and are within City of Novi city limits.
We will be going with Option 2, and will show the exact location on the revised drawings.*
 - d. *The applicant should work with the City of Novi Community Development and Community Relations staff to identify the procedure for relocation.
We will coordinate with the city of Novi for relocation*
4. *Parking lot Improvements: The existing parking lot is considered legal non-conforming as it does not meet the requirements of minimum parking setbacks and has the required curb. Proposed improvements are making the circulation slightly better and adding some landscape. However, the area where the changes are proposed is expected to meet the current standards. Following items would require approval from the Planning Commission, the City Council and the Zoning Board of Appeals:*
- a. *End Islands: Per section 5.3.12, End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance. The proposed layout is proposing three end islands. The end island next to carry out spaces does not have a raised curb and do not meet the dimensional requirements. The island south of the carry out spaces does not have a raised curb. A Zoning Board of Appeals variance is required for this deviation as it deviates from the Zoning Ordinance requirements. As an alternate, the applicant could revise the end islands to meet the requirements.
We have submitted with Zoning Board of Appeals for this issue.*
 - b. *Wheel stops: Per Section 5.5.3.C.ii.c. Landscape standards, wheel stops or curbing shall be installed to prevent vehicles from encroaching more than two (2) feet into any parking landscape area. The applicant should include wheel stops for the proposed parking along the Railroad ROW.
The parking wheel stops will be added at this location*
 - c. *Bicycle Parking Layout: Per section 5.16.6.D. the Planning Commission can approve deviations from bike layout requirements as listed below. All waivers are supported by staff.*
 - A. *Bike parking is proposed to be accessed by five foot sidewalk, while six foot minimum is required. Handicap accessible signage is proposed on the sidewalk which may obstruct the accessibility. The applicant should relocate the barrier free parking signage either on the building façade or on the pavement in front the wheel stops.
We will be relocating the barrier free parking signage on the pavement in front of the wheel stops*
 - B. *When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations. All 8 spaces are proposed at one location near the single entrance to the facility.
We will be adding (2) more bike racks to the east of the new carry-out entrance*
 - C. *Spaces to be paved and the bike rack shall be inverted "U" design. Proposed bike rack design is acceptable.
Noted*

R O N A N D R O M A N

- d. *Lack of curb and gutter: Per Sec. 11-239(b)(1),(2) of Novi City Code, Driveway and parking lot surfacing requirements, the entire parking area including parking spaces and maneuvering lanes are required to be hard-surfaced and curbed. The proposed parking lot improvements proposed either wheel stops or no curb along the driveway and parking lot perimeter. A City Council variance approval is supported by staff.*

Noted

5. *Lighting and Photometric Plan: The lighting and photometric plan appears to be incomplete. However, additional detail is required to complete the review. Please refer to plan review chart for standard requirements. Please clearly indicate what are existing and the proposed locations.*

The photometric plan will be revised

6. *Plan Review Chart: Planning review chart provides additional comments and requests clarification for certain items. Please address them in addition to the comments provided in this letter.*

A separate letter response is submitted

7. *Other Reviews: Following reviews are recommending approval of Preliminary site plan, but not the final site plan: Traffic and Landscape. A revised submittal as noted in the next section is required.*

Revised submittal will be done

We hope this letter provides you with the clarification and responses you require. Please contact us should you require additional clarification, or to discuss any response item.

Respectfully submitted,

*Roman Bonislowski, RA
Ron and Roman, Inc.*

R O N A N D R O M A N

January 3, 2020

City of Novi Planning Department
45175 W. 10 Mile Road
Novi, MI 48375

Re: Planning Review Chart Response- Guernsey Farms Dairy

Dear Ms. Komaragiri,

We have received your Planning Review Chart dated December 12, 2020, and are submitting this response to your questions and comments. We believe that this re-submittal has now addressed all of your concerns and issues.

The following includes your comments needing response followed by our responses, noted in red:

Height, Bulk Density and Area Limitations

- A portion of existing loading area and related drives in the back encroach into the Railroad Right-of-way. The current site plan is not proposing any changes in that area. Current site plan approval does not include approval of the pre-existing conditions. The applicant indicated in the response letter that they reached out to the railways and is awaiting a response.
Correct. We are still awaiting a resolution.

Building Setback

- Label Setbacks on Plans
Setbacks will all be labeled.

Parking Setback

- Railway right-of-way between residential. The use does not abut residential. Label Setbacks on Plans.
Setbacks will be labeled on plans

Parking Setback Screening

- See landscape letters for additional details. Some of the existing parking perimeter trees are located within the railroad right-of-way. Applicant is asked to determine if there is an off-site easement for the location of the trees and landscaping. Current site plan approval does not include approval of the pre-existing conditions. The applicant should address this item in the response letter
See landscape review responses. See previous response to railroad right-of-way.

Parking Loading and Dumpster Requirements

- End islands. An end island without a raised curb requires a variance from the Zoning Board of Appeals. Please review the plan to propose a curb around end islands
We have submitted for Zoning Board of appeals approval for this end island curb issue.
- Barrier Free Signs. Provide the required signage
The required signage will be provided on revised drawings.
- Bicycle Parking General Requirements. Planning Commission approval for the deviation from the standards is required.
We will be looking for Planning Commission approval for the 5' aisle in lieu of 6' aisle. All other issues will be changed in revised submittal.
- Bicycle Parking Lot Layout. Provide the required information. Refer to traffic review for more detail

R O N A N D R O M A N

See Traffic responses. Layout will be revised per ordinance.

Outdoor Restaurants

- *Pathway. Staff Recommends a railing to protect the outdoor users from the vehicular traffic. We will be relocating the bistro tables and chairs closer the building (not right at curb line). We feel the slow moving traffic from the new parking layout and the steel bollards should be sufficient.*
- *Enclosure. Please confirm alcohol is not served at this location. Alcohol is not served at the outdoor patio portion of this restaurant, only inside.*

Sidewalk Requirements

- *Sidewalks. Refer to engineering review for more details. A marked pedestrian pathway is proposed across a portion of parking lot. See engineering review response.*

Building Code and Other Design Standard Requirements

- *General Layout and Dimensions of Proposed Physical Improvements. Location of all existing and proposed buildings, proposed building heights, building layouts, location of proposed parking and parking layouts, streets and drives and indicated square footage of pavement area (indicate public or private). See other review responses.*
- *Economic impact. Total cost of the proposed building and site improvements. Number of anticipated jobs created (during construction and after building is occupied). Required prior to Planning Commission meeting. A chart has been added to Sheet G001 showing the anticipated economic impacts. 30-60 trade jobs created. 12 new restaurant and ice cream jobs created and a total cost of proposed building of \$500,000.00*

Other Permits and Approvals

- *Development/ Building Sign. Signage if proposed requires a permit. It appears that the proposed signs may require a ZBA approval for non-conformance. We shall be requesting ZBA approval for this item. We are planning to relocate the Welcome to the City of Novi sign. All sign permits will be applied for separately for signage proposed.*

Lighting and Photometric Plan

- *Building Lighting. Relevant building elevation drawings showing all fixtures, the portion of the walls to be illuminated, illuminance levels of walls and the aiming point of any remote fixtures. Indicate additional building lighting is proposed. See sheet C5.0 for all building and site lighting proposed.*

We hope this letter provides you with the clarification and responses you require. Please contact us should you require additional clarification, or to discuss any response item.

Respectfully submitted,

Roman Bonislowski, RA
Ron and Roman, Inc.

R O N A N D R O M A N

R O N A N D R O M A N

January 3, 2020

City of Novi Planning Department
45175 Ten Mile Road
Novi, MI 48375

Re: Preliminary and Final Engineering Review- Guernsey Farms Dairy

Dear Mr. Boron,

We have received your initial Planning Review dated October 11, 2019, and are submitting this response to your questions and comments. We believe that this re-submittal has now addressed all of your concerns and issues.

The following includes your line item followed by our responses, noted in red:

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
A note shall be added
2. Provide the City's standard detail sheets for storm sewer (2 sheets- rev. 02/16/2018) and paving (2 sheets- rev. 03/05/2018) at the time of the Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
Detail shall be added
3. The same-side driveway spacing dimensions have been added and are acceptable. However, add opposite-side driveway spacing dimensions to show compliance with Section 11.216 and Figure IX.12 of the City's Code of Ordinances. A waiver granted by the Planning Commission may be required if driveway spacing requirements are not met. If needed, the Engineering Division supports this waiver request.
Dimensions will be added to the opposite side driveway spacing. If a waiver is required we will persue.
4. Since the 30-foot half right-of-way of Novi Road is not recorded or dedicated, do not show as "existing" on the plans. The dedication is requested as part of this project. If intending to dedicate, label the right-of-way as "proposed" rather than "existing".
Right of way dedication shall be processed accordingly with RCOC. The note will be changed.
5. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
A table will be added
6. Traffic signs in the RCOC right-of-way will be installed by RCOC.
Note shall be added and a work shall be coordinated with RCOC
7. Provide a traffic control plan and/or details for the proposed road work activities.
A traffic control plan will be provided

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8. The applicant should be aware that work is proposed in the City of Northville (i.e., west of the section line/centerline of the due north-south portion of Novi Road) and may be subject to permitting and/or review by the City of Northville. It is the applicant's responsibility to obtain all pertinent permits from that municipality prior to starting work.

The location of the 'Welcome to Novi' sign has been modified to a different location directed by the city of Novi, which is outside of the City of Novi jurisdiction.

9. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas.

Note shall be added

Storm Sewer

10. Since the culvert is proposed with less than 3 feet of cover, specify Class V pipe as the material.

Class V pipe will be specified

11. The applicant is reminded the proposed culvert will require approval from Oakland County (applicant has noted an application will be submitted).

Correct. Permit application will be submitted to RCO

12. Other than removing two existing culverts and replacing with one proposed, no changes to existing storm system are proposed.

Noted

Storm Water Management Plan

13. Storm water presently sheet flows untreated and undetained to Thornton Creek Diversion Drain. Since impervious area is decreasing and the nature of the improvements is minor, no additional storm water measures would be required at this time.

Noted

Paving and Grading

14. Sidewalks along the Novi Road frontage are not proposed or required at this time. Site access is provided by designated on-site crosswalks.

Noted

15. Regarding the allowance of bumper blocks as an alternative to concrete curb and gutter, along with areas lacking either, the applicant's Design and Construction Standards Request for Variance from City Council is supported by Engineering.

Noted

16. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Revise curb detail accordingly, or else remove since City curb detail will be included on City standard detail sheets for paving.

Detail will be revised

17. Provide top of curb grades to indicate height of curb adjacent to parking stalls or drive areas.

Top of curb grades will be added

18. The proposed drive approach on Novi Road appears to be concrete, according to the hatch. Specify with labeling or legend.

The hatch will be labeled and added to legend

R O N A N D R O M A N

19. Planters have been depicted for the proposed trees in the sidewalk area surrounding the proposed building entrances, but not for shrubs. Show the forms/planters for the shrubs, as well.
The proposed shrubs were mislabeled and are proposed to be bistro tables and chairs. The planter to the north of the vestibule is existing. The drawings have been modified to reflect this.

Flood Plain

20. Although the 100-year floodplain encompasses portions of the property, the improvements are not currently proposed to impact the floor plain.
Noted

Soil Erosion and Sediment Control

21. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.
SESC permit will be submitted

Off Site Easements

22. No off-site easements are anticipated for the proposed improvements. If any are proposed, they must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.
Noted

The following must be submitted with the Stamped Set

23. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.
Will resubmit with stamping set
24. A draft copy of the warranty deed for the proposed 30-foot half right-of-way along Novi Road must be submitted for review and acceptance by the City. Please note this document must be submitted with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website.
Will resubmit with stamping set

The following must be addressed prior to construction:

ALL NOTES BELOW WILL BE COORDINATED PRIOR TO CONSTRUCTION

25. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
26. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
27. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. All unused escrow will be returned to the payee at the end of the project. This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
28. A street sign financial guarantee in the amount of \$2000 (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.

R O N A N D R O M A N

29. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
30. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the City website and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details and plan sheets applicable to the permit only.
31. A permit for work within the road right-of-way of Novi Road must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the road right-of-way will be constructed in accordance with the RCOC standards.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

ALL NOTES BELOW WILL BE COORDINATED PRIOR TO ISSUANCE OF TCO

32. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the warranty deed documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.
33. Provide a warranty deed for the additional proposed road right-of-way along Novi Road for acceptance by the City.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval. To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Noted

We hope this letter provides you with the clarification and responses you require. Enclosed please find sealed copies of affected and revised drawings. Please contact us should you require additional clarification, or to discuss any response item.

R O N A N D R O M A N

Respectfully submitted,

*Roman Bonislowski, RA
Ron and Roman, Inc.*

R O N A N D R O M A N

January 2, 2020

City of Novi Planning Commission
400 Sixth Street
Rochester, MI 48307

Re: Preliminary/ Final Site Plan Review- Landscaping- Guernsey Farms Dairy

Dear Mr. Meader,

We have received your Plan Review dated December 12, 2019, and are submitting this response to your questions and comments. We believe that this re-submittal has now addressed all of your concerns and issues.

The following includes your line item not in compliance followed by our responses to bring them either into or closer to compliance, noted in red:

1. Please provide a list of all landscape waivers requested that includes the impact (ie deficiency in are of trees provided) on sheet LP101-
A list of all landscape waivers is provided on Sheet LP101

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. Please add tree fencing on the Demolition Plan as well as a tree protection fence detail.
Tree fencing has been added to the Demolition Plan C1.0 as well as a tree protection detail on Sheet C2.1

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is across the railroad track from the residential development to the east so no screening berm is required. The parking lot is at least 5 feet below the railroad tracks so the headlights from the parking lot are blocked by the berm and the trees on it.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt width and screening berm are not provided west of the building, and at the south end of the southern parking lot. Landscape waivers are required for these deficiencies but are supported by staff as they are existing conditions and hedges are provided to help block the headlights from shining at traffic on Novi Road. The waiver for the lack of greenbelt width is not supported for the section that would be decreased from the existing condition.
Landscape waiver has been added to Sheet LP101 for both west of the building and south of the building. We have increased the greenbelt width from the existing condition at the location south of the existing oak tree. The demolition plan shows removal of portion of parking lot paving for new shrubs trees and grass seed at this location. It has increased at a minimum of 12'-0”.

R O N A N D R O M A N

2. The number of canopy and subcanopy greenbelt trees is also deficient. A landscape waiver is required for this. Staff supports the deficiency for the section of parking lot west of the building because there is insufficient room for canopy and subcanopy trees.

A landscape waiver has been added to Sheet LP101

3. There is room for all of the required canopy trees and some of the subcanopy trees in the large greenbelt area south of the large oak to remain. For this section, staff will support a lack of some of the subcanopy trees (not all), but not for the deficiency in canopy trees. Please add trees where possible to decrease or eliminate the unsupported waiver areas that won't damage the existing oak tree.

The Landscape Plan on Sheet LP101 has been modified to add (3) additional white oak trees and (2) additional native subcanopy trees in the new landscaping area south of the existing oak tree. As well as the ROW screening requirements chart. A landscape waiver has been added to Sheet LP101 for these items

4. A landscape waiver is required for the lack of street trees provided. This waiver is supported by staff because there isn't sufficient room in the Novi Road right-of-way for the trees.

A landscape waiver has been added to Sheet LP101

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the paved area of the impacted parking areas, 1799sf of interior landscape area, 9 interior landscape trees and 17 perimeter canopy trees are required. Only 1358sf of qualifying area, 4 interior trees and 14 perimeter trees (including 2 double-counted greenbelt oaks) are provided.

2. Landscape waivers are required for the deficiencies in area, interior trees, perimeter trees, and lack of trees in endcap islands. Staff only supports the lack of a landscaped endcap island on the south side of the north entry (although it should be curbed), a deficiency of 4 interior trees (if the 5 ginkoes are counted as perimeter trees), and a deficiency of 1 perimeter tree. There is room on the site for the additional trees to be planted in the southern unplanted endcap and along the east side of the parking lot to decrease the deficiencies to those numbers. Please add the additional trees.

The location of designated snow removal has been modified to be a curbed and guttered planter area with grass seed, which should bring the end island area into compliance. The landscape island chart has been modified on Sheet LP101 to reflect this. Two additional honey locust canopy trees have been added in this location as well as one honey locust south of this location in the corner as a perimeter tree. A white oak tree has also been added to the north of the relocated sign as an end island tree. This along with the double counted ROW trees added will bring us to a deficiency of 2 interior trees, and in compliance with the perimeter trees. A landscape waiver has been added to Sheet LP101 for these items.

3. Please change the paved snow deposit area to a landscaped corner and move the adjacent tree to that corner island where it can be either an interior tree or perimeter tree (but not both).

The snow removal location has been changed to a curbed and guttered planter and two new trees have been added in this location.

4. If desired, the interior island 3 spaces from the north end of the east bay could be moved southward to provide more spaces closer to the building.

We have kept the interior island to the north to delineate better the carry-out parking spaces.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. Based on the perimeter of the section of the building being remodeled, 2440 SF of landscape area is required and 685 SF is provided. This deficiency requires a landscape waiver that is not currently supported by staff.

A landscape waiver has been added to Sheet LP101

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2. *Decorative paving can also be used toward the foundation landscaping requirement. Please show the area of decorative paving proposed (in SF), along with an image of the materials and what the paving will appear. With the proposed landscaping and the decorative paving, and possibly additional landscaping, the deficiency can be eliminated or reduced to a level that can be supported by staff. We are hoping to consider the new concrete paving around the building with the permanent 'spilt milk' as a decorative paving addition because of the artistic nature of the design. It is an integral part in the creative concept for this family owned and operated ice cream parlor and facility, which ties the outdoor oak and boulder area to the building.*

Welcome to Novi sign relocation

1. *The plans indicate that the existing sign will be moved to a site about 90 feet south of the new entry's south edge (approximately 105 feet south of its existing location, still within the right-of-way. We have modified the location of the 'Welcome to Novi' sign to the cities Option 2 proposed location south of the new entry drive shown on Sheet C2.o*
2. *Please get permission from the city for this move. Sheryl Walsh, of the Community Relations department, must approve its new location. We are using the city's Option 2 preferred location from this review and will get final approval from the city.*

Plant List (LDM 2.h. and t.)

1. *Provided*
2. *3 of 5 species used (60%) are native to Michigan. This is acceptable.*
3. *The tree diversity standard of the Landscape Design Manual section 4 is not met (only 3 species are used, and 45% of the trees provided are ginkgoes. This is not acceptable. Please use additional tree species for the additional greenbelt and parking lot plantings to bring the percentage of ginkgoes and honeylocusts down to a level closer to the 15%/25% level required. (When additional species are added, the total number of native species should not dip below 50%). We have reduced the amount of ginkgo's by 1 and increased the overall number of trees to 18 including a new species of subcanopy tree. This brings the number of species to 4 and the most abundant tree will be the honey locust at 6. This is 33% which is much closer to the required percentage. The native species is still above 50% See sheet LP101.*

Planting Notations and Details (LDM)

1. *Provided*
2. *Please add and revise notes per the detailed instructions on the landscape chart. Notes have been added to sheet LP101 and LP102*
3. *Please provide a detail for how the ginkgo tree roots will be protected from compaction and receive enough water and air for their survival. The proposed river rock is not sufficient. A detail has been added to sheet LP102. We will be proposing tree grates at the ginkgo trees at the new paved area location.*

R O N A N D R O M A N

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. *If no detention basin is required by Engineering, then no detention basin landscaping is required.*
Noted
2. *Please identify all areas of the site with Phragmites australis. If any is found, please add a plan for its complete eradication. If none is found, please note that on the existing conditions sheet.*
A note has been added to Sheet C1.o. No Phragmites australis were found in survey

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. *A note indicates that the plantings will be hand-watered.*
Correct
2. *Please show the locations of hose bibbs on the building to be used for watering on the landscape plan.*
(2) hose bibb locations have been added to the exterior of the building on Sheet C2.o

We hope this letter provides you with the clarification and responses you require. Please contact us should you require additional clarification, or to discuss any response item.

Respectfully submitted,

*Roman Bonislowski, RA
Ron and Roman, Inc.*

R O N A N D R O M A N

January 3, 2020

DRN Associates, Architects, PC
50850 Applebrooke Dr.
Northville, MI 48167

Re: Preliminary and Final Façade Ordinance Review- Guernsey Farms Dairy

Dear Mr. Necci,

We have received your Façade Ordinance Review dated December 16, 2019, and are submitting this response to your comments.

The following includes your line item followed by our responses, noted in red:

1. Façade Ordinance requires façade inspection(s) for all projects. Materials and colors must be consistent with those displayed on the approved sample board or otherwise approved. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time, prior to installation. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.
Noted . All insepctions will be made prior to installation
2. All roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Chart and harmonious with other façade materials.
Noted. The rooftop equipment will be concealed from vantage points
3. Changes in façade materials and/or colors from what was submitted and approved will require reapplication. It is the applicant's responsibility to submit such changes prior to the aforementioned façade inspection request.
Noted. Any revisions will be resubmitted
4. No dumpster enclosure is indicated on the Site Plan. In the event that a dumpster enclosure is required, it should be constructed of materials matching the primary structure (Brick).
Noted

Please contact us should you require additional clarification, or to discuss any response item.

Respectfully submitted,

Roman Bonislawski, RA
Ron and Roman, Inc.

R O N A N D R O M A N

R O N A N D R O M A N

January 3, 2020

AECOM
2777 Franklin Road
Southfield, MI 48034

Re: Preliminary and Final Traffic Impact- Guernsey Farms Dairy

Dear Mr. Bocks,

We have received your initial Planning Review dated October 09, 2019, and are submitting this response to your questions and comments. We believe that this re-submittal has now addressed all of your concerns and issues.

The following includes your line item followed by our responses, noted in red:

General Comments

1. The applicant is proposing changes to the parking lot area and small additions to the restaurant. The building is proposed to be 26,538 SF with the minor additions.
Noted
2. The development is located on Novi Rd. south of 9 Mile Road. The segment of Novi Road is under the jurisdiction of the city of Northville..
Noted
3. Summary of traffic-related waivers/ variances.
 - a. A variance may be required for opposite side driveway spacing.
Noted. Dimensions for driveway spacing have been added
 - b. The applicant has indicated they will be seeking a variance for painted end islands and bumper blocks instead of the required raised end islands
We shall be going in front of City Council for a construction standards variance for painted stripes and bumper blocks- in lieu of curb and gutter. Correct
 - c. A variance may be required for lack of a 6 foot aisle provided for bicycle parking
We do not have the required 6 foot aisle for the access to the bike parking.
 - d. A variance may be required for the proposed white 'spilt milk' pavement markings.
Noted

Traffic Impacts

1. AECOM did not perform an initial trip generation estimate based on the ITE Trip Generation Manual 10th Edition, due to the fact that the building footprint is not changing significantly and the land use codes will also not be changing.
Noted.
2. The land used for the site is not changing. AECOM recommends performing the following traffic impact study in accordance with the City's requirements
Noted.

External Site Access and Operations

1. The applicant is proposing to remove (2) existing driveways and add a new entrance to the facility.

R O N A N D R O M A N

- a. Dimensions for the proposed driveway should be indicated, including width and radii. The applicant should refer to Figure IX.1 of the City's Code of Ordinances. The applicant could revise to the standard dimensions. The applicant has dimensioned same side driveway spacing along Novi Road but should also indicate opposite side driveway spacing to ensure compliance with Section 11.26.d and Figure IX.12 of the City's Code of Ordinances. A waiver may be required if opposite side driveway spacing requirements are not met.
The dimensions and for opposite drive spacing have been added to Sheet C2.o civil site plan.
- b. There is no existing sidewalk located along the property and the applicant is not proposing to construct sidewalk.
Correct. We have added a striped lane to direct bike/ pedestrian traffic to the entrance, from the north end of the site.

Internal Site Operations

1. The applicant is not proposing any changes to the existing loading zone area.
 - a. The applicant could including truck turning movements for trucks accessing the existing loading area along the back of building.
This shall be shown
2. The applicant is not proposing any changes to the existing trash enclosure.
Correct
3. The applicant has indicated aisle widths throughout the site that meet required by City standards.
Correct
4. The applicant has indicated that the traffic through the new parking area is to be one-way. However, the driveway servicing the area is indicated to be two-way on sheet C2.o. The applicant should revise the plans to match the one-way operations.
The plans have been revised to show the one way arrows and signs at new entry and existing exit
5. Parking Facilities
 - a. The applicant should refer to the Planning review letter for information related to parking space requirements within and around the site.
Noted. And incorporated into the planning review response.
 - b. The applicant is proposing no more than 15 spaces adjacent without a landscaping island which is in compliance with City requirements
Correct
 - c. The applicant has indicated one pavement marking island and one "green space" island without curb. Per Section 5.3.12 of the City 's Zoning ordinance, raised end islands are required, but a waiver may be granted for this requirement. AECOM would support this waiver with the condition that the bumper block waiver is also granted
Noted.
 - d. The applicant has indicated a 6" curb which is in compliance with City Standards.
Noted
 - e. The applicant is proposing (4) accessible spaces.
 - i. The applicant should indicate which locations are van accessible with appropriate signage. One space is required to be van accessible.
The drawings shall be revised to show the one van accessible location with appropriate signage.
 - ii. The detail for the accessible spaces on sheet C2.1 should be updated to account for the angled parking condition present in the site plan.
The detail has been updated on Sheet C2.1

R O N A N D R O M A N

- f. The applicant has provided details for the parking bumper blocks
- i. The applicant has indicated they are seeking a waiver for the use of bumper blocks in lieu of curbs.
Correct
 - ii. Parking bumpers are to be yellow in color.
Noted
 - iii. Parking bumpers are to be placed such that the face of the parking bumper is 17 feet from the access aisle. Current detail specifies the back of the parking bumper is to be located two (2) feet from the back of the parking space, leaving only 14.5' for the parking space with the 17' spaces specified in the site plan. The detail should be updated.
The angled parking detail has been added to Sheet C2.1 showing 17'-0" to bumper block
 - iv. Parking bumpers are to be placed such that a 3 foot access aisle is maintained between parking bumpers.
3'-0" shall be maintained and shown in detail
 - v. Parking bumpers should be added to the parking spaces on the east side of the parking lot.
The parking bumpers have been added to the east parking spaces
- g. The applicant has indicated where bicycle parking is to be located on site.
- i. The applicant should indicate the design and layout of bicycle parking in future submittals. Refer to Section 5.16 of the City's Zoning Ordinance for City requirements.
 1. The bike racks are required to be of the inverted "U" design and a minimum of 36" high. A detail for the racks intended to be used should be provided.
A detail has been added to Sheet LP102
 2. The site plan indicates four (4) bike racks are to be installed. The layout provided is for three (3) bike racks each to the side of the access aisle. The applicant should provide a layout that matches the footprint presented in the site plan.
The layout has been added to Sheet LP102 showing (4) bike racks
 - ii. Note that a six foot accessible route is required from the adjacent street to the bicycle parking facilities.
 1. A six foot wide ramp should be provided from the bike parking to the parking lot surface. The applicant has indicated there is insufficient space to meet the six foot requirement. The applicant should seek a waiver if this requirement cannot be met.
We are seeking a waiver noted on Sheet LP101 for the 5'-0" access aisle for bike traffic. We are directing the bicycle traffic to the sidewalk adjacent to the building as opposed to in the traffic lane against traffic flow.
6. Sidewalk requirements
- a. The applicant has indicate proposed sidewalk ramps and should include the latest Michigan Department of Transportation sidewalk ramp details.
Details have been added
 - b. Note the sidewalk ramps are required near the accessible parking spaces.
We added ADA accessible ramps as required to Sheet C2.o.
 - c. The applicant has indicated a pedestrian path delineated with pavement markings. A detail for this should be provided
We have added a detail to Sheet C2.o showing the striping for the pedestrian path
 - d. The applicant could consider adding a striped pathway between the carry out parking spaces and the carry out entrance.
With the close proximity of the carry-out entry to the designated parking spaces we will not be adding a striped pathway.

R O N A N D R O M A N

Signing and Striping

1. All on-site signing and paving markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD)
 - a. The applicant should provide a signing quantities table and additional details (MMUTCD designation and proposed size) in future submittals.
 - i. Accessible parking signs are to be MMUTCD code R7-8. Van accessible placards are MMUTCD code R7-8P and must be accompanied by a R7-8 sign.
Detail and tables will be revised accordingly
 - ii. The applicant should include proposed signing for the one-way operation.
Detail will be added
 - iii. The applicant should include details for the proposed carry-out signing shown on sheet Goo1.
Detail will be added
2. The applicant should indicate all of the proposed signing on site and provide notes and details related to the proposed signage.
 - a. Single sign with nominal dimensions of 12"x18" or smaller in size shall be mounted on a galvanized 2lb U channel post. Multiple signs and/or signs with nominal dimension greater than 12"x18" shall be mounted on a galvanized 3lb or greater u-channel post as dictated by the weight of the proposed signs.
Detail will be added
 - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed
Detail will be added
 - c. The applicant should indicate that all signing should be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
Detail will be added
 - d. Traffic control signs shall use the FHWA standard Alphabet series
Detail will be added
 - e. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retro reflectivity requirements.
Detail will be added
3. The applicant should include details for the proposed color and width of the pavement markings.
 - a. The applicant should also include notes for the proposed color and width of the standard parking stalls and should note that where a standard space is adjacent to an accessible space, abutting blue and white (or yellow) stripes shall be installed.
Detail with notes will be added
4. The applicant has provided a detail for the proposed crosswalk pavement markings. The applicant should indicate the color of the proposed crosswalk pavement markings
The color will be added to the detail
5. The applicant has provide a detail for the proposed international symbol for accessible pavement markings that may be placed in the accessible parking spaces. The symbol shall be white or white with a blue background and white boarder with rounded corners.
The color will be added to the detail
6. The applicant should provide a detail for the proposed pavement marking arrows.
A detail will be added
7. The applicant should provide a detail for the proposed hatched pavement marking area on the south end of the parking lot.
This location of paving has been modified to be a planter bed and is now changed on the sit plan Sheet C2.0

R O N A N D R O M A N

8. *The applicant is proposing painted white “spilt milk” markings on sheet Goo1. Details for this should be included in future submittals and a waiver may be required.
*If a waiver is required we shall be going in for this waiver. A detail shall be added**
9. *The applicant should include any maintenance of traffic details required when working along Novi Road.
*These details shall be added**

We hope this letter provides you with the clarification and responses you require. Please contact us should you require additional clarification, or to discuss any response item.

Respectfully submitted,

*Roman Bonislowski, RA
Ron and Roman, Inc.*

Guernsey Farms Dairy

SHEET INDEX		
SHEET #	SHEET TITLE	SITE PLAN APPLICATION
G001	COVER SHEET/ARCHITECTURAL SITE PLAN	X
LP001	LANDSCAPE PLAN	X
LP002	LANDSCAPE DETAILS	X
A101	OVERALL FLOOR PLAN	X
A201	EXTERIOR ELEVATIONS	X
C1	TOPOGRAPHIC/BOUNDARY TREE SURVEY	X
C1.0	DEMOLITION PLAN	X
C2.0	DIMENSIONAL SITE PLAN	X
C2.1	SITE DETAIL SHEETS	X
C3.0	GRADING AND PAVING PLAN	X
C4.0	ROW REMOVAL AND CONSTRUCTION PLAN	X
C4.1	ROW GRADING AND UTILITY PLAN	X
C5.0	PHOTOMETRIC AND LIGHTING PLAN	X



RONANDROMAN
architects et al.
275 E. FRANK ST., BIRMINGHAM, MI 48009
© 248-723-5790 F 724-672-5375

GENERAL NOTES:
-ALL RIGHT OF WAY CONSTRUCTION NEEDS TO GO THROUGH OAKLAND COUNTY FOR APPROVAL
-ALL BUSINESS SERVICING AND PROCESSING TO BE CONDUCTED INSIDE BUILDING

ECONOMIC IMPACT	
USE	CODE
CONSTRUCTION JOBS CREATED	3640 TRADE JOBS CREATED
AFTER CONSTRUCTION JOBS CREATED	12 NEW RESTAURANT AND ICE CREAM JOBS
TOTAL COST OF CONSTRUCTION	\$500,000.00

LOCATION / ZONING MAP

CODE DATA:
ZONING: B-3 GENERAL BUSINESS
EXISTING USE GROUP: A-2 (ASSEMBLY, RESTAURANT)
SITE AREA: 129,373 S.F. OR 2.97 ACRES
BUILDING AREA
REMOVED AIRLOCK 63 SF
ADDED AIRLOCK 209 SF
ICE CREAM STORE 1,909 SF
RESTAURANT 3,827 SF
WAREHOUSE 20,802 SF
TOTAL 26,538 S.F.
SITE COVERAGE 20%
DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE - ROMAN BONSLAWSKI, R.A. LICENSE #: 37397

PARKING CALCULATIONS			
USE	CODE	CALCULATION	SPACES
RETAIL (S-2,12,C)	1200 GROSS LEASABLE	1,909 SF / 200 =	10 SPACES
SET DOWN RESTAURANT (S-2,12,C)	1200 GROSS LEASABLE	3,827 SF / 70 = 55	58 SPACES
	1 FOR EACH EMPLOYEE + 1 FOR EACH 2 CUSTOMERS	10 EMPLOYEES + 95 CUSTOMERS >= 58	
WAREHOUSE (S-2,12,E)	ONE SPACE FOR EACH 700 SQUARE FEET OF USABLE SF OF USABLE FLOOR AREA	20,802 SF / 700 =	29 SPACES
TOTAL PARKING REQUIRED			97 SPACES
TOTAL PARKING PROVIDED			97 SPACES PROVIDED
ADA PARKING	4 SPACES	PROVIDED	4 SPACES
BIKE PARKING	5% OF REQUIRE PARKING SPACES	97 x 0.05 = 5 SPACES	5 SPACES PROVIDED

NOTE: EXISTING OFF-STREET PARKING SETBACK IS NON-CONFORMING

ARCHITECT/ DESIGNER
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JEREMIAH ARMSTRONG #248-723-5790
JEREMIAH@RONANDROMAN.COM

OWNER
GUERNSEY FARMS DAIRY
21300 NOVI RD.
NORTHVILLE, MI 48009
JOE KINVILLE #248-921-2434
JOE@GUERNSEYFARMSDAIRY.COM

Project:

Guernsey Farms Dairy
Removal of an Existing Warehouse and its Conversion
21300 Novi Rd., Northville, MI 48009

Seal:

Issue Date:

SITE PLAN REVIEW 11/20/2019

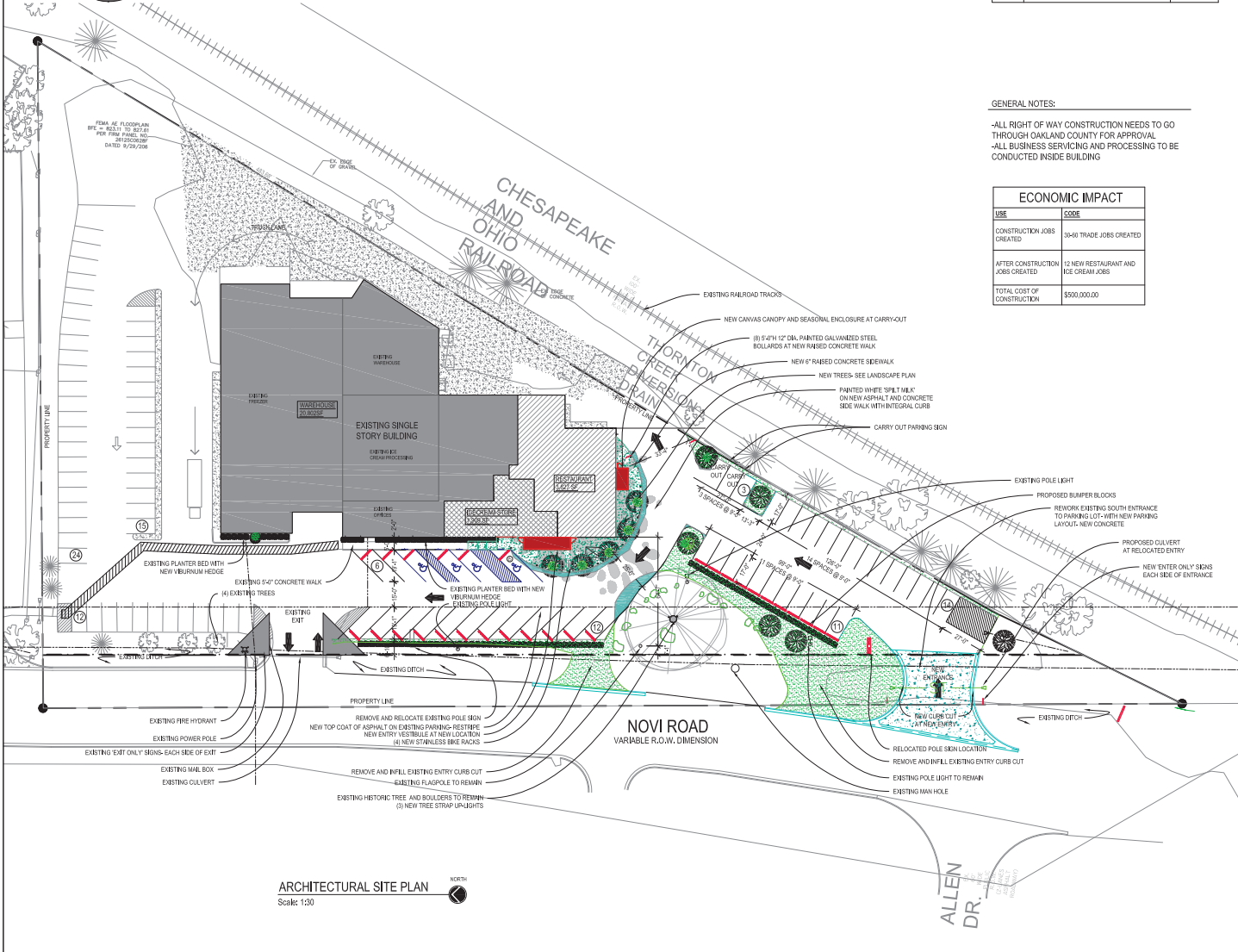
Sheet Title:

COVER SHEET

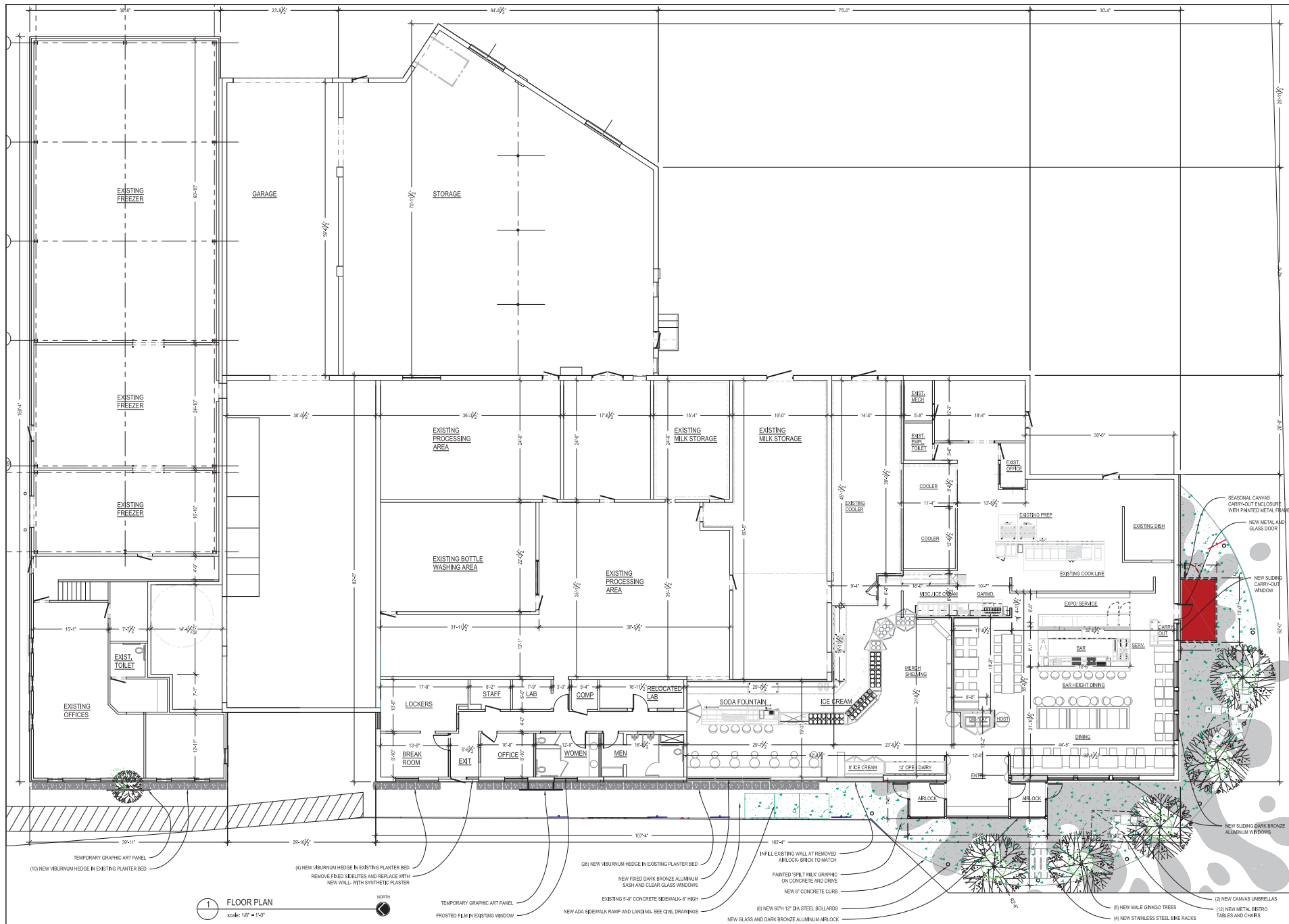
Sheet Number:

G001

11/20/2019 1:28 PM X:\GUERNSEY\5 1686 CAD PLANS\V-P SITE.DWG Desktop_5

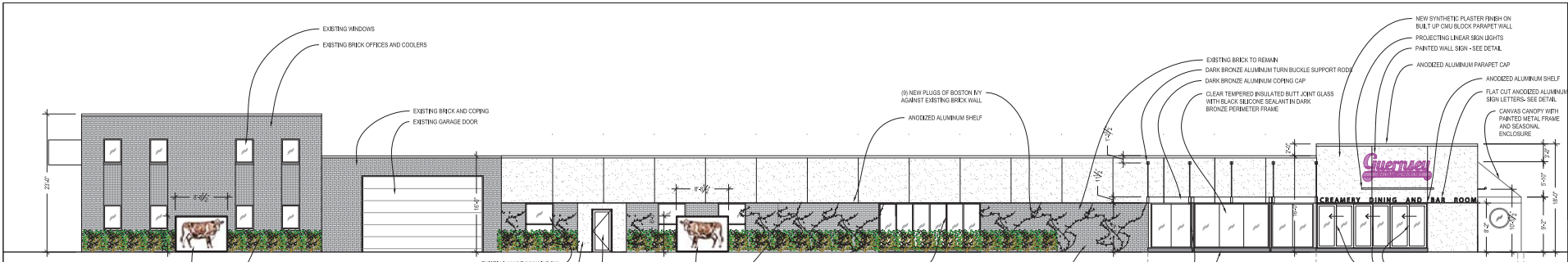


ARCHITECTURAL SITE PLAN
Scale: 1/30



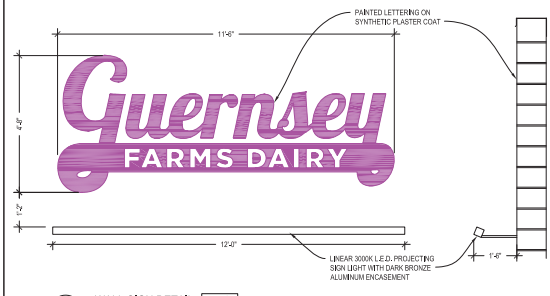
1 FLOOR PLAN
scale: 1/8" = 1'-0"

- (1) NEW MBURNUM HEDGE IN EXISTING PLANTER BED
- (2) NEW MBURNUM HEDGE IN EXISTING PLANTER BED
- (3) NEW CANVAS UMBRELLAS
- (4) NEW STAINLESS STEEL BIKE RACKS
- (5) NEW MALE GINKGO TREES
- (6) NEW METAL BISTRO TABLES AND CHAIRS
- (7) NEW 6" CONCRETE CURB
- (8) NEW 60" 12" DIA STEEL BOLLARDS
- (9) NEW GLASS AND DARK BRONZE ALUMINUM APLOCK
- (10) NEW 6" CONCRETE CURB
- (11) NEW 6" CONCRETE CURB
- (12) NEW METAL BISTRO TABLES AND CHAIRS
- (13) NEW METAL BISTRO TABLES AND CHAIRS
- (14) NEW MBURNUM HEDGE IN EXISTING PLANTER BED
- (15) REMOVE FINED SIDELITES AND REPLACE WITH NEW WALL WITH SYNTHETIC PLASTER
- (16) NEW FINED DARK BRONZE ALUMINUM SASH AND CLEAR GLASS WINDOWS
- (17) EXISTING 5'-4" CONCRETE SIDEWALK - 6" HIGH
- (18) NEW ADA SIDEWALK RAMP AND LANDING - SEE CIVIL DRAWINGS
- (19) INFILL EXISTING WALL AT REMOVED APLOCK - BRICK TO MATCH
- (20) PAINTED "SPLIT MILK" GRAPHIC ON CONCRETE AND DRIVE
- (21) TEMPORARY GRAPHIC ART PANEL
- (22) FROSTED FILM IN EXISTING WINDOW
- (23) TEMPORARY GRAPHIC ART PANEL
- (24) FROSTED FILM IN EXISTING WINDOW
- (25) EXISTING FREEZER
- (26) EXISTING FREEZER
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1 WEST ELEVATION
scale: 1/8" = 1'-0"

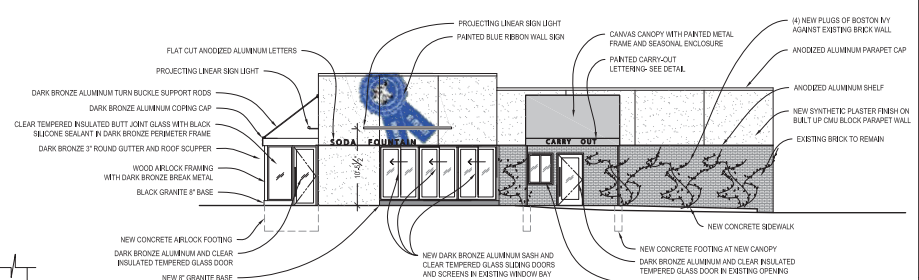
NOTE: ALL NEW WINDOWS AND DOOR GLAZING TO HAVE DARK SPACERS



3 WALL SIGN DETAIL 53.7 SF
scale: 1/2" = 1'-0"

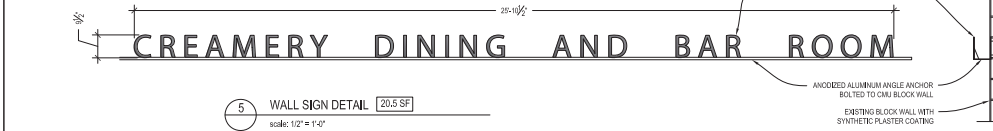


4 WALL SIGN DETAIL 104.5 SF
scale: 1/2" = 1'-0"



2 SOUTH ELEVATION
scale: 1/8" = 1'-0"

NOTE: ALL NEW WINDOWS TO HAVE DARK GLAZING SPACERS



5 WALL SIGN DETAIL 20.5 SF
scale: 1/2" = 1'-0"



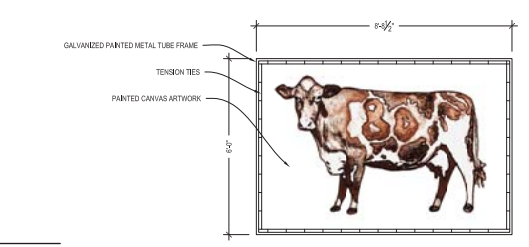
6 WALL SIGN DETAIL SECTION
scale: 1/2" = 1'-0"

8 AWNING SIGN DETAIL 4.2 SF
scale: 1/2" = 1'-0"



7 WALL SIGN DETAIL 3.1 SF
scale: 1/2" = 1'-0"

9 GROUND SIGN DETAIL 35 SF
scale: 1/2" = 1'-0"



10 TEMPORARY SIGN DETAIL 52.3 SF x2
scale: 1/2" = 1'-0"

SIGNAGE CALCULATIONS				
BUSINESS USE	WALL SIGN- SINGLE TENANT	CANOPY SIGN	GROUND SIGN	TEMPORARY SIGN
ALLOWABLE	250 SF MAXIMUM OR (1)SF FOR EA. (2)SF OF SETBACK 110FT (2) = 55.5F 15% OF FRONTAGE= 603 SF	(1) SIGN OF 24.5F MAXIMUM 30 SF	100 SF MAXIMUM OR 15' (1)SF SETBACK 70SF (2) = 35.5F 6FT HEIGHT MAX	
PROPOSED	(1) WEST FACADE PAINTED WALL SIGN AT 56.5F (1) PINNED OFF METAL SIGN AT 26.6 SF	(1) 4.2 SF SIGN	(1) RELOCATED EXISTING 36.5F POLE SIGN	(2) CANVAS SIGNS AT 52.3 EACH

MATERIAL CALCULATIONS					
WEST FACADE					
MATERIAL	BRICK	EPS	ALUMINUM	GRANITE	CANVAS CANOPY
SQUARE FOOTAGE	1605 SF	1,388 SF	341 SF	49 SF	-
PERCENTAGE	47.4%	41.2%	15.1%	1.4%	-
3,384 SF TOTAL					
SOUTH FACADE					
MATERIAL	BRICK	EPS	ALUMINUM	GRANITE	CANVAS CANOPY
SQUARE FOOTAGE	205 SF	694 SF	3 SF	18 SF	88 SF
PERCENTAGE	31.3%	66.4%	0.3%	2.2%	5.7%
910 SF TOTAL					
EAST FACADE					
EXISTING					
NORTH FACADE					
EXISTING					

REGION 1 ALLOWABLE PERCENTAGES (Table S.15)					
PERCENTAGE	100%	25%	50%	50%	10%
PERCENTAGE	100%	25%	50%	50%	10%

LEGAL DESCRIPTION:

A PART OF THE SOUTHWEST 1/4 OF SECTION 35, T.14N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 35, FOR A POINT OF BEGINNING, THENCE N89°44'30"E 395.92 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 35 TO THE WESTERN RIGHT-OF-WAY OF CHESAPEAKE AND OHIO RAILROAD; THENCE S37°02'00"W 463.64 FEET ALONG THE WESTERLY RIGHT-OF-WAY OF SAID CHESAPEAKE AND OHIO RAILROAD; THENCE S01°54' FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 3125.86 FEET & A CENTRAL ANGLE OF 93°20"00" AND A CHORD BEARING AND DISTANCE OF S28°30'10"W 301.42 FEET ALONG THE WEST LINE OF SAID CHESAPEAKE AND OHIO RAILROAD, TO THE WEST LINE OF SAID SECTION 35; THENCE DUE NORTH 675.94 FEET ALONG THE WEST LINE OF SAID SECTION 35 TO THE POINT OF BEGINNING, ALL OF THE ABOVE CONTAINING 2.97 ACRES MORE OR LESS AND BEING SUBJECT TO RIGHTS OF THE PUBLIC IN NOW ROAD; ALL OF THE ABOVE BEING SUBJECT TO EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORDS.

NOTES:

1. BASIS OF BEARING BASED ON THE WEST LINE OF SECTION 35 BEING SET TO DUE NORTH (N00°00'00"E) PER THE RECORD BEARING PROVIDED IN THE DEED DESCRIPTION LIBER 14329, PAGE 206, OAKLAND COUNTY RECORDS, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN.

(U) DU FIELD MEASURED BEARINGS AND DISTANCES
(R) RECORDED BEARINGS AND DISTANCES PER DESCRIPTION PROVIDED BY OWNER.

Tree Inventory List

Job Location: 21300 Novi Rd, Novi, MI
Client: Kalabat Engineering

Condition Description Notes:

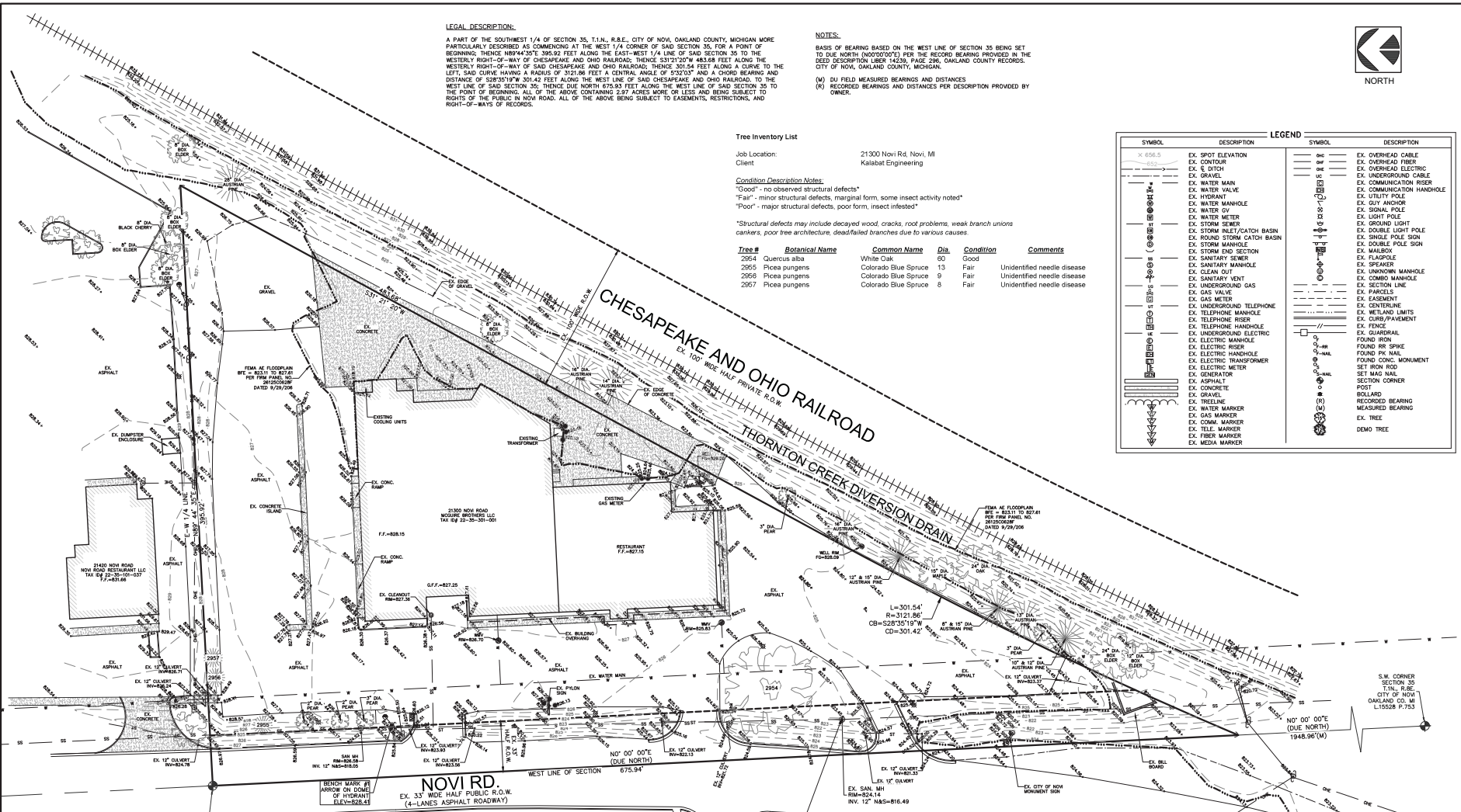
"Good" - no observed structural defects
"Fair" - minor structural defects, marginal form, some insect activity noted
"Poor" - major structural defects, poor form, insect infested

*Structural defects may include decayed wood, cracks, root problems, weak branch unions
cankers, poor tree architecture, dead/failed branches due to various causes

Tree #	Botanical Name	Common Name	Dia.	Condition	Comments
2254	Quercus alba	White Oak	50	Good	
2955	Picea pungens	Colorado Blue Spruce	13	Fair	Unidentified needle disease
2956	Picea pungens	Colorado Blue Spruce	9	Fair	Unidentified needle disease
2957	Picea pungens	Colorado Blue Spruce	8	Fair	Unidentified needle disease



SYMBOL		DESCRIPTION	SYMBOL		DESCRIPTION
×	656.5	EX. SPOT ELEVATION	—○—	EX. OVERHEAD CABLE	
—		EX. CONTOUR	—○—	EX. OVERHEAD FIBER	
—		EX. E. DITCH	—○—	EX. OVERHEAD ELECTRIC	
—		EX. GRAVEL	—○—	EX. UNDERGROUND CABLE	
—		EX. WATER MAIN	—○—	EX. COMMUNICATION RISER	
—		EX. WATER VALVE	—○—	EX. COMMUNICATION HANDHOLE	
—		EX. HYDRANT	—○—	EX. UTILITY POLE	
—		EX. WATER MANHOLE	—○—	EX. GUY ANCHOR	
—		EX. WATER CY	—○—	EX. SIGNAL POLE	
—		EX. WATER METER	—○—	EX. LIGHT POLE	
—		EX. STORM SEWER	—○—	EX. GROUND LIGHT	
—		EX. STORM INLET/CATCH BASIN	—○—	EX. DOUBLE LIGHT POLE	
—		EX. ROUND STORM CATCH BASIN	—○—	EX. SINGLE POLE SIGN	
—		EX. SANITARY MANHOLE	—○—	EX. DOUBLE POLE SIGN	
—		EX. STORM END SECTION	—○—	EX. MAILBOX	
—		EX. SANITARY VENT	—○—	EX. FLAGPOLE	
—		EX. CLEAN OUT	—○—	EX. UNDERGROUND MANHOLE	
—		EX. UNDERGROUND GAS	—○—	EX. COMBO MANHOLE	
—		EX. GAS VALVE	—○—	EX. SECTION LINE	
—		EX. GAS METER	—○—	EX. PARCELS	
—		EX. UNDERGROUND TELEPHONE	—○—	EX. EASEMENT	
—		EX. UNDERGROUND MANHOLE	—○—	EX. WETLAND LIMITS	
—		EX. TELEPHONE RISER	—○—	EX. COUNTERLINE	
—		EX. TELEPHONE HANDHOLE	—○—	EX. FENCE	
—		EX. UNDERGROUND ELECTRIC	—○—	EX. QUADRANT	
—		EX. ELECTRIC MANHOLE	—○—	EX. SPREADER	
—		EX. ELECTRIC RISER	—○—	EX. UNDERGROUND MANHOLE	
—		EX. ELECTRIC HANDHOLE	—○—	EX. FOUND IRON SPIKE	
—		EX. ELECTRIC TRANSFORMER	—○—	EX. FOUND PK NAIL	
—		EX. ELECTRIC METER	—○—	EX. FOUND CONC. MONUMENT	
—		EX. GENERATOR	—○—	EX. SET IRON ROD	
—		EX. ASPHALT	—○—	EX. SET MAG NAIL	
—		EX. CONCRETE	—○—	EX. SECTION CORNER	
—		EX. GRAVEL	—○—	EX. BOLLARD	
—		EX. TREELINE	—○—	EX. POLE	
—		EX. WATER MARKER	—○—	EX. BOLLARD	
—		EX. GAS MARKER	—○—	EX. RECORDED BEARING	
—		EX. COMM. MARKER	—○—	EX. MEASURED BEARING	
—		EX. TELE. MARKER	—○—	EX. TREE	
—		EX. FIBER MARKER	—○—	EX. DEMO TREE	
—		EX. MEDIA MARKER	—○—		



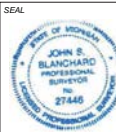
CITY BENCHMARK #2511
NORTHING 345827.16
EASTING 13364381.59
ELEVATION = 830.41
BENCH TIE SET IN WEST FACE OF POWER POLE LOCATED 30 FEET EAST OF CENTERLINE OF NOVI ROAD AND AT PROPERTY LINE BETWEEN #21470 AND #21510 NOVI ROAD

1/4 CORNER SECTION 35, T.14N., R.8E. CITY OF NOVI, OAKLAND CO., MI L15526 P-774

CITY BENCHMARK #2534
NORTHING 34209.78
EASTING 13364402.20
ELEVATION = 824.14
"X" ON NORTH RIM OF SANITARY MANHOLE LOCATED 25' NORTH OF SOUTH ENTRANCE TO GUERNSEY FARM DAIRY AND RESTAURANT

I HEREBY CERTIFY THAT I HAVE LOCATED AND MAPPED THE LAND HEREIN PLATED AND/OR DESCRIBED, ON THE DATE NOTED HEREON, THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF ACT 132, P.A. OF 1970 AND THAT THE ERROR OF CLOSURE OF THE UNADJUSTED FIELD OBSERVATION IS WITHIN THE LIMITS ESTABLISHED FOR THE PROFESSION.

John Blanchard, Professional Surveyor
PS#4001027446
Diffin-Umlor and Associates LLC
49287 West Road
Westland, Michigan 48383
Phone: (248) 437-7803
Fax: (866) 690-4307



CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Diffin-Umlor & ASSOCIATES
Civil Engineering • Surveying • Landscaping • Construction Services

49287 WEST ROAD
WIXOM, MI 48393
(P): 248-437-7803
(F): 866-960-4307

REVISIONS:

CLIENT: KALABAT ENGINEERING /ISK DESIGN GROUP
3333 SCOTTSDALE BLVD SUITE 250
BENTON HILLS, MICHIGAN 48915
TOPOGRAPHIC / BOUNDARY / TREE SURVEY
21300 NOVI RD., NOVI, MI

SECTIONS:
TOWNSHIP NORTH, RANGE EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

DATE: 8-7-19
Drawn By: xx
P.E.: MD

Job No.: 190729
Sheet No.: 1

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LEGEND

- PROPOSED BUILDING ADDITION
- NEW STANDARD DUTY ASPHALT PAVEMENT
- 4' CONCRETE SIDEWALK
- 8' NON-REINFORCED CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PARKING LOT STRIPING
- 2' CURB & GUTTER
- CONCRETE WHEEL STOP (PARKING BUFFER BLOCK)
- 6' CONCRETE FILLED BOLLARD
- RR STAINLESS STEEL BIKE RACK
- RR PAVEMENT MARKING ARROW

SITE DATA

PARCEL ID: 22-35-301-001
 LINK AREA: 2.97 ACRES
 CURRENT ZONING: B-3
 PROPOSED ZONING: RESTAURANT/DAIRY FARM
 PROPOSED USE: RESTAURANT/DAIRY FARM
 BUILDING HEIGHT: 22'-6" MAX
 TOTAL BUILDING FLOOR AREA: 26,662 S.F.

PARKING CALCULATIONS:
 SEATING: 95 / 2 = 48
 EMPLOYEES: 10 / 2 = 5
 BUS/SHUTTLE: 1 / 200 S.F. = .005
 TOTAL: 53

PARKING PROVIDED: 67
 BARRIER FREE PARKING: 1
 VAN: 2
 TOTAL: 70

LOADING REQUIRED: 10 S.F. FOR EACH FOOT OF BUILDING FRONTAGE
 233.25 FT OF FRONTAGE * 10 S.F. = 2,332.5 S.F.
 LOADING PROVIDED: 607 S.F. * 3.60 S.F. = 2,185 S.F.

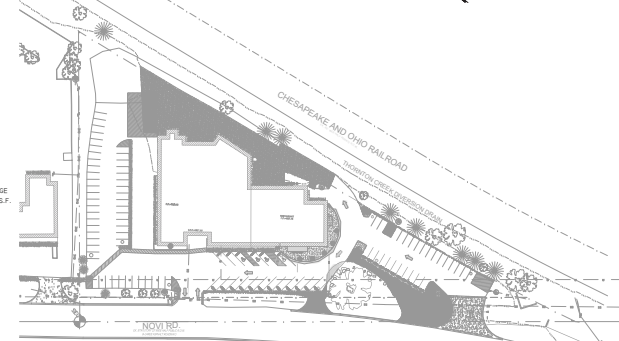
LOADING LOCATION: REAR / SIDE YARD

PARKING SETBACKS:
 FRONT YARD: 20 FT 9'-0" (EX NON-CONFORMING)
 NORTH SIDE YARD: 10 FT 10'-0"
 SOUTH SIDE YARD: 10 FT 67'-8"
 REAR YARD: 10 FT 0'-0" (EX NON-CONFORMING)

BUILDING SETBACKS:
 FRONT YARD: 20 FT 42'-3"
 SIDE YARD (NORTH): 15 FT 106'-5"
 SIDE YARD (SOUTH): 15 FT 264'-8"
 REAR YARD: 20 FT 17'-5" (EX NON-CONFORMING)

WB-67 TRUCK TURNING MOVEMENT

(SCALE: 1" = 80')



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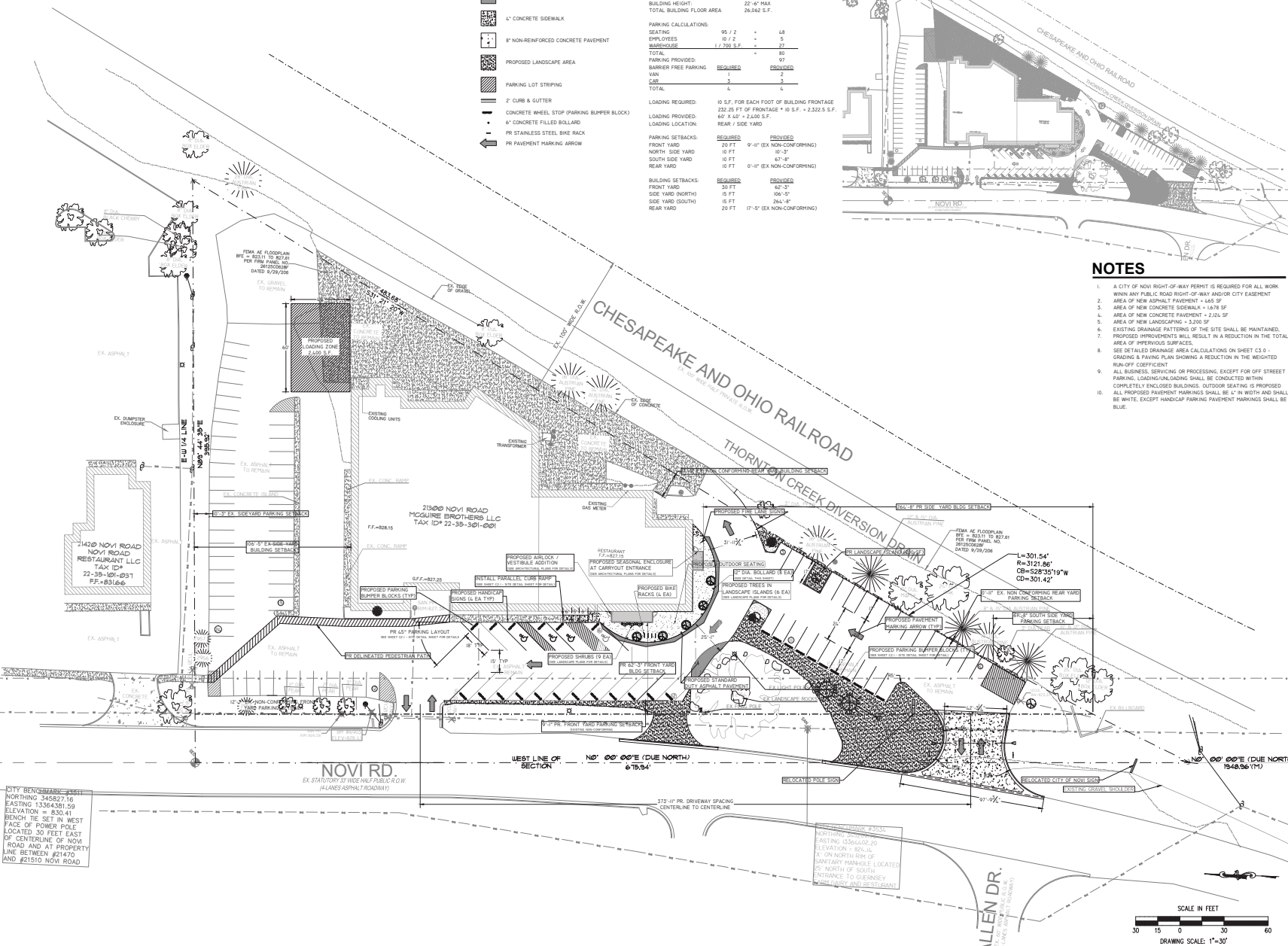
KALAMATI ENGINEERING
 31333 Southfield Road Suite 250
 Beverly Hills, MI 48025
 Ph: 248.600.8707
 F: 248.594.5919
 info@kalamati.com



PROJECT NUMBER	DATE	NO. OF REVISIONS	DATE	NO. OF REVISIONS	DATE	NO. OF REVISIONS	DATE	NO. OF REVISIONS
1	08-24-19	10	11	11	12	13	14	15
2	08-24-19	11	12	12	13	14	15	16
3	08-24-19	12	13	13	14	15	16	17
4	08-24-19	13	14	14	15	16	17	18
5	08-24-19	14	15	15	16	17	18	19
6	08-24-19	15	16	16	17	18	19	20

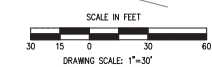
NOTES

- A CITY OF NOV RIGHT-OF-WAY PERMIT IS REQUIRED FOR ALL WORK WITHIN ANY PUBLIC RIGHT-OF-WAY AND/OR CITY EASEMENT
- AREA OF NEW ASPHALT PAVEMENT = 145 S.F.
- AREA OF NEW CONCRETE SIDEWALK = 145 S.F.
- AREA OF NEW CONCRETE PAVEMENT = 2,224 S.F.
- AREA OF NEW LANDSCAPING = 3,200 S.F.
- EXISTING DRAINAGE PATTERNS OF THE SITE SHALL BE MAINTAINED. PROPOSED IMPROVEMENTS WILL RESULT IN A REDUCTION IN THE TOTAL AREA OF IMPROVED SURFACES.
- SEE DETAILED DRAINAGE AREA CALCULATIONS ON SHEET C3.0 - GRADING & PAVING PLAN SHOWING A REDUCTION IN THE WEIGHTED RUN-OFF COEFFICIENT
- ALL BUSINESS SERVING OR PROCESSING, EXCEPT FOR OFF STREET PARKING, LOADING/UNLOADING SHALL BE CONDUCTED WITHIN COMPLETELY ENCLOSED BUILDINGS. OUTDOOR SEATING IS PROPOSED.
- ALL PROPOSED PAVEMENT MARKINGS SHALL BE 4" IN WIDTH AND SHALL BE WHITE, EXCEPT HANDICAP PARKING PAVEMENT MARKINGS SHALL BE BLUE.



CITY BENCH MARK: 345827.16
 NORTHING: 13364381.59
 EASTING: 13364381.59
 ELEVATION: +835.41
 BENCH IS SET IN WEST FACE OF POWER POLE LOCATED 30 FEET EAST OF CENTERLINE OF NOV1 ROAD AND AT PROPERTY LINE BETWEEN #21470 AND #21510 NOV1 ROAD.

NORTHING: 13364402.20
 EASTING: 13364402.20
 ELEVATION: +804.14
 BENCH IS ON NORTH SIDE OF CONCRETE MARKER LOCATED 25' NORTH OF SOUTH SIDE OF NOV1 ROAD AND AT PROPERTY LINE BETWEEN GUERNSEY FARM DAIRY AND GUERNSEY FARM DAIRY.



RON & ROMAN ARCHITECTS
 275 E FRANK ST.
 BIRMINGHAM, MI 48009

GUERNSEY FARMS DAIRY
 21300 NOV1 RD
 NOV1 RD SEC 35
 T1N, R8E SEC 35

DIMENSIONAL SITE PLAN

SHEET NUMBER
C2.0

1 Purpose and Introduction
2 Definitions
3 Zoning Districts
4 Use Standards
5 Site Standards
6 Development Procedures
7 Admin and Enforcement

5-16

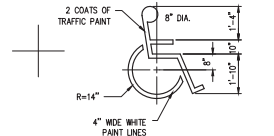
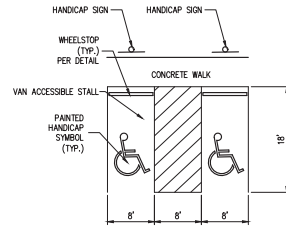
City of Novi Zoning Ordinance

3. All spaces shall be provided access by means of maneuvering lanes. Backing directly onto a street shall be prohibited.

4. Adequate ingress and egress to the parking lot by means of clearly limited and defined drives shall be provided for all vehicles.

5. All maneuvering lane widths shall permit one-way traffic movement, except that the ninety (90) degree pattern may permit two-way movement.

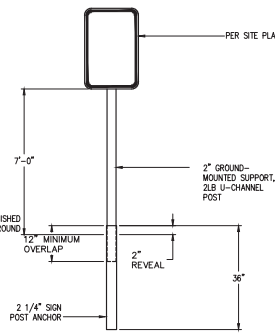
6. Ingress and egress to a parking lot lying in an area zoned for multiple-family residential use shall not be across land zoned for single-family residential use. Further, ingress and egress to a parking lot lying in an area zoned for nonresidential use shall not be across land zoned for residential use, nor shall access to a local residential street be permitted except as may otherwise be permitted in Section 5.13.



NOTES:
 1. STRIPING TO BE 4 INCHES WIDE AND BLUE IN COLOR.
 2. HANDICAP SIGNS TO BE PLACED IN THE NEAREST GRASS AREA ACROSS CONCRETE WALKS FOR SPACES THAT ADJUT WALKS.
 3. HANDICAP SIGNS TO BE BOLLARD MOUNTED AND PLACED AT HEAD OF SPACE FOR SPACES THAT DO NOT ADJUT WALKS.
 4. STALL AND AISLE WIDTHS ARE TYPICAL UNLESS OTHERWISE STATED ON PLAN.

ADA ACCESSIBLE PARKING STRIPING DETAIL

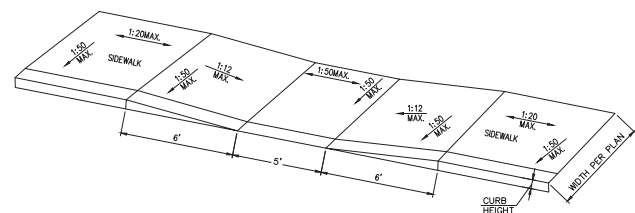
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NOTE: SIGNS PLACED IN PAVEMENT TO BE BOLLARD MOUNTED. ALL OTHER SIGNS TO BE STANDARD.

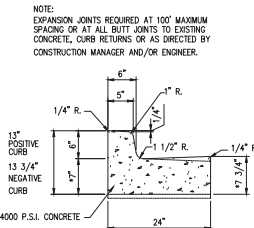
STANDARD SIGN DETAIL

SCALE: N.T.S.



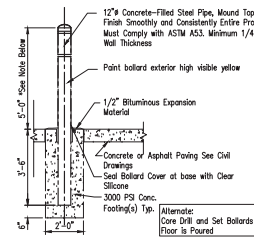
PARALLEL CURB RAMP DETAIL

SCALE: N.T.S.



CONCRETE CURB AND GUTTER

SCALE: N.T.S.



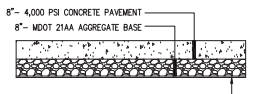
12" BOLLARD DETAIL (EXTERIOR)

(No Scale)



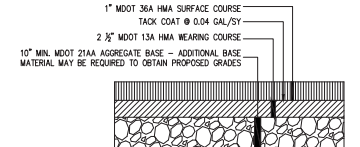
HANDICAP PARKING AND VAN ACCESSIBLE SIGN

NOT TO SCALE



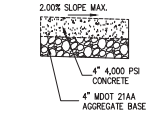
8" CONCRETE PAVEMENT

SCALE: N.T.S.



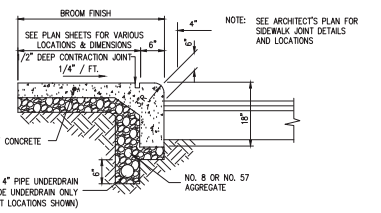
STANDARD DUTY ASPHALT PAVEMENT SECTION

SCALE: N.T.S.



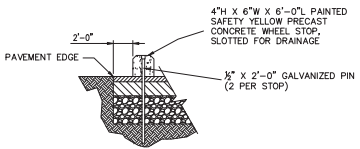
TYPICAL SIDEWALK SECTION

NOT TO SCALE



COMBINED CURB AND WALK

NOT TO SCALE



WHEEL STOP

SCALE: N.T.S.

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 kide@kalmati.com

PROFESSIONAL ENGINEER
 STATE OF MICHIGAN
 KALAMATI ENGINEERING
 LICENSE NO. 92147

NO.	REVISION	DATE	BY	CHKD.	APP'D.
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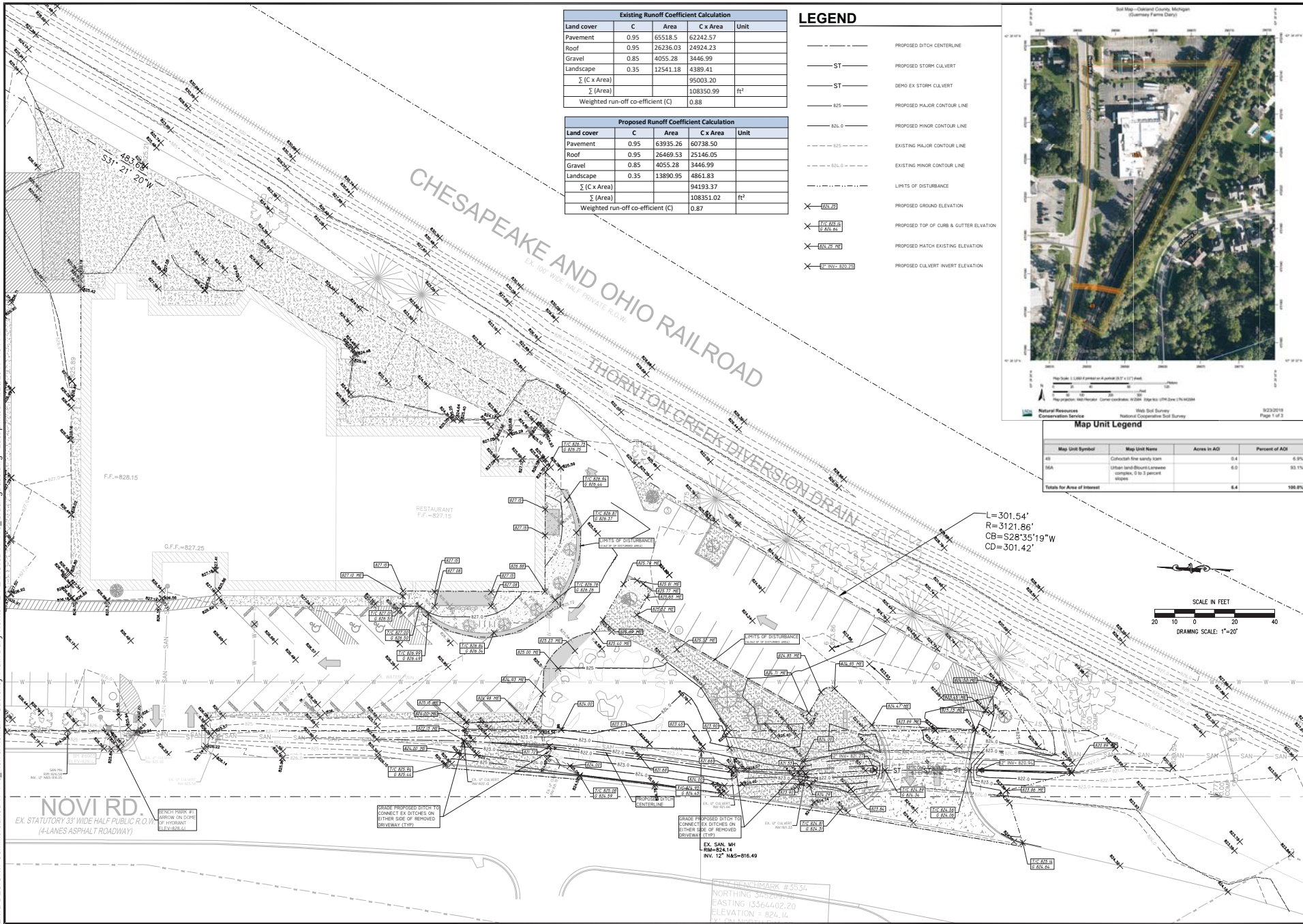
CLIENT:
RON & ROMAN ARCHITECTS
 275 E FRANK ST.
 BIRMINGHAM, MI 48009

PROJECT:
GUERNSEY FARMS DAIRY
 21300 NOWI RD.
 NOVICH, MI 48867
 T.N. RBEC SEC 35

SHEET TITLE:
SITE DETAIL SHEET

SHEET NUMBER:
C2.1

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Existing Runoff Coefficient Calculation				
Land cover	C	Area	C x Area	Unit
Pavement	0.95	65518.5	62242.57	
Roof	0.95	26236.03	24924.23	
Gravel	0.85	4055.28	3446.99	
Landscape	0.35	12541.18	4389.41	
$\Sigma (C \times Area)$			95003.20	
$\Sigma (Area)$			108350.99	ft ²
Weighted run-off co-efficient (C)			0.88	

Proposed Runoff Coefficient Calculation				
Land cover	C	Area	C x Area	Unit
Pavement	0.95	63935.26	60738.50	
Roof	0.95	26469.53	25146.05	
Gravel	0.85	4055.28	3446.99	
Landscape	0.35	13890.95	4861.83	
$\Sigma (C \times Area)$			94193.37	
$\Sigma (Area)$			108351.02	ft ²
Weighted run-off co-efficient (C)			0.87	

- ### LEGEND
- PROPOSED DITCH CENTERLINE
 - ST --- PROPOSED STORM CULVERT
 - ST --- DEMO EX STORM CULVERT
 - 825 --- PROPOSED MAJOR CONTOUR LINE
 - 820.0 --- PROPOSED MINOR CONTOUR LINE
 - 815 --- EXISTING MAJOR CONTOUR LINE
 - 820.0 --- EXISTING MINOR CONTOUR LINE
 - 820.0 --- LIMITS OF DISTURBANCE
 - PROPOSED GROUND ELEVATION
 - PROPOSED TOP OF CURB & GUTTER ELEVATION
 - PROPOSED MATCH EXISTING ELEVATION
 - PROPOSED CULVERT INVERT ELEVATION



Map Scale: 1"=60' (as shown on a printed 30" x 42" sheet)
 Map Projection: NAD 83 Transverse Mercator
 Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey
 9/23/2019 Page 1 of 2

Map Unit Symbol	Map Unit Name	Acres in ACI	Percent of ACI
MS	Colchuck fine sandy loam	0.4	6.9%
MSA	Urban land-Abundant Lenses composite, 0 to 3 percent slopes	6.0	93.1%
Totals for Area of Interest		6.4	100.0%

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KALAMATI ENGINEERING

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 iden@kalamati.com



NO.	DATE	NO. REVISION	DATE	PROJECT NUMBER	DATE	BY	CHKD.	APP'D.
1	08/24/19	10						
2		11						
3		12						
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7		16						
8		17						
9		18						

RON & ROMAN ARCHITECTS
 275 E FRANK ST.
 BIRMINGHAM, MI 48009

GUERNEY FARMS DAIRY
 21300 NOV RD.
 NORFOLK, MI 48067
 T.T.N. REC SEC 35

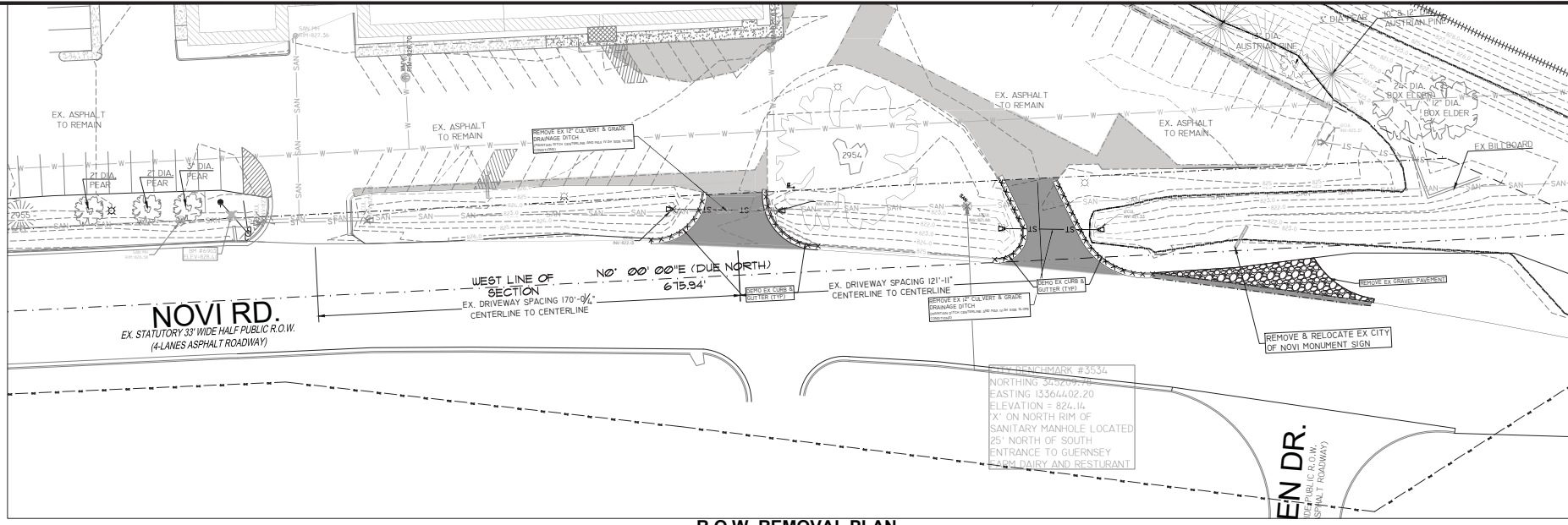
GRADING & PAVING PLAN

SHEET TITLE: **C3.0**

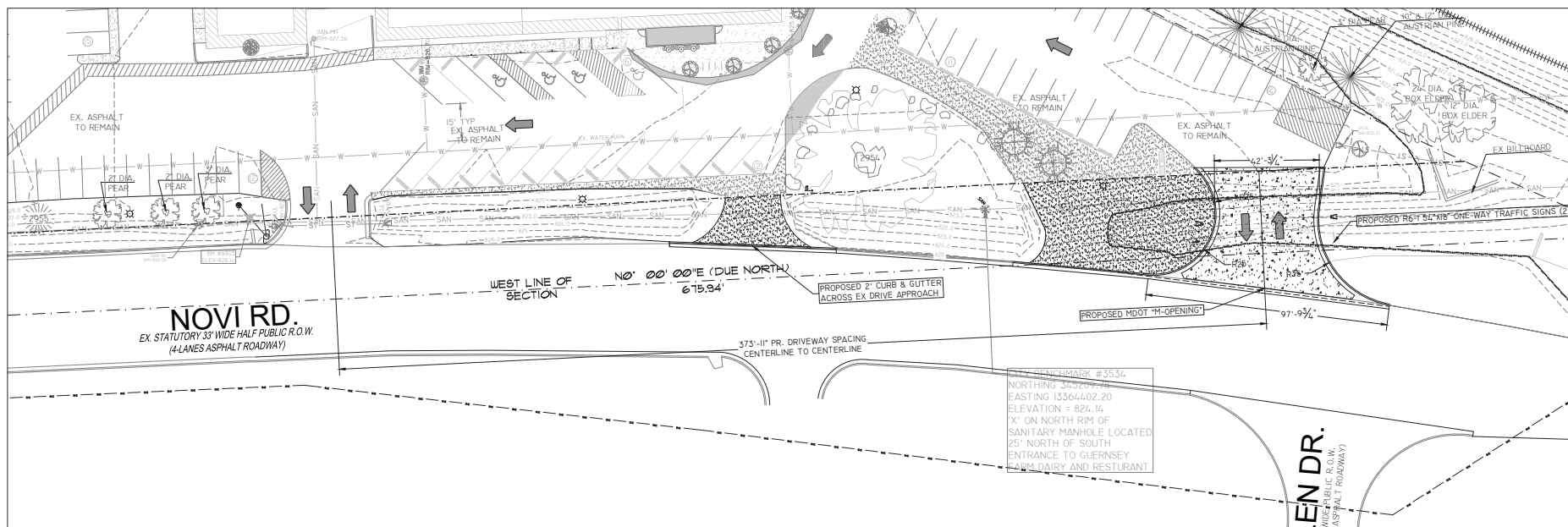
EX. SAN. MH
 RIM=824.14
 INV. 12' N&S=816.49

EX. SAN. MH #3534
 NORTHING 360000
 EASTING 13364402.20
 ELEVATION = 824.14

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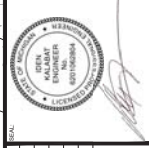


R.O.W. REMOVAL PLAN



R.O.W. CONSTRUCTION PLAN

KALADATE ENGINEERING
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 Beverly Hills, MI 48025
 Ph 248.600.8707
 F 248.584.5919
 iden@kaladate.com



NO.	DATE	DESCRIPTION
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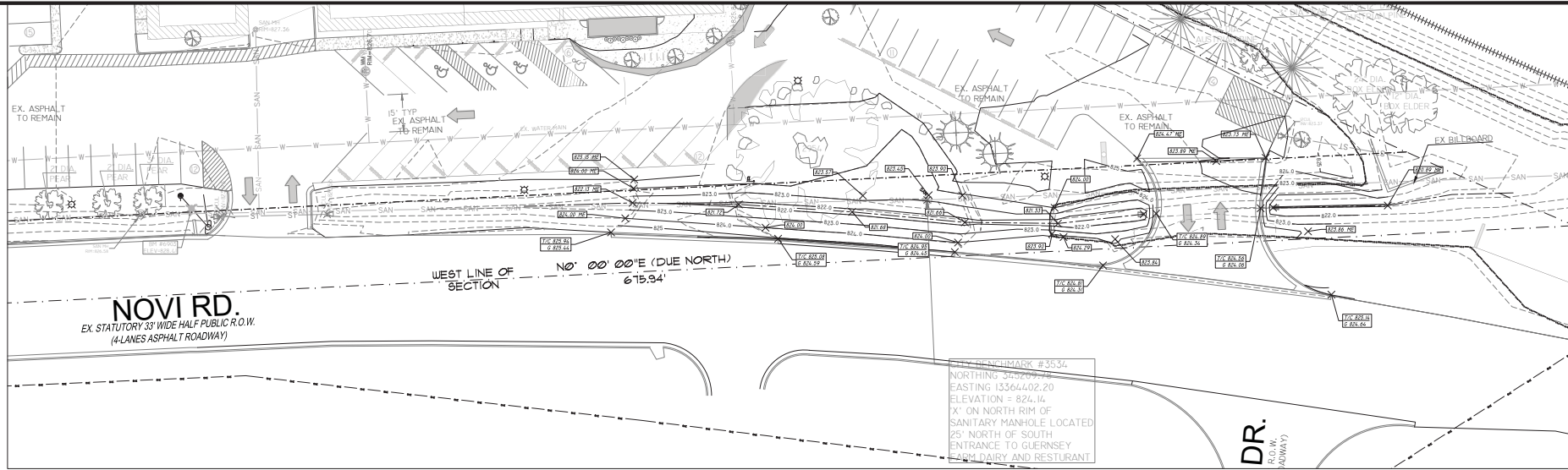
RON & ROMAN ARCHITECTS
 275 E FRANK ST.
 BIRMINGHAM, MI 48009

GUERNSEY FARMS DAIRY
 21300 NOVI RD.
 NORTHVILLE, MI 48867
 1 1/2 ACRES SEC 35

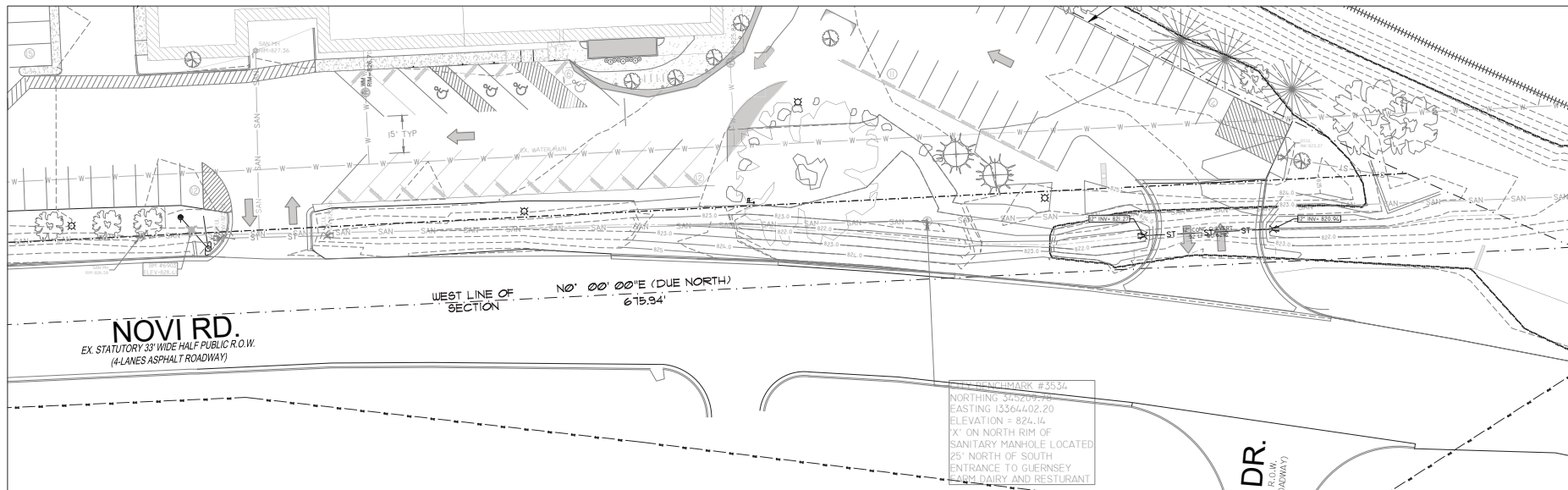
ROW REMOVAL & CONSTRUCTION PLAN

C4.0

Z:\1a-DESIGN\1-Commercial\CD19-110_Ron & Roman - Guernsey Farm Dairy Nov\SITE PLANS\CD19-110_ROWPlan.dwg - Last printed 11/20/2019 1:05 PM



R.O.W. GRADING PLAN



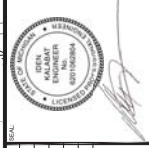
R.O.W. UTILITY PLAN

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KALABAT ENGINEERING

KE

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Beverly Hills, MI 48025
Ph 248.600.8707
F 248.594.5919
iden@kalabat.com



NO.	DATE	DESCRIPTION
1		PRELIMINARY PLAN (P.A.)
2		FINAL PLAN
3		AS-BUILT
4		REVISION
5		REVISION
6		REVISION
7		REVISION
8		REVISION
9		REVISION
10		REVISION

RON & ROMAN ARCHITECTS

275 E FRANK ST.
BIRMINGHAM, MI 48009

GUERNSEY FARMS DAIRY

21300 NOVI RD.
NORTHVILLE, MI 48067
17N, RBE SEC 35

ROW GRADING & UTILITY PLAN

C4.1

