



ARMSTRONG WAREHOUSE JSP25-34

ARMSTRONG WAREHOUSE JSP25-34

Public hearing at the request of David Armstrong for approval of Special Land Use, Preliminary Site Plan, and Stormwater Management Plan. The subject property is located at 22735 Heslip Drive and consists of approximately 1.31 acres, situated north of Nine Mile Road and east of Novi Road (Section 26). The property is zoned I-1 (Light Industrial). The applicant proposes construction of a 4,000 square-foot warehouse/workshop building.

Required Action

Approval or denial of the Special Land Use, Preliminary Site Plan, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	01/21/26	<ul style="list-style-type: none"> • Special Land Use considerations • Items to be addressed at Final Site Plan submittal
Engineering	Approval Recommended	01/20/26	<ul style="list-style-type: none"> • Design and Construction Standards (DCS) variance approval by City Council required for lack of required curbing in parking areas • Items to be addressed at Final Site Plan submittal
Landscape	Approval Recommended	12/29/25	<ul style="list-style-type: none"> • Landscape waiver for lack of a screening berm along the west property line adjacent to residential (Supported by staff as approximately 230 feet of existing woodland is to remain) • Items to be addressed at Final Site Plan submittal
Woodland	Approval Recommended	01/16/26	<ul style="list-style-type: none"> • Conservation easement recommended • Items to be addressed at Final Site Plan submittal
Traffic	Approval Recommended	01/21/26	<ul style="list-style-type: none"> • Same side driveway spacing waiver for deficiency in required driveway spacing • Items to be addressed at Final Site Plan submittal
Façade	Approval Recommended	01/08/26	<ul style="list-style-type: none"> • Section 9 Façade Waiver for overage of ribbed metal siding
Fire	Approval Recommended	01/05/26	<ul style="list-style-type: none"> • Meets Fire Department standards

MOTION SHEET:

Approval – Special Land Use Permit

In the matter of Armstrong Warehouse JSP25-34, motion to **approve** the Special Land Use Permit based on and subject to the following:

1. Relative to other feasible uses of the site:
 - a) The proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/ deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. *(The proposed use is on an industrial drive, and the number of peak hour trips is low);*
 - b) The proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. *(No additional impacts on the capabilities of public services and facilities are anticipated);*
 - c) The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats. *(No wetlands or watercourses have been identified on the site);*
 - d) The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. *(The parcel is adjacent to other Light Industrial properties, and the proposed building will be approximately 265 feet from the nearest residential property);*
 - e) The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use. *(The project reinforces the planned industrial character for the district and supports the economic development objectives and land use framework of the Master Plan);*
 - f) The proposed use will promote the use of land in a socially and economically desirable manner. *(The project contributes to economic development and productive use of a vacant site);*
 - g) The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance. It is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
2. *(additional conditions here, if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– AND –

Approval – Preliminary Site Plan

In the matter of Armstrong Warehouse JSP25-34, motion to **approve** the Preliminary Site Plan based on and subject to the following:

1. Landscape waiver under Section 5.5.3.A for lack of a screening berm along the west property line adjacent to the residential district (Saddle Creek Apartments) as approximately 230 feet of existing woodland is to be preserved and will provide sufficient screening to the adjacent residential area, which is hereby granted;
2. Section 9 Façade waiver under Section 5.15.9 for the overage of ribbed metal siding on the north elevation (50% allowed, 56% proposed), the south elevation (50% allowed, 58% permitted), and the west elevation (50% allowed, 100% proposed) as the design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;
3. Same side driveway spacing waiver under Ordinance Article IX, Section 11.216.d.1.d for the deficiency in spacing measured from near curb approach to near curb approach (minimum 105 feet required, 95 feet proposed) as the driveway placement is limited due to the property frontage dimension and existing driveway locations, which is hereby granted;
4. Design and Construction Standards (DCS) variance approval from the City Council for lack of required curbing in the parking lot;
5. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
6. *(additional conditions here, if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Armstrong Warehouse JSP25-34, motion to **approve** the Stormwater Management Plan based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Special Land Use Permit

In the matter of Armstrong Warehouse JSP25-34, motion to **deny** the Special Land Use Permit... *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

- AND -

Denial – Preliminary Site Plan

In the matter of Armstrong Warehouse JSP25-34, motion to **deny** the Preliminary Site Plan... (because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Denial – Stormwater Management Plan

In the matter of Armstrong Warehouse JSP25-34, motion to **deny** the Stormwater Management Plan... (because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

MAPS

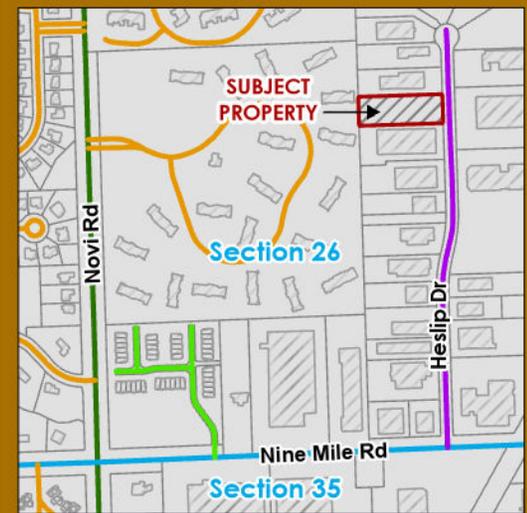
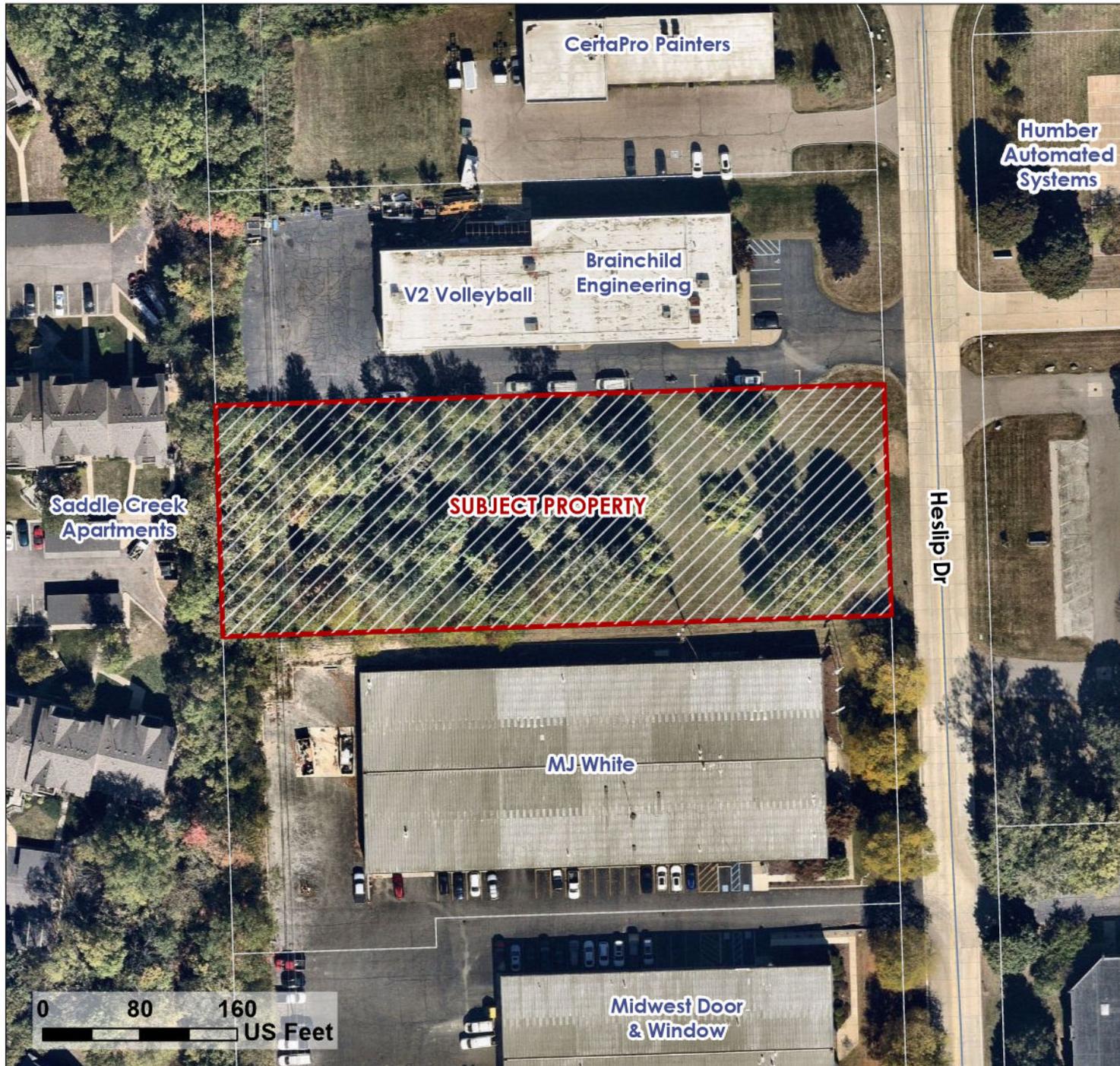
Location

Zoning

Future Land Use

Natural Features

ARMSTRONG WAREHOUSE LOCATION MAP



LEGEND

 Subject Property

Thoroughfare Classification

 Arterial

 Minor Arterial

 Non-Residential Collector

 Residential Collector

 Local Residential Street

Map Author: Diana Shanahan
Project: Armstrong Warehouse

Date: 02/12/26
Version #: 1

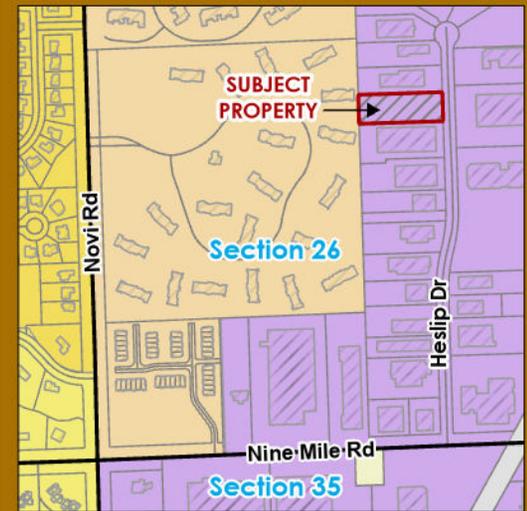
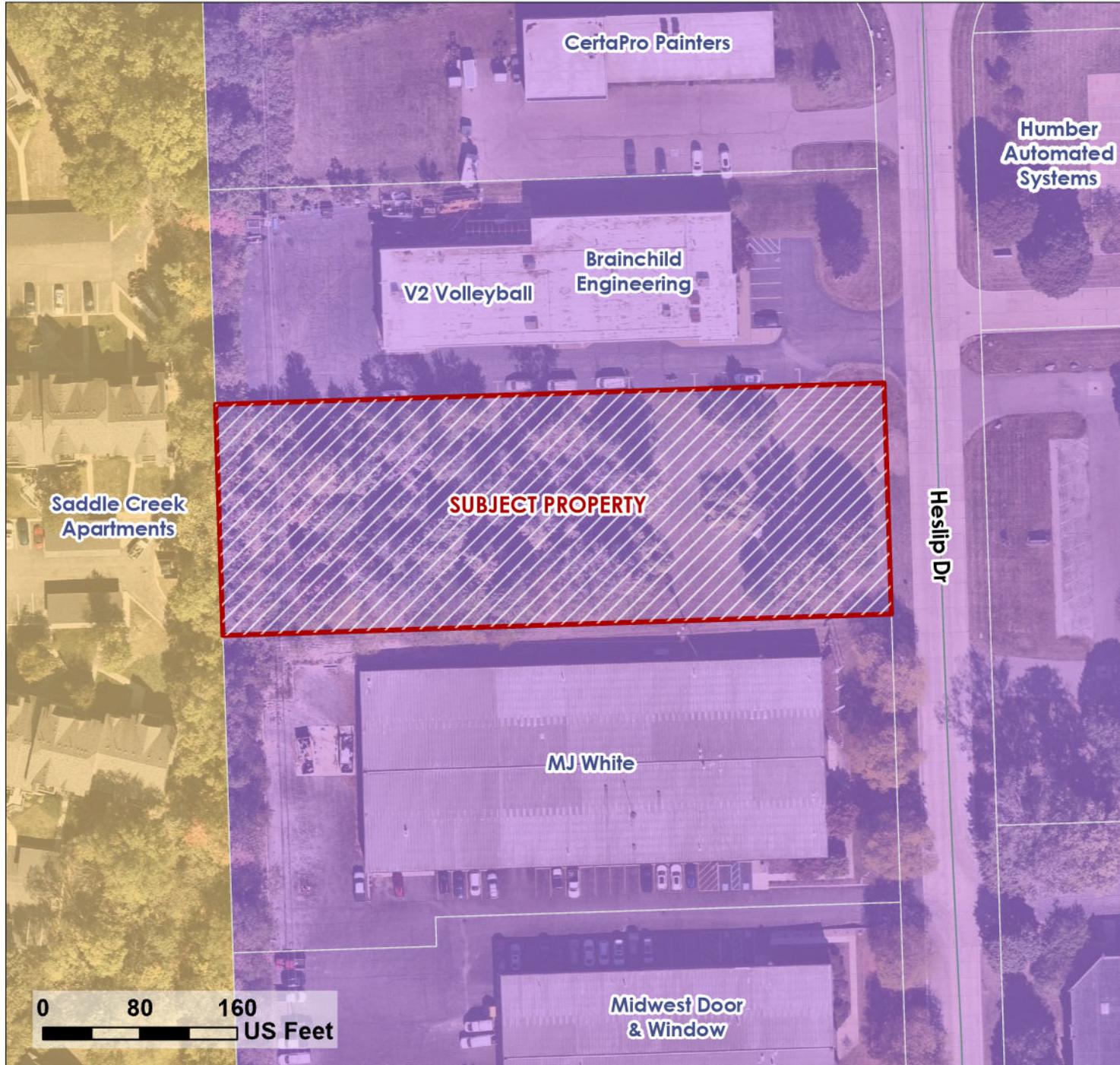


City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org

0 80 160
US Feet

ARMSTRONG WAREHOUSE ZONING MAP



LEGEND

 Subject Property

Zoning District

 I-1: Light Industrial

 R-1: One-Family Residential

 R-3: One-Family Residential

 R-4: One-Family Residential

 RM-1: Low-Density Multiple-Family

Map Author: Diana Shanahan
Project: Armstrong Warehouse

Date: 02/12/26
Version #: 1



City of Novi

Community Development Department
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45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org

ARMSTRONG WAREHOUSE FUTURE LAND USE MAP



LEGEND

 Subject Property

Future Land Use Category

 Industrial/Office

 Multiple Family

 Neighborhood Commercial

 Private Park

 Public/Quasi-Public

 Single Family

Map Author: Diana Shanahan
Project: Armstrong Warehouse

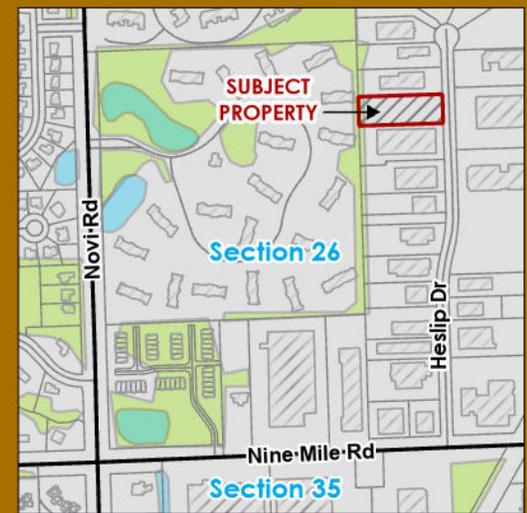
Date: 02/12/26
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45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org

ARMSTRONG WAREHOUSE NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands

Map Author: Diana Shanahan
Project: Armstrong Warehouse

Date: 02/12/26
Version #: 1

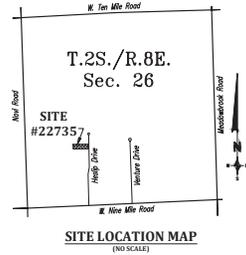


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SITE PLAN AND BUILDING ELEVATIONS

PRELIMINARY SITE PLAN FOR ARMSTRONG WAREHOUSE (22735 HESLIP) SECTION 26, NOVI, MICHIGAN



APPLICANT/OWNER:
DAVID ARMSTRONG
43824 WESTRIDGE LANE
NORTHVILLE, MI 48167
PHONE: (216) 403-1334

CIVIL ENGINEER/LAND SURVEYOR:
ZEMET WOZNAK AND ASSOCIATES, INC.
55800 GRAND RIVER, SUITE 100
NEW HUDSON, MI 48165
PHONE: (248) 437-5099
CONTACT: ANDY WOZNAK

ARCHITECT:
M.ARCHITECT
114 E. MAIN STREET, 3RD FLOOR
NORTHVILLE, MI 48167
PHONE: (248) 349-2708
CONTACT: ROBERT MILLER

**WOODLAND CONSULTANT AND
LANDSCAPE ARCHITECT:**
ALLEN DESIGN
557 CARPENTER
NORTHVILLE, MI 48167
PHONE: (248) 467-4668
CONTACT: JIM ALLEN

SHEET INDEX:

- CIVIL DRAWINGS:**
- CE-1 COVER SHEET
 - CE-2 EXISTING CONDITIONS
 - CE-3 PAVING AND DIMENSION PLAN
 - CE-4 GRADING AND UTILITIES PLAN
 - CE-5 SOIL EROSION CONTROL PLAN
 - CE-6 STORMWATER MANAGEMENT PLAN

- ARCHITECTURAL DRAWINGS:**
- A101 FLOOR PLAN
 - A301 EXTERIOR ELEVATION

- LANDSCAPE DRAWINGS:**
- L-1 LANDSCAPE PLAN
 - L-2 WOODLAND PLAN
 - L-3 DETAILS

- SITE ELECTRICAL DRAWINGS:**
- L201 PHOTOMETRIC CALCULATION

SITE DATA:

PROPOSED USE: OFFICE AND WAREHOUSE	
ZONED: I-1	
SITE AREA: 1.31 ACRES	
DENSITY/AREA CALCULATIONS:	GROSS BUILDING AREA LOT COVERAGE
PROPOSED BUILDING	4,000 S.F. 7.0%
BUILDING SETBACKS:	ALLOWED PROPOSED
FRONT (EAST)	40 FT 42 FT
SIDE (NORTH)	20 FT 20 FT
SIDE (SOUTH)	20 FT 80 FT
REAR (WEST)	100 FT 265 FT
BUILDING HEIGHT:	40 FT 17'-5"
PARKING (INCLUDES ADA)	
VAN ACCESSIBLE:	6 SPACES 7 SPACES
BICYCLE PARKING:	2 SPACES 2 SPACES

SITE DEVELOPMENT NOTES:

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS AND STANDARD DETAILS OF THE CITY OF NOVI.
2. CALL MISS DIG (1-800-447-7344 / 1-800-MISS DIG) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UNDERGROUND UTILITIES CAUSED BY HIS OPERATIONS.
4. TRENCHES UNDER OR WITHIN 3 FT. OF EXISTING OR PROPOSED PAVEMENTS, DRIVEWAYS, AND/OR SIDEWALKS SHALL BE BACKFILLED AND COMPACTED WITH MOOT CLASS #3 SAND.
5. WHERE UTILITIES CROSS, PROVIDE POROUS BACKFILL, LAMPED IN 12" LAYERS TO THE UNDERSIDE OF THE HIGHER UTILITY. A 6" MIN. SAND CUSHION SHALL BE PROVIDED BETWEEN UTILITIES.
6. ALL SEWER CONSTRUCTION SHALL HAVE MOOT CLASS #3 BEDDING UNLESS OTHERWISE SPECIFIED ON THE PROFILES.
7. ALL ELEVATIONS SHOWN ARE BASED ON U.S.G.S. DATUM.
8. ALL DISTURBED AREAS BE PROMPTLY RESTORED BY THE CONTRACTOR.
9. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE.
10. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE EMERGENCY ACCESS TO PROPERTY FOR THE POLICE, FIRE DEPARTMENT, AMBULANCES OR OTHER EMERGENCY VEHICLES TO PROTECT LIFE, HEALTH AND PROPERTY.
11. PAVED STREET AND DRIVEWAYS MUST BE MAINTAINED IN A REASONABLE STATE OF CLEANLINESS AND THE CONTRACTOR SHALL REMOVE ACCUMULATIONS OF DEBRIS CAUSED BY CONSTRUCTION OPERATIONS.
12. CONTRACTOR MUST PROVIDE ALL NECESSARY SHEETING, SHORING, DEWATERING BRACING, TRENCH BOXES, ETC. TO PERFORM WORK SAFELY AND PROTECT EXISTING UTILITIES AND IMPROVEMENTS IN ACCORDANCE TO MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (MOSHA).



SITE MAP

SITE PLAN USE NOTES:

- BLENDING DIRECTLY WITH RETAIL CONSUMER IS PROHIBITED.
- LONG TERM DELIVERY TRUCK PARKING IS NOT ALLOWED.

NOT FOR CONSTRUCTION

GENERAL NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.



LEGAL DESCRIPTION

PARCEL ID# 22-26-326-015
THE NORTH 72.00 FEET OF LOT 15 AND THE SOUTH 70.00 FEET OF LOT 16, OF "NOVEX - ONE", A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 2 SOUTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 137 OF PLATS ON PAGE 36, OF OAKLAND COUNTY RECORDS, CONTAINING 1.307 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF USE OR RECORD.

NOTE:

THESE PLANS ARE THE PROPERTY OF ZEMET WOZNAK & ASSOCIATES, INC. NO CONSTRUCTION STAKING OR CONSTRUCTION INSPECTION OR CONSTRUCTIVE USE OF THESE PLANS SHALL BE MADE BY ANYONE WITHOUT THE WRITTEN AUTHORIZATION BELOW.

AUTHORIZATION BY: _____
ZEMET WOZNAK & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR FOR SAFETY ON THE JOB SITE. NOR SHALL ZEMET WOZNAK & ASSOCIATES, INC. BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE OWNER AND ENGINEER FROM ALL LIABILITIES FOR INJURY TO PERSONS, OR DAMAGE TO LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OR EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.

ALL CONTRACTORS SHALL NAME ZEMET WOZNAK & ASSOCIATES, INC. AS ADDITIONALLY INSURED ON ALL INSURANCE POLICIES.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO WARRANTY IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

ISSUED FOR	DATE	ISSUED FOR	DATE	ISSUED FOR	DATE	ISSUED FOR	DATE
PSP SUBMITTAL	2-18-26						

ZEMET WOZNAK
CONSULTING CIVIL ENGINEERS
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetwoznak.com

MISS DIG SYSTEM
THREE FIELD WORKING DAYS BEFORE YOU DIG. CALL THE 800 DIG SYSTEM 1-800-342-7171

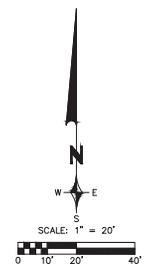
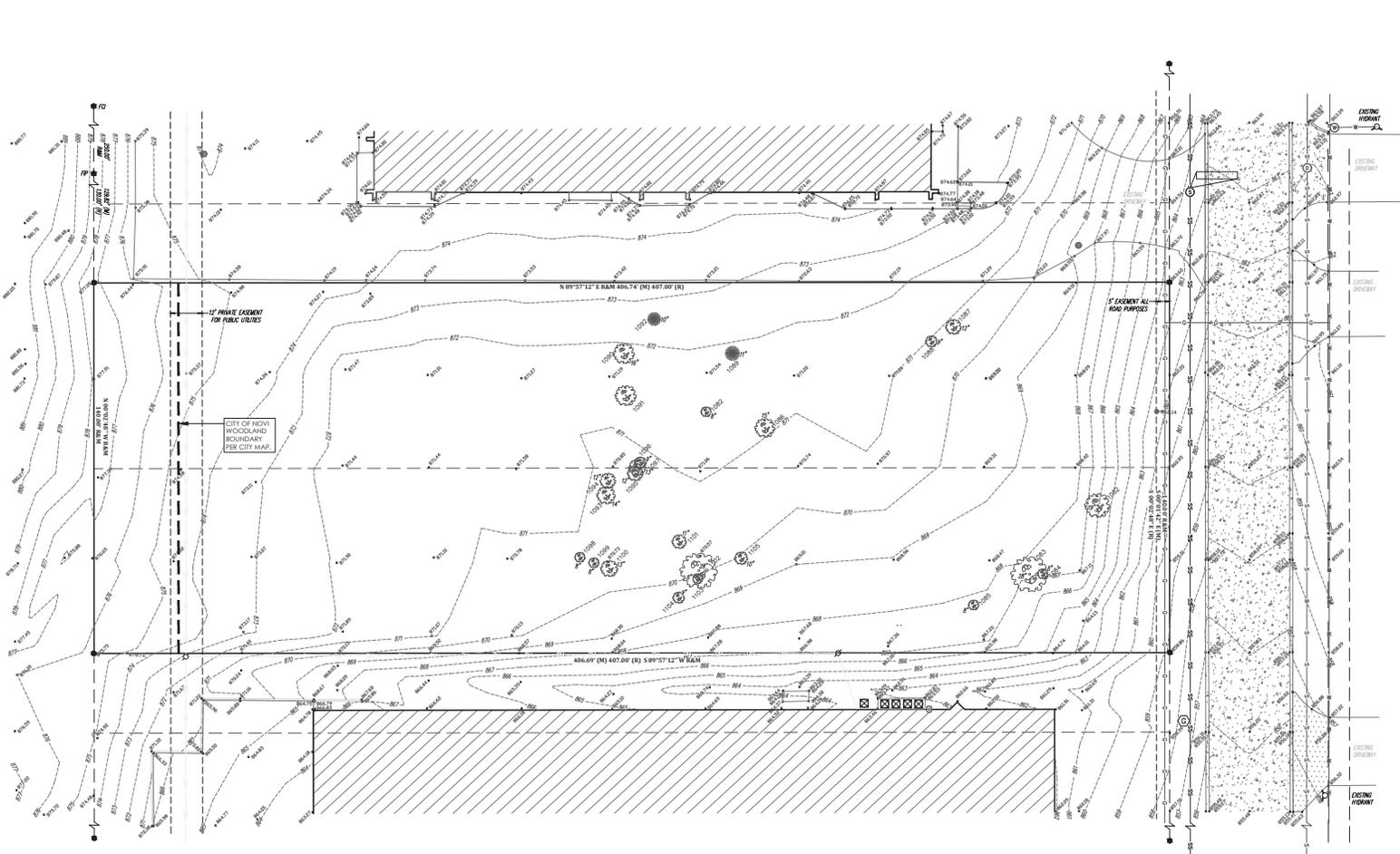
PROJECT SPONSOR:
DAVID ARMSTRONG
43824 WESTRIDGE LANE
NORTHVILLE, MI 48167
216.403.1334

ARMSTRONG WAREHOUSE (22735 HESLIP)
SECTION 26, NOVI, MICHIGAN

GENERAL NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

DATE: 12-12-26 **SCALE:** 1" = 20'
DESIGNED BY: JAW **JOB NO.:** 25142
DRAWN BY: PTC **SHEET:** CE-1

COURTESY 2023



BENCHMARK:
 OFF-SITE BENCHMARK ASSIS
 THE "X" ON THE NORTH RM OF THE
 SANITARY MANHOLE LOCATED ACROSS FROM
 INTERSECTION OF HESLP DRIVE AND 9 MILE
 ROAD, 1 FOOT SOUTH OF SIGNAL.
 ELEVATION = 845.16 NAVORS

ON-SITE
 THE NORTH RM OF THE SANITARY MANHOLE
 LOCATE 8 FEET EAST AND 34 FEET NORTH
 OF THE NORTHEAST PROPERTY CORNER.
 ELEVATION = 863.63 NAVORS

- LEGEND**
- FOUND MONUMENTATION
 - SET MONUMENTATION
 - SECTION CORNER
 - SECTION BEAR
 - FIELD MEAS.
 - PROPERTY DIST.
 - CALCULATED DIST.
 - PROPERTY LINE
 - SECTION LINE
 - EASEMENT LINE
 - PLATTED LINE
 - FENCE LINE
 - SANITARY SEWER
 - STORM SEWER
 - WATER LINE/MAIN
 - GAS LINE/MAIN
 - OVERHUNG LINE
 - BUREL LEGE
 - GAS METER
 - GAS MANHOLE
 - GAS MARKER/FLAG
 - WATER MANHOLE
 - HYDRANT
 - WATER SHUT OFF
 - WATER METER
 - WATER MARKER/FLAG
 - STORM MANHOLE
 - STORM BASIN
 - STORM OUTLET
 - SAN. MANHOLE
 - SAN. MANHOLE/FLAG
 - COMM. MANHOLE
 - COMM. TIE-IN
 - LIGHT POLE
 - POWER TRANSFORMER
 - ELEC. METER
 - ELEC. METER W/ MON. WELL
 - SIGN
 - AIR CONDITIONING UNIT
 - FOUND CONC. WALK
 - FOUND IRON ROD
 - FOUND CAPPED IRON
 - FOUND IRON PIPE
 - ROCK OF CURB
 - TOP OF CURB
 - CURB OUTLET
 - TOP OF CURB
 - LOW IRON
 - FINISH GRADE
 - MATCH TO GRADE
 - FINISHED FLOOR
 - AS-BUILT MEAS.
 - E.S. SPOT ELEVATION
 - FINISHED ELEVATION
 - NEELY
 - DECIDUOUS TREE
 - EVERGREEN TREE

NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSMIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

TOPOGRAPHIC AND BOUNDARY DATA, INCLUDING PROPERTY LINES, LEGAL DESCRIPTIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED FROM SURVEY FOR THIS SITE PREPARED BY:

NOVRY & HALE LAND SURVEYING LLC
 192 N. MAIN ST., SUITE D
 PLYMOUTH, MI 48170
 PROJECT NO. 025-105, DATED 10/23/25

ZEIMET-WOZNAK & ASSOCIATES, INC. WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN OMISSIONS RESULTING FROM SURVEY INACCURACIES.

NOTES

THE SURVEYED PROPERTY IS NOT WITHIN A FEDERALLY DESIGNATED FLOOD ZONE. PER FIRM MAP NO. 28123020Z AND 28123020Z, EFFECTIVE DATE 9-29-2009.

THERE IS NO EVIDENCE OF ON-SITE WELLS.

SEE LANDSCAPE PLAN FOR TREE LIST.

GENERAL NOTE:
 ALL WORK SHALL CONFORM TO THE
 CURRENT CITY OF NOVI STANDARDS
 AND SPECIFICATIONS.



NOT FOR CONSTRUCTION

ISSUED FOR	DATE								

ZEIMET WOZNAK
 CONSULTING CIVIL ENGINEERS
 5500 GRANDVIEW AVE., SUITE 100
 NEW HEDEN, MICHIGAN 48165
 P. (248) 430-0900 F. (248) 437-3222 www.zeimetwoznak.com

THREE FULL
 WORKING DAYS
 BEFORE FOR DRG.
 CALL THE MISS
 DIG SYSTEM
 1-800-342-7177

PROJECT SPONSOR:
 DAVID ARMSTRONG
 43824 WESTRIDGE LANE
 NORTHVILLE, MI 48167

DESIGNED BY
 A/JW

DRAWN BY
 P/TC

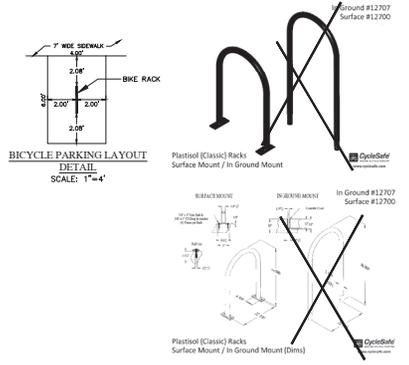
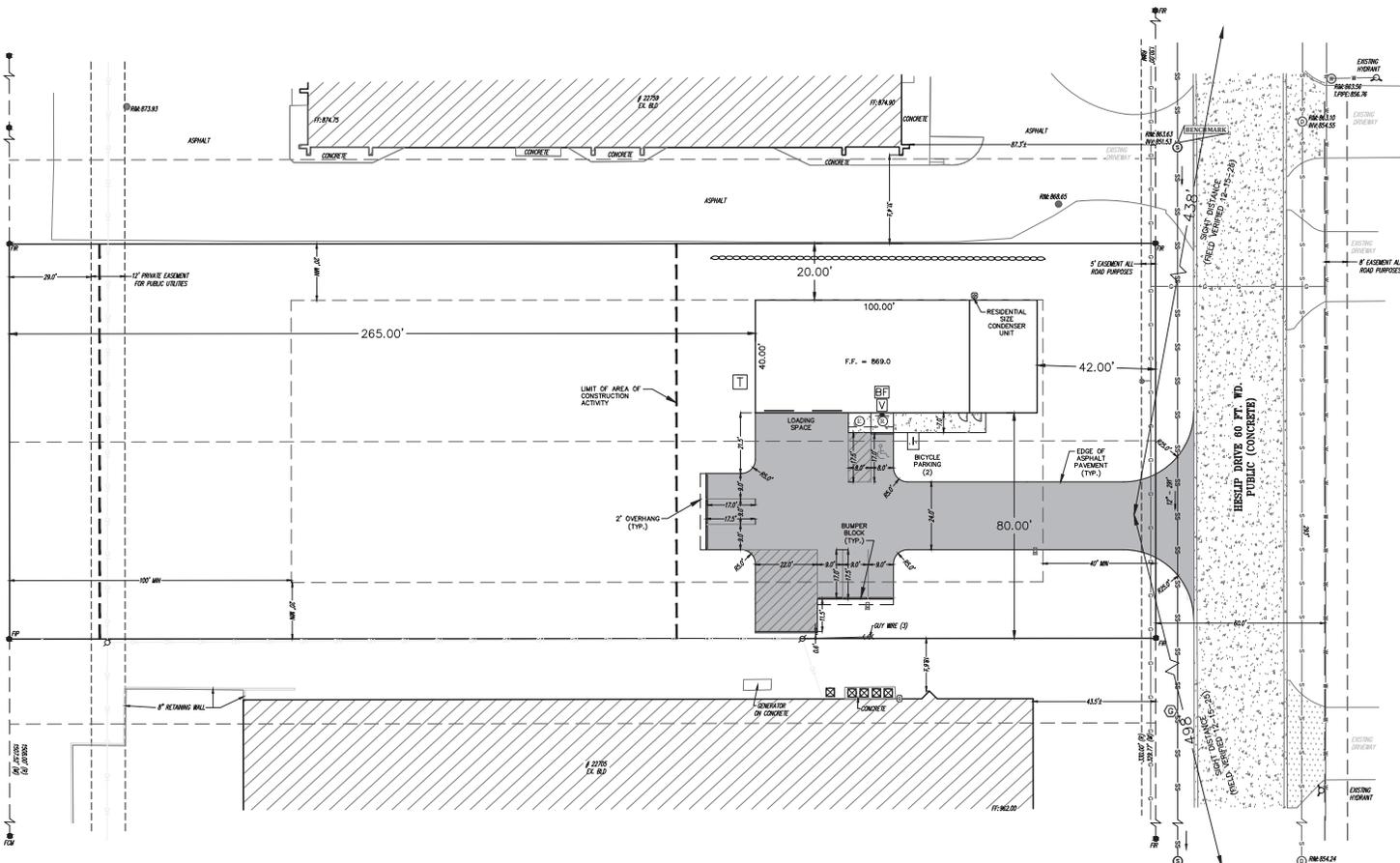
216.403.1334

EXISTING CONDITIONS
ARMSTRONG WAREHOUSE (22735 HESLP)
 SECTION 26, NOVI, MICHIGAN

DATE 12-12-25 SCALE HOR: 1" = 20'
 VER: 1" = N/A

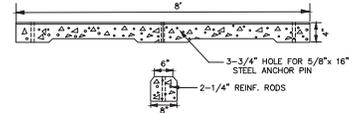
JOB NO. 25142

SHEET CE-2

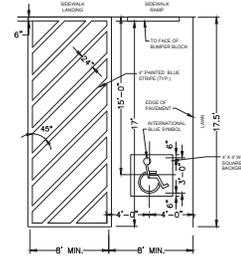
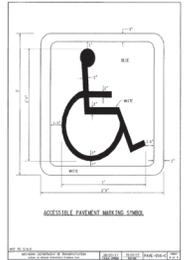
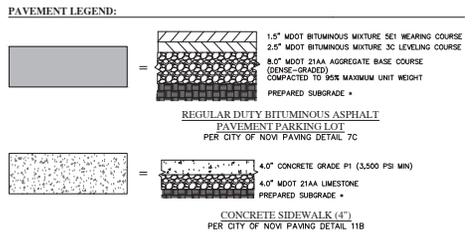


SIGN TABLE			
TYPE	MMUTCD	DESCRIPTION	QUANTITY
[B]	R7-8	12"x18" GREEN LEGEND & BORDER ON WHITE BACKGROUND WITH BLUE WHEELCHAIR SYMBOL AND WORD "ONLY" IN THE WHITE SPACE BELOW THE WHEELCHAIR	1
[V]	R7-4P	12"x18" GREEN LEGEND & BORDER ON WHITE BACKGROUND (PLAQUE)	1

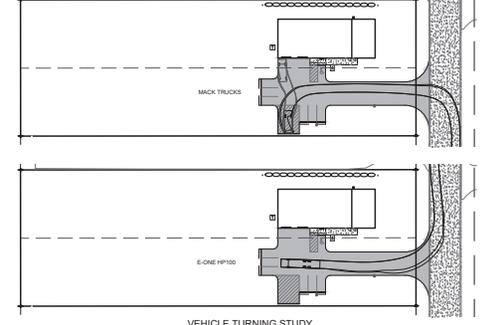
- NOTES:
- ALL TRAFFIC CONTROL SIGNAGE SHALL COMPLY WITH THE CURRENT MMUTCD STANDARDS AND SPECIFICATIONS.
 - SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12"x18" OR SMALLER SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH A NOMINAL DIMENSION GREATER THAN 12"x18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.
 - ALL SIGNS SHALL HAVE A BOTTOM HEIGHT OF 7' ABOVE FINAL GRADE.
 - ALL SIGNS SHALL BE INSTALLED ON FACE OF BUILDING.
 - TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.
 - TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.



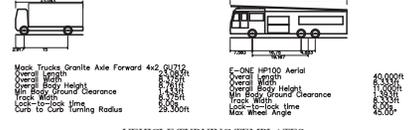
BUMPER BLOCK DETAIL
NOT TO SCALE



ACCESSIBLE PARKING STRIP DETAIL
NOT TO SCALE



VEHICLE TURNING STUDY
NOT TO SCALE



VEHICLE TURNING TEMPLATES
NOT TO SCALE

NOTE: SUBGRADE SHALL BE PREPARED COMPACTED TO 95% MAXIMUM UNIT WEIGHT BEFORE PLACING CURB AND GUTTER AND AGGREGATE BASE IN ACCORDANCE WITH THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER.

NOTE: STANDARD PARKING SPACES SHALL BE STRIPED WITH 4 INCH WIDE WHITE STRIPES.

GENERAL NOTE: ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.



NOT FOR CONSTRUCTION

ISSUED FOR	DATE								

ZEMET WOZNAK
CONSULTING ENGINEERS
3080 GRANDVIEW AVE., SUITE 100
NEW BERLIN, MICHIGAN 48165
P: (248) 413-0900 E: (248) 417-3222 WWW.ZEMETWOZNAK.COM

MISS DIG SYSTEM, INC.
THREE FULL TIME WORKERS
BEFORE FOR DIG CALL THE MISS DIG SYSTEM
1-800-342-7177

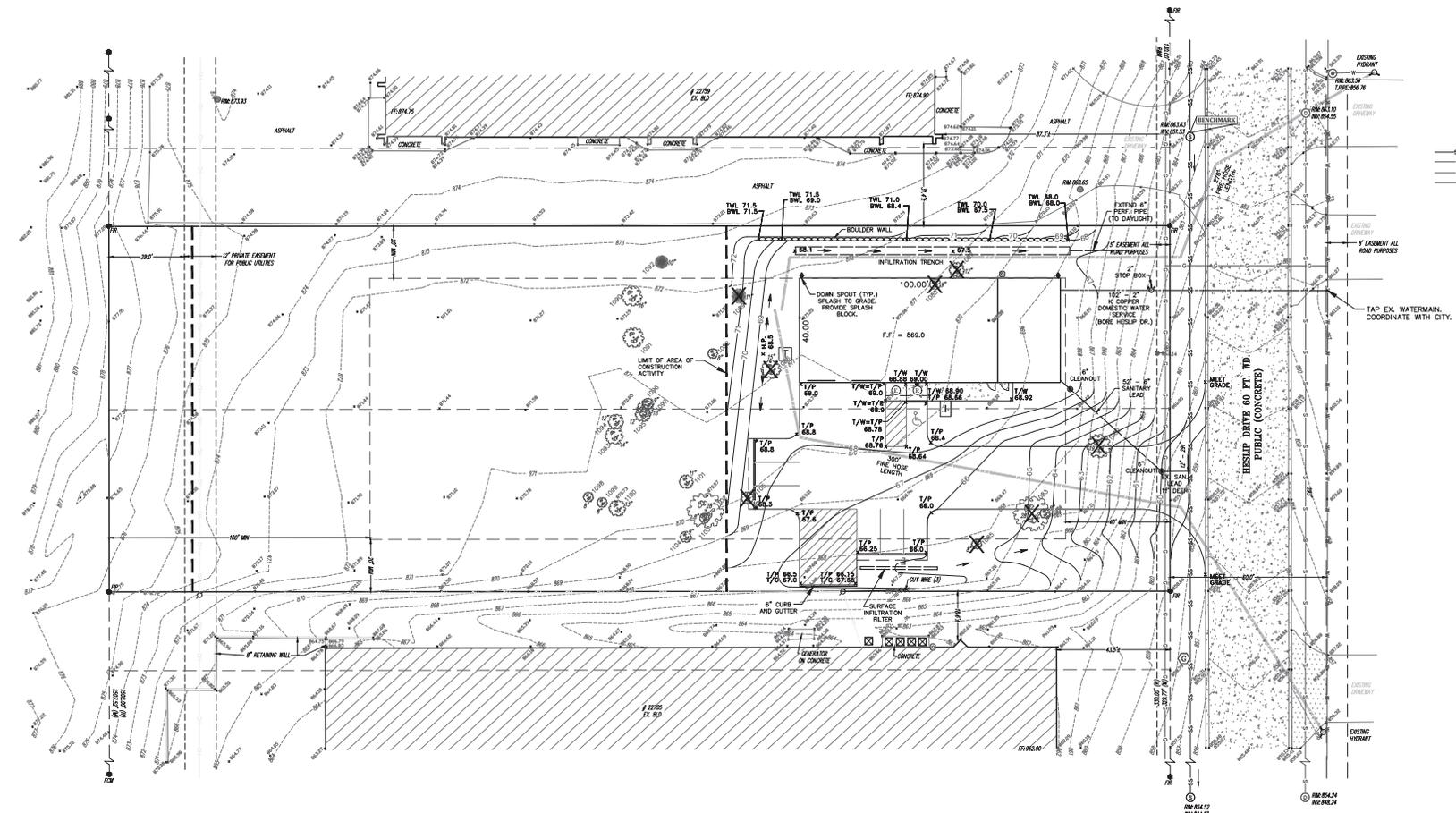
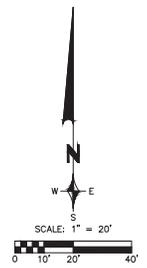
PROJECT SPONSOR:
DAVID ARMSTRONG
43824 WESTRIDGE LANE
NORTHVILLE, MI 48167
216.403.1334

PAVING AND DIMENSION PLAN
ARMSTRONG WAREHOUSE (22735 HESLIP)
SECTION 26, NOVI, MICHIGAN

DATE: 12-12-25
SCALE: HOR: 1" = 20'
VER: 1" = N/A
DESIGNED BY: A.W.
JOB NO.: 25142
DRAWN BY: B.T.C.
SHEET: CE-3

UTILITY LEGEND

- | EXISTING | | PROPOSED | |
|----------|----------------|----------|--------------------|
| ○ | MANHOLE | ● | CLEANOUT |
| □ | CATCH BASIN | ◆ | DOWN SPOUT |
| ○ | CLEANOUT | ⊕ | WATER SHUT-OFF |
| ○ | ROOF DRAIN | ⊗ | TREE REMOVAL |
| ○ | GATE VALVE | — | SANITARY SEWER |
| ○ | HYDRANT | — | WATER MAIN |
| ○ | WATER SHUT-OFF | — | TOP OF WALK |
| ○ | UTILITY POLE | — | 1/2" OF PAVEMENT |
| ○ | GUY ANCHOR | — | 1/2" OF CURB |
| ○ | TREE | — | TWL TOP OF WALL |
| — | SANITARY SEWER | — | BWL BOTTOM OF WALL |
| — | STORM SEWER | — | BOULDER WALL |
| — | WATER MAIN | — | FIRE HOSE |
| — | GAS MAIN | | |



NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSMIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

NOTES:

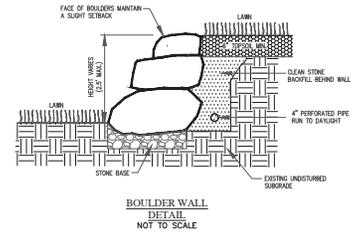
SEE SHEET CE-6 FOR INFILTRATION TRENCH AND SURFACE INFILTRATION FILTER DETAILS.

ELECTRICAL SERVICE TO LIGHT POLES MUST BE UNDERGROUND.

SEE LANDSCAPE PLAN FOR TREE LIST.

WATER MAIN NOTES:

- BACTERIOLOGICAL SAMPLING SHALL BE IN ACCORDANCE WITH R225.11110 OF THE ADMINISTRATIVE RULES PROMULGATED UNDER MICHIGAN SAFE DRINKING WATER ACT, 1976 PA 308, AS AMENDED. TWO CONSECUTIVE BACTERIOLOGICAL SAMPLES SHALL BE COLLECTED 24 HOURS APART AT EACH SAMPLING SITE. SAMPLING SITE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANNSA STANDARD 0045.
- FOR THE PROPOSED DUCTILE IRON WATER MAINS, EACH PIPE, HYDRANT, VALVE, AND OTHER APPURTENANCE MATERIAL THAT COMES IN CONTACT WITH POTABLE WATER MUST BE CERTIFIED TO MEET THE ANS/ANSI STANDARD 61 AND THE CERTIFICATION SHOULD BE STAMPED ON THE EXTERIOR WALL OF THE PIPE OR APPURTENANCE.



GENERAL NOTE: ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.



NOT FOR CONSTRUCTION

ISSUED FOR	DATE								

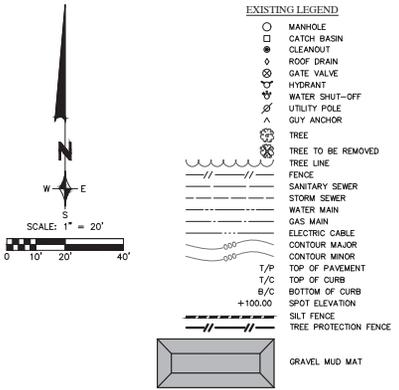
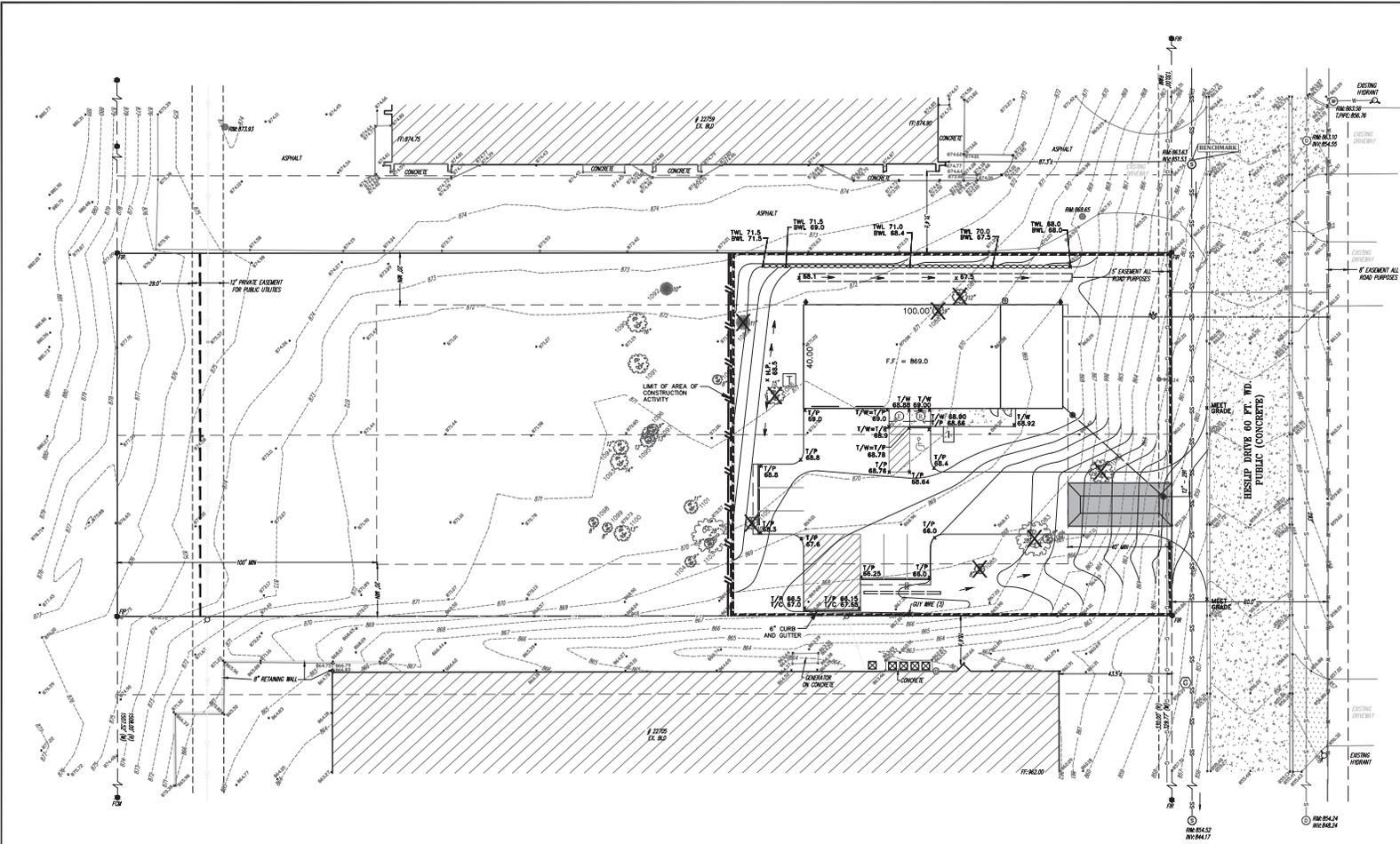
ZEMET WOZNAK
CONSULTING CIVIL ENGINEERS
5900 GRANDVIEW AVE., SUITE 100
NEW HEDENSON, MICHIGAN 48165
P: (248) 433-5099 F: (248) 437-2322 www.zemetwoznak.com

MISS DIG SYSTEM, INC.
THREE-FULL WORKING DAYS BEFORE FOR DIG. CALL THE MISS DIG SYSTEM 1-800-342-7177

PROJECT SPONSOR:
DAVID ARMSTRONG
43824 WESTRIDGE LANE
NORTHVILLE, MI 48167
216.403.1334

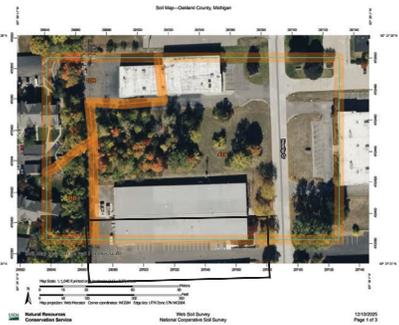
GRADING AND UTILITIES PLAN
ARMSTRONG WAREHOUSE (22735 HESLI)
SECTION 26, NOVI, MICHIGAN

DATE: 12-12-25
SCALE: HOR: 1" = 20'
VER: 1" = N/A
JOB NO.: 25142
DESIGNED BY: A/W
DRAWN BY: PTC
SHEET: CE-4



NOTE:
THIS PLAN ILLUSTRATES THE MINIMUM EROSION CONTROL MEASURES NEEDED TO PREVENT SILTS FROM LEAVING THE SITE AND IS SUBJECT TO CHANGE AS CONDITIONS IN THE FIELD WARRANT.

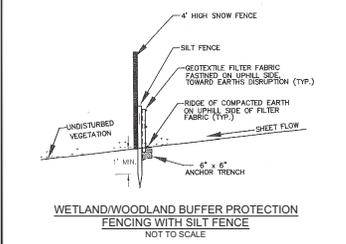
NOTE:
TREE PROTECTION FENCING SHALL BE LOCATED AT THE CRITICAL ROOT ZONE (1' OUTSIDE OF DRILLPIE) EXCEPT WHERE SHOWN.



- GENERAL EROSION CONTROL SEQUENCE:**
- INSTALL SILT FENCE AS INDICATED ON PLANS. ADDITIONAL AREAS MAY BE REQUIRED.
 - TREE PROTECTION FENCE SHOULD BE INSTALLED AS INDICATED ON PLANS.
 - REMOVE BUILT-UP SEDIMENT WHEN IT ACCUMULATES TO 1/2 TO 1/3 OF THE HEIGHT OF THE SILT FENCE AND AFTER STORM EVENTS.
 - IF THE SILT FENCE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED LIFE SPAN, AND IT IS STILL REQUIRED TO BE IN PLACE, THE FABRIC SHALL BE REPLACED IMMEDIATELY.
 - INSPECTIONS OF SILT AND TREE FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON A SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO FENCE INSTALLATION.
 - INSTALLATION OF SILT AND TREE FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON A SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO FENCE INSTALLATION.
 - INSTALL TEMPORARY STONE ACCESS DRIVE AS INDICATED ON PLANS.
 - CLEAR AND GRUB SITE FOR UTILITY WORK.
 - INSTALL UNDERGROUND UTILITIES (SANITARY, AND WATERMAIN).
 - FINE GRADE SITE. ESTABLISH TEMPORARY VEGETATION AND/OR LANDSCAPE. ALL DISTURBED AREAS NOT BUILT UPON OR PAVED WITHIN 5 DAYS OF FINAL GRADE OR WHENEVER DISTURBED AREAS REMAIN UNCHANGED FOR 30 DAYS OR GREATER.
 - REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AFTER PERMANENT LANDSCAPING IS INSTALLED AND FULL STABILIZATION IS ACHIEVED.

- EROSION CONTROL NOTES:**
- DURING DRY PERIODS ALL DISTURBED AREAS SHALL BE WATERED FOR DUST CONTROL.
 - ALL DIRT AND MUD TRACKED ONTO ROADWAYS SHALL BE REMOVED IMMEDIATELY.
 - ALL SOIL EROSION CONTROL MEASURES SHALL CONFORM TO THE LATEST CITY OF NOVI STANDARDS.
 - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL SOIL EROSION CONTROL MEASURES ARE MAINTAINED AND IN PLACE UNTIL SITE IS COMPLETELY STABILIZED.
 - THE ULTIMATE OUTLET FOR THIS SITE'S STORM DRAINAGE DISCHARGE IS THE TOWNLINE DRAIN.
 - NO PERMANENT STOCKPILING OF MATERIAL IS PERMITTED.
 - THIS PLAN DESCRIBES THE MINIMUM EROSION CONTROL MEASURES NEEDED TO PREVENT SILT AND SEDIMENT FROM LEAVING THE SITE. ADDITIONAL SEBIC MEASURES MAY BE REQUIRED AS CONDITIONS IN THE FIELD WARRANT.
 - IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE CITY'S ENGINEERING DIVISION FOR REVIEW.
 - VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3'-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
 - ALL CULVERT END SECTIONS MUST HAVE GROUTED RIP-RAP IN ACCORDANCE WITH CITY ORDINANCE SPECIFICATIONS.

- PERMIT NOTE:**
- THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 61 OF ACT 451 OF 1994 AS AMENDED, THE SOIL EROSION AND SEDIMENT CONTROL ACT. AN WRITER'S NOTICE OF COVERAGE SHALL BE OBTAINED FROM THE MDES.
 - INSTALLATION OF SILT FENCE AND TREE PROTECTION FENCE SHALL NOT OCCUR PRIOR TO THE INITIAL PRE-CONSTRUCTION MEETING WITH THE CITY AND THE ENGINEER. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF THE STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCE.
 - TOTAL AREA OF DISTURBANCE IS 1.0 ACRES.
 - THE ULTIMATE OUTLET FOR THIS SITE'S STORMWATER IS THE NOVI LYON DRAIN (APPROX. 1.2 MILES SOUTHWEST).
 - ALL DRAINAGE DITCHES SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS AND UTILITY CHECK DAMS. DRAINAGE DITCHES STEEPER THAN 3% ARE TO BE SOGGED.
 - SLOPES STEEPER THAN 1:6 (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.
 - ANY TEMPORARY STOCKPILES ARE TO BE PROTECTED WITH A RING OF SILT FENCE INSTALLED AROUND THE BASE OF THE STOCKPILED MATERIAL.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBED AREAS DUE TO INSTALLATION OF PUBLIC UTILITIES.
 - THE STORMWATER BASIN WILL BE STABILIZED PRIOR TO DIRECTING FLOW TO THE BASIN.
 - CONTRACTOR TO INSPECT PRE-TREATMENT STRUCTURES WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED, AND WILL CLEAN AS REQUIRED.
 - TEMPORARY STABILIZATION MEASURES MUST BE APPLIED WITHIN 5 DAYS IF MATERIAL MUST BE STOCKPILED TEMPORARILY. A RING OF SILT FENCE MUST BE INSTALLED SURROUNDING ANY TEMPORARY STOCKPILED MATERIAL. ALL DISTURBANCES TO THE STOCKPILED AREA SHALL BE MINIMIZED TO THE GREATEST EXTENT POSSIBLE, INCLUDING DUST CONTROL.



GENERAL NOTE:
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NOT FOR CONSTRUCTION

ISSUED FOR	DATE								

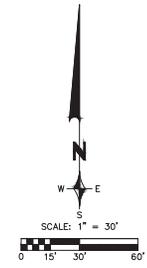
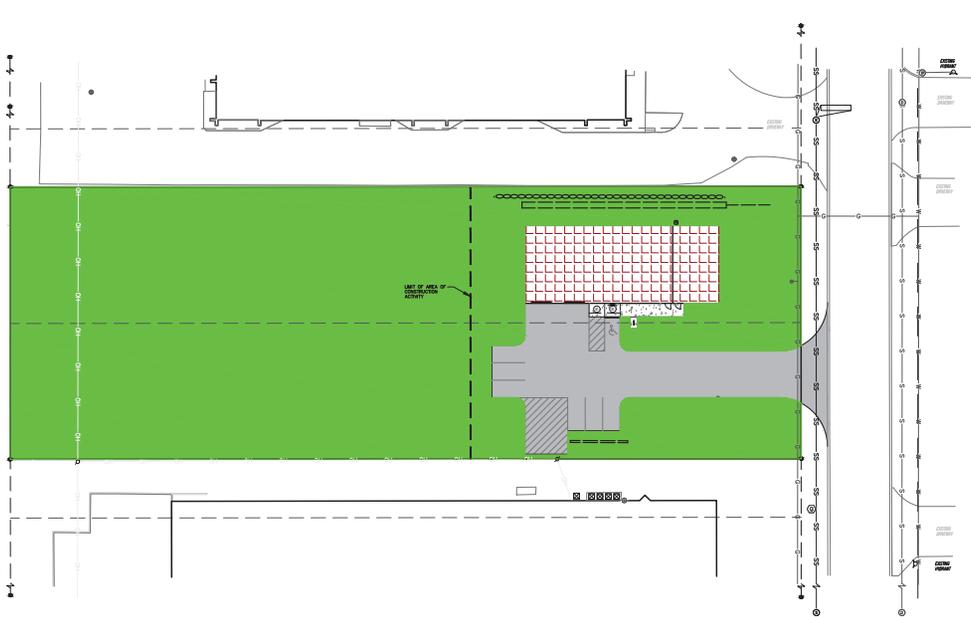
ZEMET WOZNAK
CONSULTING CIVIL ENGINEERS
3500 HIGHLAND DRIVE, SUITE 100
NEW HEDEN, MICHIGAN 48161
P: (248) 435-0000 F: (248) 432-3222 www.zemetwoznak.com

MISS DIG SYSTEM INC.
THREE FULL WORKING DAYS BEFORE FOR DIG. CALL THE MISS DIG SYSTEM 1-800-342-7171

PROJECT SPONSOR:
DAVID ARMSTRONG
43824 WESTRIDGE LANE
NORTHVILLE, MI 48167

SOIL EROSION CONTROL PLAN
ARMSTRONG WAREHOUSE (22735 HESLIP)
SECTION 26, NOVI, MICHIGAN

DATE: 12-12-25 SCALE: HOR: 1" = 20'
VER: 1" = N/A
DESIGNED BY: A.W. JOB NO: 25142
DRAWN BY: PTC. SHEET: CE-5



POST-CONSTRUCTION CONDITIONS LEGEND:

	LAWN/NATURAL
	WALKWAYS
	ROOF
	PAVEMENT

DRAINAGE COMPARISON:

FOOTPRINT OF BUILDING = 4,000 SF

PRE-CONSTRUCTION:

LAND COVER	AREA (AC)	C	CA
LAWN/NATURAL	1.31	0.25	0.327

Cpre = 0.327 / 1.31 = 0.25

POST-CONSTRUCTION:

LAND COVER	AREA (AC)	C	CA
LAWN/NATURAL	1.07	0.25	0.268
WALKWAYS	0.01	0.95	0.010
BUILDING	0.99	0.95	0.986
PAVEMENT	0.14	0.95	0.133
	1.31		0.497

Cpost = 0.497 / 1.31 = 0.38

POST-CONSTRUCTION DRAINAGE CONDITIONS
SCALE: 1"=30'

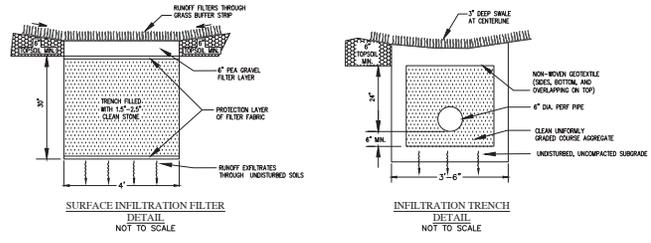
STORMWATER MANAGEMENT NARRATIVE

PROJECTS WITH LESS THAN 1-ACRE OF CONSTRUCTION ACTIVITY ARE EXEMPT FROM THE OAKLAND COUNTY VRC STORMWATER STANDARDS. THE TOTAL AREA OF CONSTRUCTION ACTIVITY FOR THIS PROJECT IS 0.55 ACRES.

THE USDA-NCRS INDICATES THAT THE ON-SITE SOILS ARE UDORPMENTS, LOAMY. THIS SOIL RATING IS HYDROLOGIC SOIL GROUP 5 WHICH ARE SOILS WITH A MODERATE INFILTRATION RATE AND RUNOFF POTENTIAL, TYPICALLY WELL-DRAINED SOILS.

TO PRETREAT THE DISCHARGE FROM THE SITE, AN INFILTRATION TRENCH WILL BE INSTALLED IN THE SWALE ALONG THE NORTH SIDE OF THE BUILDING, AND A SURFACE INFILTRATION FILTER WILL BE INSTALLED IN THE SWALE ALONG THE SOUTH SIDE OF THE PARKING LOT. BOTH WILL OUTLET TO VEGETATED SWALES WHICH ULTIMATELY DISCHARGE TO HELP DRIVE AND THE NOVEK-ONE SUBSTATION DETENTION BASIN. THIS SYSTEM WILL SLOW RUNOFF, PROMOTE INFILTRATION, FILTER POLLUTANTS, AND REDUCE FLOOD RISK.

DETAILS AND SPECIFICATIONS FOR THE INFILTRATION TRENCH AND THE SURFACE INFILTRATION FILTER ARE FROM THE SEMCO LOW IMPACT DEVELOPMENT MANUAL FOR MICHIGAN.



GENERAL NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

NOT FOR CONSTRUCTION

ISSUED FOR	DATE								

ZEMET WOZNAK
CONSULTING CIVIL ENGINEERS
5900 GRANDVIEW AVE., SUITE 100
NEW HEDEN, MICHIGAN 48165
P: (248) 431-5099 F: (248) 431-5222 www.zemetwoznak.com

MISS DIG SYSTEM, INC.
THREE FULL WORKING DAYS BEFORE FOR DIG. CALL THE MISS DIG SYSTEM 1-800-342-7177

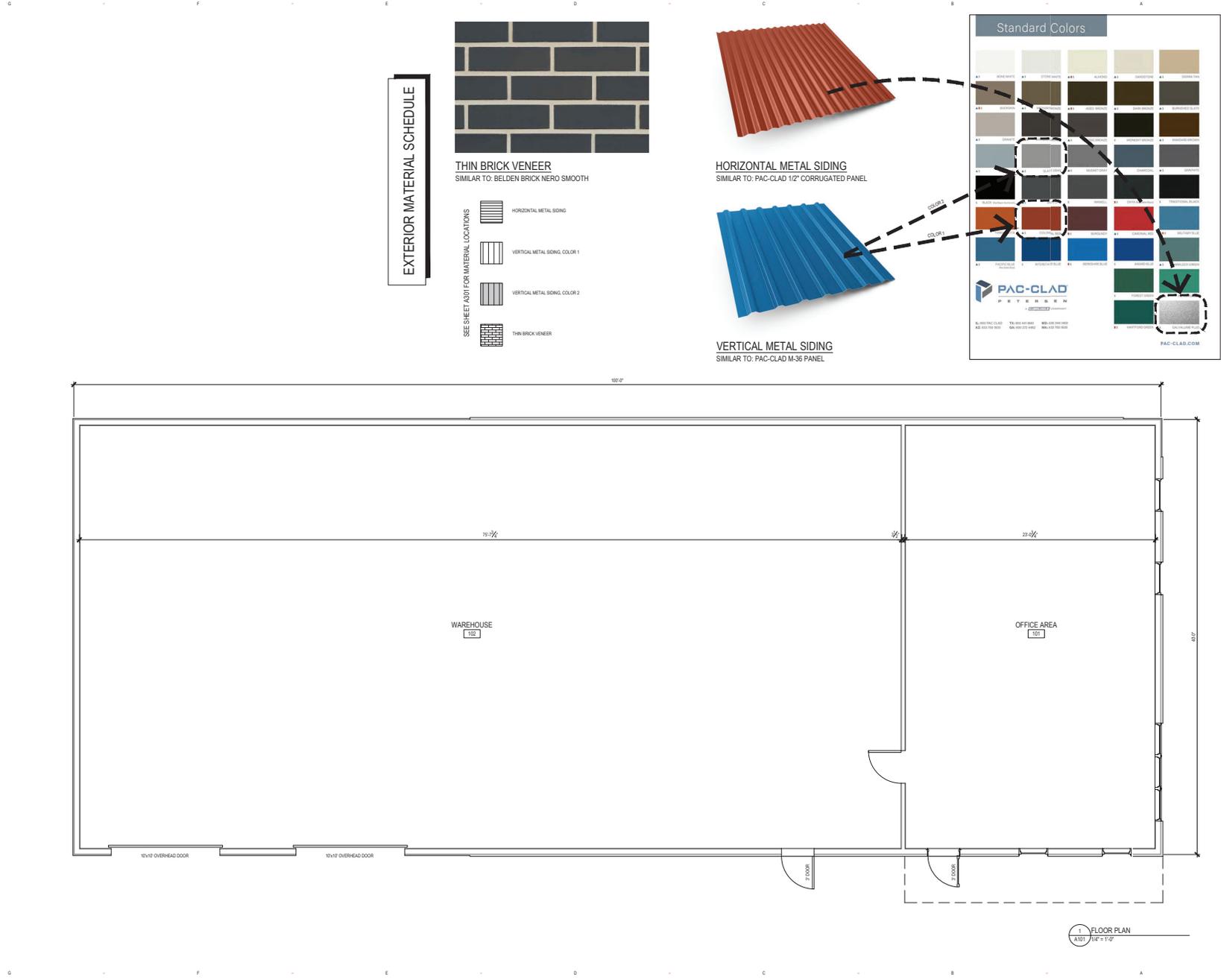
PROJECT SPONSOR:
DAVID ARMSTRONG
43824 WESTRIDGE LANE
NORTHVILLE, MI 48167
216.403.1334

STORMWATER MANAGEMENT PLAN
ARMSTRONG WAREHOUSE (22735 HESLIP)
SECTION 26, NOVI, MICHIGAN

DATE: 12-12-25
SCALE: HOR: 1" = 30'
VER: 1" = N/A
DESIGNED BY: A/JW
JOB NO.: 25142
DRAWN BY: P/TC
SHEET: CE-6

DO NOT SCALE DRAWINGS. USE NOTED DIMENSIONS ONLY.

THIS DRAWING IS THE PROPERTY OF M ARCHITECTS. UNAUTHORIZED USE OF ANY KIND, INCLUDING USE ON OTHER PROJECTS, IS PROHIBITED.



ISSUE DATE
11-09-2025 PRE-APP MTG.P.C.
12-23-2025 PRELIM. SITE PLAN

NOT FOR CONSTRUCTION



M ARCHITECTS
114 EAST MAIN STREET
NOVI, MICHIGAN 48240
PHONE 248.348.2700
WWW.MARCHITECTS.COM

PROJECT
NEW WAREHOUSE BUILDING

CITY OF NOVI PROJECT
NUMBER: PRE-APP 25-19

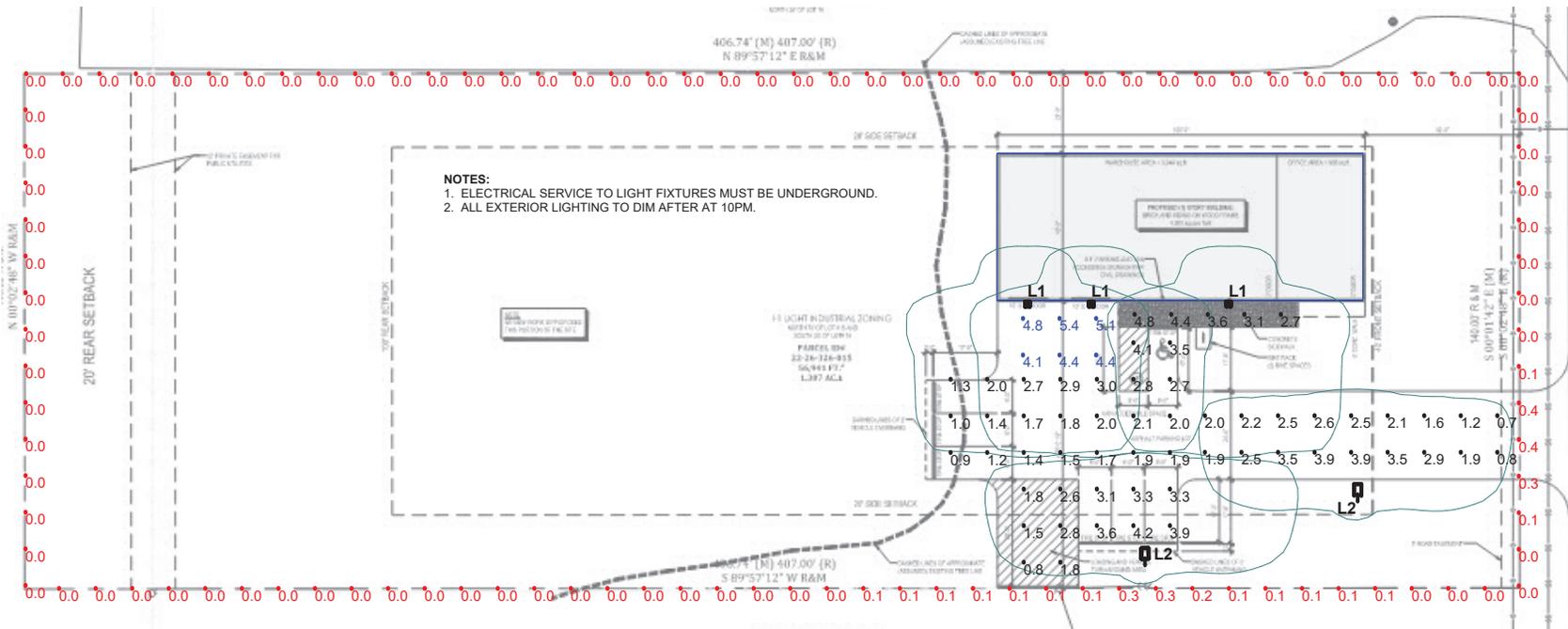
PROJECT ADDRESS
22735 Heslip
Novi, Michigan

PROJECT NUMBER
25.32

SHEET NAME
FLOOR PLAN

SHEET NUMBER
A101

1 FLOOR PLAN
A101 1/8" = 1'-0"



Scale: 1 inch= 15 Ft.

Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
	3	L1	0.900	MCGRAW EDISON GWC-SA1B-740-U-T4FT	44	6140	14.5
	2	L2	0.900	MCGRAW EDISON GALN-SA1D-740-U-SL3-HSS	65	6475	14.5

Calculation Summary

Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Drive	Fc	2.34	3.9	0.7	5.57	3.34
Loading	Fc	4.70	5.4	1.32	1.15	
Parking Lot	Fc	2.29	4.2	0.8	5.25	2.86
Property Line	Fc	0.03	0.4	0.0	N.A.	N.A.
Sidewalk Entrance	Fc	3.72	4.8	2.7	1.78	1.38

CALCULATION POINTS TAKEN AT GRADE.

NOTES:
 THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.
 LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP/SIES AND OTHER VARIABLE FIELD CONDITIONS.
 MOUNTING HEIGHTS INDICATED ARE FROM GRADE TO BOTTOM OF LUMINAIRE LENS OR FROM FLOOR TO BOTTOM OF LUMINAIRE LENS, UNLESS OTHERWISE NOTED.
 CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.
 LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE, INCLUDING AND NOT LIMITED TO: NFPA 101 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, LIGHTING QUALITY COMPLIANCE AND LOCAL LIGHTING ORDINANCES.
 FOR SITE PLAN PHOTOMETRICS, THE USE OF ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Product	22735 Hellslip	Symbol	L1
Quantity	3	Color	Black

McGraw-Edison
Galleon Wall
Wall Mount Luminaire

Product Certifications

Interactive Menu

- Delivery Information
- Product Specifications
- Detailed Configuration
- Energy and Performance Data
- Control Options

Quick Facts

- Choice of 800mah high-efficiency patented Accu-LED Driver
- Overhead and in-wall mounting configurations
- Light source packages from 233 up to 11200
- Efficacies up to 154 lumens per watt

Dimensional Details

Product	22735 HELLSLIP	Symbol	L2
Quantity	2	Color	Black

McGraw-Edison
GALN Galleon II
Area / Site Luminaire

Product Certifications

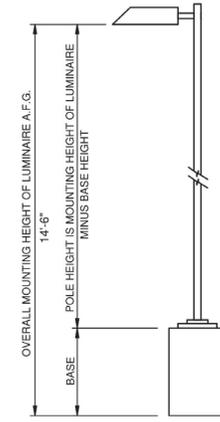
Interactive Menu

- Delivery Information
- Mounting Details
- Optical Distribution
- Product Specifications
- Energy and Performance Data
- Control Options

Quick Facts

- Luminaire packages range from 3,300 - 102,700 (35W - 650W)
- 22 optical distributions
- Efficacy up to 178 LPW

Dimensional Details



PLANNING REVIEW



PLANNING REVIEW

Armstrong Warehouse
JSP25-34
January 21, 2026

PETITIONER

David Armstrong

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	26	
Site Location	22735 Heslip Drive	
Parcel ID	50-22-26-326-015	
Site School District	Novi Community School District	
Site Zoning	I-1: Light Industrial	
Adjoining Zoning	North	I-1: Light Industrial
	East	RM-1: Low-Density, Low-Rise Multiple-Family Residential
	South	I-1: Light Industrial
	West	I-1: Light Industrial
Current Site Use	Vacant	
Adjoining Uses	North	Light industrial use
	East	Multi-family residential
	South	Light industrial use
	West	Light industrial use
Site Size	1.31 Acres	
Plan Date	12/12/25	

PROJECT SUMMARY

The applicant proposes to construct a one-story, approximate 4,000 square foot building, consisting of 3,000 square feet of warehouse/workshop space and 1,000 square feet of office space. The south elevation will include two 10-foot overhead doors and seven parking spaces.

The warehouse/workshop space will be used solely by the applicant for the fabrication of custom millwork and furniture commissioned by private clients. The office space will be used for administrative and business-related functions. No employees, retail activity, or customer visits are proposed for the site.

SPECIAL LAND USE CONSIDERATIONS

Within the I-1 District, the manufacturing use (within the warehouse/workshop area) is subject to Special Land Use approval by the Planning Commission when a property abuts a residentially zoned district. The subject property abuts residential zoning to the west. **The applicant should address the considerations outlined below in their response letter submitted prior to the Planning Commission hearing.**

When a site plan includes a use permitted subject to special conditions – or any Special Land Use or planned development requiring a public hearing under Section 6.2 – the Planning Commission (or City Council when applicable) must also apply the review factors in Section 6.1.2.C of the Zoning Ordinance:

1. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/

deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.

2. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
3. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
4. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
5. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
6. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
7. Whether, relative to other feasible uses of the site, the proposed use is:
 - a. Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
 - b. Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

RECOMMENDATION

Approval of the Preliminary Site Plan is **recommended**. Planning, Engineering, Landscape, Façade, Woodland, and Traffic are recommending approval, and Fire is recommending conditional approval. Please address the comments in this letter and in the attached letters from other reviewers in a response letter for Planning Commission consideration.

ORDINANCE REQUIREMENTS

This project has been reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the ordinance, as noted. The plans demonstrate general compliance with these requirements. Please address the items below, as well as any comments in the individual review letters, in the next submittal.

1. Noise Impact Statement – (Section 4.43): As the use is treated as a Special Land Use, a noise impact statement is required subject to the standards of Section 5.14.10.B. **Please provide a noise impact statement with anticipated decibel levels for the proposed manufacturing activities on the site.**
2. District Required Conditions: Light Industrial - Adjacent to Residential (Section 3.14.5.E): I-1 districts adjacent to residential districts require an earth berm and plantings. No berm is proposed, however, approximately 230 feet of existing woodland is to remain and appears to provide sufficient screening to the adjacent residential area. **A landscape waiver subject to review and approval by the Planning Commission is required for the lack of berm.** The Landscape review letter notes the waiver is supported.
3. Bicycle Parking Lot Layout (Section 5.16.5.A): Bicycle parking layout dimensions shown on Sheet CE-3 do not meet ordinance requirements. **Please update layout dimensions per the illustration in Section 5.16.6.**
4. Lighting and Photometric Plan (Section 5.7): Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky. **Additional information is required in the next submittal.** Refer to Planning review chart for comments.

5. Facade Waiver (Section 5.15.9): The percentage of metal siding exceeds the maximum amount allowed by the ordinance on the north elevation (50 percent allowed, 56% proposed), south elevation (50% allowed, 58% proposed), and the west elevation (50% allowed, 100% proposed). As the proposed design results in an overage of ribbed metal siding on these elevations, a Section 9 Façade Waiver is required. Refer to the Façade letter for additional information. **The Section 9 Façade Waiver will be subject to review and approval by the Planning Commission.**
6. Same Side Driveway Spacing (Ordinance Article IX, Section 11.216.d.1.d): The ordinance requires a minimum same side driveway spacing of 105 feet, measured from near curb approach to near curb approach. The proposed development provides approximately 95 feet of spacing to the north, resulting in a 10-foot deficiency. Therefore, a same side driveway spacing waiver is required. Refer to the Traffic and Engineering review letters for additional information. **The driveway spacing waiver is subject to review and approval by the Planning Commission.**
7. Opposite Side Driveway Spacing (Ordinance Article IX, Section 11.216.d.1.e): The ordinance requires a minimum opposite side driveway spacing of 150 feet minimum, measured from near curb approach to near curb approach. The proposed development provides approximately 65 feet of spacing to the north and approximately 50 feet to the south, resulting in deficiencies on both sides. Therefore, an opposite side driveway spacing waiver is required for the reduced spacing to the north and south. Refer to the Traffic and Engineering review letters for additional information. **The driveway spacing waiver is subject to review and approval by the Planning Commission.**
8. Woodland Protection (Code of Ordinances, Chapter 37): The site plan indicates no impacts to protected woodland trees on site. **A Woodland Permit is not required. A Woodland Conservation Easement is requested.** Refer to the Woodland review letter for additional information. Indicate any associated Woodland Conservation Easement boundaries on the plans.
9. Planning Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

OTHER REVIEWS

- Engineering Review: Preliminary Site Plan **approval recommended** with comments to be addressed as part of the Final Site Plan submittal. See attached Engineering review for details.
- Landscape Review: Preliminary Site Plan **approval recommended**. A landscape waiver is required for the lack of screening berm between the building and the residential area to the west. See attached Landscape review for details.
- Woodland Review: Preliminary Site Plan **approval recommended**. See attached Woodland review for details.
- Traffic Review: Preliminary Site Plan **approval recommended**. See attached Traffic review for details.
- Façade Review: Preliminary Site Plan **approval recommended**. A Section 9 Façade Waiver is required for the overage of ribbed metal siding on the north, south, and west elevations. See attached Façade review for details.
- Fire Review: Preliminary Site Plan **conditional approval recommended**. See attached Fire review letter for details.

NEXT STEP: PLANNING COMMISSION MEETING

As all reviewers are recommending approval of the Preliminary Site Plan, the project will be scheduled to appear before the Planning Commission on February 25, 2026. Please submit the following by February 18, 2026 for Planning Commission consideration:

1. Site Plan submittal in PDF format (maximum of 10MB) **NO CHANGES MADE**
2. A response letter addressing ALL comments from ALL review letters and a request for waivers/ variances as you see fit.

3. A color rendering of the Site Plan (to be used for Planning Commission presentation)
4. A façade sample board as provided in Section 5.15.4.D

FUTURE STEP: FINAL SITE PLAN SUBMITTAL

Upon approval by the Planning Commission, the following should be submitted for Final Site Plan review and approval:

1. [Final Site Plan Submittal Form](#)
2. [Final Site Plan Checklist](#)
3. Seven copies of Final Site Plan addressing all comments from Preliminary reviews
4. Response letter - **address all comments and refer to sheet numbers where the change is reflected**
5. Engineering Cost Estimate – an itemized 8.5"x11" estimate including sanitary sewer, watermain, storm sewer, paving and grading costs (not to include soil erosion or demolition costs.)
6. Landscape Cost Estimate – an itemized 8.5"x11" estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn.
7. Drafts of any legal documents required (note that off-site easements need to be executed, and any on-site easements need to be submitted in draft form before stamping sets will be stamped).

FUTURE STEP: ELECTRONIC STAMPING SET REVIEW AND RESPONSE LETTER

Following Final Site Plan approval, revised plans that address all comments from the review letters should be submitted electronically for informal review and approval prior to the submission of Stamping Sets. A letter prepared by the applicant or their representative is to be submitted with the electronic stamping set. This letter should address all comments in all review letters and associated charts and **refer to sheet numbers where the change is reflected.**

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets will be required for this project. Following approval of the electronic stamping set from City staff, the applicant should submit **9 – 24" x 36" sets of plans with signature and seals on each sheet (seal may be electronic)**, to the Community Development Department for Final Stamping Set approval.

FUTURE STEP: PRE-CONSTRUCTION MEETING

A Pre-Construction (Pre-Con) meeting is required for this project and must take place prior to the start of any work on the site. Pre-Construction meetings, held with the applicant's contractor and the City's consulting engineer, are typically scheduled after Stamping Sets have been issued.

There are a variety of requirements, fees, and permits that must be issued before a Pre-Con can be held, so it is recommended that the applicant begins working with Community Development Department Building Coordinator Sarah Marchioni as soon as Final Site Plan approval is granted. Sarah can be reached at (248)347-0430 or smarchioni@cityofnovi.org. Any questions regarding the Pre-Con process or associated checklist should be directed to Sarah.

FUTURE STEP: BUILDING PERMITS AND REVIEW

Building permits will be required for this project. Please contact the Building Department at (248)347-0415 to determine what is required.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects to be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at (248)347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0483 or dshanahan@cityofnovi.org.



Diana Shanahan, Planner



PLANNING REVIEW CHART: I-1 Light Industrial

Review Date: January 21, 2026
Review Type: Preliminary Site Plan Review
Project Name: **JSP25-34 Armstrong Warehouse Building** (22735 Heslip)
Plan Date: December 12, 2025
Prepared By: Diana Shanahan, Planner dshanahan@cityofnovi.org (248) 347-0483

NOTES

- This chart serves as a working summary and is not intended to replace any Ordinance, requirement, or standard of the City of Novi.
- References to relevant ordinance sections are indicated in parenthesis. Please refer to the [City of Novi Ordinance](#) for complete details.
- Comments highlighted in **bold** must be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted June 25, 2025)</i>	Industrial/Office	Industrial/Office use	Yes	
Zoning <i>(Effective Jan. 8, 2015)</i>	I-1: Light Industrial	No change proposed	Yes	
Uses Permitted <i>(Section 3.1.18)</i>	B: Principal Permitted Uses C: Special Land Uses	Warehouse building: Special Land Use (abuts residential)	Yes	
Special Land Use - Noise Analysis <i>(Section 4.43)</i>	A noise impact statement is required subject to the standards of Section 5.14.10.B.	No analysis provided	No	Please provide a noise impact statement with anticipated decibel levels for the proposed manufacturing activities on the site.
Height, Bulk, Density, and Area Limitations				
Building Height <i>(Section 3.1.18.D)</i>	*Maximum 25 feet	17'-5"	Yes	*See Maximum Height <i>(Section 3.14.5.C)</i> below
Frontage on a Public Street <i>(Section 5.12)</i>	Frontage on a public street is required	Frontage on Heslip Drive	Yes	
Access to a Major Thoroughfare <i>(Section 5.13)</i>	Vehicular access must be provided via a major thoroughfare or service drive, unless the connection is to a street with nonresidential or non-single family uses and the City determines that the alternate access improves traffic safety	Access to Heslip Drive via Nine Mile Road	Yes	
District Required Conditions: Light Industrial <i>(Section 3.14)</i>				
Retail Sales <i>(Section 3.14.2)</i>	Unless otherwise provided, dealing directly with	No retail sales proposed	Yes	Workshop for fabrication of custom millwork and

Item	Required Code	Proposed	Meets Code	Comments
	consumer at retail, is prohibited.			furniture commissioned by private clients
Maximum Height (Section 3.14.5.C)	The maximum height of any building constructed adjacent to a residential district shall be 25 ft, except where there is a street, road, highway or freeway between said lot or site and the abutting residential district	17'-5"	Yes	Adjacent to residential on west side of site
Adjacent to Residential (Section 3.14.5.E)	I-1 districts adjacent to residential districts require an earth berm and plantings. The Planning Commission may waive or modify the requirements for a berm or wall when adjacent to a woodland	No berm is proposed, however, approximately 230 ft of existing woodland is to remain and appears to provide sufficient screening to the adjacent residential area	No	The building is located 265 ft from the rear property line A landscape waiver is required for the lack of berm
Building Setbacks (Section 3.1.18.D)				
Front (east)	40 ft	42 ft	Yes	*See Yard Setbacks (Section 3.6.2.H) below
Side (north)	20 ft	20 ft	Yes	
Side (south)	20 ft	80 ft	Yes	
Rear (west)	100 ft*	265 ft	Yes	
Parking Setback (Section 3.1.18.D refer to applicable notes in Section 3.6.2)				
Front (east)	Not permitted*	No parking proposed	Yes	*See Off-Street Parking in Front Yard (Section 3.6.2.E) below
Side (north)	10 ft	No parking proposed	Yes	
Side (south)	10 ft	Complies	Yes	
Rear (west)	10 ft	No parking proposed	Yes	
Notes to District Standards (Section 3.6.2)				
Exterior Side Yard Setbacks (Section 3.6.2.C)	Exterior side yards abutting a street must meet the front yard setback requirements of their zoning district. All front yard regulations apply. Additionally, where a nonresidential district abuts a residential district, the exterior side yard setback must be at least the residential district's front yard minimum, or greater if required by the nonresidential district	No exterior side yards	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Minimum Lot Area and Width / Maximum Lot Coverage (Section 3.6.2.D)	Minimum lot area and width, and maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements.	Lot coverage 7%	Yes	
Off-Street Parking in Front Yard (Section 3.6.2.E) For OSC, I-1, and I-2 districts, parking is allowed in the front yard if:	i. It serves a development of at least 2 acres	1.31 acres	No	Front yard parking not permitted, site = 1.31 acres
	ii. It does not extend into the minimum required front yard setback		N/A	
	iii. It does not occupy more than 50% of area between the minimum front yard setback and the building setback		N/A	
	iv. It is screened from all public rights-of-way by a brick wall, or 2½ ft high landscaped berm		N/A	
	v. The Planning Commission finds the parking area and lighting compatible with surrounding development		N/A	
Off-Street Parking in Side and Rear Yards (Section 3.6.2.F)	Off-street parking shall be permitted within the side and rear yards. Provisions apply when abutting residential.	Parking proposed in side yard	Yes	Rear yard (west) of the site abuts residential
Yard Setbacks (Section 3.6.2.H)	If an I-1 or I-2 use borders a residential district without a separating street, the building must be set back at least 5 feet per foot of height or 100 feet, whichever is greater	265' building setback on west side abutting residential	Yes	
Wetland/ Watercourse Setback (Section 3.6.2.M)	There shall be maintained in all districts a wetland and watercourse setback. Refer to Section 3.6.2 for more details	No wetlands on site	N/A	
Additional Height (Section 3.6.2.O)	Buildings on properties within 1,200 ft of a freeway and not next to residential	No additional height proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
	districts may reach 65 ft, with setbacks increased by 2 ft for every foot over the district height limit. Applies in I-1 and I-2 districts only to offices, R&D, and data/computer centers without major manufacturing or warehousing			
Parking Setback Screening (Section 3.6.2.P)	Required parking setback area shall be landscaped per Section 5.5.3.	No parking proposed adjacent to residential	Yes	
	Where a side or rear yard abuts a residential district, requirements for a screening wall or berm apply per Section 5.5.3.A	No parking located in the setback abutting residential	N/A	
Modification of Setback Requirements (Section 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on its determination	No setback modifications requested	N/A	
Parking and Loading Requirements (Section 5.12)				
Warehouses and wholesale establishments and related accessory offices (Section 5.2.12.E)	One space for each 700 square feet of usable floor area Required = 4000 sq ft / 700 = 6 spaces	7 spaces	Yes	
Parking Space Dimensions and Maneuvering Lanes (Section 5.3.2) (Section 5.5.3.C.ii.i)	- 90° parking: 9 ft x 19 ft - 24 ft two-way drives - 9 ft x 17 ft parking spaces allowed along 7 ft wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	9 ft x 17 ft 90° parking spaces with 4" bumper block 24 ft drive aisle	Yes	
Parking Stall Located Adjacent to a Parking Lot Entrance (public or private) (Section 5.3.13)	No parking stall located adjacent to a parking lot entrance from a street (public or private) shall be located closer than 25 feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer.	Complies	Yes	
End Islands (Section 5.3.12)	- End islands with raised curbs and landscaping are required at the end	No end islands proposed	N/A	Due to the configuration of the parking lot, no end islands will be required

Item	Required Code	Proposed	Meets Code	Comments
	of all parking bays that abut traffic circulation aisles - End islands shall generally be at least 10' wide, have a 15' major radius, a 2' minor radius, and be constructed 3' shorter than the adjacent parking stall			
Barrier Free Spaces <i>Barrier Free Code</i>	- For every six or fraction of six accessible parking spaces, at least one shall be van-accessible	1 van accessible space provided	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	Van accessible: - 8 ft wide with an 8 ft wide access aisle (preferred) – or – - 11 ft wide with a 5 ft wide access aisle Standard accessible: - 8 ft wide with a 5 ft wide access aisle	1 - 8 ft wide space with an 8 ft wide access aisle	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space	Sign indicated on building	Yes	See traffic review letter for MMUTCD sign requirements
Off-Street Loading and Unloading <i>(Section 5.4)</i>	Required on all premises where receipt or distribution of materials or merchandise occurs, space shall be adequate for standing, loading/unloading, separate from parking areas	Loading zone adjacent to building in front of overhead doors	Yes	
Location of Loading and Unloading <i>(Section 5.4.3)</i>	In I districts, all loading and unloading operations shall be conducted in the rear yard, except: A. When abutting a residential district, in which case, Section 3.14.5 shall apply B. When an interior side yard is adjacent to an I district, then loading and unloading may be conducted in an interior side yard when located near the rear of the building	Loading zone adjacent to building in front of overhead doors	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Requirements (Section 5.16)				
Minimum Number of Bicycle Spaces (Section 5.16.1)	2 spaces	2 spaces	Yes	
Bicycle Parking Location (Section 5.16.1.E)	No farther than 120' from the entrance being served	Complies	Yes	
Bicycle Parking - Multiple Locations (Section 5.16.1.F)	When 4 or more spaces are required for a building with multiple entrances, the spaces shall be in multiple locations	The building does not have multiple entrances	N/A	
Bicycle Parking Lot Layout (Section 5.16.5.A)	- Maneuvering lane width: 4' - Parking space depth: 32" - Parking space width: 7' - One tier width: 11' - Two tier width: 18'	4 ft x 6 ft layout proposed	No	Please revise bicycle parking layout to meet ordinance standards
Bicycle Parking Facility Layout (Section 5.16.5.B)	Spaces to be paved	Complies	Yes	*Bicycle rack detail shown on Sheet CE-3 is faint, please correct so it is legible
	Bike rack shall be inverted "U" design	Complies	Yes	
	Minimum 3 ft in height	*Complies?	Yes	
Bicycle Parking Accessibility (Section 5.16.5.C)	All bicycle parking shall be accessible from adjacent street(s) and pathway(s) via a minimum 6 ft wide paved route	Accessible from Heslip via driveway	Yes	
Accessory Uses (Section 4.19)				
Dumpster (Section 4.19.2.F)	Located in rear yard or interior side yard in case of double frontage	The applicant indicates a dumpster is not needed. All debris will be stored inside the building and removed off-site by the owner.	N/A	
	Attached to the building or no closer than 10 ft from building if detached		N/A	
	Not to be located in parking setback		N/A	
	If no setback, then not any closer than 10 ft, from property line		N/A	
	As far away from barrier free spaces as possible		N/A	
Dumpster Enclosure (Section 21-145. (c))	Screen from public view	Not indicated, see above	N/A	
	Screening shall consist of		N/A	

Item	Required Code	Proposed	Meets Code	Comments
	a wall or fence 1 ft higher than height of refuse bin, and no less than 5 ft on three sides			
	Posts or bumpers provided within the enclosure to protect from damage of refuse bin		N/A	
	Inside dimensions shall permit adequate access as well as completely enclose bins		N/A	
	Screening materials: Masonry, wood or evergreen shrubbery		N/A	
Equipment Requirements				
Roof Top Equipment and Wall Mounted Utility Equipment <i>(Section 4.19.2.E.i)</i>	All roof top equipment must be screened from view. All wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No roof top equipment is proposed	N/A	
Roof Top Appurtenances Screening <i>(Section 4.19.2.E.ii)</i>	Rooftop equipment may not exceed the district height limit unless set back 5 ft per ft of excess height, with a maximum 5-ft extension. Equipment to be screened and hidden from streets and neighboring properties	No roof top equipment is proposed	N/A	
Sidewalk Requirements				
Chapter 11 - Article XI. Off-Road Non-Motorized Facilities	6 ft wide concrete sidewalk is required	No sidewalks exist in the industrial park site, existing condition	N/A	
Pedestrian Connectivity	Assure safety and convenience of vehicular and pedestrian traffic both within the site and in relation to access streets	Appears to comply	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot	Complies	Yes	
Building Code and Other Design Standard Requirements				
Design and Construction	Land description, Sidwell number (metes and	Indicated	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Standards Manual	bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).			
General Layout and Dimension of Proposed Physical Improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq ft), location of proposed parking and parking layout, streets, drives, indicate sq ft of pavement area (indicate public or private).		TBD	Correct zoning to I-1 on cover sheet – shown as I-2 on site map Novi project number on cover sheet should be JSP25-34 Refer to all review letters for more information
Community Impact Statement	- All non-residential projects > 30 acres for permitted use - All non-residential > 10 acres for special land use - All residential > 150 units		N/A	Community Impact Statement not required, does not meet acreage requirements
Economic Impact	- Total cost of proposed building and site improvements - Number of anticipated jobs created (during construction and after building is occupied)		N/A	
Development/ Business Sign	Signage if proposed requires a permit		TBD	For permit information, contact Ordinance at (248) 735-5678.
Project and Street Naming	Approval by the Project and Street Naming Committee		N/A	Not required
Lighting and Photometric Plan (Section 5.7)				
Exterior Lighting Plan (Section 5.7.2.A.i)	A site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures.	Landscaping not shown on photometric plan	TBD	Show landscaping on photometric to avoid conflicts with light poles
Photometric Plan (Section 5.7.2.A.ii)	Provide a photometric plan illustrating the levels of illumination at ground level accounting for all light sources that impact the subject site. Include specifications for all proposed and existing lighting fixtures.	Photometric plan provided	Yes	A lighting and photometric plan is required at the time of Preliminary Site Plan as property abuts residential

Item	Required Code	Proposed	Meets Code	Comments
Building Lighting (Section 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Wall mounted fixtures over entry door and overhead doors	Yes	
Maximum Height (Section 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft where adjacent to residential districts or uses)	14.5 ft	Yes	
Electrical Service (Section 5.7.3.B)	Electrical service to light fixtures must be underground	Note on sheet L201	Yes	
Flashing Light (Section 5.7.3.C)	No flashing light permitted		TBD	Add note to plan
Glare Control (Section 5.7.3.D)	Shall be accomplished through the proper selection and application of lighting equipment.		TBD	Indicate any glare control devices
Outdoor Lighting: Average Light Levels (Section 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 foot-candles	Complies	Yes	
Color Spectrum Management (Section 5.7.3.F)	Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index (CRI) of 70 and Correlated Color Temperature (CCT) of no greater than 3000K	Not indicated	TBD	Indicate CRI and CCT
After Hours Lighting (Section 5.7.3.G)	Only necessary lighting for security purposes shall be permitted after hours.	All exterior lighting to dim after 10:00 PM	Yes	
Indoor Lighting (Section 5.7.3.H)	Shall not be the source of exterior glare or spillover	Complies	Yes	
Security Lighting (Section 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured	- All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky - Building mounted fixtures designed to illuminate the facade are preferred	Wall mounted fixtures over entry door and overhead doors All exterior lighting to dim after 10:00 PM	Yes	
Parking Lot Lighting	Design to provide minimum	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<i>(Section 5.7.3.J)</i>	illumination necessary to ensure adequate vision and comfort in parking areas. Use full cut-off fixtures to prevent glare.			
Minimum Illumination Levels (foot-candles) <i>(Section 5.7.3.L)</i>	Parking areas:	0.2 min	Complies	Yes
	Loading and unloading areas:	0.4 min	Complies	Yes
	Walkways:	0.2 min	Complies	Yes
	Building entrances, frequent use:	1.0 min	Complies	Yes
	Building entrances, infrequent use:	0.2 min	Complies	Yes
Maximum Illumination Adjacent to Non-Residential <i>(Section 5.7.3.L)</i>	Where a site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle	Complies	Yes	
Maximum Illumination Adjacent to Residential <i>(Section 5.7.3.M)</i>	When adjacent to residential districts: <ul style="list-style-type: none"> - Fixture height shall not exceed 25 ft - All fixtures shall have a cut-off angle of 90° or less - No direct light source shall be visible at the property line (adjacent to residential) at ground level. - Maximum illumination at the property line shall not exceed 0.5 foot-candle 	Complies	Yes	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

January 20, 2026

Engineering Review

Armstrong Warehouse
JSP25-0034

APPLICANT

David Armstrong

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: 22735 Heslip Drive (North of Nine Mile Rd, West of Heslip Dr)
- Site Size: 1.31 acres
- Plan Date: 12/12/2025
- Design Engineer: Zeimet Wozniak & Associates

PROJECT SUMMARY

- Construction of an approximately 4,000 square-foot industrial building and associated parking. Site access would be provided via Heslip Drive.
- Water service would be provided by a 2-inch domestic lead from the existing 8-inch water main along the east side of Heslip Drive.
- Sanitary sewer service would be provided by a 6-inch lead from the existing 12-inch sanitary sewer along the west side of Heslip Drive.
- Storm water would be collected by two infiltration trenches that would discharge on-site and sheet flow to Heslip Drive, which ultimately discharges to the Heslip Drive detention basin.

RECOMMENDATION

Approval of the Preliminary Site Plan is **recommended**. At this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

1. Provide a minimum of two ties to established section or quarter section corners.
2. An opposite-side driveway spacing **waiver**, granted by the Planning Commission, would be required for the proposed location of the entrance drive (80' and 90' proposed). The Engineering Division supports this waiver request.
3. A same-side driveway spacing **waiver**, granted by the Planning Commission, would be required for the proposed location of the entrance drive (approximately 100' proposed vs. 105' required). The Engineering Division supports this waiver request.
4. More clearly highlight where the proposed light poles are to be located on sheet CE-4.
5. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for **all** utilities within the influence of paved areas.
6. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
7. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
8. Generally, all proposed trees shall maintain a minimum 5-foot horizontal separation storm sewer or infiltration trenches. Revise the landscaping plan as necessary.
9. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
10. The [Non-Domestic User Survey Form](#) for sanitary sewer flow shall be submitted to the City so it can be forwarded to Oakland County.
11. A [Right-of-Way Permit](#) will be required from the City of Novi.
12. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), and paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).

IRRIGATION

13. Indicate if irrigation is proposed.
14. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from

these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

15. For common area irrigation systems connected to wells, add the following note to the plans: "Irrigation systems connected to a public water supply are governed by the City of Novi Cross-connection Control Program and subject to review and approval. Irrigation systems utilizing a pond, well or other private source of water supply are exempt from the City's CCCP. Any alterations to a private source of water to a public water supply shall be submitted to the Novi Water & Sewer Division for review and approval prior to any such connections. Plumbing permits will be required for these connections."

WATER MAIN

16. A tapping sleeve, valve and well is required at the connection to the existing water main.

SANITARY SEWER

17. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement). Required for non-residential buildings.
 - a. The 6" cleanout nearest Heslip Drive would be a good location for the monitoring manhole.
18. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5.
19. Provide a note on the Utility Plan stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.

STORM WATER MANAGEMENT PLAN

20. Per the Oakland County Stormwater Engineering Design Standards, developments less than 1 acre are exempt from these standards. Since this development is only disturbing 0.55 acres, a full SWMP is not required.
21. The lawn/natural runoff coefficient for HSG B should be 0.30 per OCWRC. Update calculations on sheet CE-6 as necessary.
22. The SWMP must address the discharge of storm water off-site. The ultimate location of discharge should be shown or described in a narrative.
23. The planting soil media shall consist of the following mixture: 50% topsoil/50% sand or 20% topsoil/60% sand/20% compost.
24. Where the infiltration trench daylight, consider adding gravel or riprap to dissipate flows. Provide a detail for the spillway, including the interface with the bioswale.
25. Cleanouts shall be provided at each end of the proposed underdrain for periodic maintenance.

PAVING & GRADING

26. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
27. According to Section 11-239 (b)(1), the entire parking area including parking spaces and maneuvering lanes are required to be hard-surfaced and **curbed**. If curbing is not desired, a [Design and Construction Standards \(DCS\) variance](#) can be applied for.
28. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
29. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection.
30. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided.
31. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
32. Provide the standard MDOT detail 'M' approach at the Heslip Drive driveway/intersection.
33. A retaining wall that has a grade change of 30" or more within a 3' horizontal distance will require a guardrail.

SOIL EROSION & SEDIMENT CONTROL

34. Although no SESC permit is required due to the area of disturbance being less than one acre and the site being located more than 500 feet from the nearest waterbody, the following SESC comments must be addressed:
 - a. Extend the gravel mud mat to be at least 20' wide and provide a detail. It should be 6" of 1"-3" stone on geotextile fabric. A reusable, plastic mud control mat system is also allowed.

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

35. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
36. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), and grading.

REQUIRED LEGAL DOCUMENTS

The following must be submitted with the Stamping Set: All documents must be submitted together as a package with the Stamping Set submittal with the [legal review transmittal form](#) that is attached to this review letter. Partial submittals will **not** be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#)).

37. A draft copy of the 20-foot-wide [Sanitary Sewer Monitoring Manhole Access Easement](#) onsite must be submitted to the Community Development Department.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Purpura at (248) 735-5643 or email at kpurpura@cityofnovi.org with any questions.



Kate Purpura, EIT
Project Engineer

cc: Diana Shanahan, Community Development
Angela Sosnowski, Community Development
Stacey Choi, Planning Assistant
Tina Glenn, Treasurers
Kristin Pace, Treasurers
Humna Anjum, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

December 29, 2025
Armstrong Warehouse
Preliminary Site Plan - Landscape

Review Type

Preliminary Site Plan Landscape Review

Job #

JSP25-0034

Property Characteristics

- Site Location: 22735 Heslip
- Site Acreage: 1.31 ac.
- Site Zoning: I-1
- Adjacent Zoning: North, East & South: I-1, West: RM-1
- Plan Date: 12/23/2025

Recommendation:

This project is **recommended for approval** for Preliminary Site Plan.

LANDSCAPE WAIVER REQUIRED FOR THE PROPOSED LAYOUT AND LANDSCAPING:

- Lack of screening berm between building and residences to the west – *supported by staff to preserve the existing woodland as the natural area to remain appears to provide sufficient screening*

Please add the City Project number, JSP25-0034, to the bottom right corner of the Cover Sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey and chart are provided.
2. No woodland replacements are indicated.
3. **See the Merjent letter for a complete review of the woodland impacts.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The property is adjacent to residentially-zoned property on the west side of the property. No screening berm is proposed but approximately 230 feet of woodland will be preserved.
2. **This requires a landscape waiver.**
3. *The waiver would be supported by staff for the south frontage in order to preserve the existing woodland.*

Frontage in a Non-Residential Subdivision (Zoning Sec. 5.5.3.F.iv)

1. The required greenbelt width and landscaping are provided.
2. The street trees cannot be provided in the right-of-way due to underground utilities but they are provided in the greenbelt.
3. No screening hedges are proposed for the parking spaces and loading zone. **Please add those.**

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities are included on the landscape plan.

2. The proposed light posts are not shown. Please add them and resolve any tree-post conflicts.
3. No hydrants exist on the site.

Parking Lot Landscaping

1. The required parking lot interior area and trees are proposed but please revise the calculations as described on the landscape chart.
2. The required parking lot perimeter trees are also proposed but please revise the calculations as described on the landscape chart.
3. The plan is one short on the number of accessway perimeter trees proposed. See the chart for more details on accessway perimeter trees.

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. The required foundation landscape areas and plantings are provided.
2. Over 75% of the building foundation has landscaping and the entire Heslip building frontage is landscaped.

Plant List (LDM 4.)

1. 11 of 17 species shown (65%) are native to Michigan.
2. The proposed tree diversity is acceptable.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No new above-ground stormwater detention pond is proposed.
2. A note indicates no Phragmites or Japanese knotweed is on the site.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY SITE PLAN

Review Date: December 29, 2025
Project Name: JSP25-0034: Armstrong Warehouse Building
Project Location: 22735 Heslip
Plan Date: December 23, 2025
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVER REQUIRED BY PLAN:

- Lack of screening berm between building and residences to the west – *supported by staff to preserve the existing woodland – the natural area to remain appears to provide sufficient screening*

Please add the City Project Number, JSP25-0034, to the bottom right corner of the Cover Sheet.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	1" = 20'	Yes	
Project Information <i>(LDM 2.d.)</i>	Name and Address	Project name and site address are on the title block	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Project name and site address are on the title block	Yes	
Landscape Architect contact information <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Jim Allen – Allen Design	Yes	
Sealed by LA. <i>(LDM 2.g.)</i>	Requires original signature	Copy of his seal and signature are provided	Yes	
Miss Dig Note <i>(800) 482-7171 (LDM.3.a.(8))</i>	Show on all plan sheets	On Title Block	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	On Cover Sheet Site: I-1 East, North, South: I-1 West: RM-1	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	<ul style="list-style-type: none"> • Survey is on Sheet CE-2 • Legal description is on the Cover Sheet 	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> • Show location type and size. Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Existing trees are shown on the topographic survey and L-1 • Tree chart is on L-1 • Removals are indicated on L-1 • No wetlands are indicated on the site 	<ul style="list-style-type: none"> • Yes • Yes • Yes • Yes 	<ol style="list-style-type: none"> 1. See Merjent letter for a complete review of woodlands and wetlands 2. Replacements may be necessary for large twin stem cottonwood in front yard and trees whose critical root zones may be impacted by grading.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> • As determined by Soils survey of Oakland county • Show types, boundaries 	Soils Map is on CE-5 <ul style="list-style-type: none"> • Marlette Sandy Loam • Capac Sandy Loam • Udorthents 	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	All site elements are included on the landscape plan	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts 	<ul style="list-style-type: none"> • Existing utility lines are shown along Heslip Drive and near the rear property line • Proposed utility connections are also shown • Proposed light posts are not shown 	<ul style="list-style-type: none"> • Yes • Yes • No 	<ol style="list-style-type: none"> 1. Please add <u>proposed light posts to the landscape plan.</u> 2. <u>Please adjust utilities and light posts or tree positions as required to allow all required trees to be planted.</u> 3. Trees should be at <u>least 10 feet from hydrants, catch basins and manholes and 5 feet from underground lines.</u>
Proposed grading. 2'	Provide proposed	All proposed	Yes	

Item	Required	Proposed	Meets Code	Comments
contour minimum <i>(LDM 2.e.(1))</i>	contours at 2' interval	contours are shown on the landscape plan		
Snow deposit <i>(LDM.2.g.)</i>	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements <i>(Zoning Sec 5.5.A)</i>	<ul style="list-style-type: none"> The site is adjacent to residential property on the west A landscaped berm 10-15 foot tall is required 	<ul style="list-style-type: none"> No berm is proposed. An existing woodland extending approximately 240 feet is shown as being preserved 	No	<ol style="list-style-type: none"> A landscape waiver is required for the lack of berm. <i>Photos of the existing area to be preserved are provided. Although it is not dense woodland, it appears to provide sufficient buffering so the waiver is supported by staff to preserve the existing woodland</i>
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> A 2.5' tall boulder retaining wall is provided along the north property line. A detail is provided. 	Yes	
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b) – See Requirements below for Non-residential Subdivision Screening Requirements				
Greenbelt width <i>(2)(3) (5)</i>	NA			
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	NA			
Minimum berm height <i>(9)</i>	NA			
3' wall	NA			

Item	Required	Proposed	Meets Code	Comments
Canopy deciduous or large evergreen trees Notes (1) (10)	NA			
Sub-canopy deciduous trees Notes (2) (10)	NA			
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	NA			
Non-Residential Subdivision Requirements (Zoning Sec 5.5.3.F.iv)				
Greenbelt width – equal to zoning front setback	40 feet	42 feet	Yes	
Canopy trees 1 deciduous canopy or large evergreen tree per 35 lf frontage	$(140-25)/35 = 3$ trees	3 new canopy trees	Yes	
Subcanopy trees 1 subcanopy tree per 40 lf frontage	$(140-25)/40 = 3$ trees	3 trees	Yes	
Screening hedge	Evergreen hedge (at least 3 feet tall) in front of parking lot	Not provided	No	Please provide the required screening hedges east of the proposed parking spaces and loading zone
Shrubs 1 shrub per 20 lf frontage (in addition to parking lot screening shrubs)	$(140-24)/20 = 6$ shrubs Shrubs provided as a screening hedge for the parking do not count toward this requirement	6 shrubs	Yes	
Massed landscape Massing of ornamental grasses, perennials and/or annuals or bulbs required for 10% of frontage	$10\% * (140-24) = 12$ lf of massed plantings	Yes, near the drive	Yes	
Street trees 1 per 50 lf of frontage less the driveway width (from the canopy tree requirement above)	<ul style="list-style-type: none"> Frontage – driveway clear vision zone)/50 = x trees $(140-85)/50 = 1$ tree These would be part of the 4 required canopy trees noted above Street trees should be located within 15 feet of	0 trees due to utility line conflicts	No	Although the trees are not located near the street the required number of trees for the frontage are provided so a waiver is not required.

Item	Required	Proposed	Meets Code	Comments
	the street			
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Constructed of loam 6" top layer of topsoil 	No berms are proposed		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	No utilities or trees are shown on plan	No	<u>Please shift the trees near the right-of-way line away from the utility lines and structures to provide the correct spacing.</u>
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No landscaping is proposed that would block vision	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Lawn seed is indicated for the entire site	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per tree planted in island 6" curbs Islands minimum width 10' BOC to BOC 	Only corner islands are shown	Yes	
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 17 feet long with 2 feet of overhang	Yes	
Contiguous space limit (i)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaces All endcap islands should also be at least 200sf with 1 tree planted in it. 	The longest bays are 3 spaces long	Yes	
Plantings around Fire Hydrant (d)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). Trees also need to have at least 5 feet between the trunk 	<ul style="list-style-type: none"> No hydrants are on the site No Fire Department Connectors are shown 	Yes	<u>If the building will have a Fire Department Connector, please show it on the landscape plan and keep plantings in front of it or within 3 feet to either site no taller than 12".</u>

Item	Required	Proposed	Meets Code	Comments
	and underground utility lines.			
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	Per Section 5.9, a 25-foot clear vision zone is required Note that the 25 feet are measured at the right-of-way line, not the edge of the road.	25' clear vision zones are provided and no plantings are inside of them	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\% = A \text{ sf}$ $A = 3621\text{sf} \times 6\% = 217 \text{ sf}$	Calculation is provided	Yes	<u>The driveway does not have to be included in the VUA calculation, just the parking area.</u>
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\%$	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	$C = A + B$ $C = 217 + 0 = 217\text{sf}$	800sf in corner islands	Yes	<u>The calculations can be revised if desired to decrease the number of required interior trees.</u>
D = D/200 Number of canopy trees required	$D = C/200 = xx \text{ Trees}$ $D = 217/200 = 1 \text{ tree}$	2 trees	Yes	<u>See above</u>
Parking Lot Perimeter Trees (Zoning Sec 5.5.3.C.iv)	1 Canopy tree per 35 lf $298/35 = 9 \text{ trees shown}$ $164/35 = 5 \text{ trees around lot}$	<ul style="list-style-type: none"> • 9 trees including accessway trees • 5 trees around the lot 	Yes	<ol style="list-style-type: none"> 1. The perimeter should only include the parking area (not including the entry drive). 2. <u>Please correct the calculation.</u>

Item	Required	Proposed	Meets Code	Comments
Accessway perimeter trees (Zoning Sec 5.5.3.C.iv.j)	1 tree per 35 lf of accessway perimeter (both sides) $92 \times 2 / 35 = 5$ trees	4 trees	No	1. <u>Please add the calculation for the entry drive.</u> 2. <u>One of the two parking lot interior trees can be relabeled as an access perimeter trees to meet the requirement.</u>
Other Landscaping				
Other Screening				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		The loading zone is shown at the south edge of the parking lot.	Yes	<u>Provide proper screening for the loading area such that the area is screened from Heslip Road</u>
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	The transformer is shown behind the building and is properly screened with junipers	Yes	
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. A minimum of 75% of the building should have foundation landscaping but the 75% should not be used in the calculation. (280-39)lf x 8ft = 1928 SF 	<ul style="list-style-type: none"> 1930sf 86% of the building perimeter has the required landscaping 	Yes	
Public Facing Side(s) of Building Landscaping (Zoning Sec 5.5.3.D.ii.d)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	100% of the side of the building facing Heslip is shown as being landscaped	Yes	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements	<ul style="list-style-type: none"> Clusters of large native 	No above-ground	Yes	

Item	Required	Proposed	Meets Code	Comments
(Sec. 5.5.3.E.iv)	shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond. <ul style="list-style-type: none"> • Canopy trees at 1/35f of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix 	detention is required by Engineering so no detention basin landscaping is required or provided		
Phragmites/Japanese Knotweed Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> • Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A note indicates that there is no Phragmites or Japanese Knotweed on the site	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.l. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> • Provide intended dates • Should be between March 15 and November 15. 	Yes	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A method for providing the water required for plant establishment and	No	No	1. <u>Need for final site plan</u> 2. <u>Please provide either</u>

Item	Required	Proposed	Meets Code	Comments
	long-term survival must be provided.			<u>an irrigation system plan or information regarding the alternative method that will be used to water the plants in the final site plans</u> 3. <u>If an irrigation system will be used, it should meet the requirements listed at the end of the chart.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11)) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. No Prohibited Species listed on Table 11.b.(2)b may be used. 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 11 of 17 species used (65%) are native to Michigan The tree diversity requirement is met for all trees but the <i>Cornus kousa</i> 	<ul style="list-style-type: none"> Yes No 	<ol style="list-style-type: none"> As the <i>Cornus kousas</i> are only off by one tree, the count can remain as is. <u>It would be preferable to use a different species than <i>Cornus kousa</i> as that is showing signs of becoming invasive.</u>
Type and amount of lawn		None, but as noted above <i>Cornus kousa</i> is showing signs of becoming invasive in some eastern states.		
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Included on plant list	Yes	
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Line and detail on Sheet L-2	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No	No	
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	On plant list	Yes	
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No prohibited species are used	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	<ul style="list-style-type: none"> Underground utilities are shown along Heslip The only overhead wires are near the west property line where no work is proposed 	Yes	
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. 	Included in planting details	Yes	

Item	Required	Proposed	Meets Code	Comments
	Include in cost estimate.			

NOTES:

1. This table is a working summary chart and is not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

WOODLAND REVIEW



January 16, 2026

Diana Shanahan
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to dshanahan@cityofnovi.org

Re: Armstrong Warehouse Preliminary Site Plan Woodland Review (JSP25-34)

Dear Diana,

Merjent, Inc. (Merjent) has conducted a review of the preliminary site plan (PSP) for the Armstrong Warehouse (Project), prepared by Zeimet Wozniak and Associates (Applicant; date 12/12/2025). Merjent reviewed the plan for conformance with the City of Novi’s (City) Woodland Protection Ordinance, Chapter 37. The proposed Project will occur on an undeveloped parcel located at 22735 Heslip Road and is identified by parcel number 50-22-26-326-015, in Section 26 (site). The site contains City-regulated woodlands (**Figure 1**).

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the Armstrong Warehouse PSP. Additional Woodland Review comments have been provided to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	NO
Tree Replacement (Chapter 37, Section 37-8)	NO
Tree Protection (Fence; Chapter 37, Section 37-9)	YES
Woodland Conservation Easement (Chapter 37-30[e])	REQUESTED

Woodland Review Comments

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are not depicted as being fully present onsite. However, it should be noted that both the woodlands and property limits depicted on the City map are considered approximations. Additionally, the City of Novi Woodland interactive map disclaims that “Map information depicted is not intended to replace or substitute for any official or primary source. Specific determination of the limits of a regulated woodland are made on a site-specific basis by the City’s woodland consultant or Community Development staff.”
 - a. Merjent conducted a site visit on January 15, 2026 to review the site conditions relative to the PSP submittal. Site photographs are included in **Attachment A**. The on-site conditions do not reflect the conditions listed in the City’s Woodland map. Pursuant to Section 37-2 and Section

37-4 of Chapter 37, Woodlands Protection, woodland areas can be identified by additional features such as soil quality, habitat quality, tree species and diversity, health and vigor of tree stand, understory species and quality, presence of wildlife, and other factors such as the value of the woodland area as a scenic asset, wind block, noise buffer, healthy environment, and the value of historic or specimen trees. Based on the site visit conducted on January 15, 2026, Merjent has determined that the majority of the trees on-site should be considered regulated woodland due to the stand density and connectivity to other regulated woodland areas – specifically, connection to regulated woodland areas west and northwest of the project parcel.

- b. An updated outline of regulated woodland areas is provided in **Figure 1**. The regulated woodland area on-site is relatively consistent with the “Tree Protection Fencing” and “Disturbance Limits” provided on Sheet L-1 in the Site Plan.
2. Pursuant to Chapter 37, Section 37-28, an accurate woodland survey should be provided and be accompanied by a separate key identifying the location of all trees eight inches at diameter at breast height (DBH) and greater, by size, common, genus and species names (i.e. Red Maple/*Acer rubrum*), and condition. Such information shall be provided by a registered landscape architect, certified arborist, or registered forester, through an onsite inspection, who must verify the contents by seal and/or registration number with signature, whichever applies. The dripline of affected trees shall be clearly indicated on the plan.
 - An accurate tree survey is provided on Sheet L-2.
 3. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.
 4. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH.
 - No trees larger than 36 inches, single stem, DBH are proposed for removal for this project.
 5. The plan has proposed the removal or critical root zone impact of eight regulated trees. A **Woodland Use Permit** is required to perform construction on any site containing regulated woodlands. A **Woodland Use Permit** is not required for this project and because less than three regulated trees are proposed for removal, Planning Commission approval is not required for woodland related items for this Project.
 6. **Woodland Replacement.** Based on a review of the plan, no woodland replacement trees are required.
 7. **Critical root zone.** Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree’s longest dripline radius plus one foot.
 - The applicant has displayed different-sized tree symbols on Sheet L-2 that are assumed to represent the critical root zones.

8. A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to tree removal. The woodland fence inspection will be performed by Merjent. **The Applicant is responsible for requesting this inspection.**

- Protective fencing details and locations are shown on Sheet L-2.

9. The Applicant may be requested to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of remaining woodlands. The applicant may be required to demonstrate that all remaining woodland trees will be guaranteed to be preserved with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Woodlands Map
Attachment A – Site Photos

CC:

Barb McBeth, City of Novi, bmcbeth@cityofnovi.org

Rick Meader, City of Novi, rmeader@cityofnovi.org

Stacey Choi, City of Novi, schoi@cityofnovi.org

Matt Pudlo, Merjent, matt.pudlo@merjent.com

Figure 1. City of Novi Regulated Woodlands Map
Approximate Site boundary is shown in red.
Approximate Regulated Woodland areas are shown in green.
Expanded Regulated Woodland areas are shown in orange.

City of Novi Wetland and Woodland Map



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and uses the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



1 inch = 91 feet



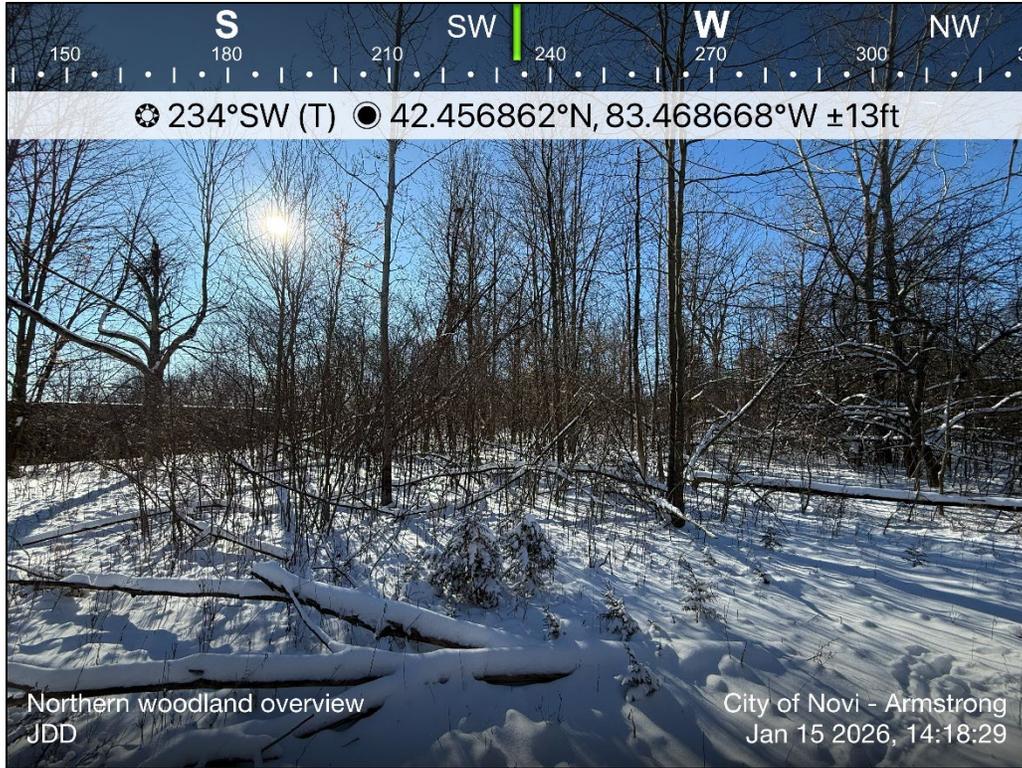
Map Print Date:
12/5/2025



City of Novi

45175 Ten Mile Rd
Novi, MI 48375
cityofnovi.org

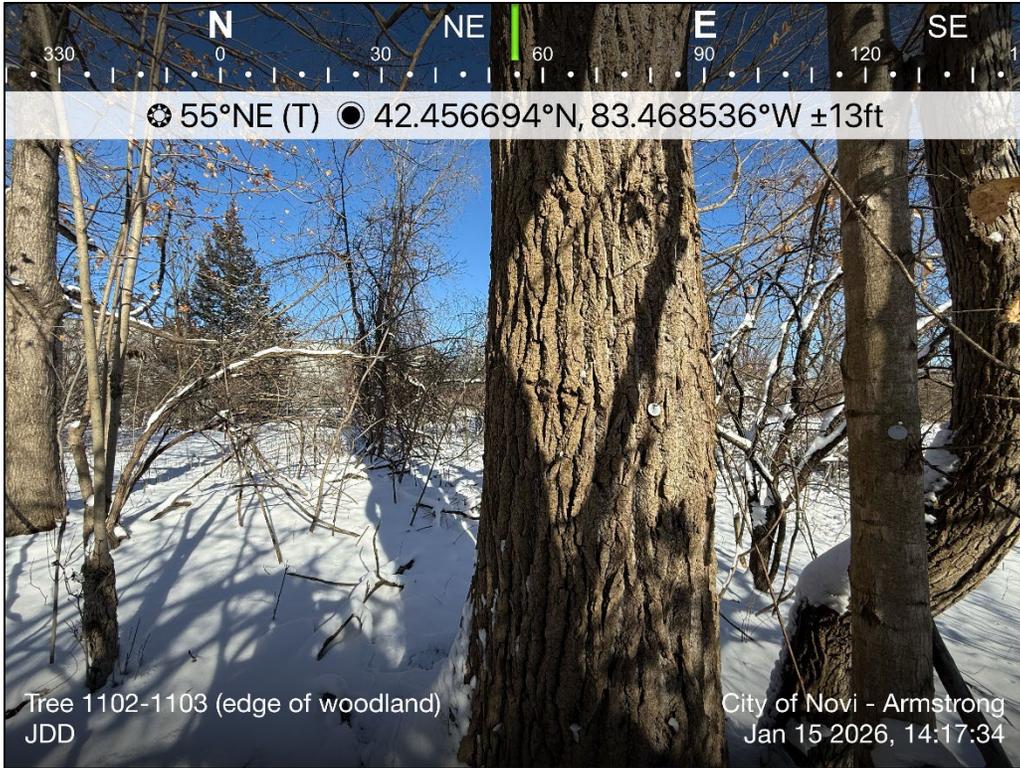
**Attachment A
Site Photographs**



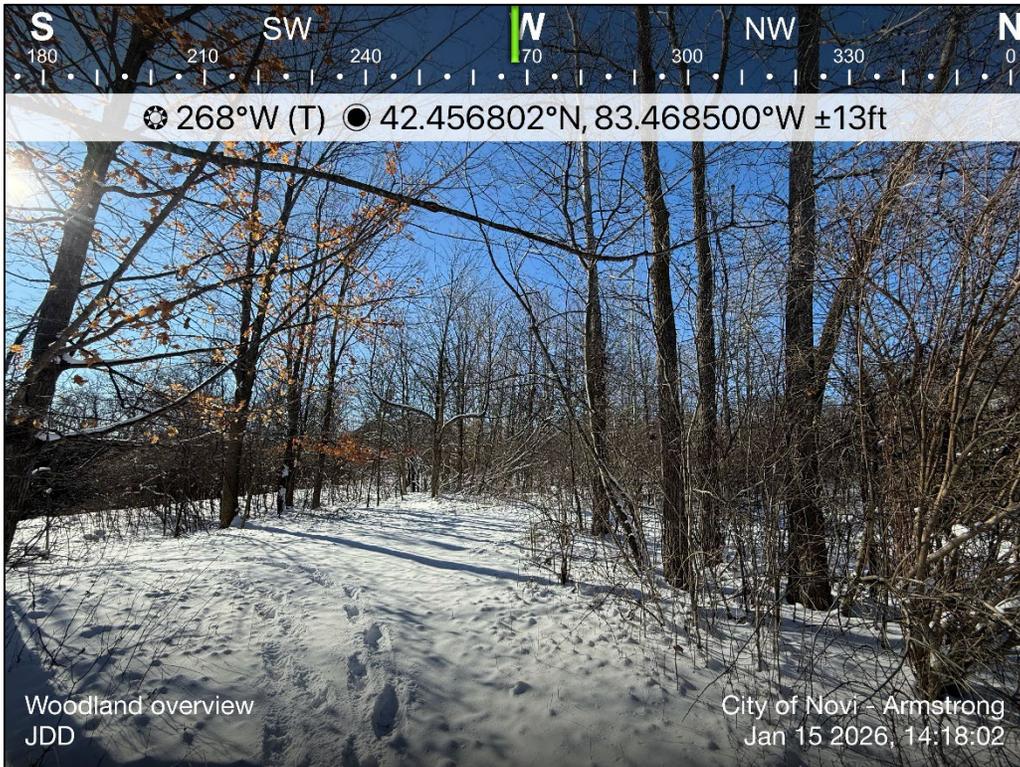
Overview of woodland from northeastern boundary



Overview of Tree 1083 (outside of regulated woodland)



Overview of Trees 1102 and 1103, within regulated, not listed for removal



Overview of woodland from eastern edge

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP25-34 – Armstrong Warehouse Preliminary
 Traffic Review

From:
 AECOM

Date:
 January 21, 2026

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Humna Anjum, Diana Shanahan, Dan
 Commer, Milad Alesmail, Stacey Choi, Kate Purpura

Memo

Subject: JSP25-34 – Armstrong Warehouse Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, David Armstrong, is proposing 4,000 SF warehouse building.
2. The development is located on the west side of Heslip Drive, north of Nine Mile Road. Heslip Drive is under the jurisdiction of the City of Novi.
3. The site is zoned I-1 (Light Industrial).
4. The following traffic-related administrative waivers required:
 - a. Below standard same side driveway spacing.
 - b. Below standard opposite side driveway spacing.
 - c. Below standard clear path for bicycle parking.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 150 – Warehouse
 Development-specific Quantity: 4,000 SF
 Zoning Change: N/A

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	14	11	100	No
PM Peak-Hour Trips	20	14	100	No
Daily (One-Directional) Trips	6		750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	25'	Met	Within range.
2	Driveway Width O Figure IX.3	24'	Met	Within range.
3	Driveway Taper O Figure IX.11	None proposed	Met	
3a	Taper length			
3b	Tangent			
4	Emergency Access O 11-194.a.19	1 access point		See Fire review letter for approval.
5	Driveway Sight Distance O Figure VIII-E	438' and 498'	Met	
6	Driveway Spacing			
6a	Same-side O 11.216.d.1.d	127' and 220' measured from centerline to centerline	Not Met	The required measurement is from near curb to near curb and the driveway to the north does not meet standard. AECOM supports this variance.
6b	Opposite side O 11.216.d.1.e	80' and 90'	Not Met	The applicant provided reasonable justification and per the Ordinance “This standard may be reduced by the City in the case of a single proposed driveway serving a parcel where no other point of reasonable access is feasible.” AECOM supports this variance.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
7	External Coordination (Road Agency)	-	N/A	
8	External Sidewalk Master Plan & EDM	Not required	N/A	
9	Sidewalk Ramps EDM 7.4 & R-28-K	-	N/A	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading Zone ZO 5.4	2-10' doors to warehouse in side yard with a loading space in front of doors	Met	Not required to be in rear yard since it abuts a residential district. There is a white hatched marked area opposite the doors for trucks to be able to turn around, the applicant could add a sign to indicate further emphasize no parking in this area.
12	Trash Receptacle ZO 5.4.4	Indicated	Met	The applicant stated that all debris will be stored inside the building and removed off-site by the owner.
13	Emergency Vehicle Access	Provided	Met	
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End Islands ZO 5.3.12	None proposed	N/A	
15a	Adjacent to a travel way	-	N/A	
15b	Internal to parking bays	-	N/A	
16	Parking Spaces ZO 5.2.12	7 proposed		See Planning review letter.
17	Adjacent Parking Spaces ZO 5.5.3.C.ii	<15 parking spaces in bay	Met	
18	Parking Space Length ZO 5.3.2	17' with wheel stop with 2' overhang	Partially Met	Curb stop detail provided. 3' access aisle required between wheel stops, revise length to be 6' instead of 8'.
19	Parking Space Width ZO 5.3.2	9'	Met	
20	Parking Space Front Curb Height ZO 5.3.2	4" wheel stop	Met	
21	Accessible Parking – number ADA	1 proposed	Met	
22	Accessible Parking – size ADA	17' x 8' with 8' aisle	Met	
23	Number of Van Accessible Space ADA	1 proposed	Met	
24	Bicycle Parking			
24a	Requirement ZO 5.16.1	2 required, 2 proposed	Met	
24b	Location ZO 5.16.1	Indicated	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24c	Clear Path from Street ZO 5.16.1	6' required, 5.5' at parking space	Partially Met	6' required, not including the 2' overhang. AECOM would support a waiver.
24d	Height of Rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1, Text Amendment 18.301	Indicated	Partially Met	Update layout dimensions per requirements in Text Amendment 18.301.
25	Sidewalk – min 5' wide Master Plan	7' (includes 2' overhang)	Met	
26	Sidewalk Ramps EDM 7.4 & R-28-K	Indicated	Partially Met	Include latest MDOT sidewalk ramp detail in future submittal.
27	Sidewalk – distance back of curb EDM 7.4	-	N/A	
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Turnaround ZO 5.10	Truck turning movements provided	Met	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing - sizes MMUTCD	Provided	Met	
33	Signing Table - quantities and sizes	Provided	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Indicated	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	-	N/A	
36	Sign bottom height of 7' from final grade MMUTCD	Indicated	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	-	N/A	Sign placed on building.
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Indicated	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Indicated	Met	
40	Parking space striping notes	Indicated	Met	
41	The international symbol for accessibility pavement markings ADA	Detail provided	Met	
42	Crosswalk Pavement Marking Detail	-	N/A	
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only. The applicant and City of Novi should refer to the latest standards and Ordinances in their entirety.

Memo

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

FAÇADE REVIEW



January 8, 2026

Façade Review Status:
Approved, Section 9 Waiver

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – City Planner

Re: FACADE ORDINANCE
Armstrong Warehouse, JSP25-24
 Façade Region: 3, Zoning District: I-2

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by M Architects of Novi, Michigan, dated 12/23/25. The percentages of materials proposed for each façade are shown on the table below. The maximum percentages allowed by the Façade Ordinance are shown in the right-hand column. Materials in non-compliance, if any, are highlighted. The façade material sample board required by Section 5.15.4.D of the Ordinance was provided photographically on sheet A101 and indicates carefully coordinated earth toned colors.

	East (Front)	North	South	West	Ordinance Maximum
Brick	55%	44%	42%	0%	100%
Vertical Metal Siding	35%	7%	7%	3%	50%
Horizontal Metal Siding	10%	49%	51%	97%	

As shown above, the percentage of Metal Siding exceeds the maximum amount allowed by the Ordinance on the north, south and west facades. In this case the west façade is not highly visible from Heslip Dr., and the deviation on the north and south façade is relatively small. Therefore, it is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Metal Siding on the north, south and west facades.

Notes to the Applicant:

1. RTU Screening - It should be noted that all existing and proposed roof top units must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.
2. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



January 5, 2026

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Dan Commer – Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

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Chief of Police**
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John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: Armstrong Warehouse Building – new building

**JSP25-34
PSP25-051**

Project Description:

Build new 4000 sq/ft building. On vacant lot.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code **Section 510** for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all “fire lane – no parking” signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S Sec. 158-99(a).)**
- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5))**
- The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. **(D.C.S. Sec.11-68(a))**
- For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. **(D.C.S. Sec.11-68(a)(9))**
- Hydrants shall be installed in a manner to be in compliance with the City of Novi “Design and Construction Standards”, Chapter 11 of the Code of Ordinances.

- Fire hydrant spacing shall be measured as "hose laying distance" from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.
- No part of a commercial, industrial, or multiple residential area shall be more than 300 feet from a hydrant. **(D.C.S. Sec. 11-68 (f)(1)c.1)**
- When exposed to vehicular traffic, fire hydrants shall be protected by a minimum six (6) inch curb, standard guard posts, or other acceptable method. **(D.C.S. Sec. 11-68 (f)(1)c.3)**
- Guard post specifications: Four (4) inch steel pipe, eight (8) feet in length, install four (4) feet below grade, pipe filled with concrete. **(D.C.S. Sec. 11-68 (f)(1)c.3)**
- Hydrant outlets shall be eighteen (18) inches above final grade, measured from final grade to bottom of outlet. **(D.C.S. Sec. 11-68 (f)(1)c.4)**
- No parking shall be allowed within fifteen (15) feet of a hydrant. **(D.C.S. Sec. 11-68 (f)(1)c.4)**
- A gate valve shall be placed at each hydrant. **(D.C.S. Sec. 11-68 (f)(1)c.8)**
- The 4-1/2 inch outlet shall face the roadway or other paved area subject to Fire Department approval. **(D.C.S. Sec. 11-68(f)(1)d)**
- All hydrants shall have two 2 1/2-inch male outlets and one 4-1/2 inch male steamer connection. Threads shall be National Standard. **(D.C.S. Sec. 11-68 (f)(2))**
- There shall be no obstructions to the hydrant outlets. **(Fire Prevention Ordinance Sec. 15-21(d))**
- Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. **(International Fire Code 912.2.1)**
- With respect to hydrants, driveways, buildings and landscaping, fire department connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. The location of fire department connections shall be approved. **(International Fire Code 912.2)**
- Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17 912.2.3)**
- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.

To facilitate fire protection during site preparation and construction of buildings, the following are required:

- Water mains and fire hydrants shall be installed prior to construction above the foundation. Note this on all plans.
- The building address is to be posted facing the street throughout construction. The address is to be at least 3 inches high on a contrasting background. Note this on all plans.
- Street names on suitable poles shall be established and installed prior to construction above the foundation. Note this on all plans.
- Prior to construction above the foundation of all multi-residential buildings and single-family dwellings, all roads are to be paved. Note this on all plans.
- Prior to construction above the foundation of non-residential buildings, an all-weather access road capable of supporting 35 tons shall be provided. Note this on all plans.
- Free access (unobstructed) from the street to fire hydrants and to outside connections for standpipes, sprinklers, or other fire suppression equipment, whether permanent or temporary, shall be provided and maintained at all times.
- Fire prevention practice during construction shall be in accordance with the adopted Building Code and Fire Prevention Code

Recommendation:

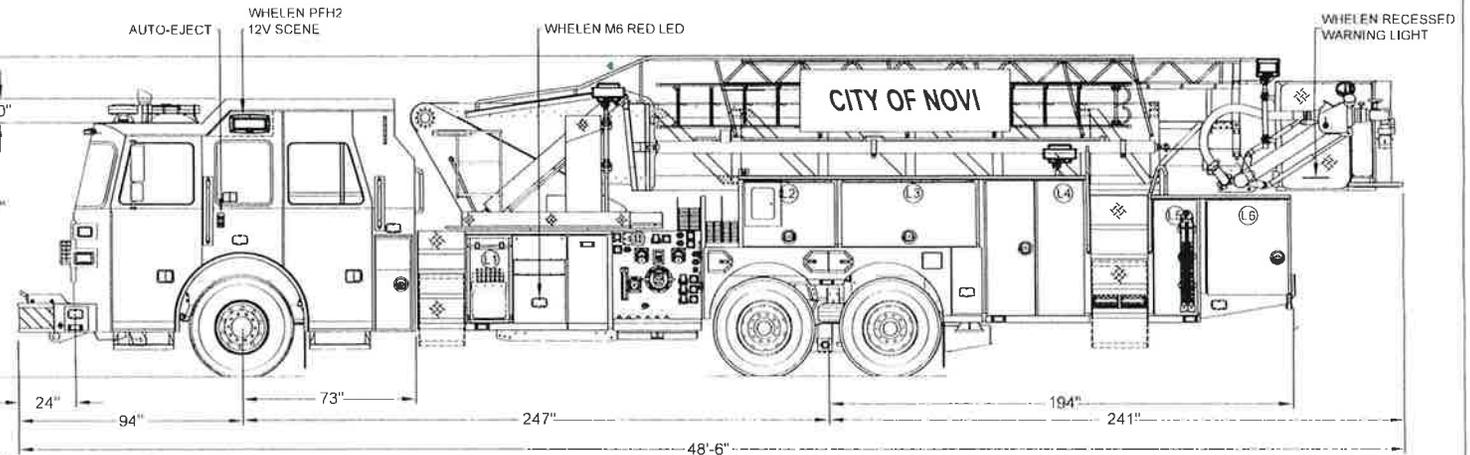
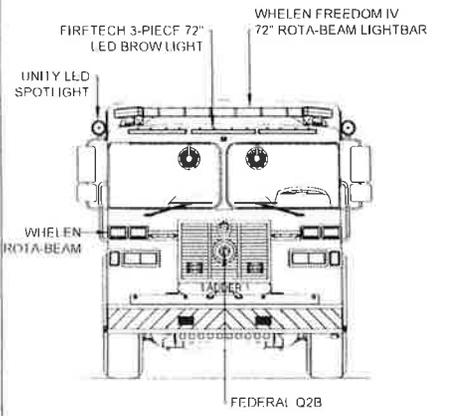
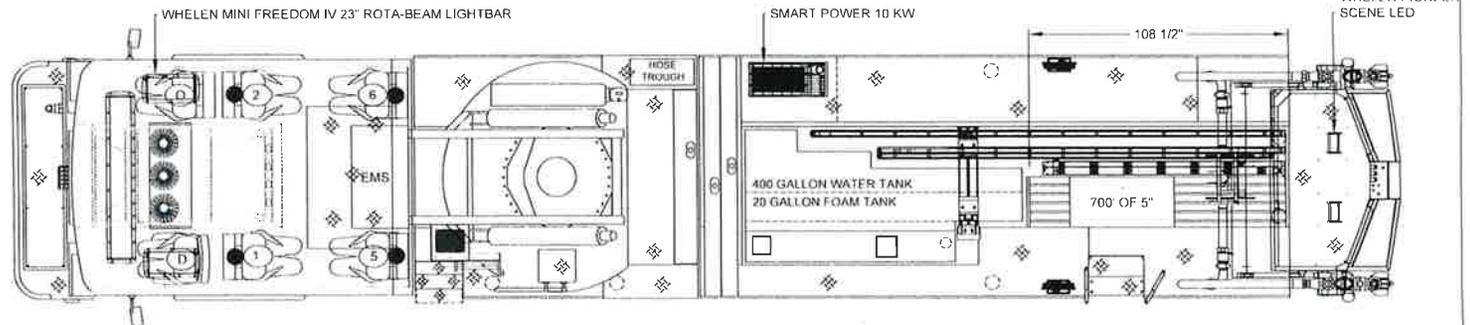
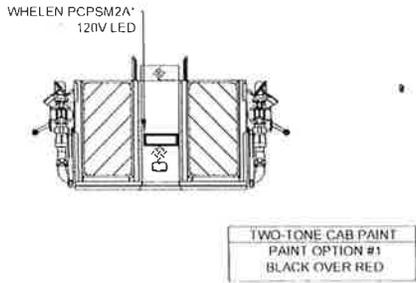
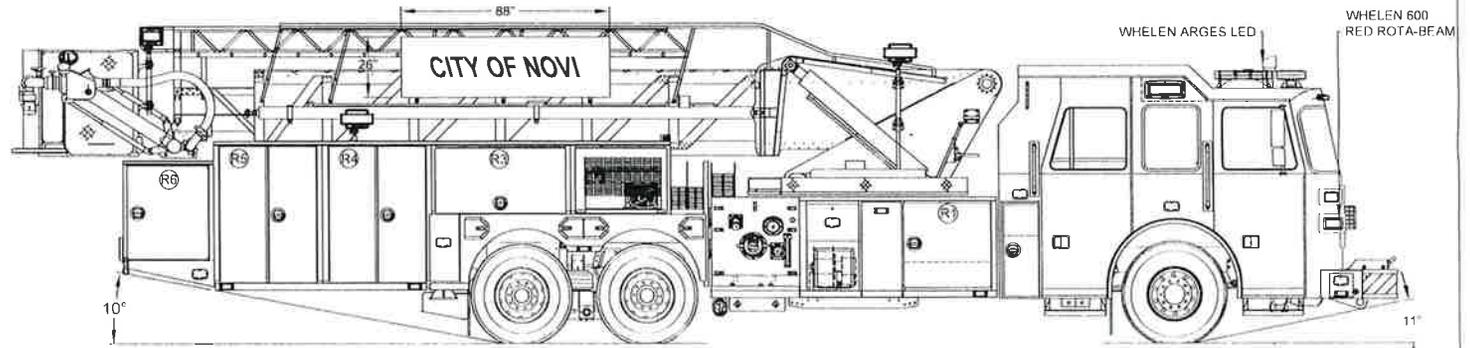
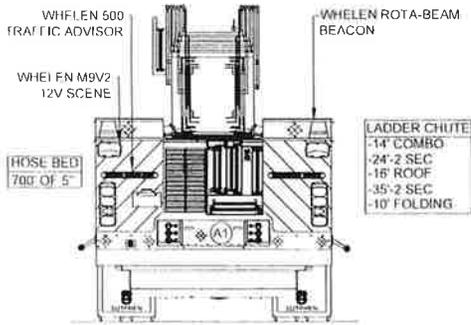
This letter is same as previous notes from the pre-application meeting dated Nov 2025. Full utility & engineering prints will need to be reviewed.

Conditional Approval is granted at this time. Submit full utility prints and adjust plan set, page CE-3 for fire truck turning radius to 50' with a truck length of 48.5' (see attached spec sheet for details).

Sincerely,

Andrew Copeland – Fire Marshal
City of Novi Fire Department

cc: file



IN-TANK DIMENSIONS			COMPARTMENT DIMENSIONS		
COMP#	HEIGHT	WIDTH	HEIGHT	WIDTH	DEPTH
1.1	34 1/8"	33 7/16"	38 1/2"	70 5/16"	27 1/2"
1.2	21"	33 1/4"	27 1/2"	41 1/2"	12 1/8"
1.3	23"	50 3/4"	27 1/2"	56"	12 1/8"
1.4	51 3/4"	37 1/2"	56 1/2"	45 3/4"	26 1/2"
1.5	43 3/4"	15"	48 1/2"	22"	26 1/2"
1.6	45 3/8"	30 3/4"	40 3/8"	34 3/4"	26 1/2"

DOOR DIMENSIONS			COMPARTMENT DIMENSIONS		
COMP#	HEIGHT	WIDTH	HEIGHT	WIDTH	DEPTH
R1	34 1/16"	33 7/16"	38 1/2"	40"	27 1/2"
R2	27"	33 1/4"	27 1/2"	41 1/2"	26 1/2"
R3	23"	50 3/4"	27 1/2"	58"	26 1/2"
R4	51 3/4"	37 1/2"	56 1/2"	45 3/4"	26 1/2"
R5	51 3/4"	37 1/2"	56 1/2"	45 3/4"	26 1/2"
R6	35 3/8"	30 3/4"	40 1/8"	34 3/4"	26 1/2"

DOOR OPENINGS			COMPARTMENT DIMENSIONS		
COMP#	HEIGHT	WIDTH	HEIGHT	WIDTH	DEPTH
A1	9 1/8"	24 1/2"	9 7/8"	26"	88"

TOTAL COMPARTMENT VOLUME - 283.5 CU.FT

DIMENSIONS SHOWN ON THIS DRAWING ARE APPROXIMATE AND ARE SUBJECT TO MINOR DEVIATIONS DURING CONSTRUCTION

IN THE EVENT OF A DISCREPANCY BETWEEN THE SUTPHEN SPECIFICATIONS AND DRAWING THE SUTPHEN SPECIFICATIONS SHALL PREVAIL

THIS DRAWING IS FOR REFERENCE ONLY - SOME ITEMS PROPOSED MAY NOT BE SHOWN OR NOTED

CUSTOMER APPROVAL

NAME _____

TITLE _____

DATE _____

REV	DESCRIPTION	BY	DATE
N	REV-N SHOP ORDER/REFERENCE SHOP ORDER CHANGE DOCUMENT ON SHARED DRIVE	JL	07/16/20
M	REV-M SHOP ORDER/REFERENCE SHOP ORDER CHANGE DOCUMENT ON SHARED DRIVE	JL	07/06/20
I	REV-I SHOP ORDER/REFERENCE SHOP ORDER CHANGE DOCUMENT ON SHARED DRIVE	JL	06/17/20
K	REV-K SHOP ORDER/REFERENCE SHOP ORDER CHANGE DOCUMENT ON SHARED DRIVE	JL	06/10/20

REV	DESCRIPTION	BY	DATE
JL	07/16/20	JL	07/06/20
JL	06/17/20	JL	06/10/20

SUTPHEN

NOVI FIRE DEPARTMENT
NOVI, MI

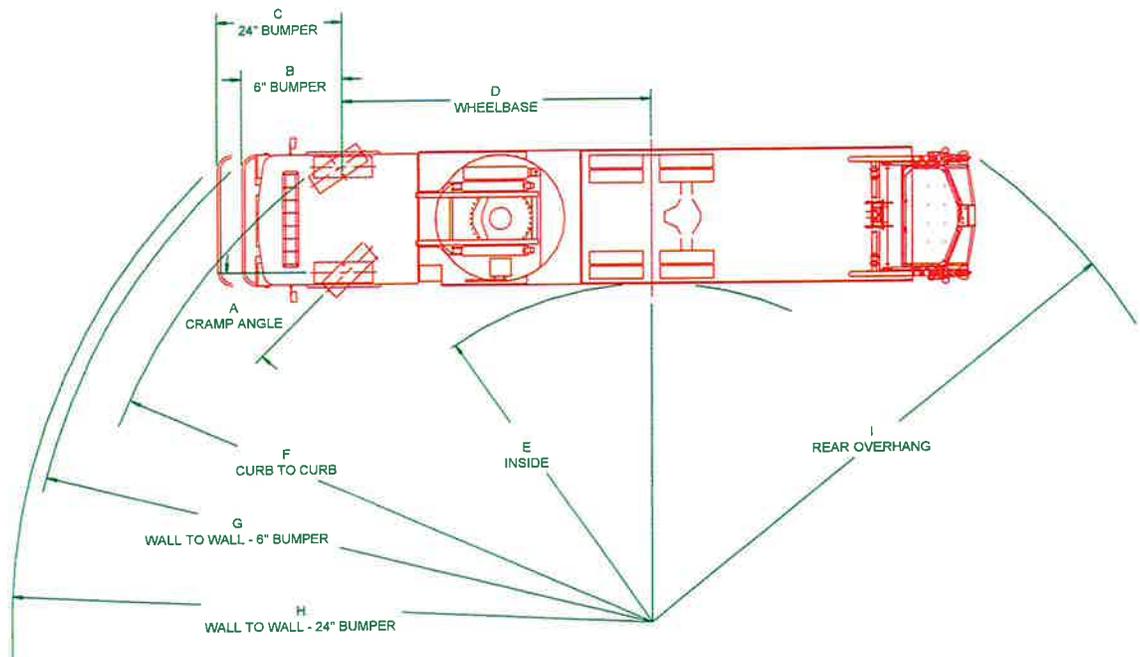
SPH100 AERIAL PLATFORM
HS 6504

SUTPHEN CORPORATION

Aerial Tower - 247" Wheel Base

Components

Chassis Sutphen 2020 Aerial Tower - Hendrickson STEERTEK NXT



Parameters

A	Cramp Angle (maximum)	45 deg. 425 Tires
B	Front Overhang 6" Bumper	76"
C	Front Overhang 24" Bumper	94"
D	Wheelbase	247"

Calculated Results

E	Inside Turning Radius	19'-10"
F	Curb to Curb	35'-2"
G	Wall to Wall 6" Bumper	39'-1"
H	Wall to Wall 24" Bumper	40'-1"
I	Rear Overhang Swing	33'-7"

Cramp Angle may vary due to vehicle configuration.
Curb to Curb based on a 9" curb

APPLICANT RESPONSE LETTERS



February 17, 2026

Diana Shanahan, Planner
City of Novi Community Development Department – Planning Division
45175 Ten Mile Road
Novi, MI 48375

Re: Armstrong Warehouse (22735 Heslip)
PSP Review Response
Planning
JSP25-34

Dear Ms. Shanahan:

Thank you for your recommendation of approval of the Preliminary Site Plan. We are responding to the outstanding comments in bold in your PSP Planning Review dated January 21, 2026.

1. Noise Impact Statement:

A Noise Impact Statement has been submitted.

The owner has provided specifications for the loudest piece of equipment in his shop. The sound emission is 98dB at 20". The distance to the west property line is approximately 265 feet. Using a Distance Attenuation Calculator, the sound emission is reduced to 53.97dB, without considering the dense vegetation between the two points. This sound emission is below the allowed 55dB.

However, the owner has indicated that no outdoor uses are proposed, and all work will be completed behind closed doors. Therefore, the sound emission from the workshop, at the adjacent property lines, will be zero.

2. District Required Conditions: Light Industrial – Adjacent to Residential:

Due to the dense vegetation and distance between the proposed use and the adjacent residential, no berm is proposed. We are requesting a landscape waiver for the lack of a berm. This waiver request is supported by City staff.

3. Bicycle Lot Layout:

The bicycle parking layout will be revised to meet the dimensions required by ordinance.

4. Lighting and Photometric Plan:

Additional information will be provided with the next submittal. Detailed responses to the Planning Chart comments are below.

5. Facade Waiver:

We are requesting a Section 9 Waiver. We appreciate DRN and Associates "recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Metal siding on the north, south and west facades".

6. Same Side Driveway Spacing:

The separation between the proposed driveway and the existing driveway measured from the near curb approach to the near curb approach is 95 feet, which is 10 feet less than allowed. A driveway spacing variance, as supported by AECOM is requested.

7. Opposite Side Driveway Spacing:

A driveway location that meets the ordinance requirements is not possible due to the location of the existing driveways. A driveway spacing variance, as supported by AECOM is requested.

8. Woodland Protection:

As noted, a Woodland Permit is not required.

9. Planning Chart:

Response to the remaining Planning Chart Comments not addressed above are as follows:

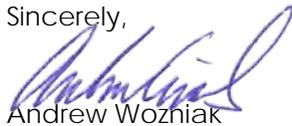
- A legible Bicycle rack detail will be added to the Final Site Plan.
- The Cover Sheet has been updated to correct the zoning classification and project number.
- No signage is proposed currently.
- Light poles will be added to the landscape plans to avoid conflicts.
- A note indicating that no flashing lights are permitted will be added to the Final Site Plan.
- Glare control devices, if needed, will be shown on the Final Site Plan.
- The plans will be updated to show a minimum CRI of 70 and CCT no greater than 3000K.

Variances/Waivers Requested:

- District Required Conditions: Light Industrial – Adjacent to Residential (Section 3.14.5.E): to not require a berm and plantings between proposed use and residential. Supported by City Staff (Landscape Review).
- Facade Waiver (Section 5.15.9): for the overage of metal siding on the north, south and west facades. Supported by Architect (Facade Review).
- Driveway Spacing – Same-side (Ordinance Article IX, 11.216.d.1.d): to allow less than the minimum require distance. Supported by City Staff and Consultant (Planning and Traffic Review).
- Driveway Spacing – Opposite-side (Ordinance Article IX, 11.216.d.1.e): to allow less than the minimum require distance. Supported by City Staff and Consultant (Planning and Traffic Review).
- Bicycle parking clear path from street (Ordinance 5.16.1): to allow a 5.5-foot-wide path at the parking space instead of the required 6-foot-wide path. Supported by City Consultant (Traffic Review).
- Design and Construction Standards (Section 11-239(b)(1)): to allow hard surfaced pavement without curbing. (Engineering Review).

Please let me know if you have any questions or comments.

Sincerely,



Andrew Wozniak



February 17, 2026

Ms. Kate Purpura, Project Engineer
City of Novi Public Works – Engineering Division
23600 Lee Begole Drive
Novi, MI 48375

Re: Armstrong Warehouse (22735 Heslip)
PSP Review Response
Engineering
JSP25-34

Dear Ms. Purpura:

Thank you for your recommendation of approval of the Preliminary Site Plan. We are responding to the outstanding comments in your PSP Planning Review dated January 20, 2026.

General

1. A minimum of two ties to section or quarter corner will be added to the Final Site Plan.
2. An opposite side driveway spacing waiver has been requested. Thank you for your support.
3. A same side driveway spacing waiver has been requested. Thank you for your support.
4. The proposed light poles will be shown more clearly on Sheet CE-4.
5. A note stating that compacted sand backfill will be provided for all utilities within the influence of paved areas will be added to the Final Site Plan.
6. A construction materials table will be provided on the Final Site Plan.
7. A note regarding dewatering will be added to the Final Site Plan.
8. Trees will be relocated to provide a 5-foot horizontal separation from storm sewer or infiltration trenches.
9. Location and depth of light poles will be shown more clearly on the Final Site Plan.
10. The Non-Domestic User Survey Form was submitted with the PSP application.
11. Application for a City of Novi Right-of-Way Permit will be submitted.
12. Engineering Standards and Construction Details will be included with the Stamping Set submittal.

Irrigation

13. Irrigation will be provided by hose bib drip irrigation for the foundation plantings and gator bags for the trees.
14. Does not apply.
15. Does not apply.

Water Main

16. Per the mechanical engineer, the water service has been reduced to 1" diameter which will eliminate the need for a tapping sleeve, valve and well.

Sanitary Sewer

17. The new sanitary sewer lead will connect to an existing stub that was installed when the industrial subdivision was built. Is a monitoring manhole required when connecting to an existing stub? If it is still required, a sanitary sewer monitoring manhole will be added.
18. A note stating that the proposed 6-inch sanitary lead shall be SDR 23.5, will be added to the Final Site Plan.
19. A note indicating that the sanitary lead will be 5 feet deep under the influence of pavement will be added to the Final Site Plan.

Storm Water Management

20. Noted.
21. The runoff coefficient and the calculations on Sheet CE-6 will be revised.
22. A narrative describing the ultimate location of off-site storm water discharge, will be added to the Final Site Plan.
23. The planting soil material will be revised on the Final Site Plan.
24. Rip-rap will be added where the infiltration trench daylight to dissipate flows. Details will be included with the Final Site Plan submittal.
25. Cleanouts will be added to each end of the proposed underdrain.

Paving and Grading

26. A construction material table including quantities will be added to the Final Site Plan.
27. A variance has been requested to allow hard surface pavement without curbing. Please note that the adjacent properties do not have curbing and no on-site curbing allows stormwater runoff to the lawn areas, encouraging infiltration.
28. Additional spot grades to ensure a minimum 5 percent slope away from the building will be added to the Final Site Plan.
29. The grade of the driveway will be revised to not exceed 2 percent within the first 25 feet of the intersection.
30. City standard straight faced curb detail will be added to the Final Site Plan.
31. Additional grades will be added to the Final Site Plan.
32. Is a MDOT detail 'M' gutter needed? We propose that the new driveway uses the existing mountable curb and gutter as all other existing driveways in the subdivision do. If it is determined that a MDOT detail 'M' approach is required, it will be added to the Final Site Plan.
33. The proposed retaining wall will be less than 30" high.

Soil Erosion and Sediment Control

34. The gravel mud mat will be increased to 20 feet wide, and a detail will be included with the Final Site Plan.

Next Submittal

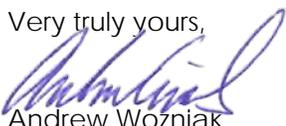
35. A detailed response letter including a statement that all changes have been discussed in the letter will be provided with the Final Site Plan Submittal.
36. An itemized cost opinion will be included with the Final Site Plan submittal.

Required Legal Documents

37. If it is determined that a Sanitary Sewer Monitoring Manhole is required, it will be installed in the Heslip Drive public right-of-way.

Please contact us if you have any questions or comments.

Very truly yours,



Andrew Wozniak

February 17, 2026

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: Armstrong Warehouse

Dear Mr. Meader:

Below are our responses to your review dated December 29, 2025.

Landscape Comments:

- *Adjacent to residential.* We are requesting a waiver to use the existing vegetation for buffering.
- *Frontage in a non-residential subdivision.* A hedge will be added to screen the parking from the street.
- *Existing and proposed utilities.* Light pole will be added to the plan.
- *Parking lot landscaping.* The calculations will be updated and additional plantings will be added is required.
- *Irrigation.* Irrigation will be provided by hose bib with drip irrigation being used in the landscape beds. Gator bags will be used for the trees until they established.
- *Cross section of berms.* Trees will be shifted closer to the ROW line and away from utilities.
- *General.* No FDC is proposed.
- *Plant list.* The kousa dogwoods will be substituted with a different ornamental tree.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.

Z EIMET W OZNIAK
& ASSOCIATES

Consulting Civil Engineers

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

February 17, 2026

Ms. Diana Shanahan, Planner
City of Novi Community Development Department – Planning Division
45175 Ten Mile Road
Novi, MI 48375

Re: Armstrong Warehouse (22735 Heslip)
PSP Review Response
Wetlands and Woodlands
JSP25-34

Dear Ms. Shanahan:

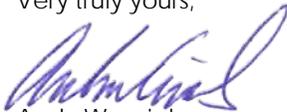
We would like to thank Mergent for their recommendation of approval of the Preliminary Site Plan. We have reviewed their Woodland and Wetland review letter dated January 16, 2026.

There do not appear to be any comments to address. Any new comments that are identified during the Final Site Plan submittal can be addressed at that time.

We acknowledge that a woodland fence guarantee is required and that a fence inspection must be performed prior to tree removal.

Please contact us if you have any questions or comments.

Very truly yours,



Andy Wozniak

ZEIMET WOZNIAK & ASSOCIATES

Consulting Civil Engineers

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

February 17, 2026

Mr. Saumil Shah, Project Manager
AECOM
39575 Lewis Dr., Ste 400
Novi, MI 48377

Re: Armstrong Warehouse (22735 Heslip)
PSP Review Response
Traffic
JSP25-34

Dear Mr. Shah:

Thank you for your recommendation of approval of the Preliminary Site Plan. We are responding to the outstanding comments in bold in your PSP Traffic Review dated January 21, 2026.

4. Fire has approved emergency access.
- 6a. Due to the limited frontage of the property and existing driveway locations, the same-side driveway spacing does not meet city standards. We are requesting a variance and appreciate your support.
- 6b. The existing driveways on the east side of Heslip Drive are 90 feet to the north and 80 feet to the south, as measured from the proposed driveway. While this does not meet the requirements of the Spacing Standards for Driveways on Opposite Sides of Undivided Roads, Figure IX.12 of the ordinance, it is the logical location as the proposed drive is equal distance between the two existing drives. Per the ordinance "This standard may be reduced by the City in the case of a single proposed driveway serving a parcel where no other point of reasonable access is feasible".

We believe that a reduction is justified for the following reasons:

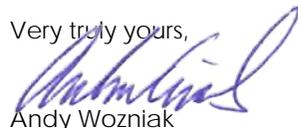
- The traffic impact from the proposed use is minimal.
- Throughout the industrial park, there are many precedents of driveway that do not meet the required separation distance.
- Heslip Drive is a low traffic volume, dead end court. All the traffic must be accessed from 9 Mile Rd. and it will not proceed towards the cul-de-sac. Most turns out of the driveways will be to the south which reduces the opportunity for turning conflicts.
- There are no options to access the property that will meet the ordinance requirements.

We are requesting a variance and appreciate your support.

11. A no parking sign will be added to the truck turn around area.
18. The curb stop detail will be revised to a 6' length to allow a 3' access aisle.
- 24c. We are requesting a variance to allow a 5.5' wide clear path from the parking lot to the bicycle parking and appreciate your support.
- 24e. The bicycle parking layout will be revised to meet the dimensions required by ordinance.
26. The latest MDOT sidewalk ramp detail will be added to the Final Site Plan submittal.

Please contact us if you have any questions or comments.

Very truly yours,



Andy Wozniak



February 17, 2026

Diana Shanahan, Planner
City of Novi Community Development Department – Planning Division
45175 Ten Mile Road
Novi, MI 48375

Re: Armstrong Warehouse (22735 Heslip)
PSP Review Response
Facade
JSP25-34

Dear Ms. Shanahan:

We would like to thank Mergent for their recommendation of approval of the Preliminary Site Plan. We have reviewed their Facade review letter dated January 8, 2026.

Section 9 Façade Waiver

We request a Section 9 Waiver for the metal panel percentages shown on the elevations and as recommended for approval by DRN Associates.

If you have further questions or comments that we can address, please do not hesitate to contact our office at 248-349-2708. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read 'R. E. Miller', with a horizontal line extending to the right from the end of the signature.

Robert E Miller, AIA
Principal
M Architects

Z EIMET W OZNIAK & ASSOCIATES

Consulting Civil Engineers

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

February 17, 2026

Mr. Andrew Copeland, Fire Marshal
City of Novi Public Safety Administration - Fire Department
45125 Ten Mile Road
Novi, MI 48375

Re: Armstrong Warehouse (22735 Heslip)
PSP Fire Review Response
JSP25-34

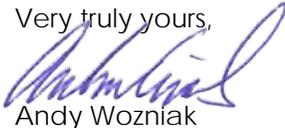
Dear Mr. Copeland:

Thank you for your recommendation of approval of the Preliminary Site Plan. We are responding to the outstanding comments in your PSP Planning Review dated January 5, 2026.

- No new hydrants are proposed.
- The building will comply with the International Fire Code Section 510 for Emergency Radio Coverage. This will be completed by the time of the final inspection of the fire alarm permit. Fire suppression is not proposed.
- The entrance drive will be designated as a fire lane, if deemed necessary by the Fire Chief and signs will be installed as required.
- The west end of the proposed building is 142-feet west of the property line. Fire access is provided by the 24' wide driveway, which extends 150-feet from Heslip Drive. See Sheet CE-3.
- The fire apparatus access drive to the building as proposed, has a 50-foot outside turning radius and is designed to support a minimum 35 tons. Please refer to Sheet CE-3.
- This property is one of the last parcels along Heslip Drive. It is expected that the existing water system, which has been in place since 1973, provides the required 4,000 g.p.m. A hydrant flow test will be completed if required.
- Interior fire suppression is not proposed.
- No new hydrants are proposed.
- There are two existing hydrants which provide fire protection for this project. All parts of the building are within 300-foot hose laying distance from the hydrants. See Sheet CE-3.
- A hazardous chemical survey was submitted with the PSP application.
- The building address will be posted facing the street during construction.
- A note stating that "prior to construction above the foundation, an all-weather access drive capable of supporting 35 tons shall be provided" will be added to the Final Site Plan.
- The truck turning radius on Sheet CE-3 has been adjusted to 50' with a truck length of 48.5' and will be submitted with the Final Site Plan.

Please contact us if you have any questions or comments.

Very truly yours,



Andy Wozniak

NOISE IMPACT STATEMENT



February 17, 2026

Diana Shanahan, Planner
City of Novi Community Development Department – Planning Division
45175 Ten Mile Road
Novi, MI 48375

Re: Armstrong Warehouse (22735 Heslip)
PSP Review Response
Planning
JSP25-34

Dear Ms. Shanahan:

Thank you for your recommendation of approval of the Preliminary Site Plan. We are responding to the outstanding comments in bold in your PSP Planning Review dated January 21, 2026.

1. Noise Impact Statement:

A Noise Impact Statement has been submitted.

The owner has provided specifications for the loudest piece of equipment in his shop. The sound emission is 98dB at 20". The distance to the west property line is approximately 265 feet. Using a Distance Attenuation Calculator, the sound emission is reduced to 53.97dB, without considering the dense vegetation between the two points. This sound emission is below the allowed 55dB.

However, the owner has indicated that no outdoor uses are proposed, and all work will be completed behind closed doors. Therefore, the sound emission from the workshop, at the adjacent property lines, will be zero.

2. District Required Conditions: Light Industrial – Adjacent to Residential:

Due to the dense vegetation and distance between the proposed use and the adjacent residential, no berm is proposed. We are requesting a landscape waiver for the lack of a berm. This waiver request is supported by City staff.

3. Bicycle Lot Layout:

The bicycle parking layout will be revised to meet the dimensions required by ordinance.

4. Lighting and Photometric Plan:

Additional information will be provided with the next submittal. Detailed responses to the Planning Chart comments are below.

5. Facade Waiver:

We are requesting a Section 9 Waiver. We appreciate DRN and Associates "recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Metal siding on the north, south and west facades".

Z EIMET W OZNIAK & ASSOCIATES

Consulting Civil Engineers

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

February 12, 2026

Diana Shanahan, Planner
City of Novi Community Development Department – Planning Division
45175 Ten Mile Road
Novi, MI 48375

Re: Armstrong Warehouse (22735 Heslip)
JSP25-34

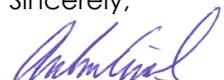
Noise Impact Statement:

A new 4,000 s.f office and warehouse building is proposed on a 1.31-acre parcel of land located at 22735 Heslip Drive, Novi, Michigan. The building exterior will include thin brick veneer and metal siding. The building will be used as a personal woodworking shop for the owner.

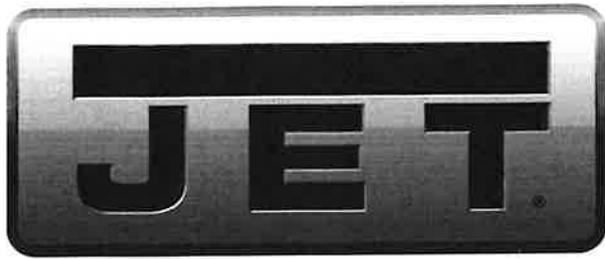
The owner has provided the attached specifications for the loudest piece of equipment in his shop. The sound emission is 98dB at 20". The distance to the west property line is approximately 265 feet. Using a Distance Attenuation Calculator, the sound emission is reduced to 53.97dB, without considering the dense vegetation between the two points. This sound emission is below the allowed 55dB.

However, the owner has indicated that no outdoor uses are proposed, and all work will be completed behind closed doors. Therefore, the sound emission from the workshop, at the adjacent property lines, will be zero.

Sincerely,

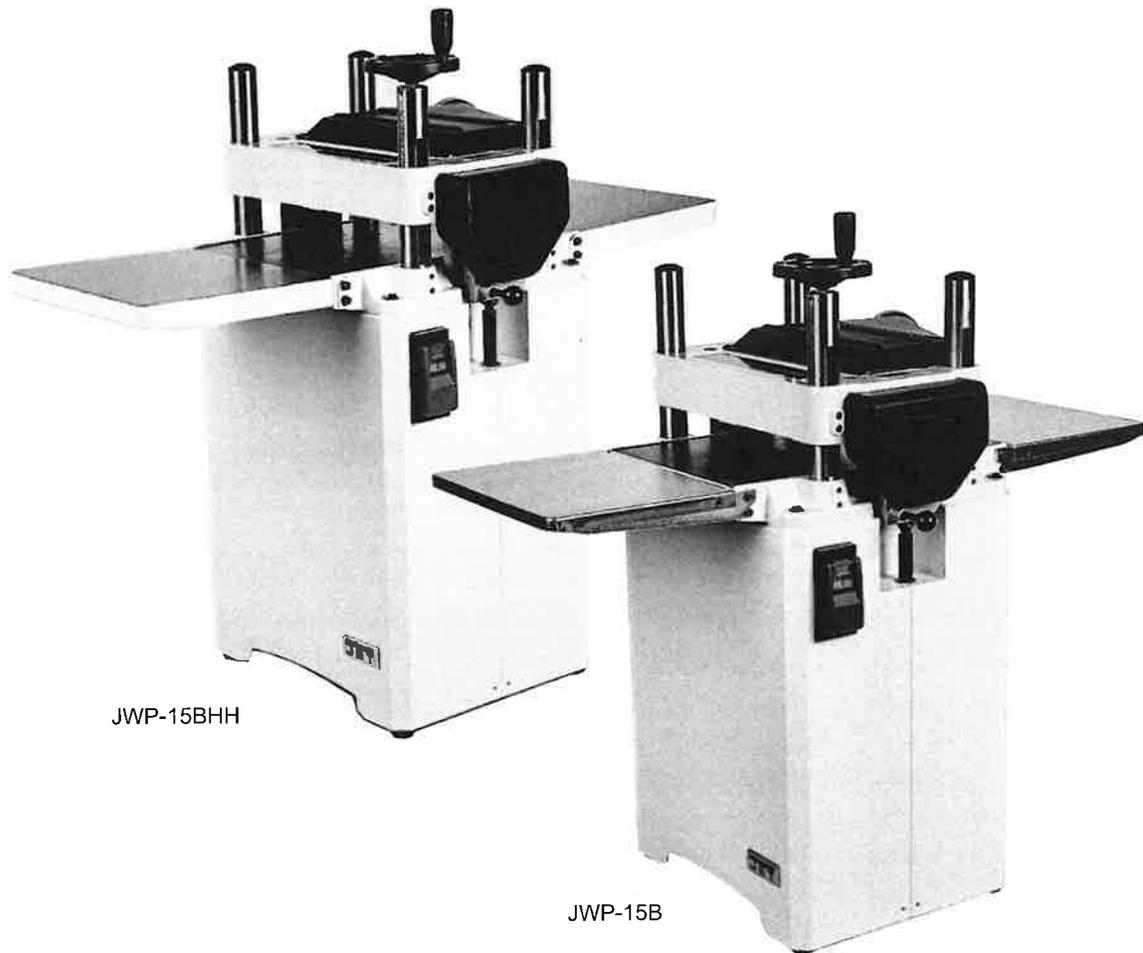


Andrew Wozniak



Operating Instructions and Parts Manual 15-inch Planer

Models JWP-15B, JWP-15BHH



JWP-15BHH

JWP-15B

JET
427 New Sanford Road
LaVergne, Tennessee 37086
Ph.: 800-274-6848
www.jettools.com

Part No. M-722150
Edition 3 04/2020
ECR 191210180232
Copyright © 2019 JET

4.0 Specifications

Table 1

	722150	722155
Stock number	JWP-15B	JWP-15BHH
Model number		
Motor and Electricals		
Motor type	Totally enclosed, fan-cooled, induction, capacitor start	
Horsepower	3 HP (2.2 kW)	
Phase	Single	
Voltage	230 V only	
Cycle	60 Hz	
Listed FLA (full load amps)	11 A	
Start capacitor	300MFD 125VAC	
Run capacitor	60 μ F 250VAC	
Motor speed	3450 RPM	
On/off switch	Magnetic with LED illuminator, 14A overload protector	
Power transfer	belt to cutterhead; gearbox/chain to feed rollers	
Power cord	14AWG x 3C, 7 ft.	
Power plug installed	CSA/UL 6-15P	
Recommended circuit size ¹	15 A	
Sound emission without load ²	98 dB at 20 in. (508mm) from infeed table	83 dB at 20 in. (508mm) from infeed table
Capacities		
Maximum cutting width	15 in. (381 mm)	
Maximum cutting thickness	6 in. (153 mm)	
Maximum cutting depth	3/16 in. (4.7 mm)	
Maximum full width depth of cut	1/8 in. (3.1 mm)	
Minimum workpiece length	5.6 in. (142 mm)	
Minimum material thickness	3/16 in. (5 mm)	
Head movement per one revolution of handwheel	4 mm	
Feed rate	16 and 20 FPM	
Gearbox oil capacity	420 mL	
Cutterhead and feed rollers		
Number of cutterhead rows	3	4
Knife type and size LxWxt	Straight, 15 x 1 x 1/8 in.	4-sided inserts, 15x15x2.5t mm
Number of knives	3	48
Cutterhead speed	5200 RPM	
Cutterhead diameter	2.6 in. (68 mm)	
Cuts per minute	15,600	continuous
Main materials		
Main table	Cast iron	
Extension tables	Steel	Cast iron
Cabinet	Steel	
Infeed roller	Aluminum extrusion	
Outfeed roller	Rubber	
Anti-kickback fingers	Steel	
Dust collection		
Dust port diameter	4 in. (102 mm)	
Recommended minimum dust collector capacity	600 CFM	

CORRESPONDENCE



CITY OF NOVI
RESPONSE FORM

RECEIVED

FEB 12 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

ARMSTRONG WAREHOUSE, JSP25-34, FOR SPECIAL LAND USE AND PRELIMINARY SITE PLAN APPROVAL.

You are invited to attend the public hearing on February 25, 2026 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: schoi@cityofnovi.org

Return via mail or fax: Community Development Department
45175 Ten Mile Road, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

Information regarding the project will be available the Saturday prior to the meeting date at: <https://www.cityofnovi.org/agendas-minutes/planning-commission/2026/>.

Plans are available for viewing during the City's regular business hours, Monday thru Friday, 8:00 AM to 5:00 PM, at the Community Development Department, or by contacting bmcbeth@cityofnovi.org.

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

The building looks nice and its massing is less than other on the street. The use will also be less intense than other buildings on the street.

SIGNATURE:

PRINT NAME: David Stever

ADDRESS: 30180 Orchard Lake Rd Farmington Hills 48334

*** IN ACCORDANCE WITH MCL 125.3103:
- NOTICE SHALL BE GIVEN TO ALL PERSONS TO WHOM REAL PROPERTY IS ASSESSED WITHIN 300 FEET OF THE SUBJECT PROPERTY.
- IF A SINGLE STRUCTURE CONTAINS MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, NOTICE MAY BE GIVEN TO THE MANAGER OR OWNER OF THE STRUCTURE, WHO SHALL BE REQUESTED TO POST THE NOTICE AT THE PRIMARY ENTRANCE TO THE STRUCTURE.