



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: October 13, 2015

REGARDING: OAKLAND ORAL SURGERY (CASE NO. PZ15-0037)

BY: Thomas M. Walsh, Building Official

I. GENERAL INFORMATION:

Applicant

Kelly Brothers on the behalf of Oakland Oral Surgery

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:

NCC, Office Service District

Site Location:

25000 Joseph, south of Grand River Ave and east of Meadowbrook Road

Parcel #:

50-22-24-332-001 & 50-22-24-332-002

Request

The applicant is requesting a variance from the CITY OF NOVI, CODE OF ORDINANCES; Section 4.19.1 B a variance of 10.0 feet in the required south side yard setback (20 feet required, 10 feet proposed) to allow a backup generator in the required side yard.



II. ZONING AND LAND USE:

The table below lists the zoning district, existing land use and future land use for the subject site and surrounding parcels.

Parcel	Zoning District	Existing Land Use	Future Land Use
Subject Property	NCC, Office Service District	Pinebrook Professional Plaza	TC Gateway
North	I-1, Light Industrial District	Novi Commerce Center	TC Gateway
South	NCC, Office Service District	Pinebrook Professional Plaza	TC Gateway
East	I-1, Light Industrial District	Kroger of Michigan	TC Gateway
West	NCC, Office Service District	Leslie Park Subdivision	TC Gateway

III. STAFF COMMENTS:

Existing Condition

The subject property consists of one- (1) lot located on the southeast side of Grand River Ave. The parcel has approximately 116.9 feet of frontage on Grand River Ave. and approximately 475.32 feet deep as measured along east side yard lot line. The existing building is located 46.0 feet from the front yard lot line, 20.0 feet from the east side yard lot line, 40.0 feet from the west side yard lot line, and 104.0 feet from the rear yard lot line.

The existing 5-foot wide sidewalk (ramp) and A/C units is located 15.0 feet from the east side yard lot line.

IV. DEVELOPMENT STANDARDS:

The table below summarizes the zoning district development standards for the subject parcels.

Lot Size		Minimum Setback			
Area	Width	Front	Sides	Aggregate Side	Rear
NCC 2 Acres	200 ft.	40 ft.	20 ft.	40 ft. (total of two side)	20 ft.

V. USE STANDARDS:

Accessory Structures (Section 4.19.1 B); requires all accessory structures to be located in the rear yard. The applicant is proposing to construct a new backup generator within in south side yard at the existing Oakland Oral Surgery property. As proposed, the generator would result in a setback of 10.0 feet from the south side yard lot line. **This requires a variance of 10.0 feet in the required south side yard setback.**

VI. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. Grant I move that we **grant** the variance(s) in **Case No.PZ15-0037**, sought by _____,for _____ because the Petitioner has established that _____ causes a practical difficulty relating to the property, including some or all of the following criteria:

(a) Petitioner has established that the property is unique because _____, or that the physical condition of the property creates the need for a variance because _____.

And, the condition is not a personal or economic hardship.

(b) The need for the variance is not self-created, **because** _____.

(c) Strict compliance with dimensional regulations of the Zoning Ordinance, including _____, will (either):

1. unreasonably prevent Petitioner from using the property for the permitted purpose as a _____, because _____, and/or,
2. will make it unnecessarily burdensome to comply with the regulation because _____.

(d) Petitioner has established that variance is the minimum variance necessary because a lesser variance would not _____.

(e) The requested variance will not cause adverse impact on surrounding property, property values, or the enjoyment of property in the neighborhood or zoning district, because _____.

(f) The variance granted is subject to the conditions that:

1. _____,
2. _____,
3. _____,
4. _____.

2. Deny I move that we **deny** the variance in **Case No.PZ15-0037**, sought by _____, for _____ because the Petitioner has **not** established a practical difficulty because:
- (a) Petitioner has shown no unique circumstance or physical condition of the property because petitioner can reasonably comply with the ordinance by_____.
 - (b) The difficulty described by the Petitioner is a personal or economic difficulty only in that Petitioner stated _____.
 - (c) The need for the variance is self-created because Petitioner _____.
 - (d) Conforming to the ordinance would not (either):
 - 1. be unnecessarily burdensome because _____, or,
 - 2. unreasonably prevent petitioner from using the property for _____, because_____.
 - (e) A lesser variance consisting of _____would do substantial justice to Petitioner and surrounding property owner's because_____.
 - (f) The proposed variance would have adverse impact on surrounding property because _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0415



Thomas M. Walsh
Building Official
City of Novi

Tom WALSH By - Sept 10th



45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

RECEIVED
SEP 10 2015
CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: \$ 300-
Meeting Date: 10-13-15
ZBA Case #: PZ 15-0037

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION Oakland Oral Surgery			
ADDRESS 25000 Joseph		LOT/SUITE/SPACE #	
SIDWELL # 50-22-24-332-001		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY Joseph and Grand River			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS Jane@Kelleybrotherslc.com	CELL PHONE NO.
NAME Kelley Brothers LC		TELEPHONE NO. 734-462-6266	
ORGANIZATION/COMPANY		FAX NO. 734-462-6223	
ADDRESS 37100 Amrhein Road		CITY Livonia	STATE MI
ZIP CODE 48150			
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME Oakland Oral Surgery		TELEPHONE NO. 248-347-0485	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS 25000 Joseph		CITY Novi	STATE MI
ZIP CODE 48375			
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section _____ Variance requested _____			
2. Section _____ Variance requested _____			
3. Section _____ Variance requested _____			
4. Section _____ Variance requested _____			
IV. FEES AND DRAWINGS			
A. FEES			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> Dimensioned Drawings and Plans Site/Plot Plan Existing or proposed buildings or addition on the property Number & location of all on-site parking, if applicable Existing & proposed distance to adjacent property lines Location of existing & proposed signs, if applicable Floor plans & elevations Any other information relevant to the Variance application 			

NOVI TO FILE IN



ZONING BOARD OF APPEALS APPLICATION

300 250 Sp

V. VARIANCE

A. VARIANCE (S) REQUESTED

- DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

- CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

9-9-15
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

9/10/15
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

- GRANTED DENIED

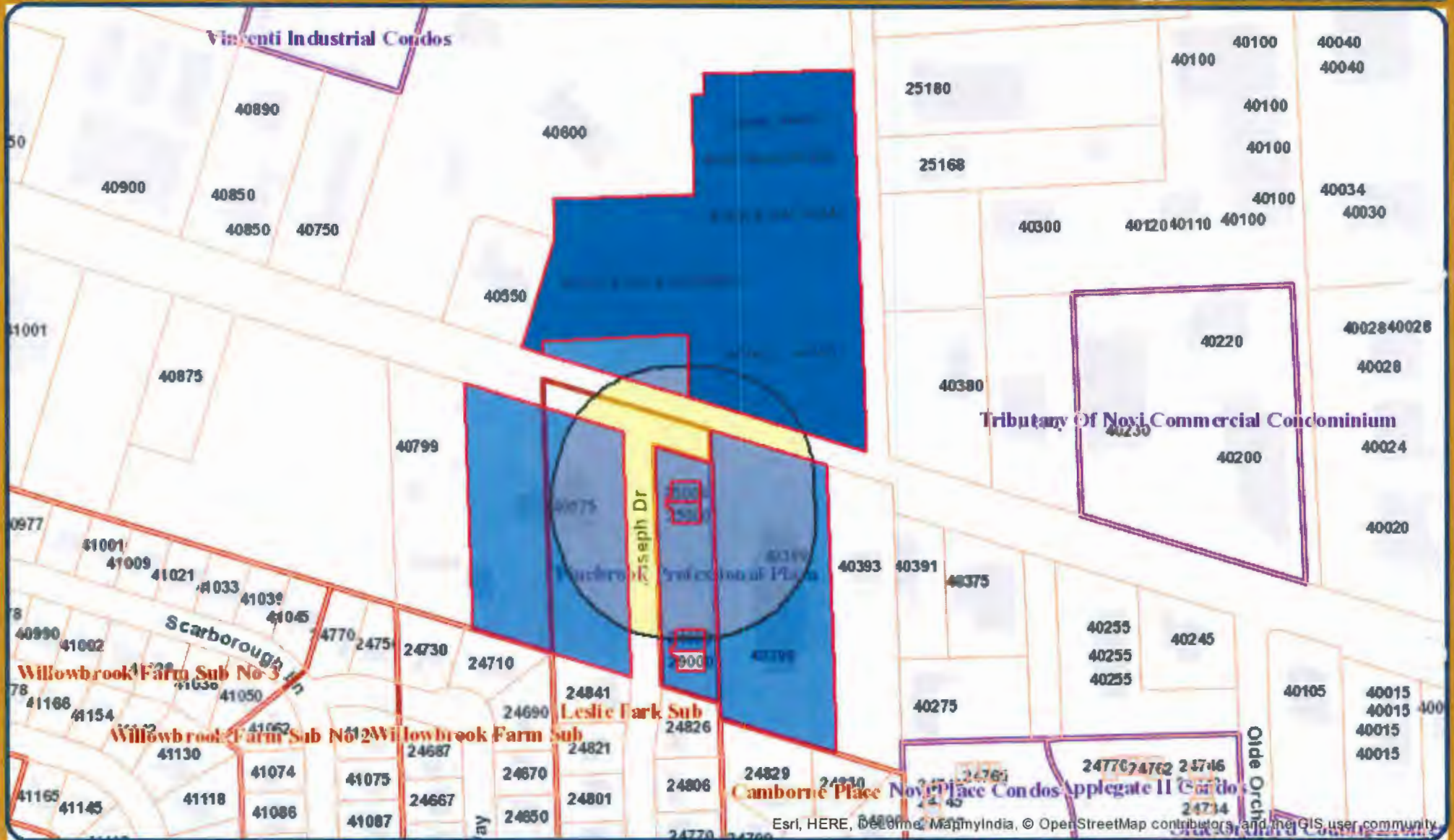
The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date

PZ15-0037

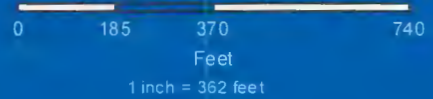
25000 Joseph Drive



Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, and the GIS user community

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map. This map was produced under the terms of the City's Internet Site Use Policy available at <http://cityofnovi.org/Resources/SiteUsePolicy.asp>



Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal



Author:
Date: 9/16/2015



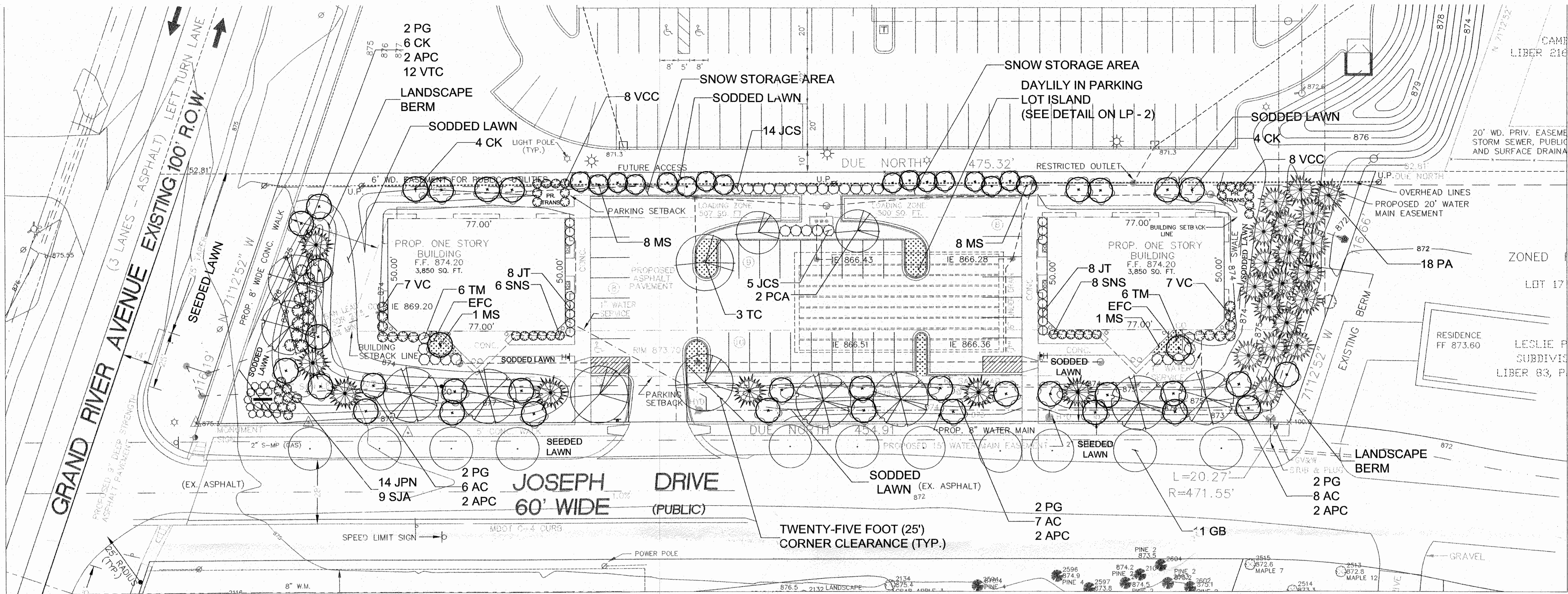
25000 Joseph L Drive
Nov.



Joseph Dr

Joseph Dr

25000 Joseph Dr



LANDSCAPE PLANTING PLAN

scale: 1" = 20'

LANDSCAPE CALCULATIONS:

- LANDSCAPING ADJACENT TO ROADS**
 Grand River Avenue (116 l.f.)
 Non-Parking (116 l.f.)
- * One (1) deciduous tree or evergreen tree / 40 l.f. = 2.9 = 3 trees
 - * One (1) ornamental tree / 20 l.f. = 5.8 = 6 trees
 - * Three foot (3') high berm required adjacent to parking
- Joseph Drive (455 l.f.)
 Non-Parking (279 l.f.)
- * One (1) deciduous tree or evergreen tree / 40 l.f. = 6.98 = 7 trees
 - * One (1) ornamental tree / 25 l.f. = 11.16 = 12 ornamental trees
- Parking (176 l.f.)**
- * One (1) deciduous tree or evergreen tree / 35 l.f. = 5.02 = 5 trees
 - * One (1) ornamental tree / 20 l.f. = 8.8 = 9 trees
 - * Three foot (3') high berm required adjacent to parking
- Total: Twelve (12) deciduous or evergreen trees
 Twenty (21) ornamental trees
- FOUNDATION PLANTING (508 l.f.)**
- * Interior site landscaping square footage equal to the entire perimeter of the building (425') times eight feet (8') = 4,064 sq. ft.
 - * Interior site landscaping provided equals 3,470 sq. ft.
- PARKING LOT LANDSCAPING**
- * Total square footage of parking spaces (5,313 sq. ft.) times ten percent (10%) equals 531 sq. ft. plus total square footage of all additional vehicular use areas (8,784 sq. ft.) times five percent (5%) equals 439 sq. ft. for a total of 970 sq. ft. of interior landscaping.
 - * Total interior landscape area provided = 1,030 sq. ft.
 - * One (1) deciduous/canopy tree per 75 sq. ft. or fraction thereof of interior landscaped area = 12.93 = 13 trees
- RIGHT-OF-WAY TREE PLANTING**
 Grand River Avenue (116 l.f.)
- * Oakland County does not allow trees to be planted within the Grand River Avenue right-of-way
- Joseph Drive (455 l.f.)
- * One (1) deciduous tree / 45 l.f. of road frontage = 10.11 trees = 11 trees

PLANT LIST

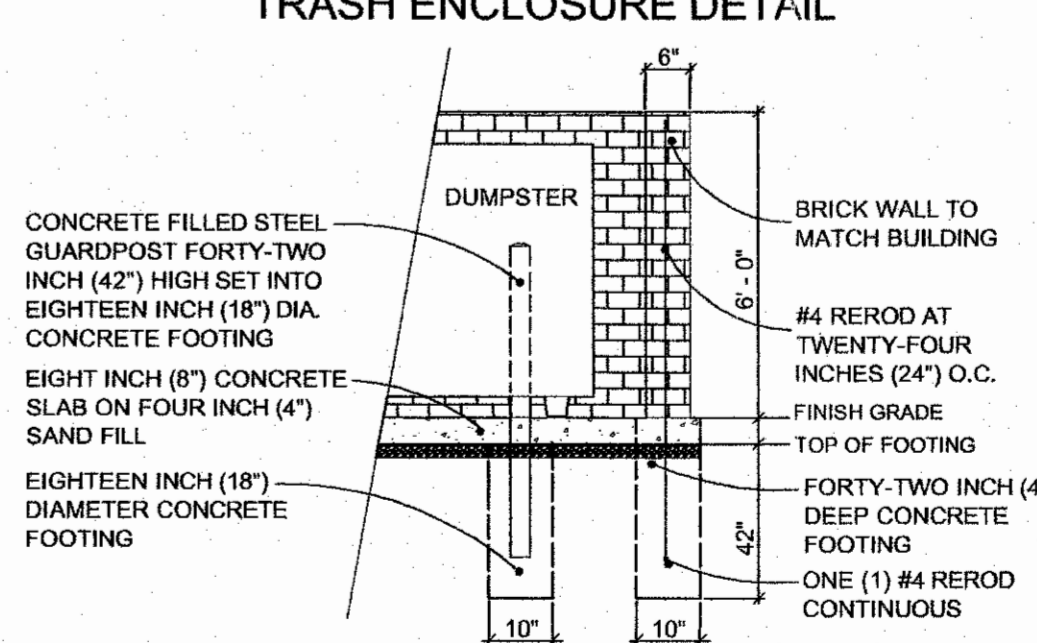
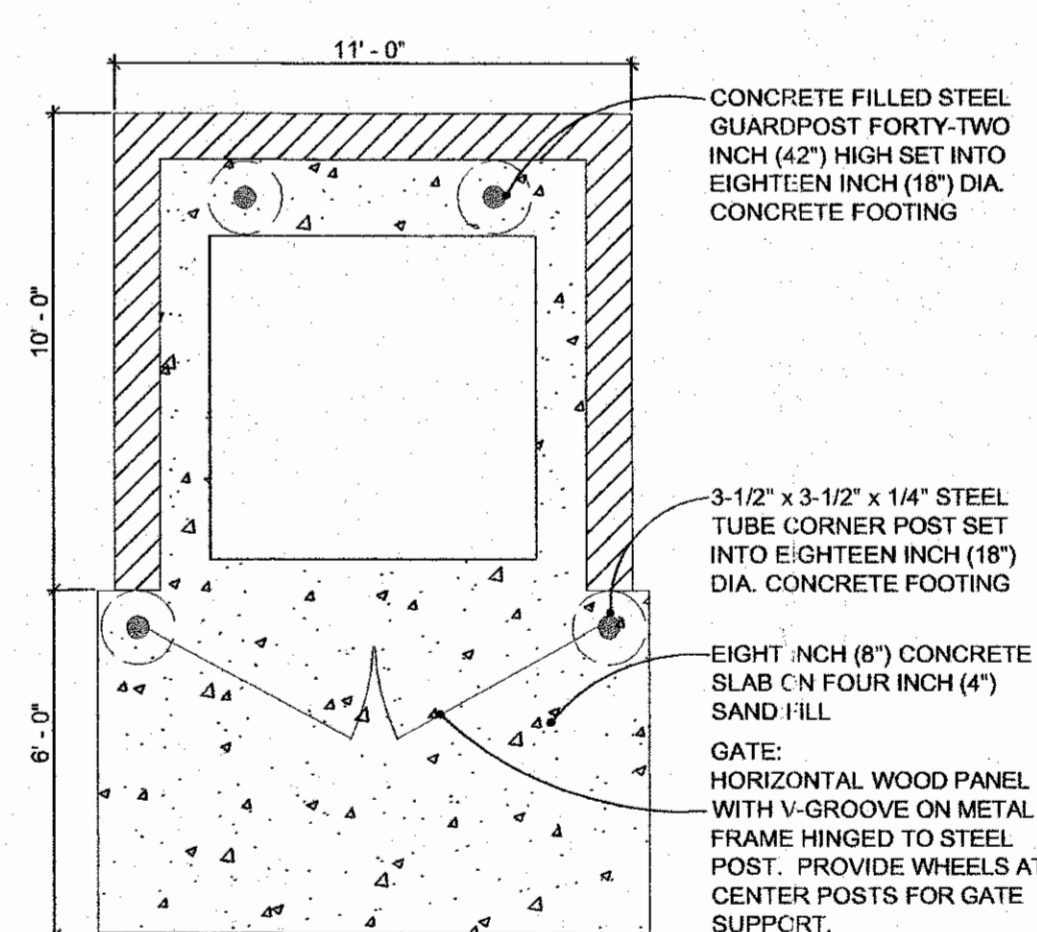
KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE
LANDSCAPING ADJACENT TO ROADS			
AC 21	<i>Amelanchier canadensis</i>	Serviceberry	2-1/2" cal. B&B
APC 8	<i>Acer platanoides</i> 'Columnar'	Columnar Norway Maple	3" cal. B&B
CK 6	<i>Cornus kousa</i>	Kousa Dogwood	2-1/2" cal. B&B
JPN 11	<i>Juniperus procumbens</i> 'Nana'	Dw. Jap. Garden Juniper	24" spr., 3 gal. pot
PG 8	<i>Picea glauca</i>	White Spruce	8' ht. B&B
SJA 9	<i>Spiraea japonica</i> 'Alpina'	Alpine Japanese Spirea	24" ht., 3 gal. pot
VTC 12	<i>Viburnum trilobum</i> 'Compactum'	Dwarf American Cranberrybush	30" ht. B&B
PARKING LOT PLANTINGS			
JCS 14	<i>Juniperus chinensis</i> 'Spartan'	Spartan Upright Juniper	4' - 5' ht. B&B
MS 16	<i>Magnolia stellata</i>	Star Magnolia	2-1/2" cal. B&B
PCA 2	<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Callery Pear	3" cal. B&B
TC 3	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	3" cal. B&B
	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 15" o.c.
FOUNDATION PLANTING			
CK 8	<i>Cornus kousa</i>	Kousa Dogwood	2-1/2" cal. B&B
EFC *	<i>Euonymus fortunei coloratus</i>	Purpleleaf Wintercreeper	50 cell flat, 8" o.c.
JT 14	<i>Juniperus tamariscifolia</i>	Tamarax Juniper	24" spr., 5 gal. pot
MS 2	<i>Magnolia stellata</i>	Star Magnolia	2-1/2" cal. B&B
SNS 12	<i>Spiraea nipponica</i> 'Snowmound'	Snowmound Spirea	24" ht., 3 gal. pot
TM 12	<i>Taxus x media</i> 'Densifomis'	Densifomis Yew	24"-30" ht. B&B
VC 14	<i>Viburnum carlesii</i> 'Cayuga'	Cayuga Koreanspice Viburnum	30" ht. B&B
VCC 16	<i>Viburnum carlesii</i> 'Compactum'	Dwarf Koreanspice Viburnum	30" ht. B&B
SOUTH PROPERTY LINE SCREEN PLANTINGS			
PA 18	<i>Picea abies</i>	Norway Spruce	8' ht. B&B
RIGHT-OF-WAY PLANTINGS			
GB 11	<i>Ginkgo biloba</i>	Maidenhair Tree	3" cal. B&B
* Landscape Contractor to determine quantity in the field.			
	Seeded Lawn (see notes for specification)		1552 sq. yds.
	Sodded Lawn (see notes for specification)		1118 sq. yds.

COST ESTIMATE

TOTAL MATERIALS SPECIFIED:			
* Deciduous Trees:	24	\$400	\$9,600.00
* Evergreen Trees:	26	\$325	\$8,450.00
* Ornamental Trees:	53	\$250	\$9,250.00
* Deciduous Shrubs:	63	\$50	\$3,350.00
* Upright Evergreen Shrubs:	19	\$110	\$2,090.00
* Evergreen Shrubs:	37	\$50	\$1,850.00
* Perennials:	100	\$15	\$1,500.00
* Groundcover:	4	\$75	\$300.00
* Sodded Lawn:	1118 sq. yds.	\$2.00	\$2,236.00
* Seeded Lawn:	1552 sq. yds.	\$1.25	\$1,940.00
* Underground Irrigation:			\$6,500.00
* Shredded Hardwood Bark:	60 cu. yds.	\$30	\$1,800.00
TOTAL			\$52,866.00

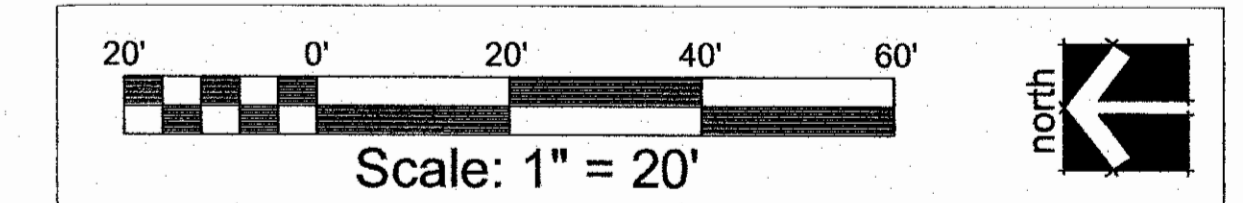
SOIL TYPE:
 * The soil on site consists of Oshtemo-Boyer loamy sand, zero to six percent (0-6%) slopes.

NOTE:
 * See Sheet LP - 2: LANDSCAPE NOTES & DETAILS for landscape notes, planting details, parking lot island planting detail, landscape berm detail, transformer screening detail, and landscape edging detail.



SECTION VIEW TRASH ENCLOSURE DETAIL n.t.s.

date: March 23, 2005
 revised:
 3-31-05 Client review.
 8-22-05 Revise for site plan changes & City rev. ltr. dated June 10, 2005.
 1-16-06 Revise for site plan changes.
 3-10-06 Revise acc. to City rev. ltr. dated February 24, 2006.
 4-27-06 Revise for site plan changes & add trash enclosure detail.
 5-2-06 Revise title block.
 8-18-06 Revise acc. to City rev. ltr. dated June 22, 2006.
 1-23-07 Revise for site plan changes.
 3-07-07 Revise acc. to City rev. ltr. dated February 20, 2007.
 3-19-07 Revise for Client review.
 6-30-09 Revise per as-built of south berm.



LANDSCAPE PLAN FOR:
 Soave Corp. - L.L.C.
 P.O. Box 530716
 Livonia, Michigan 48153
 (248) 888 9705

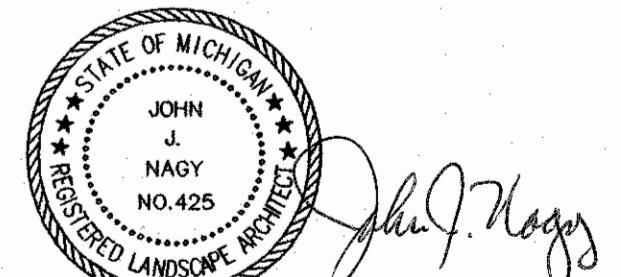
PROJECT LOCATION:
 The Pinebrook Professional Plaza
 Part of the S.E. 1/4 of Section 24
 Grand River Avenue
 Novi, Michigan

LANDSCAPE PLAN BY:
 Nagy & Associates
 17517 Ellen Drive
 Livonia, Michigan 48152
 (734) 462 2239

LP-1: LANDSCAPE PLANTING PLAN for STAMPING SET APPROVAL



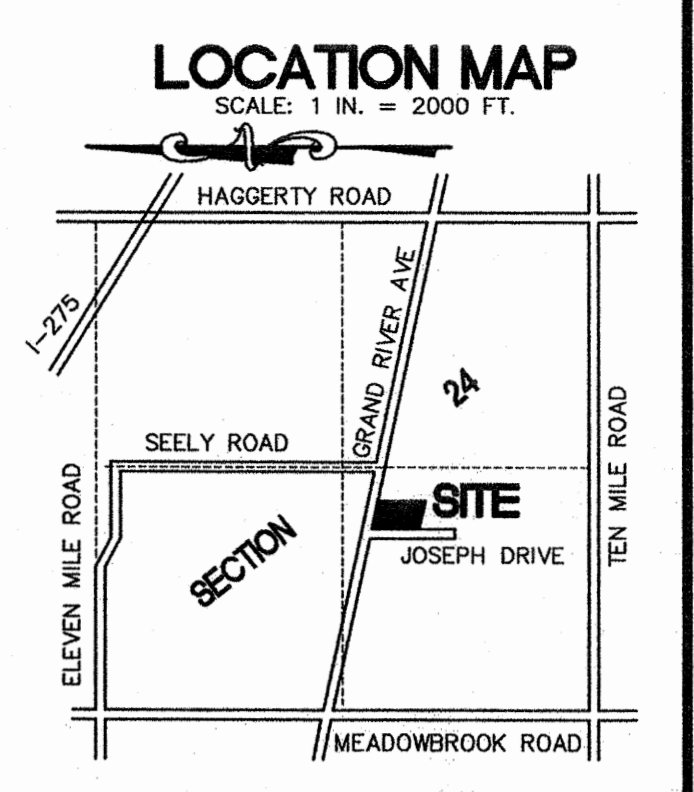
PINEBROOK PROFESSIONAL PLAZA
 Review by Plan, Eng., Landsc., Fire
 Due 7/10/09



CENTER OF SECTION 24
T. 1 N., R. 8 E.
N. 356,619.87
E. 13,372,015.38

DUE SOUTH 853.39'
NORTH-SOUTH 1/4 LINE

SOUTH 1/4 CORNER SECTION 24
T. 1 N., R. 8 E.
DUE NORTH 1810.33'
N. 353,956.16
E. 13,372,015.38



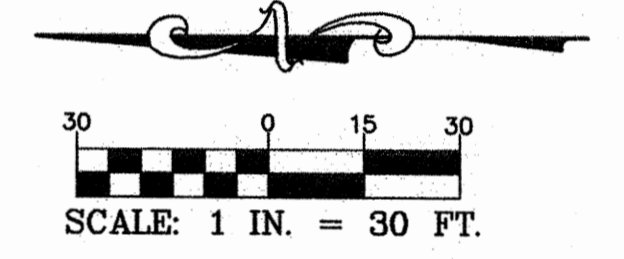
LEGEND

EXISTING		PROPOSED	
○	SEWER MANHOLE	●	SEWER MANHOLE
○	FIRE HYDRANT	○	FIRE HYDRANT
□	CATCH BASIN	□	CATCH BASIN
+	SIGN	+	BARRIER FREE PARKING SIGN
○	SPOT ELEVATION	○	TRANSFORMER PAD
○	M.B.T. MANHOLE	○	AIR COND. PAD
○	TELEPHONE BOX	○	GATE VALVE & WELL
○	UTILITY POLE	○	TAPPING SLEEVE, GATE VALVE & WELL
○	LIGHT POLE	○	GUY ANCHOR
○	GUY ANCHOR	○	GATE VALVE & WELL
○	GATE VALVE & WELL	○	WATER
○	WATER	○	STORM SEWER
○	STORM SEWER	○	ELECTRIC
○	ELECTRIC	○	OVERHEAD
○	OVERHEAD	○	GAS
○	GAS		

REVISIONS
07/14/2005
08/11/2005
05/10/2006
01/22/2007
03/22/2007
08/19/2008
- SUPPLEMENTAL PLANS

PREPARED FOR
SOAVE CORP.
P.O. BOX 530716
LIVONIA, MICHIGAN 48153
(248) 888-9705

ARPEE/DONNAN, INC.
LAND SURVEYING · ENGINEERING · MAPPING
36937 SCHOOLCRAFT
LIVONIA, MICHIGAN 48150
PHONE (734) 953-3335 FAX (734) 953-3324



BENCHMARK
24-41
CHISLED "X" ON NORTH RIM MBT MH, LOCATED 40'+/- WEST OF CENTERLINE OF SEELY ROAD AND 60'+/- NORTH OF THE CENTERLINE OF GRAND RIVER AVE. ELEV. 873.53 (U.S.G.S. DATUM)

PAVEMENT QUANTITIES
ON SITE (PRIVATE): 13,300 SQ. FT.
OFFSITE (PUBLIC): 15,695 SQ. FT.

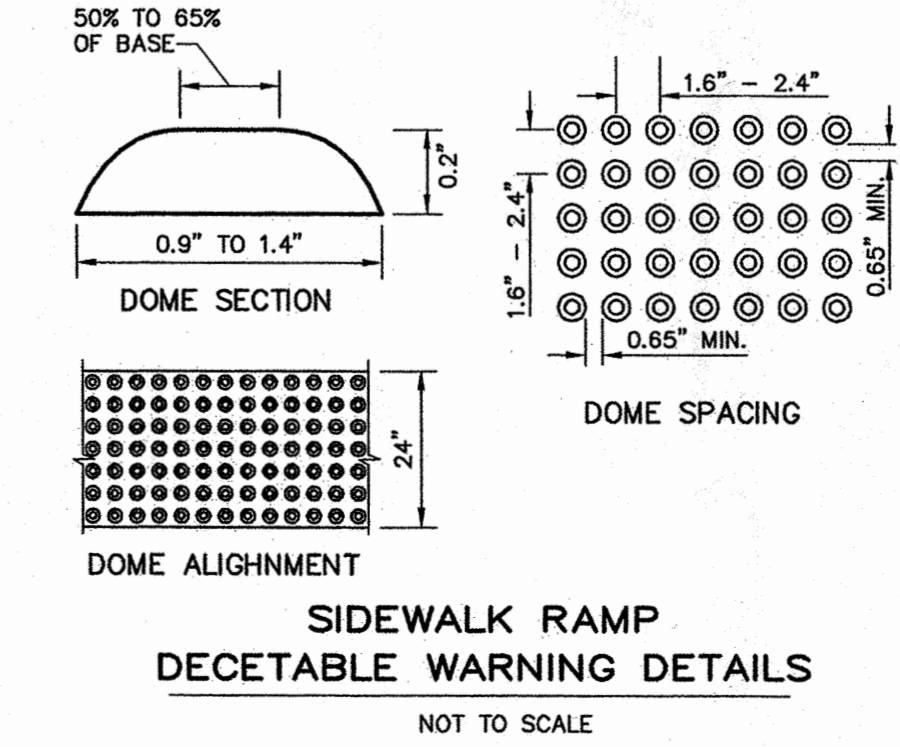
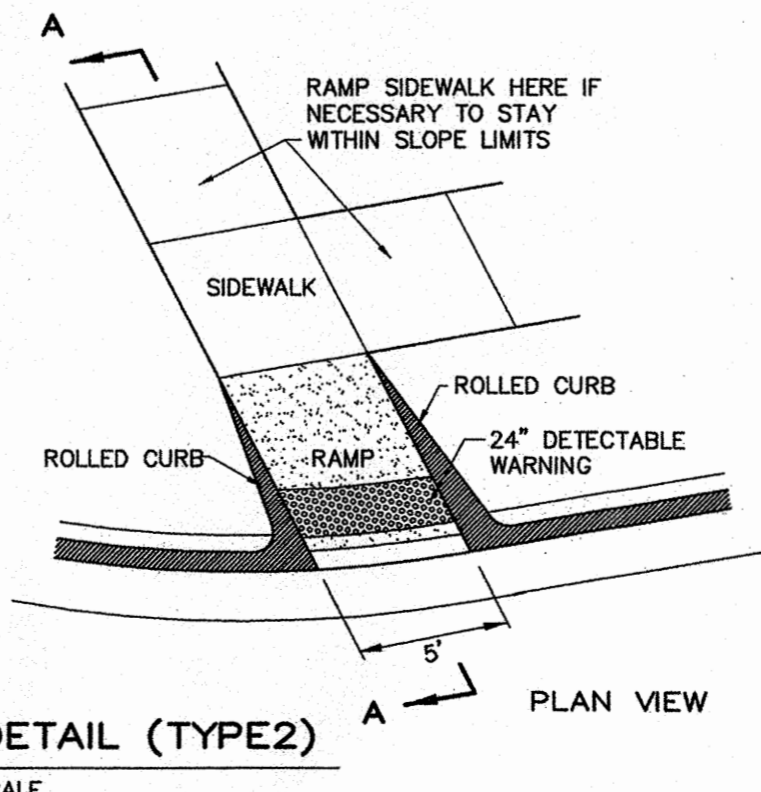
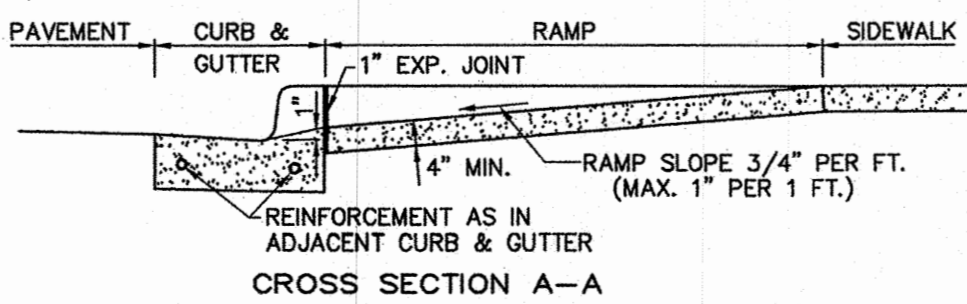
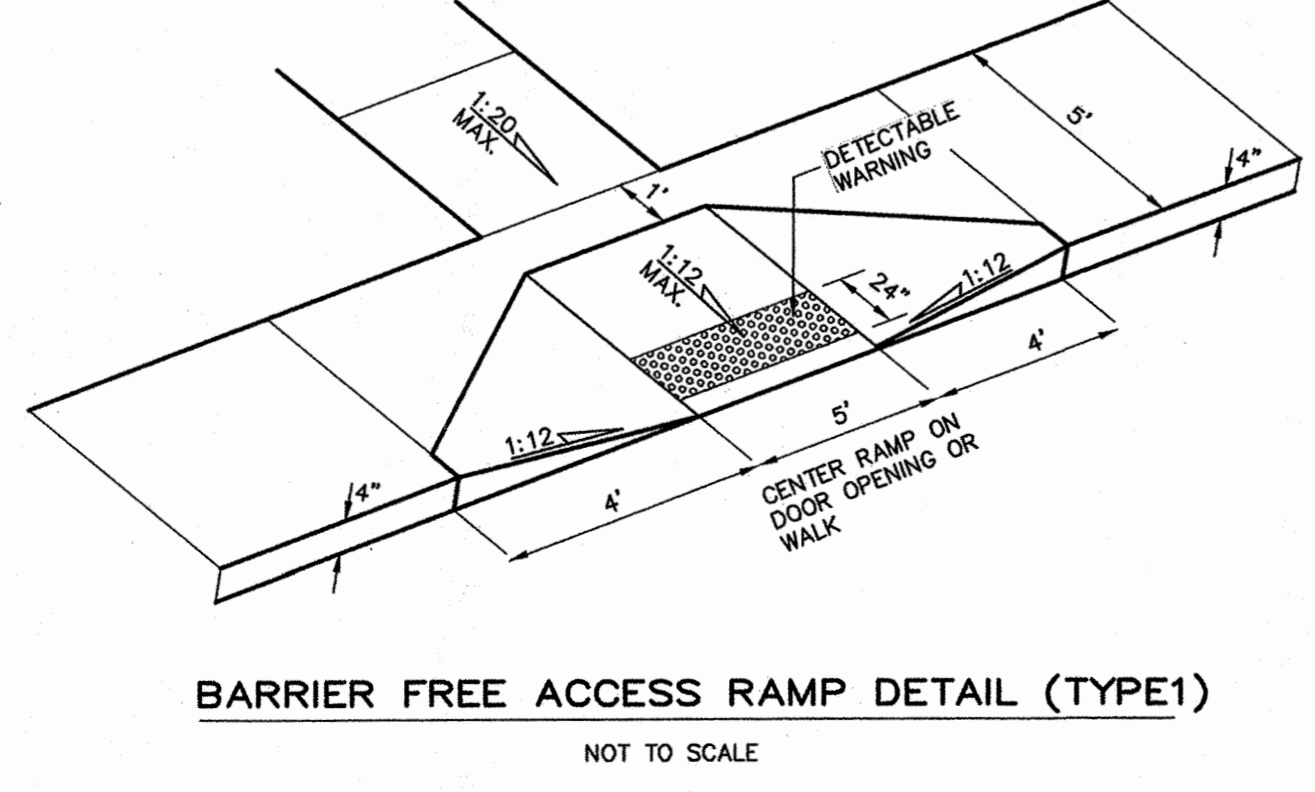
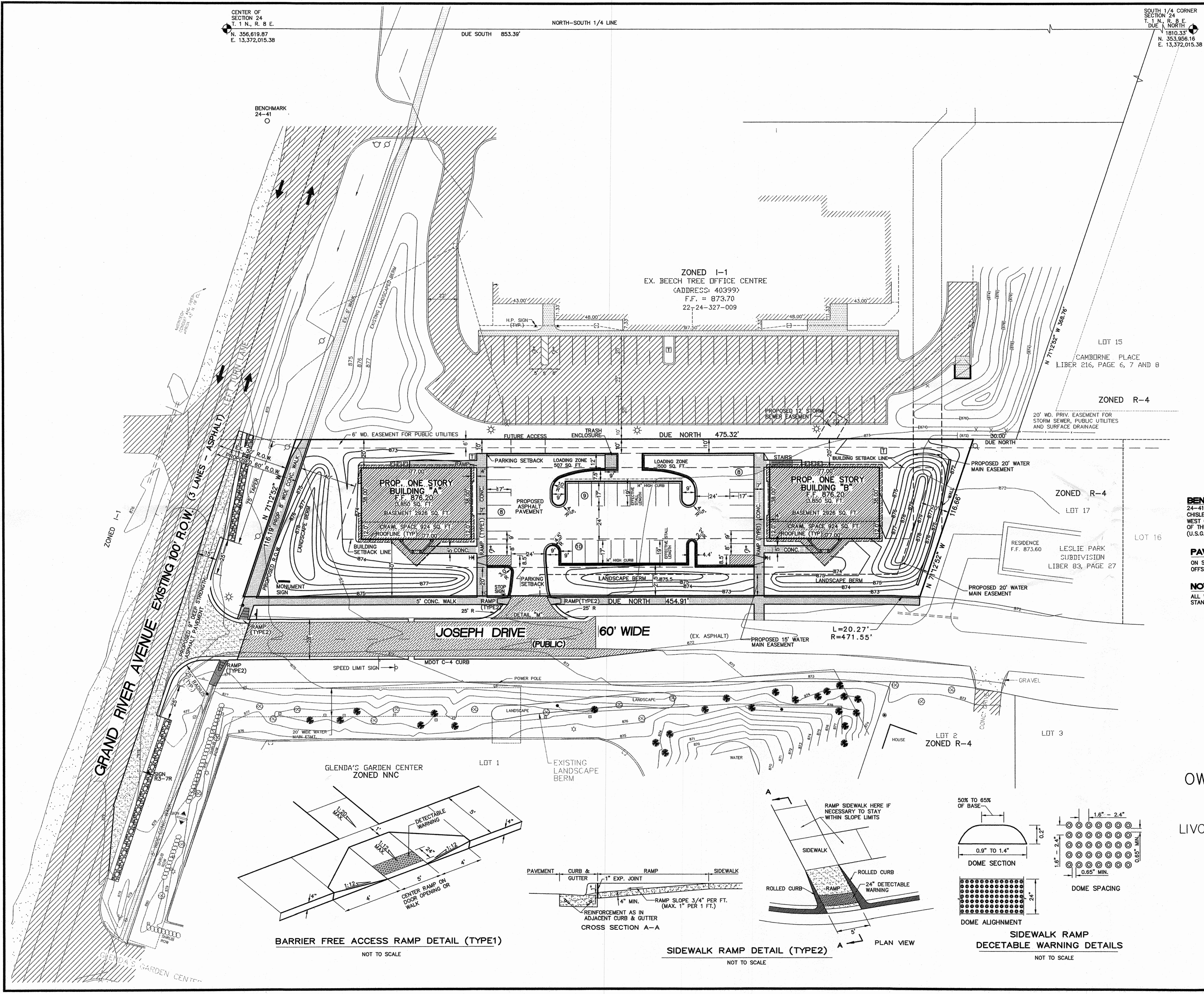
NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOV STANDARDS AND SPECIFICATIONS.

OWNER/DEVELOPER
SOAVE CORP.
P.O. BOX 530716
LIVONIA, MICHIGAN 48153
(248) 888-9705

Pinebrook SP05-21E
Revised Supplement
Due 9/3/08

SUPPLEMENTAL TO FINAL SITE PLAN
SITE PLAN
PINEBROOK PROFESSIONAL CENTER
PART OF THE SOUTHEAST 1/4 SECTION 24
T. 1 N., R. 8 E. CITY OF NOV
OAKLAND COUNTY, MICHIGAN

DATE 03/02/2005
DRAFTED BY TRT
CHECKED BY WRD
F.B.
FILE: 04115
JOB #
04115
SH. 2



\\Server2\project\04115\DWG\04115.dwg Plotted: 08/25/08

- PRELIMINARY
- SITE PLAN APPROVAL (STAMPED)
- ISSUED FOR PERMIT
- FOR CONSTRUCTION

CONTRACTOR TO VERIFY ALL CONDITIONS DO NOT SCALE DRAWINGS
COPYRIGHT 2008 THE FORESTA GROUP, P.C.

- | | |
|---|------------|
| 1 | 12.18.2007 |
| 2 | 01.24.2008 |
| 3 | 06.18.2008 |
| 4 | 07.14.2008 |
| 5 | 08.05.2008 |
| 6 | 08.22.2008 |
| 7 | |
| 8 | |

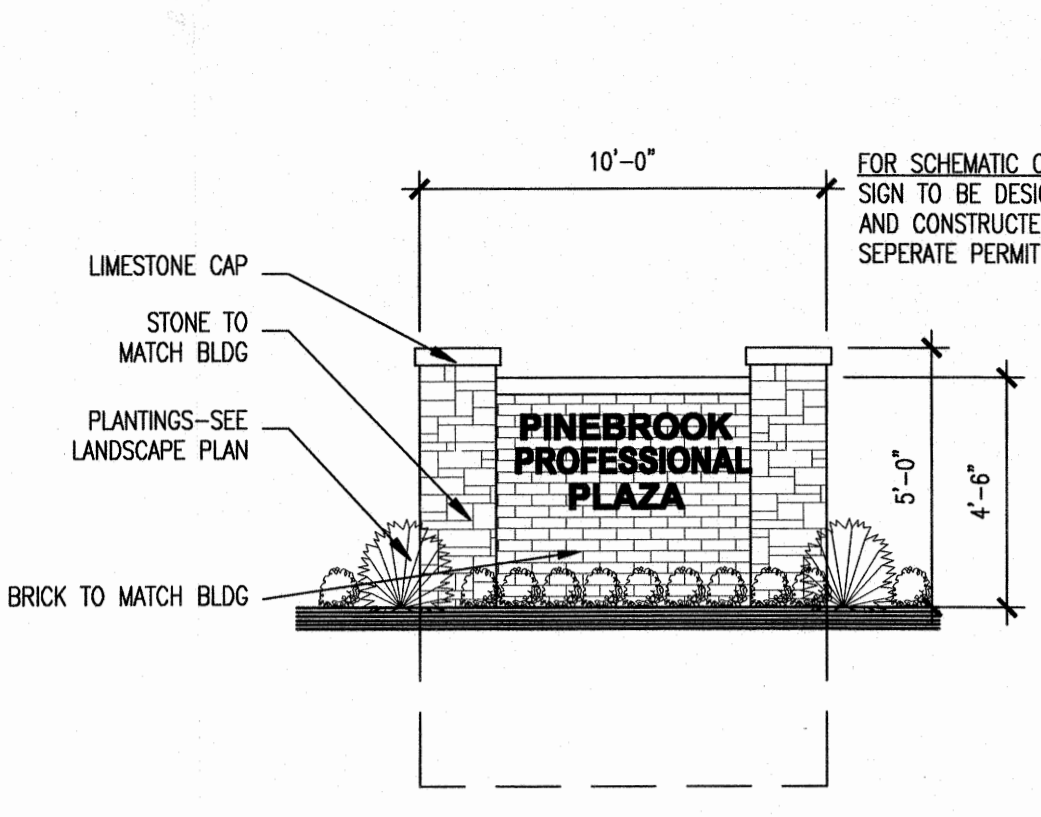
A1.107 GENERAL NOTES

- PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY THIS CHAPTER AND TABLE 3306.1. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC. PER CODE SECTION 3306.1
- INCLUDE THE APPROVAL OR PERMITS FOR ANY LEASE SPACE. SEPARATE PLANS, PERMITS AND APPROVALS REQUIRED FOR EACH SPACE.
- THE ADDRESS SHALL BE POSTED ON THE SITE DURING ALL PHASES OF CONSTRUCTION.
- AN ON-SITE FACADE CONFERENCE SHALL BE HELD PRIOR TO THE FACADE MATERIALS BEING INCORPORATED INTO THE STRUCTURE. THE PURPOSE OF THIS ON-SITE CONFERENCE IS TO INSURE THAT THE FACADE MATERIALS DELIVERED TO THE SITE CORRESPOND TO THOSE APPROVED BY THE CITY. FAILURE TO COMPLY MAY RESULT IN LEGAL ACTION AND/OR A STOP WORK ORDER. PER CITY ORDINANCE SECTION 2503 (2)(EX1).
- ALL ROOF TOP CLIMATE CONTROL EQUIPMENT, ELEVATOR TOWERS, TRANSFORMER UNITS AND SATELLITE DISH ANTENNA AND SIMILAR ITEMS SHALL BE SCREENED FROM VIEW SO AS NOT TO BE VISIBLE FROM ANY STREET, ROAD OR ADJACENT PROPERTY. PER CITY OF NOVI ORDINANCE SECTION 2503 (2)(EX1).
- PROVIDE TEMPORARY TOILET FACILITIES DURING CONSTRUCTION.
- A TEMPORARY USE PERMIT IS REQUIRED FOR ALL JOB TRAILERS. APPLICATIONS ARE AVAILABLE AT THE BUILDING DEPARTMENT. ALLOW 2 WEEKS FOR APPROVAL.

A1.105 DESIGN LOADS

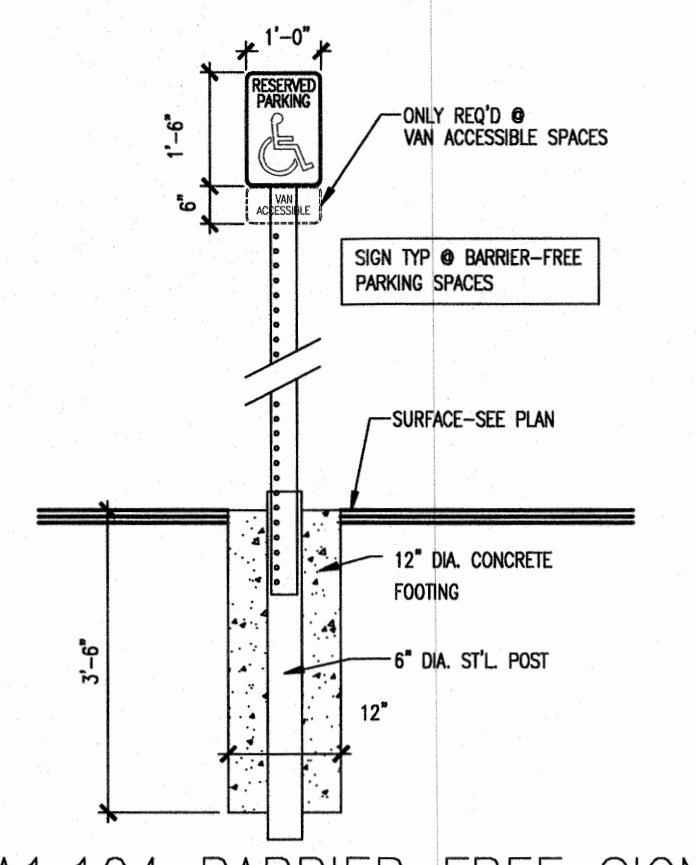
- ROOF LOAD:
 - LIVE LOAD
 - A. MINIMUM LIVE LOAD 30 PSF
 - DEAD LOAD
 - B. ROOF MEMBRANE 1 PSF
 - C. INSULATION 3 PSF
 - D. METAL DECK 2 PSF
 - E. JOIST FRAMING LOAD 3 PSF
 - F. CEILING 3 PSF
 - G. SPRINKLERS 0 PSF
 - H. DUCTS, LIGHTS, MISC. MECHANICAL 2 PSF
 - TOTAL LOAD 14 PSF
- TOTAL LOAD ON JOISTS 44 PSF MIN.
2. SNOW LOAD:
 - A. GROUND SNOW LOAD, $P_g = 30$ PSF MODIFIED BY APPLICABLE DRIFT COEFFICIENTS AS APPLICABLE.
 - B. SNOW LOAD IMPORTANCE FACTOR $I = 1.0$
 - C. SNOW EXPOSURE FACTOR $C_e = 1.0$
 - D. THERMAL FACTOR, $C_t = 1.00$
- COORDINATE ROOF FRAMING WITH FINAL SELECTION OF ROOF SUPPORTED MECHANICAL EQUIPMENT AND ASSOCIATED OPENINGS. ITEMS TO BE COORDINATED INCLUDE SIZE, LOCATION, TOTAL WEIGHT, WEIGHT DISTRIBUTION, AND SUPPORT FRAME REQUIREMENTS.
3. FLOOR LOAD:
 - LIVE LOAD
 - A. MINIMUM LIVE LOAD 80 PSF
 - B. PARTITION LOAD 20 PSF
 - DEAD LOAD
 - A. FLOOR FINISH 2 PSF
 - D. JOIST FRAMING LOAD 5 PSF
 - E. CEILING 3 PSF
 - F. SPRINKLERS 3 PSF
 - G. DUCTS, LIGHTS, MISC. MECHANICAL 2 PSF
 - TOTAL LOAD 15 PSF
- TOTAL LOAD ON JOISTS 155 PSF MIN.
4. WIND LOAD:
 - A. BASIC WIND SPEED = 90 MPH (3-SECOND GUST)
 - B. WIND EXPOSURE = C
 - C. WIND LOAD IMPORTANCE FACTOR $I_e = 1.00$
5. SEISMIC LOAD:
 - A. BUILDING SITE CLASSIFICATION = D, ASSUMED
 - B. SPECTRAL RESPONSE ACCELERATION, $S_a = 12\%$
 - C. SPECTRAL RESPONSE ACCELERATION, $S_1 = 4\%$
 - D. SEISMIC DESIGN CATEGORY, $SDC = B$
 - E. SEISMIC IMPORTANCE FACTOR = 1.0
 - F. SEISMIC FORCE RESISTING SYSTEM = ORDINARY STEEL MOMENT FRAME
 - G. RESPONSE MODIFICATION FACTOR, $R = 3.5$, TABLE 1617.6.2
 - H. ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE
6. FLOOD RESISTANT DESIGN:
 - BUILDING IS LOCATED OUTSIDE OF 500-YEAR FLOOD PLAIN
7. BUILDING CATEGORY IMPORTANCE FACTOR = 1.0

ALL FRAMING HAS BEEN DESIGNED PER NBC 2003 SECT. 1603. G.C. SHALL RETAIN INSPECTING ENGINEER TO VERIFY THAT ALL ROUGH FRAMING IS INSTALLED IN ACCORDANCE WITH NBC 2003 AND COMPLIES WITH STANDARD PRACTICES FOR WOOD FRAME CONSTRUCTION.



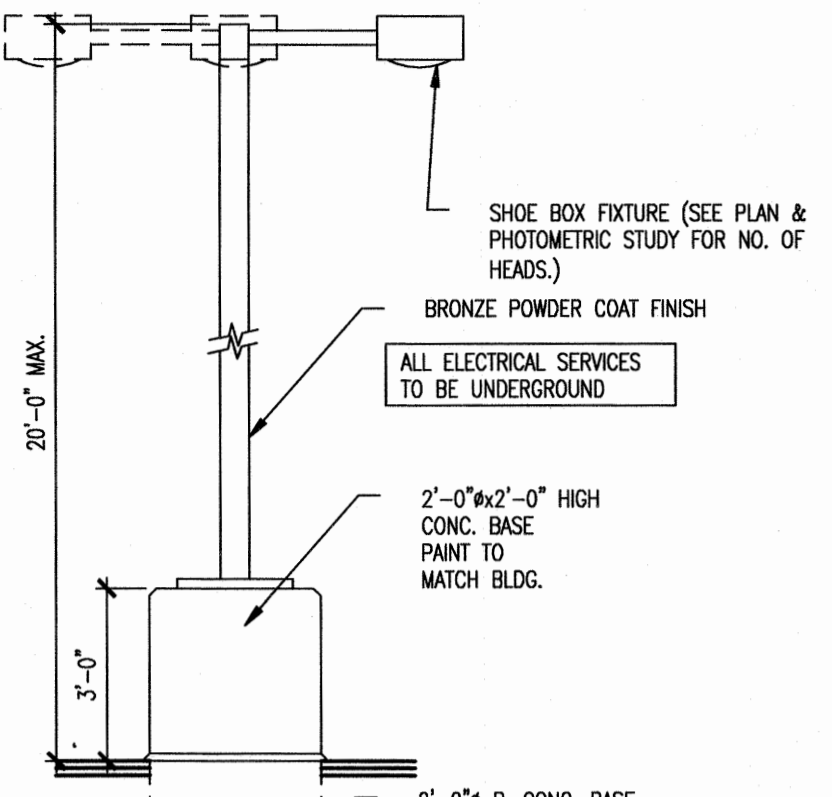
A1.103 MONUMENT SIGN

SCALE: NTS



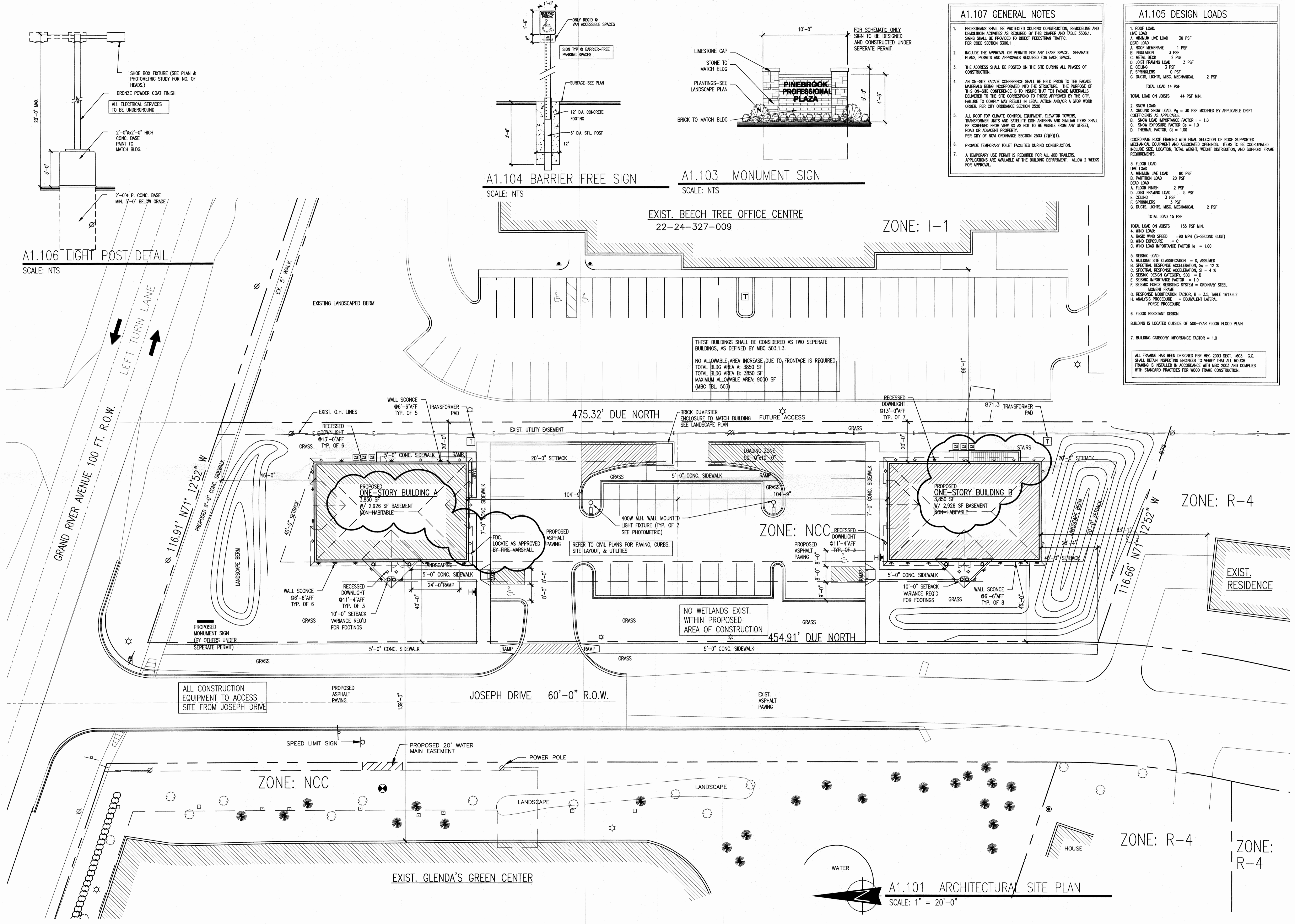
A1.104 BARRIER FREE SIGN

SCALE: NTS



A1.106 LIGHT POST DETAIL

SCALE: NTS



A1.101 ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"