



## COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals      **ZONING BOARD APPEALS DATE:** July 11, 2023

**REGARDING:** 22635 Beckenham Court, Parcel # 50-22-29-476-016 (PZ23-0018)

**BY:** Alan Hall, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### **Applicant**

James Wildman

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned One Family Residence (R-1)

Location: West of Beck Road, North of Nine Mile Road

Parcel #: 50-22-29-476-016

#### **Request**

The applicant is requesting variance from the City of Novi Zoning Ordinance Section 3.1.2 for a proposed exterior side yard setback of 19 feet (30 feet required, variance of 11 feet). This variance would accommodate the building of a home addition. This property is zoned One Family Residential (R-1).

### II. STAFF COMMENTS:

*This property has a special dimensional consideration because this lot has street frontage on the side of the house (referred to as an Exterior Side yard) which would require the same setback as the front yard – in this case a 30' setback. **Note: On June 8, 2021, a 11-foot variance was previously granted, but the variance expired on April 28, 2022.** The current submitted drawings reveal a site plan that would require a minimum setback variance of 6.4' (30' – 23.6') to accommodate the proposed building addition. The applicant is requesting an 11' variance which is greater than what is required but would be in keeping with the previous ZBA approval.*

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ23-0018**, sought by \_\_\_\_\_ for \_\_\_\_\_

\_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because\_\_\_\_\_

(b) The property is unique because\_\_\_\_\_

(c) Petitioner did not create the condition because\_\_\_\_\_

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because\_\_\_\_\_

(e) The relief is consistent with the spirit and intent of the ordinance because\_\_\_\_\_

(f) The variance granted is subject to:

1. \_\_\_\_\_.

2. \_\_\_\_\_.

3. \_\_\_\_\_.

4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ23-0018**, sought by \_\_\_\_\_, for\_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including\_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because\_\_\_\_\_

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by\_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to\_\_\_\_\_

**Zoning Board of Appeals**

James Wildman  
Case # PZ23-0018

July 11, 2023

Page 3 of 3

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Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi



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 45175 Ten Mile Road  
 Novi, MI 48375  
 (248) 347-0415 Phone  
 (248) 735-5600 Facsimile  
 www.cityofnovi.org

**RECEIVED**

**MAY 19 2023**

**ZONING BOARD OF APPEALS  
 APPLICATION**

**CITY OF NOVI  
 COMMUNITY DEVELOPMENT APPLICATION MUST BE FILLED OUT COMPLETELY**

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: <u>200.00</u>
PROJECT NAME / SUBDIVISION <u>Beckenharm</u>				Meeting Date: _____
ADDRESS <u>22635 Beckenharm Ct</u>		LOT/SIUTE/SPACE #		ZBA Case #: <u>PZ P23-0018</u>
SIDWELL # <u>50-22-29 - 476 - 016</u>		May be obtained from the Assessing Department (248) 347-0485		
CROSS ROADS OF PROPERTY <u>9 mile &amp; Beck</u>				
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
<b>II. APPLICANT INFORMATION</b>				
<b>A. APPLICANT</b>		EMAIL ADDRESS <u>Jwildman@dms-usa.com</u>	CELL PHONE NO. <u>(734) 637-7043</u>	
NAME <u>James Wildman</u>		TELEPHONE NO. _____		
ORGANIZATION/COMPANY		FAX NO. _____		
ADDRESS <u>22635 Beckenharm Ct</u>		CITY <u>Novi</u>	STATE <u>Mi</u>	ZIP CODE <u>48374</u>
<b>B. PROPERTY OWNER</b> <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER				
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.	
NAME		TELEPHONE NO.		
ORGANIZATION/COMPANY		FAX NO.		
ADDRESS		CITY	STATE	ZIP CODE
<b>III. ZONING INFORMATION</b>				
<b>A. ZONING DISTRICT</b>				
<input type="checkbox"/> R-A <input checked="" type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____				
<b>B. VARIANCE REQUESTED</b>				
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:				
1. Section	<u>3.1.2</u>	Variance requested	<u>19 ft exterior side yard</u>	
2. Section	_____	Variance requested	_____	
3. Section	_____	Variance requested	_____	
4. Section	_____	Variance requested	_____	
<b>IV. FEES AND DRAWINGS</b>				
<b>A. FEES</b>				
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input checked="" type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600				
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>				
<ul style="list-style-type: none"> <li>Dimensioned Drawings and Plans</li> <li>Site/Plot Plan</li> <li>Existing or proposed buildings or addition on the property</li> <li>Number &amp; location of all on-site parking, if applicable</li> <li>Existing &amp; proposed distance to adjacent property lines</li> <li>Location of existing &amp; proposed signs, if applicable</li> <li>Floor plans &amp; elevations</li> <li>Any other information relevant to the Variance application</li> </ul>				



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL    USE    SIGN

There is a five (5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten (10) days before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be an actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 7.10 – Miscellaneous

No order of the ZBA permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the ZBA permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING    ADDITION TO EXISTING HOME/BUILDING    SIGNAGE  
 ACCESSORY BUILDING    USE    OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

\_\_\_\_\_  
Applicant Signature

5.19.2023  
\_\_\_\_\_  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

\_\_\_\_\_  
Property Owner Signature

5.19.2023  
\_\_\_\_\_  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED    DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



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**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable  Applicable If applicable, describe below:

*Shape of lot is abnormal, that was zoned incorrectly that when it comes to us having the opportunity to add an addition i therefore asking you to make an amendment.*  
**and/or**

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable  Applicable If applicable, describe below:

**and/or**

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable  Applicable If applicable, describe below:

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Our lot is abnormally shaped & therefore it impacts our ability to build an addition that we are looking to get approved

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Due to the abnormal shape of the lot it prevents us from building our addition w/ the current variance restrictions.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The variance being requested will allow the addition to be built.

It will help improve property value & allow for additional square footage.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

Due to the abnormal shape of our lot we have plenty of room to build the addition we are looking to do which will help enhance property values. We are also surrounded by 30-40ft of Blue Spruce Evergreens which line the property & create a fence from outside visibility.

FOUNDATION NOTES PER MICHIGAN RESIDENTIAL CODE 2015

- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AT 1 1/2 TIMES THE FOOTING WIDTH (PERPENDICULAR TO THE WALL FLANS) OF 2", WHICHEVER IS SMALLER IN RISE TO 3 TIMES THE FOOTING WIDTH IN RUN (MINIMUM) TO MAINTAIN THE PROPER DEPTH BELOW FINISH GRADE.
- FOOTINGS ARE DESIGNED FOR AN ASSUMED SOIL PRESSURE OF 1500 PSF. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY SOIL BEARING PRESSURE IN THE FIELD BY THE SOILS ENGINEER.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE TO DEVELOP A MINIMUM OF 3500 PSI AT 28 DAYS WITH A MINIMUM OF 6 BAGS OF CEMENT PER YARD AND A MAXIMUM SLUMP OF 4".
- 3500 PSI AT 28 DAYS (6% +/- 1%) AIR ENTRAINED FOR EXTERIOR SLABS, WALKS, AND CURBING.
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25' MAXIMUM INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 1/2" TOOLED JOINTS AT 3'-0" O.C. MINIMUM OR SAW CUT.
- REINFORCING STEEL TO BE A-68 GRADE 40. WELDED WIRE MESH TO BE A-183.
- ALL WOOD IN CONTACT WITH MASONRY TO BE WOLMANIZED WITH THERMO-BARRIER UNDER ALL SILLS.
- ALL REINFORCING BARS, DOWELS, AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60.
- PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO INSURE THE STABILITY OF THE NEW STRUCTURE UNTIL THE PERMANENT FRAMING IS IN PLACE.
- ALL MASONRY BEARING STEEL BEAMS AND LINTELS TO BEAR 8" MINIMUM ON 3 COURSES SOLID MASONRY WITH (2) 1/4" DIAMETER BOLTS EACH END, UNLESS OTHERWISE NOTED.
- ALL BLOCK SHALL BE TYPE N-1 (C-90X2 CORE).
- MORTAR IS BE TYPE 'S' OR 'N'.
- HORIZONTAL WIRE REINFORCING SHALL BE #3 GA. LADDER TYPE WIRE PLACED AT 16" O.C. IN ALL MASONRY WALLS (AT ALTERNATE COURSING TO STRAP ANCHORS).
- VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION.
- DO NOT SCALE DRAWINGS

SHEETING, SHORING AND BRACING

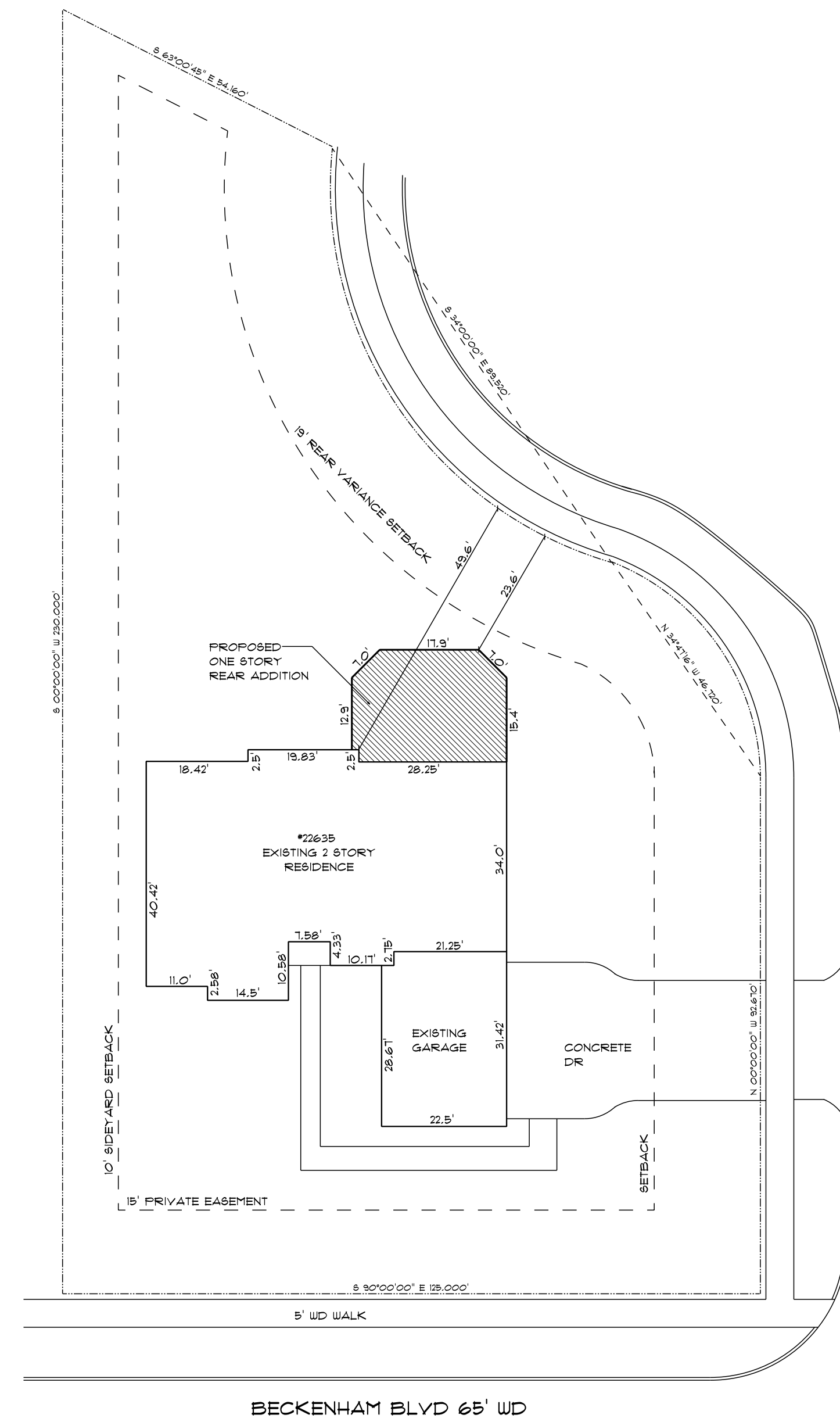
- TEMPORARY SHEETING, SHORING, GUYING AND TIEDOWNS OF THE WORK AND STRUCTURE DURING ERECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER AND OR ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ABSENCE, PRESENCE OR ADEQUACY OF ANY TEMPORARY BRACING. ALL EXISTING STRUCTURES THAT MAY BE AFFECTED BY THE NEW CONSTRUCTION SHALL BE BRACED AND PROTECTED AS REQUIRED.
- THE STRUCTURAL DRAWINGS ARE THE PLACEMENT AND SIZE OF THE STRUCTURAL COMPONENTS ONLY. COMPLIANCE WITH OSHA AND SAFETY CODE REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

NOTE:

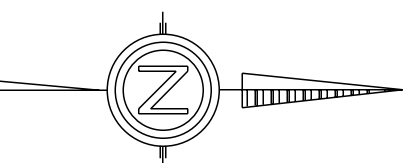
REVIEW EXISTING CONDITIONS IN FIELD PRIOR TO WORK. ANY FIELD CHANGES IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AND OR ENGINEER PRIOR TO WORK TO BE COMPLETED

DEMOLITION PLAN

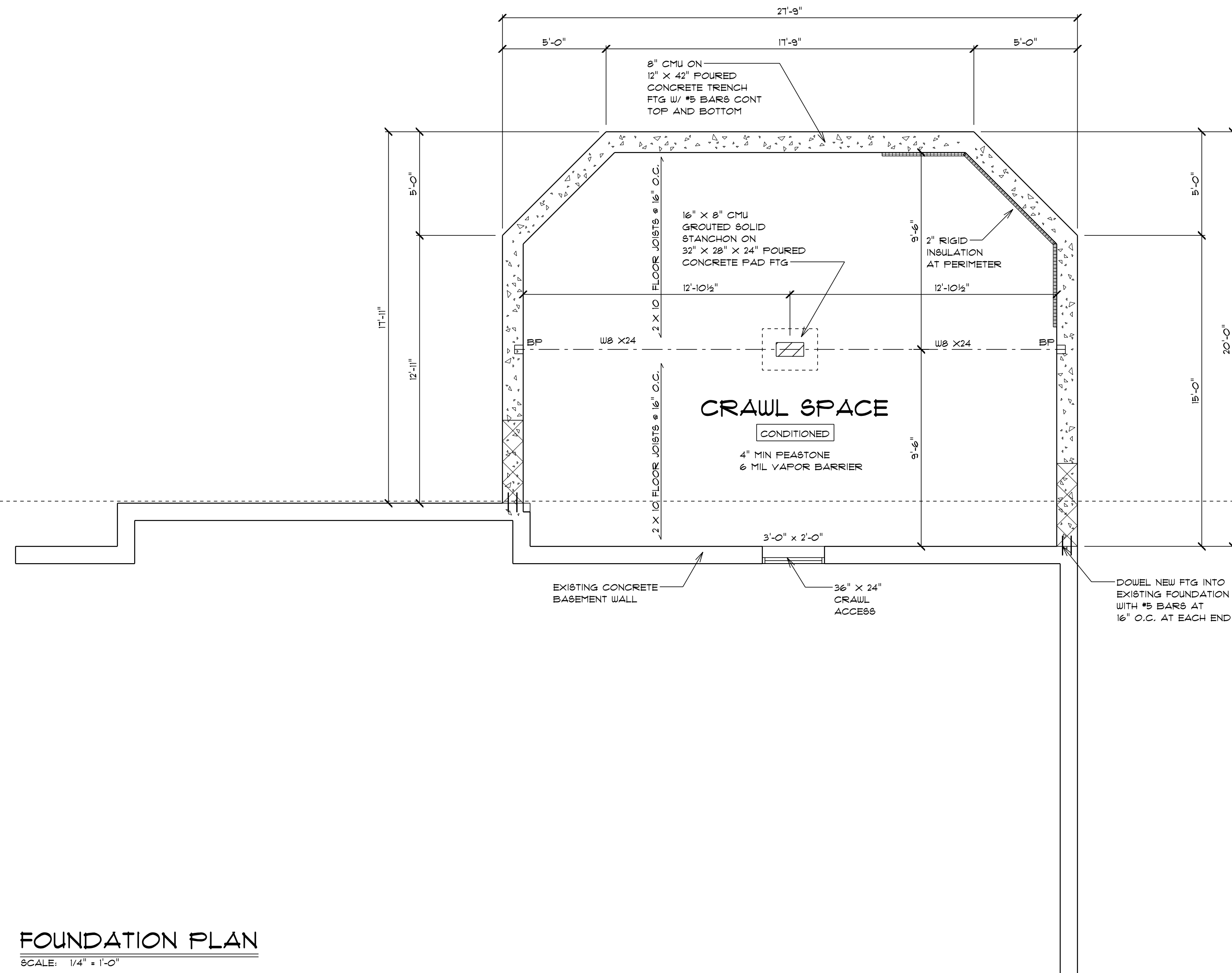
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE AND BUILDING WITH RESPECT TO THE REMOVAL OR RELOCATION OF ALL MECHANICAL, ELECTRICAL, STRUCTURED, UTILITY OR ARCHITECTURAL ITEMS (NOT SPECIFICALLY INDICATED ON THE DRAWINGS) WHICH WOULD INTERFERE WITH THE INTENT AND COMPLETION OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING CONCEALED BUILDING ELEMENTS INCLUDING PLUMBING, MECHANICAL RUNS AND LINES, STRUCTURAL FRAMING AND ELECTRICAL SERVICES AND PROVIDING PROTECTION FROM DAMAGE.
- PROVIDE APPROPRIATE BARRICADES, SIGNAGE, DUCT CONTROL, SECURITY AND OTHER SAFETY PRECAUTIONS SO AS TO PROTECT RESIDENTS, VISITORS, TRADESMAN, AND ALL EXISTING REMAINING CONDITIONS
- CONTRACTORS SHALL PROVIDE PROPER TEMPORARY OR PERMANENT SHORING, BRACING, AND SUPPORT UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- CONTRACTOR IS TO COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR THE REMOVAL OF CEILING, WALLS, ETC. AS TO THE EXTENT OF STRUCTURE TO BE SAVED AND PROTECTED
- REMOVE EXISTING FINISHES AS NECESSARY TO EXPOSE STRUCTURE. VERIFY CONDITIONS WITH OWNER BEFORE CONTINUING WORK. RESTORE EXISTING AREAS WHICH ARE DAMAGED DURING CONSTRUCTION. MATCH EXISTING MATERIALS AND FINISHES WHERE DEEMED NECESSARY.
- NEW OPENINGS SHALL BE CUT IN EXISTING WALLS, CEILING, AND FLOORS AS REQUIRED FOR THE INSTALLATION OF NEW WORK. OPENINGS SHALL BE CUT CLEAN AND ACCURATELY SO AS NOT TO DISTURB EXISTING WALLS, FLOORS, PARTITIONS, CEILING, ETC. WHICH ARE TO REMAIN. MAINTAIN STRUCTURAL SOUNDNESS OF REMAINING WALLS.
- CONTRACTOR TO TAKE EXTRA PRECAUTIONS IN PRESERVING ALL EXISTING BASEMENT AND FOUNDATION CONSTRUCTION, INCLUDING ALL EXPOSED WATERPROOFING DURING DEMOLITION AND CONSTRUCTION.
- VERIFY WITH OWNER ALL EQUIPMENT AND FIXTURES TO BE REMOVED AND REUSED OR DISCARDED
- ALL EXISTING WALLS, DOORS, FRAMES, AND RELATED HARDWARE ASSEMBLIES DESIGNATED AS "TO BE REMOVED" SHALL BE COMPLETELY REMOVED AND DISPOSED OF AS DESIGNATED BY OWNER. ALL EXISTING WALLS NOT DESIGNATED SHALL TO REMAIN "AS IS"
- REFER TO SPECIFICATIONS ON DRAWINGS FOR EXACT DEMOLITION INFORMATION.
- CONTRACTOR SHALL DESIGN, PROVIDE BUILDING ASSEMBLY AND OR ANY SYSTEMS AND OR ANY SUB-ASSEMBLIES ARE COMPLETE, SUPPORTING AND OR STABLE INSTALL AND MAINTAIN ANY AND ALL TEMPORARY BRACING AS REQUIRED TO ENSURE THE STABILITY OF THE STRUCTURE



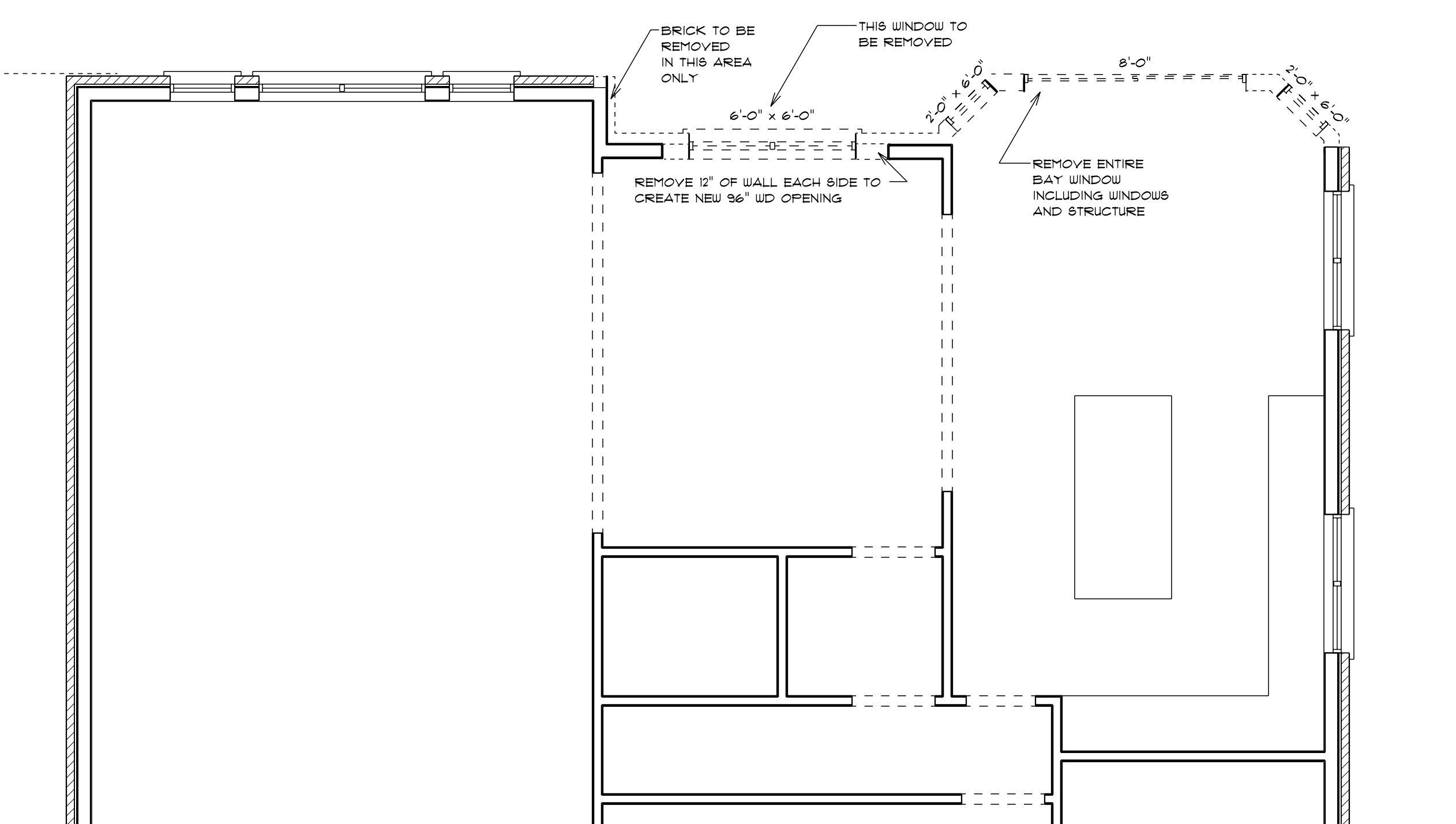
BECKENHAM BLVD 65' WD



**SITE PLAN**  
SCALE: 1" = 20'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**POLYARCH INC.**  
44045 N. GREATOT AVE  
CLINTON TWP., MI 48036  
(O) 586.468.4190 (F) 586.468.1959

ENGINEER:

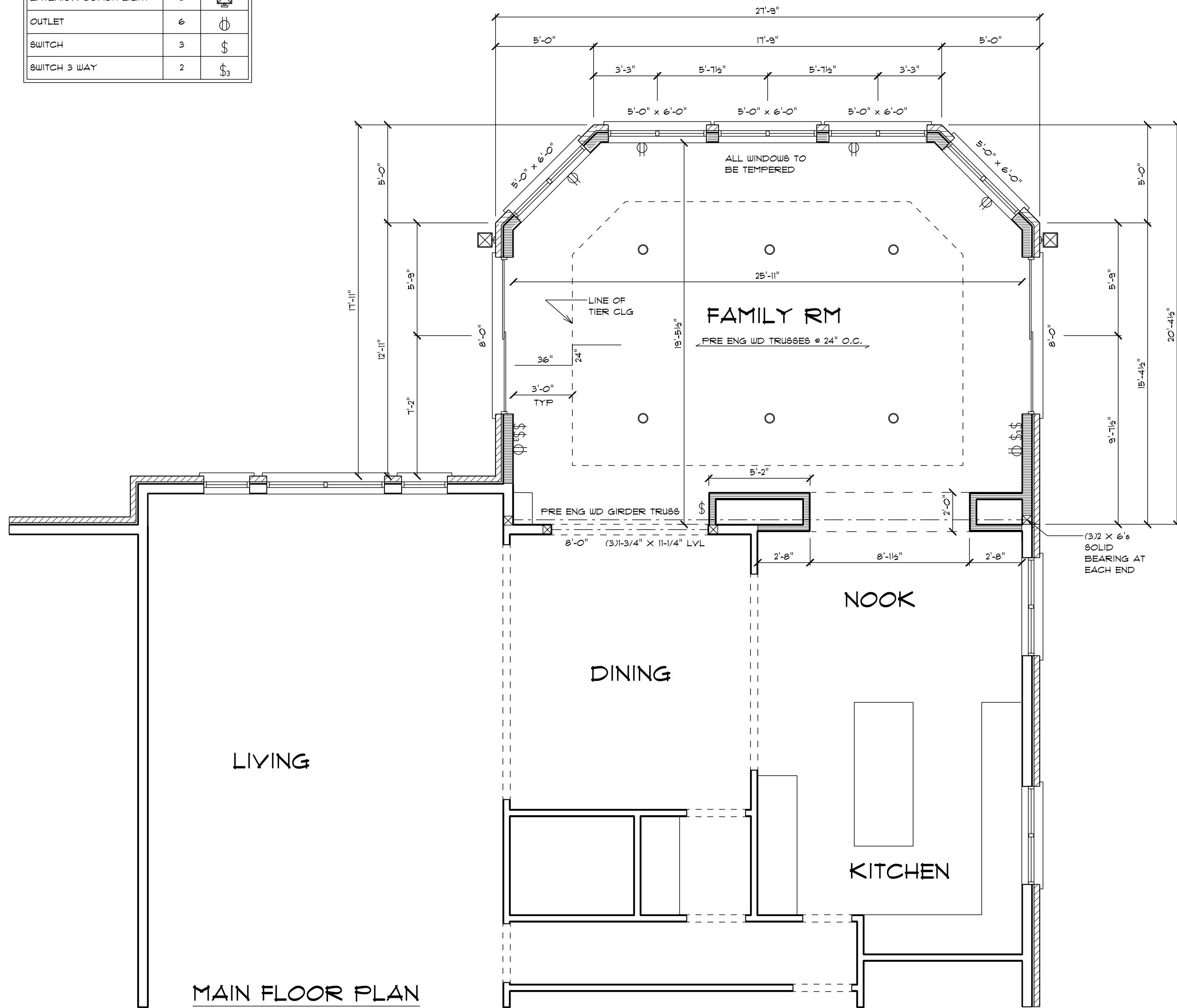
CLIENT: WILDMAN RESIDENCE  
22635 BECKENHAM CT  
NOVI, MI

PROJECT: ONE STORY REAR ADDITION  
TO AN EXISTING RESIDENCE

DATE:	6-16-22
PROJECT NO.:	22-081
DRAWN BY:	EKH
CHECKED BY:	ZEB
REVISION DATE:	



ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
CAN LIGHT 6" DIA RECESS	6	○
EXTERIOR COACH LIGHT	2	⊗
OUTLET	6	⊕
SWITCH	3	⊞
SWITCH 3 WAY	2	⊞



MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

EXISTING 2 X 6 EXTERIOR WALL AND BRICK FINISH
EXISTING INTERIOR 2 X 4 PARTITION STUD WALLS WITH 1/2" GYPSUM BOARD EACH SIDE
NEW 2 X 6 STUD EXTERIOR WALL W/ R-21 AND BRICK TO MATCH
NEW 2 X 4 STUD INTERIOR PARTITION WALLS @ 16" O.C. WITH 1/2" GYPSUM BOARD

**WALL LEGEND**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

NEW ADDITION FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR LIVE LOAD = 40 PSF  
DEAD LOAD = 10 PSF

NEW ROOF FRAMING LOAD ELEMENTS HAVE BEEN DESIGNED FOR SNOW LOAD = 30 PSF  
DEAD LOAD = 10 PSF

ALL HEADERS IN BEARING WALLS SHALL BE MINIMUM OF 2 X 12 HEM FIR #2 OR BETTER PROVIDE MIN. (2) 2 X 4 OR 2 X 6 DEPENDING ON WALL THICKNESS 8FF STUD GRADE OR BETTER UNDER EACH END OF ALL HEADERS AND BEAMS UNLESS NOTED OTHERWISE.

RAFTER LAYOUT IS ONLY FOR GUIDANCE AND SHALL NOT BE USED AS SHOP DRAWINGS. SUPPLIER TO ENSURE THE UNOBSTRUCTED HVAC OPENINGS

ALL MULTI JACK STUDS TO BE GLUED AND NAILED WITH 2 ROWS OF 12D NAILS @ 12" O.C.

**WALL NOTE:**  
ALL EXTERIOR WALLS TO BE 2 X 6 STUDS @ 16" O.C. @ 9'-0" IN HT. UNLESS NOTED OTHERWISE

ALL INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. @ 9'-0" IN HT. UNLESS NOTED OTHERWISE

**NOTE:**  
ALL DOORS AND WINDOWS TO BE 6'-8" IN HT

**NOTE:**  
ALL BEARING WALLS SHALL HAVE FLOOR JOISTS UNDER EACH BEARING STUD, TYPICAL FOR ALL BEARING WALLS

**WINDOW NOTE:**  
ALL WINDOWS TO BE ANDERSON 400 SERIES OR EQUAL CASEMENT STYLE

**NOTE:**  
ALL WINDOWS THAT ARE OPERABLE AND BOTTOM OF THE WINDOW IS 12" OR MORE ABOVE GRADE. SHALL BE 24" ABOVE FINISH FLOOR TO THE BOTTOM OF THE WINDOW OR PROVIDE WINDOW INHIBITORS TO WINDOWS

**NOTE:**  
ALL BEARING ENDS OF HEADERS, GIRDERS AND POINT LOADS SHALL HAVE MIN (3) 2 X MEMBERS FOR BEARING, 2 X MEMBERS SHALL BE RELATED TO WALL SIZE

**FLOOR PLAN NOTES (MICHIGAN RESIDENTIAL CODE 2015)**

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.1 SQ FT WITH A MINIMUM WIDTH OF 20" AND A SILL LESS THAN 44" ABOVE FINISHED FLOOR.

ALL WINDOWS WITH 18" OF THE FLOOR AND WITH IN 12" OF ANY DOOR ARE TO HAVE A SAFETY TEMPERED GLAZING.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE SAFETY TEMPERED GLAZING

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOOR AND WINDOWS. PROVIDE PEEP HOLE 34" TO 66" ABOVE FLOOR ON EXTERIOR DOORS.

CONNECT ALL SMOKE DETECTORS (SEE PLANS FOR LOCATIONS) TO HOUSE ELECTRICAL SYSTEM AND INTERCONNECT EACH ONE SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND.

PROVIDE COMBUSTION AIR VENTS WITH SCREEN AND BACK DAMPER FOR FIREPLACES, WOOD STOVE, AND ANY APPLIANCE WITH OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO OUTSIDE AIR WITH A MINIMUM OF A 30 CFM FAN. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. ENCLOSED GRIGES OR RAFTER SPACES SHALL HAVE 1 SQ FT OF FREE VENTILATING ARE FOR EVERY 130 SQ FT OF AREA WHERE THE CEILING IS APPLIED TO THE UNDERSIDE OF ROOF RAFTERS.

HANDRAILS SHALL BE 36" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL NOT PROJECT MORE THAN 3" INTO THE WIDTH OF THE STAIRS.

NOTCHES IN SOLID LUMBER SHALL NOT EXCEED ONE SIXTH OF THE DEPTH OF THE MEMBER OF NO LONGER THAN ONE THIRD OF THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. ALL NOTCHES SHALL CONFORM TO R602.6, R602.7 OF THE MICHIGAN RESIDENTIAL CODE 2015. STUD SPACING IN BEARING WALLS SHALL BE IN ACCORDANCE W/ R602.3.

FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS IN ACCORDANCE WITH R602.6 OF THE MICHIGAN RESIDENTIAL BUILDING CODE 2015

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES
  - A. 2015 MICHIGAN RESIDENTIAL CODE
  - B. 2015 MICHIGAN MECHANICAL CODE
  - C. 2015 MICHIGAN PLUMBING CODE
  - D. 2017 MICHIGAN ELECTRICAL CODE, NEC W/ PART 8 STATE AMENDMENTS
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DESIGN LOADS:
  - FLOOR LOADING:
    - 1. LIVE LOAD: 40 PSF
    - 2. DEAD LOAD: 10 PSF
  - ROOF LOADING:
    - 1. SNOW LOAD: 30 PSF
    - 2. DEAD LOAD: 10 PSF
- INSULATION:
 

ROOF (CONVENTIONAL)	R-38
WALLS (EXTERIOR)	R-21
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY OF LESS THAN 450.

**FRAMING NOTES**

- LUMBER SPECIES:
  - A. POST, BEAMS, HEADERS, JOISTS & RAFTERS. NO.2 DOUGLAS FIR.
  - B. SILLS, PLATES, BLOCKING, BRIDGING ETC. NO. 3 DOUGLAS FIR.
  - C. STUDS STUD GRADE D.F.
  - D. POST & BEAM CHECKING UTILITY GRADE D.F.
  - E. PLYWOOD SHEATHING 1/2" CDX PLYWOOD, 32/16
  - F. GIULAM BEAMS R-2400, DRY ADH.
- NAIL SCHEDULE:
 

BRIDGING TO JOIST	3-8d	TOE NAIL
SOLE PLATE TO LOIST	16d @ 16"	FACE NAIL
TOP PLATE TO STUDS	2-16d	END NAIL
STUD TO SOLE PLATE	4-8d	TOE NAIL OR
DOUBLE STUDS	16d @ 16"	FACE NAIL
DOUBLE TOP PLATE	16d @ 16"	EDGE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16"	FACE NAIL
CLG. JST TO FL.	3-8d	FACE NAIL
CLG. JST LAF OVER FL.	3-16d	FACE NAIL
BUILDUP CORNER STUDS	16d @ 24"	EDGE NAIL
PLYWOOD SUBFLOOR	8d @ 6"	INTERIOR
1X6 SPACED SHEATHING	2-8d	FACE NAIL

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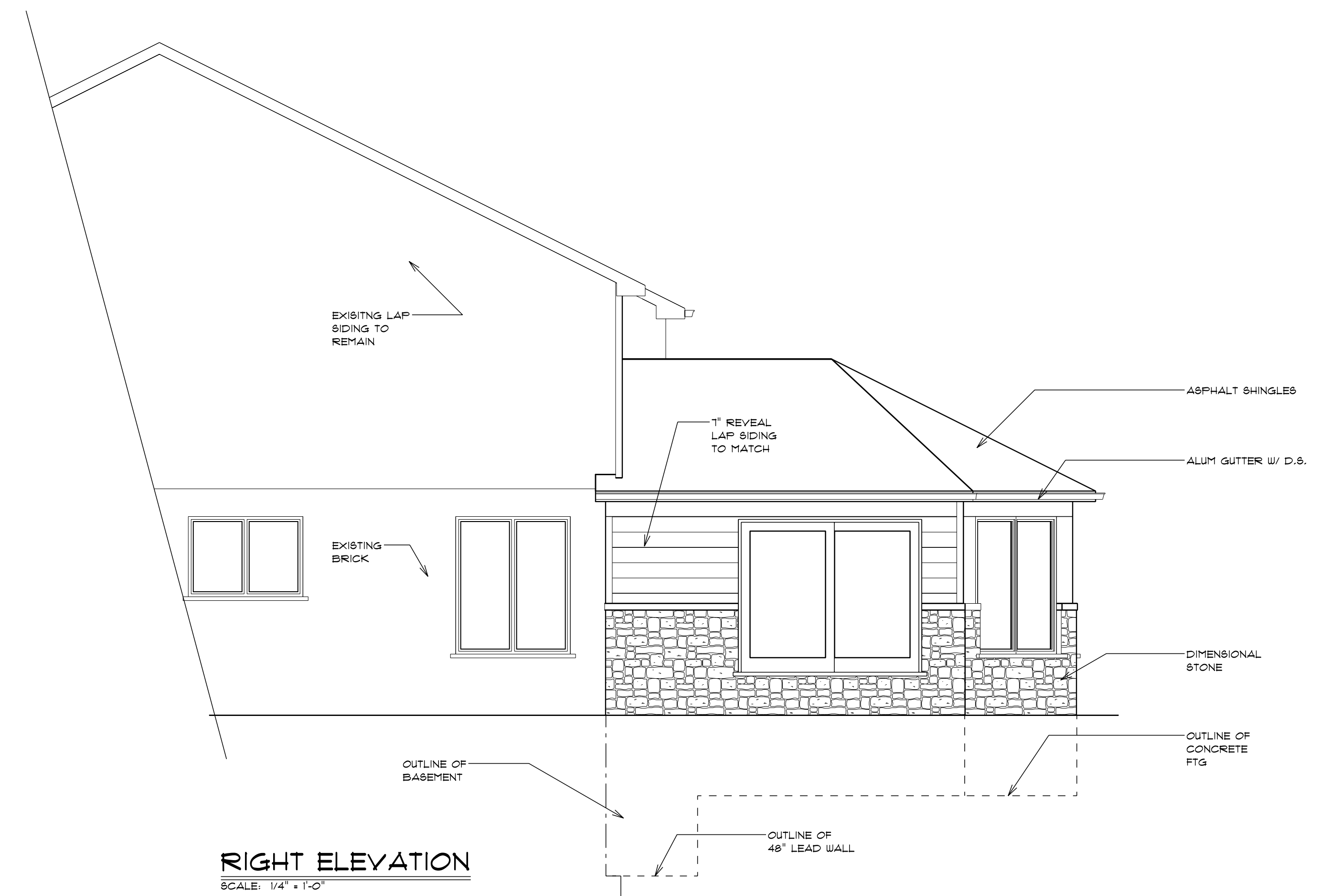
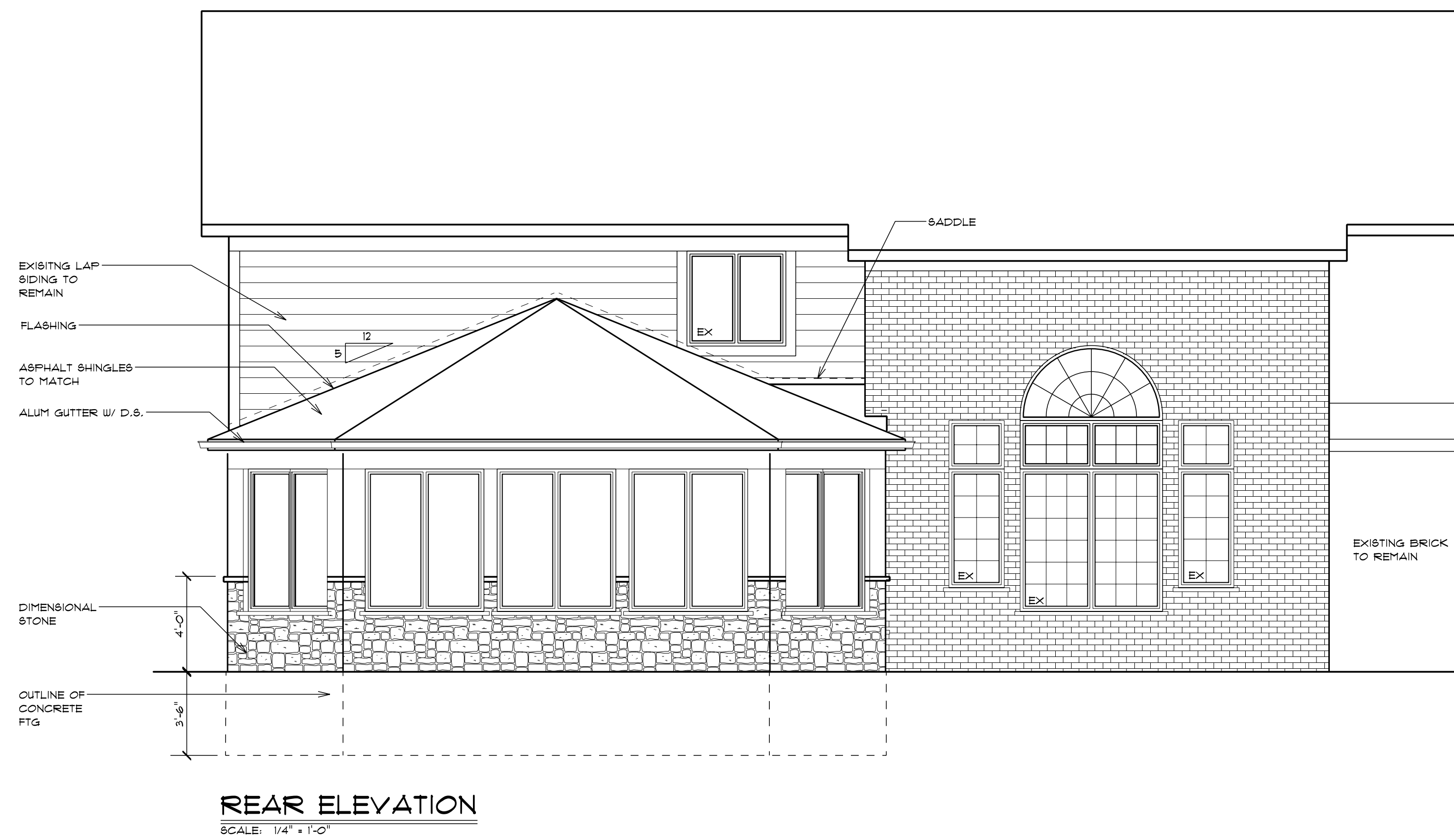
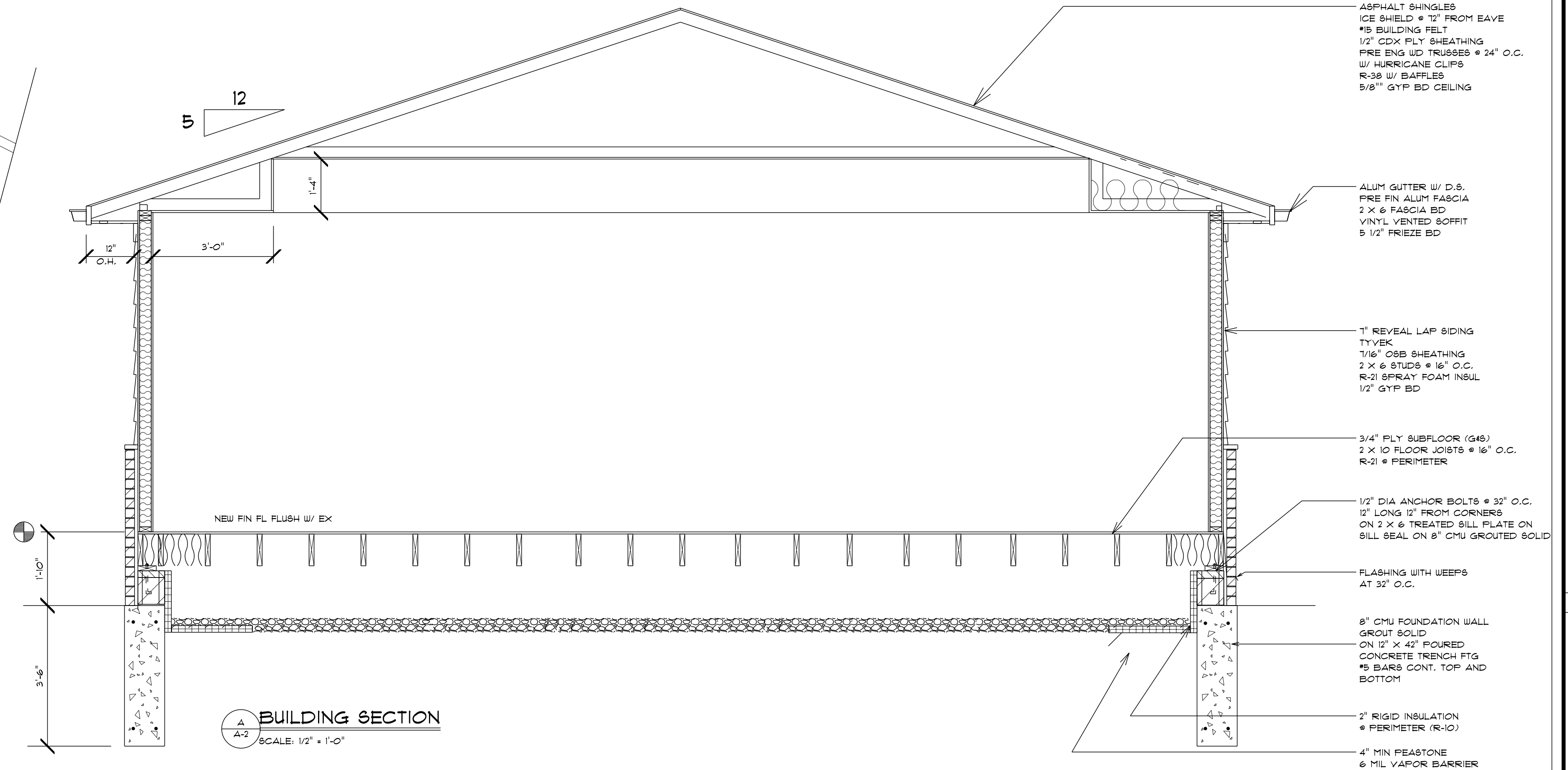
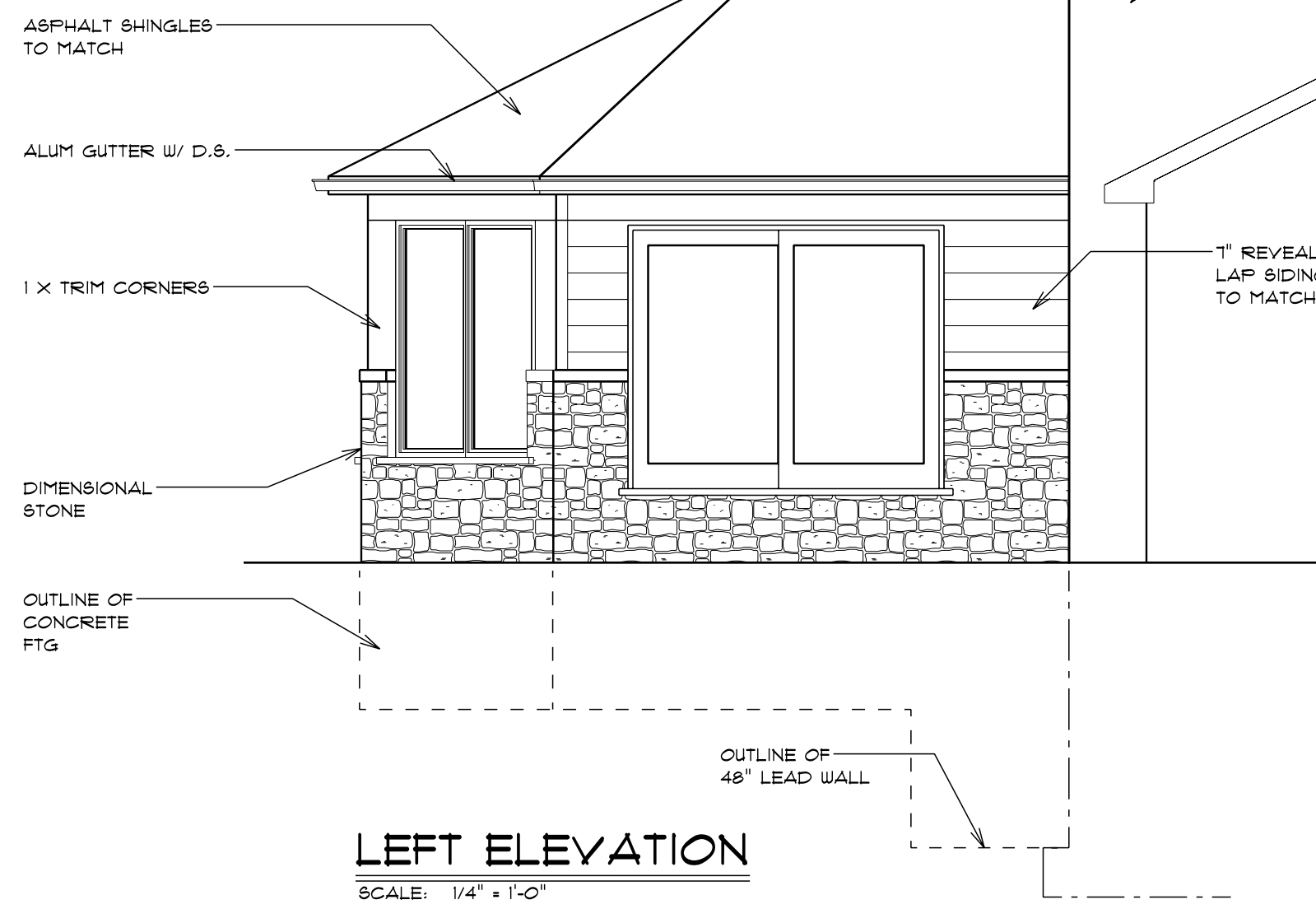
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ENGINEER:

CLIENT: WILDMAN RESIDENCE  
22635 BECKENHAY CT  
NOVI, MI

PROJECT: ONE STORY REAR ADDITION  
TO AN EXISTING RESIDENCE

DATE: 6-16-22  
PROJECT NO: 22-081  
DRAWN BY: EKH  
CHECKED BY: ZEB  
REVISION DATE:



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**A-3**

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