

#### COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road Novi, MI 48375 (248) 347-0415 Phone (248) 735-5600 Facsimile www.cityofnovi.org

# ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals MEETING DATE: April 8, 2025

REGARDING: 26100 Novi Road #50-22-14-351-045 (PZ25-0009)

BY: Alan Hall, Deputy Director Community Development

#### **GENERAL INFORMATION:**

#### **Applicant**

El Car Wash II

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned Town Center (TC)

Location: on Novi Road, north of Grand River Avenue

Parcel #: 50-22-14-351-045

#### Request

The applicant is requesting variances from City of Novi Zoning Ordinance Section 3.1.25.D to allow an 8 ft parallel parking space within the required 20 ft parking setback on the north side; Section 5.3.11.D to omit the requirement of a bypass lane; Section 5.3.11.I for a reduction of vehicle stacking spaces before the tunnel to 9 (25 spaces required, variance of 14).

#### **II. STAFF COMMENTS:**

The applicant, El Car Wash, is seeking (3) variances in the improvement of an existing car wash facility on Novi Road.

- 1) Provide parallel parking in 20' setback
- 2) Omit bypass lane
- 3) Reduce the stack line before the tunnel to (9) vehicles a (14) vehicle variance.

The site is constrained by existing conditions.

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

	Without the variance Petitioner will be unreason with respect to use of the property because	•
- (b)T -	The property is unique because	
(c) F	Petitioner did not create the condition because	
. ,	The relief granted will not unreasonably inte	•
(e)T	The relief if consistent with the spirit and intent o	
-		

2.	I move that we <u>deny</u> the variance in Case No. <b>PZ25-0009</b> sought by, for
	, for
	(a) The circumstances and features of the property including
	are not unique because they exist generally throughout the City.
	(b)The circumstances and features of the property relating to the variance request are self-created because
	(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that
	(d)The variance would result in interference with the adjacent and surrounding properties by
	(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi





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# ZONING BOARD OF APPEALS APPLICATION

FEB 2 5 2025

CITY OF NOVI
COMMUNITY DEVELOPMENT

#### APPLICATION MUST BE FILLED OUT COMPLETELY

i. PROPERTY INFORMATION (Add	ress of subject ZBA Ca	se)	Application Fee:	330.00
PROJECT NAME / SUBDIVISION			Meeting Date:	
El Car Wash Novi 12 Oaks ADDRESS		FOLYSINIE/SPACE #		
26100 Novi Road	Mayboob	stain from Assessing Z	BA Case #: PZ_2	5-0009
50-22- 14 _ 351 _ 04		nt (248) 347-0485		
CROSS ROADS OF PROPERTY Grand Hiver Ave. & Novi HUad		/===		
IS THE PROPERTY WITHIN A HOMEOWNER'S ASS	OCIATION JURISDICTION?	REQUEST IS FOR:	MERCIAL   VACANT PR	ODEDTY A SIGNACE
☐ YES ☑ NO	555 05 1101 1701 00 0			OPERIT LI SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOT  II. APPLICANT INFORMATION	ICE OF VIOLATION OR C	IIAIION 1220ED & T LE	S LINO	
	EMAIL ADDRESS		CELL PHONE NO.	
A. APPLICANT	sbarrett@alrigusa.c	com	TELEPHONE NO.	
NAME Steven Barrett			248-983-5429	
ORGANIZATION/COMPANY			FAX NO.	
ADDRESS		CITY	STATE	ZIP CODE
30200 Telegraph Road		Bingham Farms	MI	48025
	ERE IF APPLICANT IS ALSO TEMAIL ADDRESS	THE PROPERTY OWNER	CELL PHONE NO.	
Identify the person or organization that owns the subject property:	justin@elcarwash.	com	917-680-5575	
NAME TELEPHONE NO.				
Justin Landau ORGANIZATION/COMPANY			FAX NO.	
El Car Wash MI Novi II, LLC		CITY	STATE	ZIP CODE
ADDRESS 2753 NW 87th Ave		Doral	FL	33172
III. ZONING INFORMATION				
A. ZONING DISTRICT		□ RM-1 □ RM-2	□ мн	
□ R-A □ R-1 □ R-2	□ R-3 □ R-4	_	⊔ MH	
☐ I-1 ☐ I-2 ☐ RC  B. VARIANCE REQUESTED	✓ TC ☐ TC-1	OTHER		
INDICATE ORDINANCE SECTION (S) AND	VARIANCE REQUESTED:			
_ ''		Parallel parking within 20' p	oarking setback	
		Lack of bypass lane		
_		Shortage of vehicle stacking	prior to the tunnel ent	rance
4. Section				
	, and the desired of			2 12 23 2 2 12 12 13
IV. FEES AND DRAWNINGS  A. FEES				
Single Family Residential (Existing	g) \$220 🗌 (With Violat	tion) \$275 🗌 Single Fami	ly Residential (New) \$	275
✓ Multiple/Commercial/Industrial		tion) \$440 🗆 Signs \$330		
☐ House Moves \$330		etings (At discretion of Bo		
B. DRAWINGS 1-COPY & 1 DIGI     Dimensioned Drawings and Plans     Site/Plot Plan		<ul><li>Existing &amp; proposed</li><li>Location of existing</li></ul>	d distance to adjacen g & proposed signs, if	
<ul> <li>Existing or proposed buildings or c</li> <li>Number &amp; location of all on-site or</li> </ul>	aaition on the propei arking if applicable	rry • rioor plans & eleva • Anv other informati	on relevant to the Va	riance application



# **ZONING BOARD OF APPEALS APPLICATION**

V. VARIANCE					
A. VARIANCE (S) REQUESTED					
☑ dimensional □ use □ sign					
There is a five-(5) hold period before work/action can be taken on variance approvals.					
B. SIGN CASES (ONLY) Your signature on this application indicates that you agree to install a Mock-Up Sign tenmeeting. Failure to install a mock-up sign may result in your case not being heard by the schedule ZBA meeting, or cancelled. A mock-up sign is NOT to be actual sign. Upon appremoved within five-(5) days of the meeting. If the case is denied, the applicant is resportemoval of the mock-up or actual sign (if erected under violation) within five-(5) days of	Board, postponed to the next broval, the mock-up sign must be asible for all costs involved in the				
. ORDINANCE					
City of Novi Ordinance, Section 3107 – Miscellaneous					
No order of the Board permitting the erection of a building shall be valid for a period lon building permit for such erection or alteration is obtained within such period and such er proceeds to completion in accordance with the terms of such permit.					
No order of the Board permitting a use of a building or premises shall be valid for a perio eighty-(180) days unless such use is establish within such a period; provided, however, who dependent upon the erection or alteration or a building such order shall continue in force for such erection or alteration is obtained within one-(1) year and such erection or alteration in accordance with the terms of such permit.	nere such use permitted is ce and effect if a building permit				
D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL					
PLEASE TAKE NOTICE:					
The undersigned hereby appeals the determination of the Building Official / Inspector or	Ordinance made				
□ CONSTRUCT NEW HOME/BUILDING □ ADDITION TO EXISTING HOME/BUILDING □ SIGNAGE					
B CONSTRUCT NEW HOME/BUILDING B ADDITION TO EXISTING HOME/BUILDING B	IGNAGE				
□ ACCESSORY BUILDING □ USE □ OTHER					
□ ACCESSORY BUILDING □ USE □ OTHER					
☐ ACCESSORY BUILDING ☐ USE ☐ OTHER  VI. APPLICANT & PROPERTY SIGNATURES					
□ ACCESSORY BUILDING □ USE □ OTHER					
VI. APPLICANT & PROPERTY SIGNATURES  A. APPLICANT					
☐ ACCESSORY BUILDING ☐ USE ☐ OTHER  VI. APPLICANT & PROPERTY SIGNATURES					
VI. APPLICANT & PROPERTY SIGNATURES  A. APPLICANT  Steven Barrett	02/24/2025  Date  property described in this				
VI. APPLICANT & PROPERTY SIGNATURES  A. APPLICANT  Steven Barrett  Applicant Signature  B. PROPERTY OWNER  If the applicant is not the owner, the property owner must read and sign below: The undersigned affirms and acknowledges that he, she or they are the owner(s) of the application, and is/are aware of the contents of this application and related enclosures  Property Owner Signature	Date  property described in this  02/24/2025				
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# NOVI cityofnovi.org

#### **Community Development Department**

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# REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

## Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a.	<ul> <li>Shape of Lot. Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.</li> <li>□ Not Applicable □ Applicable If applicable, describe below:</li> </ul>
	and/or
b.	Environmental Conditions. Exceptional topographic or environmental conditions of other extraordinary situations on the land, building or structure.  ☐ Not Applicable ☐ Applicable ☐ If applicable, describe below:
	and/or
C.	Abutting Property. The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.  ☐ Not Applicable ☐ Applicable ☐ If applicable, describe below:

#### Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

## Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

## Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

## Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.



# **LOCATION MAP**

SCALE:  $I'' = 2,000' \pm$ 

# SITE IMPROVEMENT PLANS

# **FOR** NOVI TOWN CENTER

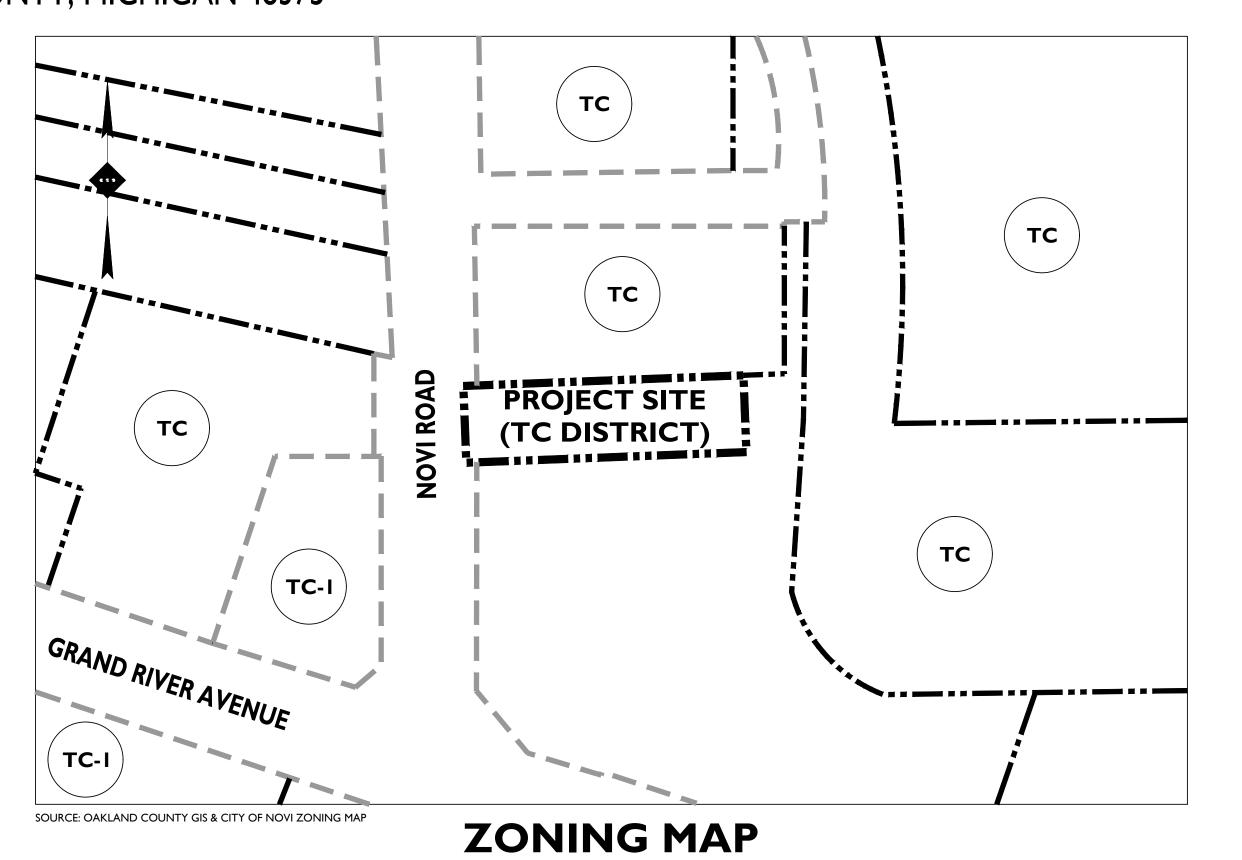
# PROPOSED CAR WASH **IMPROVEMENTS**

PARCEL ID: 50-22-14-351-045 26100 NOVI ROAD CITY OF NOVI, OAKLAND COUNTY, MICHIGAN 48375



**AERIAL MAP** 

SCALE: I" = 100'±



SCALE: I" = 100'±

# PLANS PREPARED BY:





Birmingham, MI · New York, NY · Salem, MA Princeton, NJ · Tampa, FL · Rutherford, NJ www.stonefieldeng.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009 Phone 248.247.1115

# **PLAN REFERENCE MATERIALS:**

- I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO: ALTA/NSPS LAND TITLE SURVEY PREPARED BY
- **KEM-TEC DATED 07/12/2022** ARCHITECTURAL PLANS PREPARED BY KRIEGER KLATT ARCHITECTS DATED 10/31/2024
- **AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO** 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF

DRAWING TITLE	SHEET #
COVER SHEET	C-I
DEMOLITION PLAN	C-2
SITE PLAN	C-3
GRADING & DRAINAGE PLAN	C-4
PRE VS POST CONSTRUCTION CONDITIONS	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
LANDSCAPING PLAN	C-8
LANDSCAPING DETAILS	C-9
CONSTRUCTION DETAILS	C-10 & C-11
FIRE TRUCK CIRCULATION EXHIBIT	EX-I
PRE VS POST VEHICLE STACKING EXHIBIT	EX-2

**SHEET INDEX** 

ADDITIONAL SHEET	INDEX
DRAWING TITLE	SHEET#
ALTA / NSPS LAND TITLE SURVEY	I OF I

# **APPLICANT**

**EL CAR WASH NOVI II LLC** SBARRETT@ALRIGUSA.COM

				FOR PRELIMINARY SITE PLAN RESUBMISSION	FOR PRELIMINARY SITE PLAN RESUBMISSION	FOR PRELIMINARY SITE PLAN APPROVAL	FOR PRE-APPLICATION MEETING	DESCRIPTION	
				VF	VF	VF	JSS	ВУ	
				02/04/2025	12/23/2024	11/05/2024	08/20/2024	DATE	
				4	3	2	-	ISSUE	
	AB	888	1/25	 		ATA		FIANI	1

# NOT APPROVED FOR CONSTRUCTION



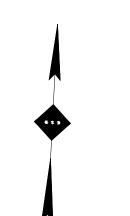


CITY PROJECT NUMBER: JSP24-25 SCALE: AS SHOWN PROJECT ID: DET-240225

**COVER SHEET** 

DRAWING:

C-I



# **SYMBOL**

# **DESCRIPTION**

FEATURE TO BE REMOVED / DEMOLISHED

CONCRETE PAVEMENT TO BE REPAIRED / REPLACED AS NEEDED

PROPOSED TREE PROTECTION FENCE

ALL SITE FEATURES WITHIN THIS PLAN ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



# **DEMOLITION NOTES**

22-14-351-065 OWNER OF RECORD NOVI CENTER PLAZA LLC

EXISTING BUILDING TO REMAIN AND BE

OF CONSTRUCTION. ALL EXISTING

BUILDING MOUNTED UTILITY METERS,

AND UTILITY LEADS TO BE REMOVED TO THE LOCATION SPECIFIED ON THIS PLAN.

STATIONS ON

PROTECTED THROUGHOUT THE COURSE

EXISTING BOLLARDS TO

**EXISTING CONCRETE PARKING** 

LOT TO BE REPAIRED AS NEEDED

LIMIT OF EXISTING ELECTRIC

LINE TO BE REMOVED

PARCEL ID: 22-14-351-063 OWN TO RECORD

ACS NOVI TOWN CENTER MI LLC

SYSTEM TO BE REMOVED

LIMIT OF EXISTING GAS-LINE TO BE REMOVED

ASPHALT

- LIMIT OF EXISTING ELECTRIC LINE TO BE REMOVED

EXISTING ELECTRIC TRANSFORMER

LIMIT OF EXISTING

CONCRETE CURB

TO BE REMOVED

CONCRETE CURB

BE REMOVED (9-TYP.)

ASPHALT

# BLOCKS

LIMIT OF EXISTING /

CONCRETE CURB

TO BE REMOVED

TO BE REMOVED

EXISTING VACUUM STATIONS

AND ASSOCIATED ELECTRIC

REMOVED AND CAPPED AT THE

DOWNSTREAM CATCH BASIN

ASPHALT

\*\*\*

LIMIT OF CONCRETE PAVEMENT REPAIR

NOVI TOWN CENTER MILL

PROTECTION FENCE (TYP.)

EXISTING BOLLARDS TO

BE REMOVED (10-TYP.)

CONCRETE CURB
TO BE REMOVED

PROPOSED TREE

LIMIT OF EXISTING

器

- I. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE
- SITE IMPROVEMENTS. 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND
- METHODS OF DEMOLITION ACTIVITIES.

  3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY
- DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES. 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL
- MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.

  5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

	FOR PRELIMINARY SITE PLAN RESUBMISSIO	FOR PRELIMINARY SITE PLAN RESUBMISSIO	FOR PRELIMINARY SITE PLAN APPROVAL	FOR PRE-APPLICATION MEETING	DESCRIPTION		
	VF	VF	٨Ł	SSÍ	ВҮ		
	02/04/2025	12/23/2024	11/05/2024	08/20/2024	DATE		
	4	3	2	_	ISSUE		
APPROVED FOR CONSTRUCTION							





CITY PROJECT NUMBER: JSP24-25

I" = 20' PROJECT ID: DET-240225

**DEMOLITION PLAN** 

DRAWING:

**GRAPHIC SCALE IN FEET** I" = 20'

RIM913.37

LIMIT OF EXISTING WATER

LIMIT OF EXISTING CONCRETE

PAVEMENT TO BE REPAIRED

LINE TO BE REMOVED

LIMIT OF EXISTING

LINE TO BE REMOVED.

XISTING SANITARY

CONCRETE CURB

TO BE REMOVED :

EXISTING FLAG POLE TO BE REMOVED 4

LIMIT OF EXISTING ELECTRIC

LINE TO BE REMOVED

LIMIT OF EXISTING CONCRETE PAVEMENT TO BE REPAIRED

LAND USE AND ZONING							
PID: 50-22-14-351-045							
TOWN CENTER DISTRICT (TC)							
PROPOSED USE							
AUTO WASH	NON-PERMITTED US	SE (EN)					
ZONING REQUIREMENT	REQUIRED	PROPOSED					
MINIMUM LOT AREA	N/A	23,358 SF (0.53 AC)					
MINIMUM OPEN SPACE	15% (3,504 SF)	16.4% (3,846 SF)					
MAXIMUM BUILDING HEIGHT	65 FT ( 5 STORIES)	< 65 FT (5 STORIES)					
MINIMUM FRONT PARKING SETBACK	20 FT	32.8 FT					
MINIMUM SIDE PARKING SETBACK (NORTH)	20 FT	2.0 FT (V)					
MINIMUM SIDE PARKING SETBACK (SOUTH)	20 FT	0 FT (EN)					
MINIMUM REAR PARKING SETBACK	I0 FT	10.0 FT					
MINIMUM FRONT YARD SETBACK	15 FT	75.2 FT					
MINIMUM SIDE YARD SETBACK	I0 FT	8.0 FT (EN)					
MINIMUM REAR YARD SETBACK	I0 FT	56.2 FT					
FLAG POLE SETBACK	37.6 FT	60.4 FT					

(V) VARIANCE

(EN) EXISTING NON-CONFORMITY

§ 4.19(2)B - FLAGPOLES SHALL BE LOCATED NO CLOSER THAN HALF THE DISTANCE BETWEEN THE RIGHT OF WAY AND PRINCIPAL BUILDING.

OFF-STREET PARKING REQUIREMENTS				
CODE SECTION	REQUIRED	PROPOSED		
§ 5.2.12	AUTO WASH PARKING:	4 SPACES		
	2 SPACES PLUS I PER EMPLOYEE	5 VACUUMS		
	(2 SPACES) + (2 EMPLOYEE)/(1 SPACE/EMPLOYEE) = 4 SPACES	TOTAL SPACES: 9		
	PLUS I SPACE PER VACUUM			
	(5 VACUUMS)/(I SPACE/VACUUM) = 5 SPACES			
	TOTAL REQUIRED PARKING: 4 + 5 = 9 SPACES			
§ 5.3.2	90° PARKING:	12 FT X 19 FT		
	9 FT X I9 FT W/ 24 FT AISLE	W/ 24 FT AISLE		
	0° PARKING:	8 FT X 23 FT		
	8 FT X 23 FT W/ 13 FT AISLE	W/ 14 FT AISLE		
§ 5.3.2(E)(H)	STACKING SPACE REQUIREMENTS:			
	9 FT X 19 FT	10 FT X 19 FT		
	W/ 18 FT BYPASS LANE	NOT PROVIDED (EN)		
§ 5.3.11.1	AUTO WASH STACKING REQUIREMENTS:			
	25 VEHICLES PRIOR TO TUNNEL	8 VEHICLES (EN)		
	3 VEHICLES AFTER TUNNEL	3 VEHICLES		
§ 5.4(2)	LOADING REQUIREMENT:	TO OCCUR		
	10 SF PER FRONT FT OF BUILDING	OFF HOURS		
	(50 FT BUILDING) (10 SF/FT BUILDING) = 500 SF			

(EN) EXISTING NON-CONFORMITY

SIGNAGE REQUIREMENTS					
CODE SECTION	REQUIRED	PROPOSED			
§ 28-5.f. I	SIGN SETBACK: 3 FT	22.0 FT			

M.U.T.C.D.	TEXT	СО	LOR	SIZE OF SIGN (WIDTH X	TYPE OF	QUANTITY
NUMBER	TEXT	LEGEND	BACKGROUND	HEIGHT)	MOUNT	QOANTITI
STOP SIGN (RI-I)	STOP	WHITE	RED	36"×36"	GROUND	I
DO NOT ENTER (R5-1)	DO NOT ENTER	RED	WHITE	30"x30"	GROUND	I
RESERVED PARKING (R7-8)	RESERVED PARKING	GREEN/BLUE	WHITE	12"x18"	GROUND	I
RESERVED PARKING (R7-8P)	VAN	GREEN	WHITE	12"x6"	GROUND	I

I. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.

2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (RI-I) AND "YIELD" (RI-2) SIGNS.

3. FHWA STANDARD ALPHABET SERIES USED FOR ALL SIGN LANGUAGE

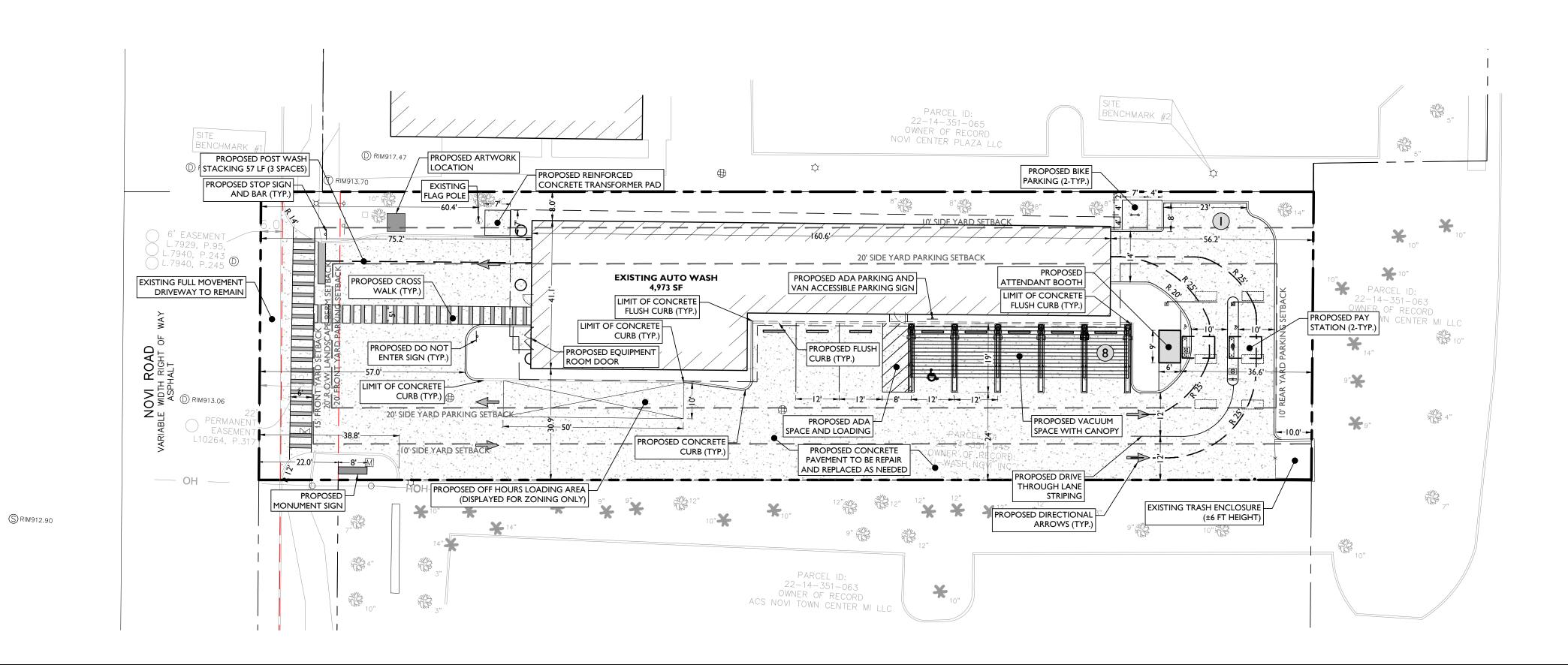
4. HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY\ 5. ALL SIGNS INSTALLED SHALL HAVE A BOTTOM HEIGHT OF 7 FT FROM FINAL GRADE.

6. ALL SIGNING SHALL BE PLACED TWO (2) FEET FROM THE FACE OF THE CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR

NOT TO SCALE

7. SIGNS 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB U-CHANNEL POST 8. SIGNS GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB OR GREATER U-CHANNEL POST

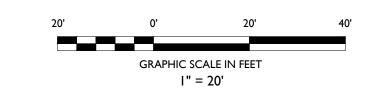
SIGN DATA TABLE



# ALL VACUUM APPARATUS AND CANOPIES TO BE FINISHED GREY TO MATCH THE PRIMARY BUILDING

# **GENERAL NOTES**

- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES
- DURING CONSTRUCTION. 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN,
- 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND
- METHODS OF CONSTRUCTION. 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE. 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW
- THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET. 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL
- DEVICES, LATEST EDITION. 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- II. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



					FOR PRELIMINARY SITE PLAN RESUBMISSION	FOR PRELIMINARY SITE PLAN RESUBMISSION	FOR PRELIMINARY SITE PLAN APPROVAL	FOR PRE-APPLICATION MEETING	DESCRIPTION
					VF	VF	VF	SSÍ	ВУ
					02/04/2025	12/23/2024	11/05/2024	08/20/2024	DATE
					4	8	2	_	ISSUE
NOT	AP	PRO	VEC	FC	R C	ON	STR	UC <sup>-</sup>	ΓΙΟΝ

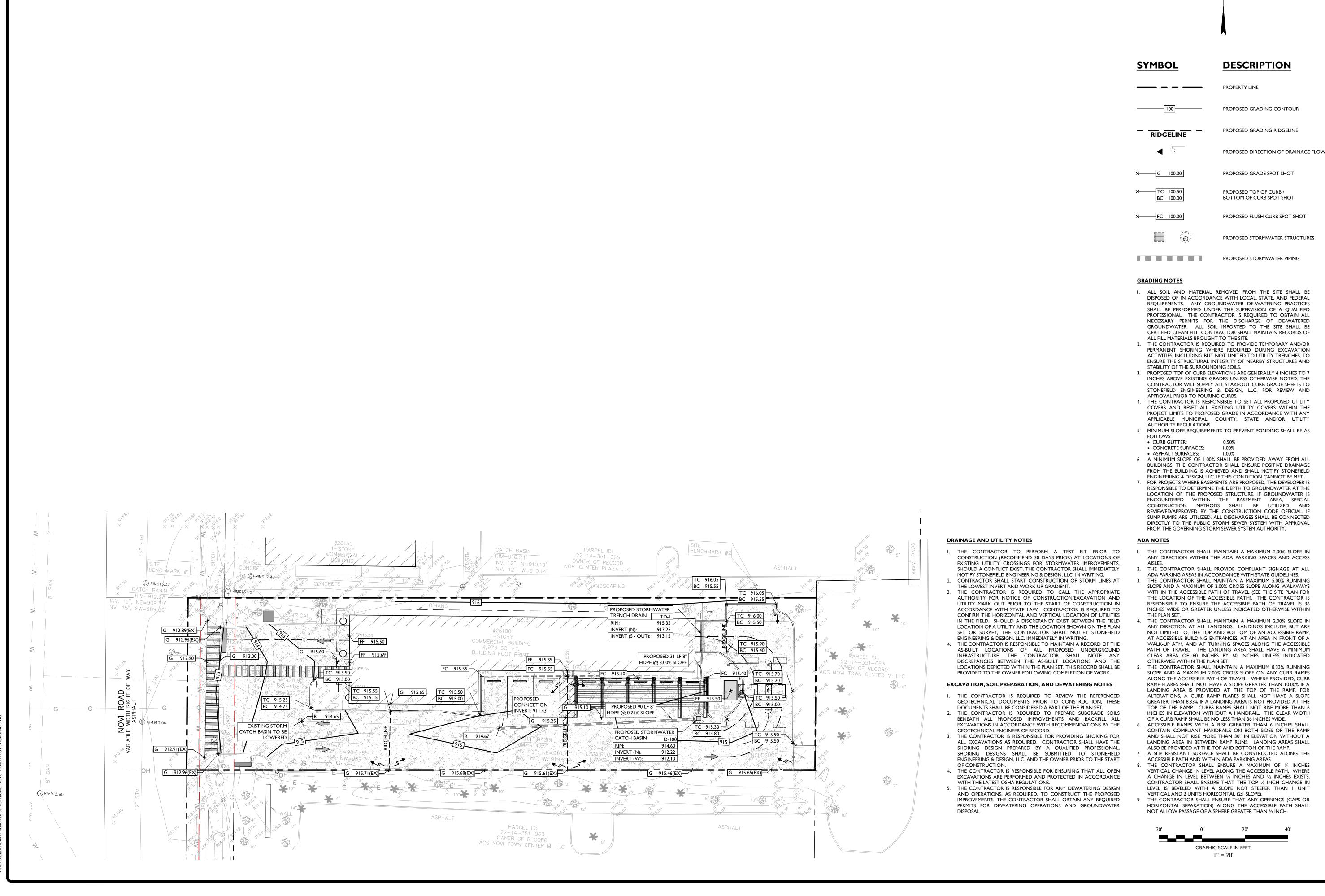




CITY PROJECT NUMBER: JSP24-25

I" = 20' PROJECT ID: DET-240225

**SITE PLAN** DRAWING:





# **DESCRIPTION**

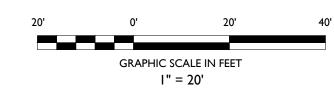
PROPERTY LINE PROPOSED GRADING CONTOUR PROPOSED GRADING RIDGELINE

PROPOSED GRADE SPOT SHOT

PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

PROPOSED STORMWATER PIPING

- I. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF
- 2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND
- INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- 4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY
- 5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS
- BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD
- ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. 7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.
- ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN
- CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP. 7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE
- ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS. 8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES



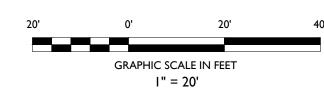
DESCRI	ВҰ	DATE	ISSUE
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FOR PRELIMINARY SITE PLA	ΑŁ	11/05/2024	2
FOR PRELIMINARY SITE PLA	ΑŁ	12/23/2024	က
FOR PRELIMINARY SITE PLA	ΑŁ	02/04/2025	4

NOT APPROVED FOR CONSTRUCTION

PROPOSED FLUSH CURB SPOT SHOT

PROPOSED STORMWATER STRUCTURES

- ALL FILL MATERIALS BROUGHT TO THE SITE.
- STABILITY OF THE SURROUNDING SOILS.
- 3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7
- - 1.00%
- 6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM
- OTHERWISE WITHIN THE PLAN SET.
- VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN I UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ½ INCH.





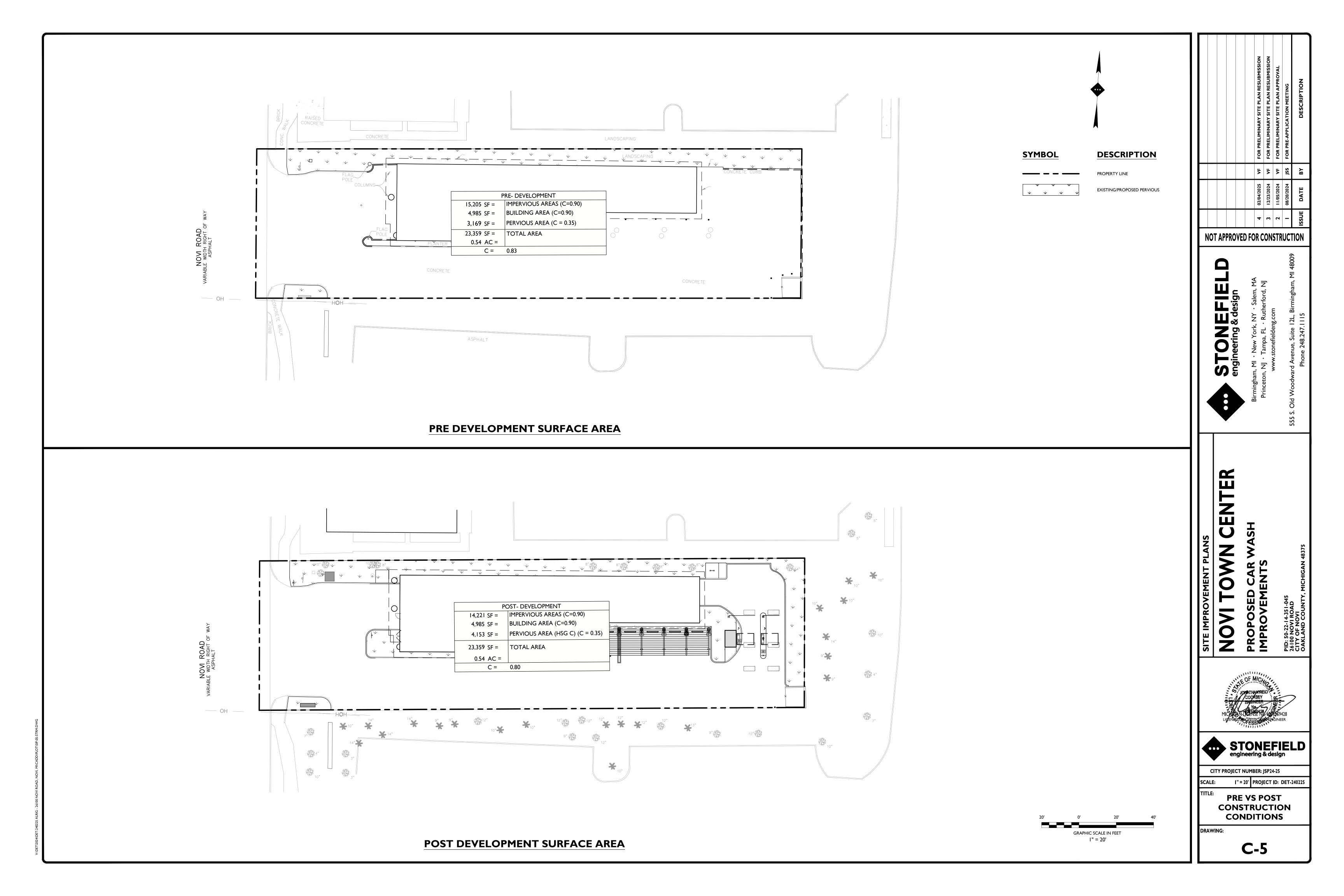
CITY PROJECT NUMBER: JSP24-25

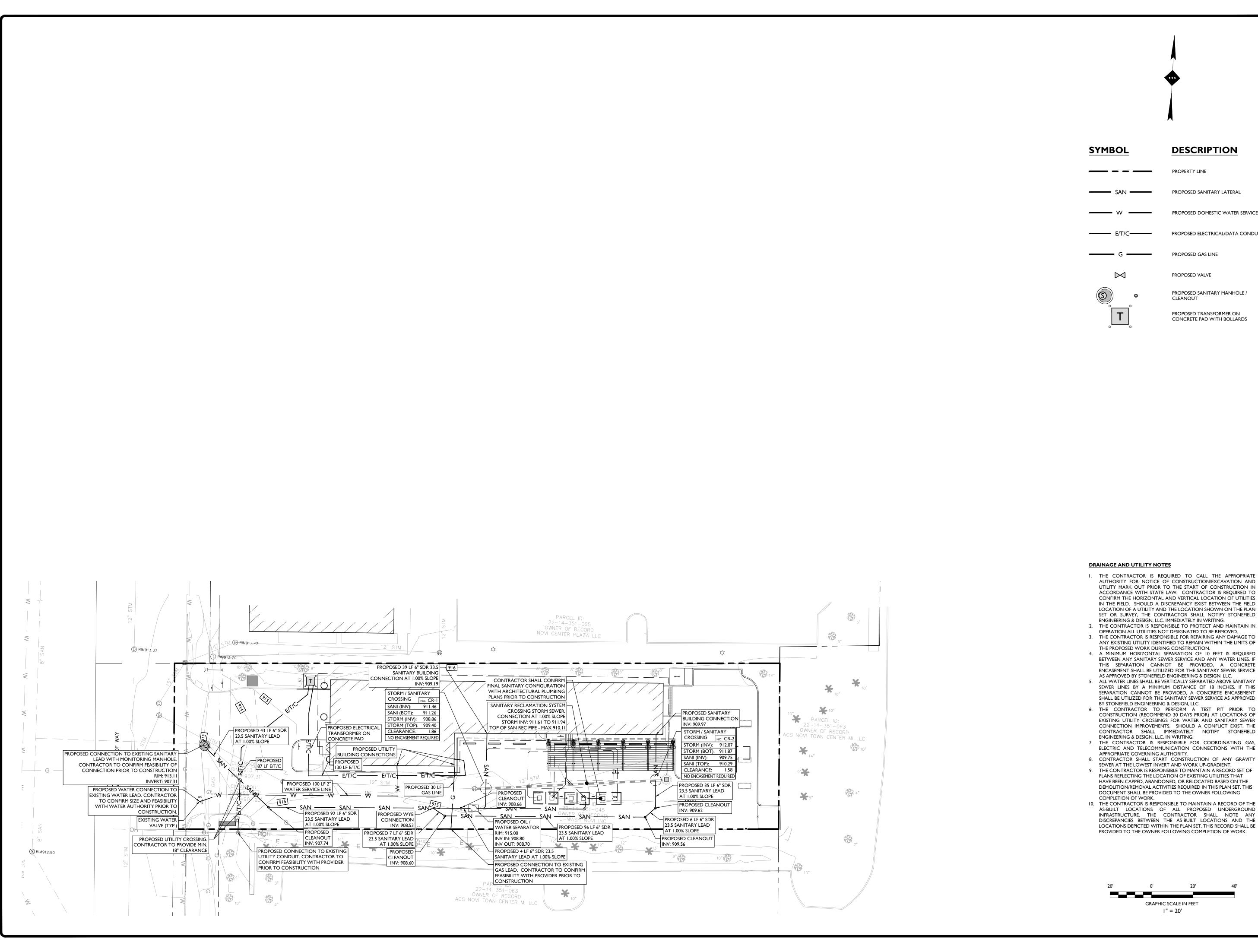
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I" = 20' PROJECT ID: DET-240225

**GRADING & DRAINAGE** PLAN

DRAWING:



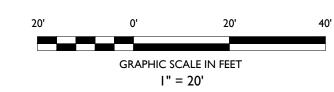


PROPOSED SANITARY LATERAL PROPOSED DOMESTIC WATER SERVICE PROPOSED ELECTRICAL/DATA CONDUITS

PROPOSED SANITARY MANHOLE /

PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

- I. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD
- 2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED. 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO
- 4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE
- AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC. 5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED
- CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD
- 7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE
- 8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT. 9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS
- 10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



# 

NOT APPROVED FOR CONSTRUCTION





CITY PROJECT NUMBER: JSP24-25

I" = 20' PROJECT ID: DET-240225

**UTILITY PLAN** 

DRAWING:

	LICHTING BEOLUDEMENTS	
	LIGHTING REQUIREMENTS	
CODE SECTION	REQUIRED	PROPOSED
§ 5.7.3.A	MAXIMUM HEIGHT - 25 FT	25.0 FT
§ 5.7.3.K	AVERAGE TO MINIMUM RATIO - 4:1	3.8 : I
§ 5.7.3.K	MAXIMUM PROPERTY LINE ILLUMINATION: 1.0 FC	2.1 FC (EN)
TABLE 5.7.3.K	MINIMUM ILLUMINATIONS:	
	PARKING AREAS - 0.2 FC	0.2 FC
	LOADING AND UNLOADING AREAS - 0.4 FC	2.4 FC
	WALKWAYS - 0.2 FC	0.2 FC
	BUILDING ENTRANCES - FREQUENT USE - 1.0 FC	I.3 FC
	BUILDING ENTRANCES - INFREQUENT USE - 0.2 FC	5.1 FC

(EN) EXISTING NON-CONFORMITY

			PROPOSED / EXISTING LUMINAIRE	SCHEDULE			
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	3	PREVAIL LED AREA LIGHT POLE & FIXTURE COMBO WITH HOUSE SIDE SHIELD C40 - 3000K	TYPE IV	0.9	EATON	PRV-C40-D-UNV-T4-BZ-7030-HSS.ies
	В	I	MIRADA SMALL WALL SCONCE 3000K	TYPE FT	0.9	LSI	XWS-LED-08L-SIL-FT-30-70CRI.ies
	EX	23	MIRADA SMALL WALL SCONCE 3000K	TYPE FT	0.9	LSI	XWS-LED-08L-SIL-FT-30-70CRI.ies

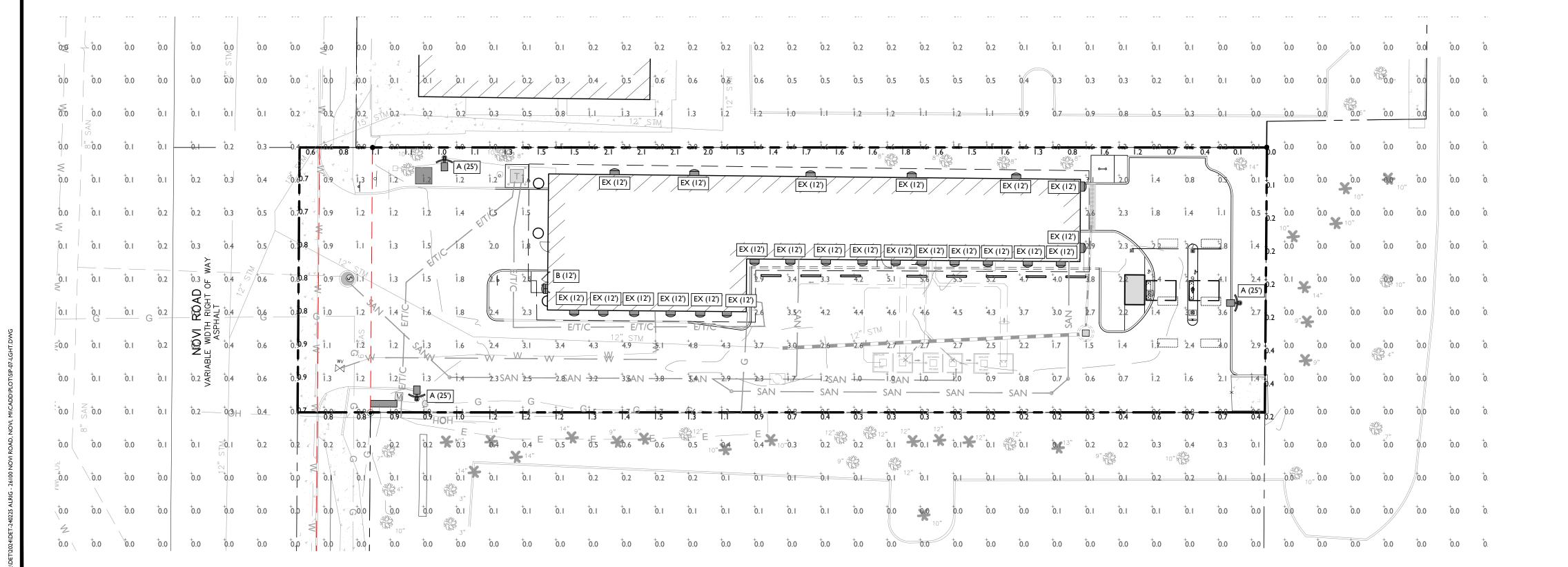
ALL EXISTING WALL MOUNTED LIGHTS HAVE BEEN MODELED ASSUMING THE FIXTURE DEPICTED IN THE TABLE FOR REFERENCE, EXISTING FIXTURES ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION

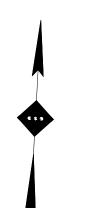






**FIXTURES B & EX** 





# **SYMBOL**

 $^+$ X.X

# **DESCRIPTION** A (XX')

THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE

2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR

3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:

4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION,

OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. 5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF

WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD

GRAPHIC SCALE IN FEET I" = 20'

VARIABLE FIELD CONDITIONS.

LIGHTING FIXTURE MODEL.

ENGINEERING & DESIGN, LLC.

METAL HALIDE:

LIGHT EMITTING DIODES (LED): 0.90
 HIGH PRESSURE SODIUM: 0.72

OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER

PROPOSED LIGHTING INTENSITY (FOOTCANDLES)

PROPOSED LIGHTING FIXTURE

(MOUNTING HEIGHT)

NOT APPROVED FOR CONSTRUCTION

CENTER



CITY PROJECT NUMBER: JSP24-25

I" = 20' PROJECT ID: DET-240225

**LIGHTING PLAN** 

DRAWING:

L	ANDSCAPING AND BUFFER REQUIRE	MENTS
CODE SECTION	REQUIRED	PROPOSED
	GREENBELT REQUIREMENTS:	
§5.5.3.A.(5)	3' TALL BERM WITH 3' CREST IS REQUIRED ALONG GRAND RIVER AVENUE	NO CHANGE (EN) (W)
	NOVI ROAD: 80 LF	
	CANOPY TREES: (80 LF) / 30 LF) = 3 REQUIRED TREES	
	SUB-CANOPY TREES: (80 LF) / 20 LF) = 4 REQUIRED TREES	I TREES (W)
	PARKING LOT ISLAND REQUIREMENTS:	
§5.5.3.C.g	EACH ISLAND: MINIMUM 200 SF WITH 10 FT WIDTH	DOES NOT COMPLY (W)
	MINIMUM 3 FT BACK OF CURB TO TREE TRUNK	3.0 FT
	INTERIOR PARKING AREA REQUIREMENTS:	
§5.5.3.C.iii	INTERIOR PARKING LOT ISLAND AND CANOPY TREE REQUIREMENTS	NO PROPOSED PARKING LOTS (W) <sup>(1)</sup>
	PARKING LOT PERIMETER TREES:	
§5.5.3.C.iv	ONE PERIMETER CANOPY TREE PER 35 LF REQUIRED ACCESS DRIVE	NO CHANGE (W) (EN) <sup>(1)</sup>
	BUILDING FOUNDATION LANDSCAPE:	
§5.5.3.D.ii.a	MINIMUM FOUNDATION LANDSCAPE SQUARE FOOTAGE IS 8 FT MULTIPLIED BY BUILDING PERIMETER (NOT INCLUDING INGRESS / EGRESS)	
	[403 FT * 8 FT = 3,224 SF REQUIRED]	2,385 SF (EN) (W)
§5.5.3.D.ii.b	LANDSCAPE PLANTING BEDS MINIMUM 75% OF BUILDING FOUNDATION AREA WITH 4 FT WIDTH.	
	[403 LF * 75% = 302 LF REQUIRED PLANTING BED]	362 LF (89.8%)
§5.5.3.D.ii.d	FACADES ADJACENT TO PUBLIC STREET SHALL HAVE MINIMUM 60% PERIMETER AS GREENSPACE	
	[40 LF OF BUILDING FRONTAGE * 0.60 = 24 REQUIRED LF OF GREENSPACE]	4.2 FT (EN) (W)

(EN) EXISTING NONCONFORMITY

SINGLE-SIDED PARKING BAY ADJACENT TO BUILDING. NO PARKING LOTS EXIST ON SITE OR ARE PROPOSED ON SITE.

ALL TREES SHALL BE MULCHED AT 3" DEPTH

IRRIGATION PLANS ARE REQUIRED AND SHALL BE PROVIDED AS PART OF THE FINAL SITE

SHOULD JAPANESE KNOTWEED OR PHRAGMITES BE PRESENT ON SITE THEY SHALL

TREE PROTECTION FENCE SHALL BE (I) ONE

THE TOWNSHIP LANDSCAPE ARCHITECT.

TREES IN POOR CONDITION SHALL BE REMOVED AND REPLACED IN KIND AS PART OF THE LANDSCAPE INSTALLATION. SHOULD A FLOWERING PEAR TREE BE REPLACED, THE SPECIES SHOULD BE REVIEWED WITH

AND GROUND COVERS AT 2" DEPTH.

BE REMOVED FROM THE PREMISES

FOOT OUTSIDE OF THE DRIPLINE

TREES SHALL BE PLANTED: • 10 FEET FROM HYDRANTS AND UTILITY STRUCTURES

5 FEET FROM UTILITY LINES

WRITING PRIOR TO INSTALLATION

IS NOT PERMITTED MUST BE REPLACED.

 3 FEET FROM CURBS CITY MUST APPROVE ANY SUBSTITUTIONS IN

ANY TREE ON SITE WHICH IS REMOVED THAT

DEAD OR DECLINING TREES ON SITE SHALL BE REPLACED.

PROPOSED TREES SHALL BE INSTALLED MINIMUM 4 FT FROM PROPERTY.

			PLANT SCHED	ULE		·	·	
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	UNIT COST	TOTAL
			DECIDUOUS TREE	S				
(+)	CCA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" - 3" CAL	B&B	3	\$400	\$1,200
+	GYM	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE	2.5" - 3" CAL	B&B	2	\$400	\$800
+	NYS	NYSSA SYLVATICA	SOUR GUM	2.5" - 3" CAL	B&B	2	\$400	\$800
			SHRUBS					
(x)	AZA	AZALEA X 'SILVER SWORD'	SILVER SWORD AZALEA	18" - 24"	POT	13	\$50	\$650
Ŏ	VER	ILEX VERTICILLATA `RED SPRITE`	RED SPRITE WINTERBERRY	18" - 24"	РОТ	5	\$50	\$250
(×)		VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	24" - 30"	POT	9	\$50	\$450
		-	EVERGREEN SHRUE	BS .		1		1
0	ICO	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	РОТ	10	\$50	\$550
Ŏ	TAX	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	30" - 36"	B&B	5	\$50	\$250
.000000			GRASS SYMBOLS					
MANANANANANANANANANANANANANANANANANANAN	PAN	PANICUM VIRGATUM `SHENANDOAH`	SHENANDOAH SWITCH GRASS	I GAL.	POT	39	\$15	\$585
			GRASS AREAS					
///////	CAR	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	I GAL.	POT, 24" O.C.	195	\$15	\$2,925
			LANDSCAPE MATERI	ALS				
SEED	-	-	-	-	I SYD	0	\$3.00	\$0.00
SOD	-	-	-	-	I SYD	90	\$6.00	\$540
MULCH	-	-		=	I CYD	4	\$35.00	\$140
		TOTAL COST:						\$9,090

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

\* LANDSCAPE COST MAY VARY PER AVAILABILITY AND MARKET RATES. \*\* 19 OF 22 PROPOSED PLANTS ARE NATIVE (85.7%).

# LA ARCHITECT

(248) 247-1115

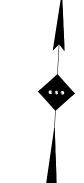
**STONEFIELD ENGINEERING & DESIGN** 555 SOUTH OLD WOODWARD AVENUE, **BIRMINGHAM, MICHIGAN 48009** 

PDEVITTO@STONEFIELDENG.COM

**EL CAR WASH NOVI II LLC** 30200 TELEGRAPH ROAD **BINGHAM FARMS, MI 48025** 248.646.999 SBARRETT@ALRIGUSA.COM

**APPLICANT** 







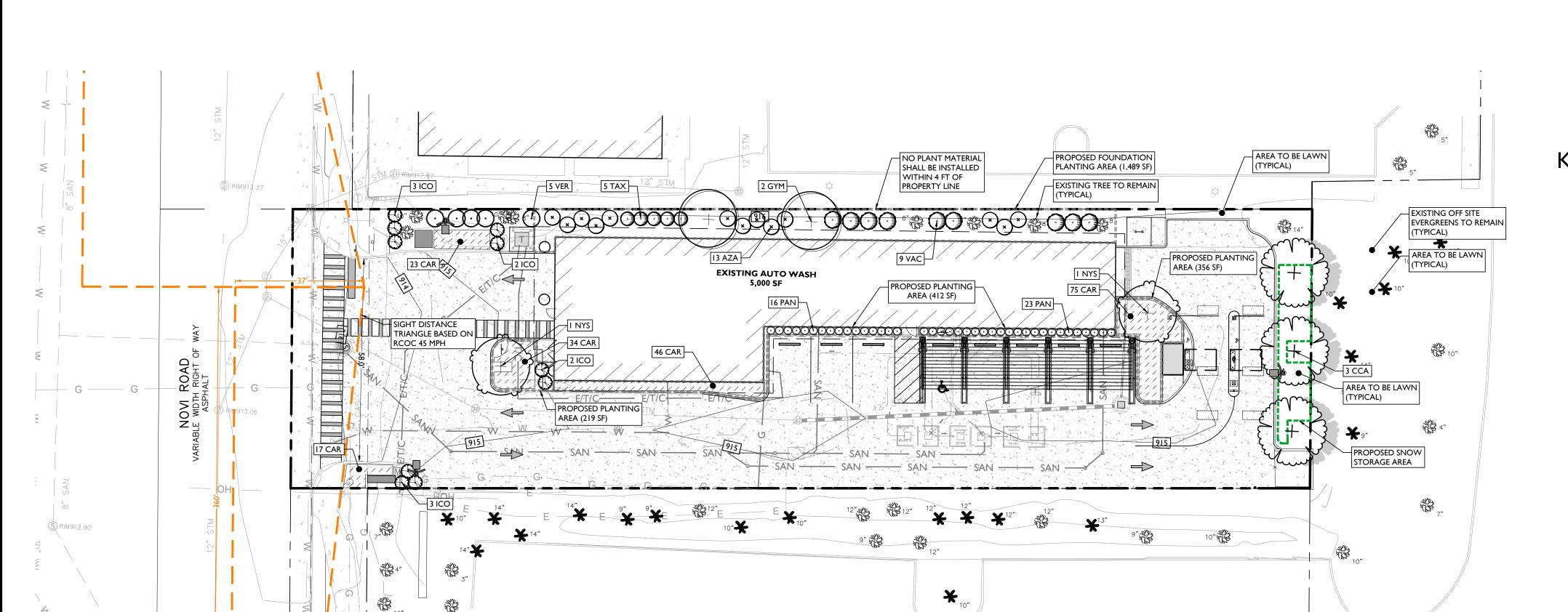
**EXISTING CONDITION - SITE FRONTAGE** 

UTILITY SYMBOL	DESCRIPTION
<del></del>	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
—— w ——	PROPOSED DOMESTIC WATER SERVICE
——— E/T/C———	PROPOSED UNDERGROUND ELECTRICAL/DATA CONDUITS
—— G ——	PROPOSED GAS LINE
•	PROPOSED SANITARY MANHOLE / CLEANOUT
ĬΤΪ	PROPOSED TRANSFORMER ON



CONCRETE PAD WITH BOLLARDS

	MAINTENANCE REQUIREMENT SCHEDULE											
							MONTH	1				
MAINTENANCE TASK	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
SITE INSPECTION			Х				Х				Х	
DEBRIS AND WEED CONTROL - AS NEEDED			х	Х	Х	х	х	х	×	х		
IRRIGATION MAINTAINCE				Х						Х		
MULCHING				Х								
SEASONAL PLANTINGS					Х	X	Х	Х	X	Х	X	
MOWING OF TURF			Х	Х	Х	X	X	Х	X	X	×	
PRUNING			Х	Х							×	
FERTILIZER AND AMENDMENTS			Х	Х	Х	х	х	×	х	×	х	
INSECT AND DISEASE CONTROL					х	х	х	х	×	х		
PLANTING RENOVATION			Х							Х		
LANDSCAPE STRUCTURES INSPECTION				Х								
LIGHTING MAINTENANCE			Х							X		
PAVED SURFACE				×								



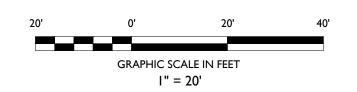


Know what's **below Call** before you dig.

# LANDSCAPING NOTES

- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED. 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM
- 3 INCH LAYER OF MULCH. 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION
- AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION
- WITHIN AREAS OF DISTURBANCE. 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING
- ALL TRANSFORMERS MUST BE SCREENED PER THE CITY OF NOVI STANDARDS AND SPECIFICATIONS.

SOIL CHARACTI	ERISTICS CHART
TYPE OF SOIL	CAPAC SANDY LOAM
PERCENT OF SITE COVERAGE	39.2%
HYDROLOGIC SOIL GROUP	C/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.20 TO 0.57 IN / HR
DEPTH TO WATER TABLE	12 TO 24 INCHES
TYPE OF SOIL	BROOKSTON & COLWOOD LOAM
PERCENT OF SITE COVERAGE	58.7%
HYDROLOGIC SOIL GROUP	B/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.57 TO 1.98 IN / HR
DEPTH TO WATER TABLE	ABOUT 0 INCHES
TYPE OF SOIL	URBAN LAND
PERCENT OF SITE COVERAGE	2.1%
HYDROLOGIC SOIL GROUP	N/A
DEPTH TO RESTRICTIVE LAYER	N/A
SOIL PERMEABILITY	N/A
DEPTH TO WATER TABLE	N/A



	FOR PRELIMINARY SITE PLAN RESUBMISSION	FOR PRELIMINARY SITE PLAN RESUBMISSION	FOR PRELIMINARY SITE PLAN APPROVAL	FOR PRE-APPLICATION MEETING	DESCRIPTION	
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	02/04/2025	12/23/2024	11/05/2024	08/20/2024	DATE	
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NOT APPROVED FOR CONSTRUCTION





CITY PROJECT NUMBER: JSP24-25

I" = 20' PROJECT ID: DET-240225

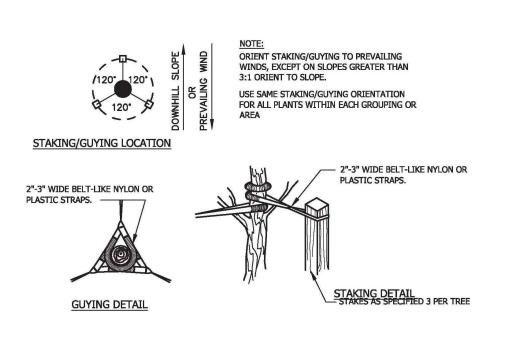
LANDSCAPING PLAN

DRAWING:

**C-8** 

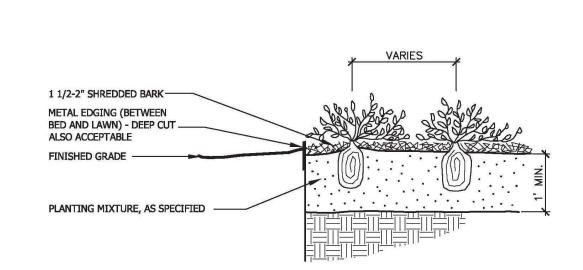
# EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



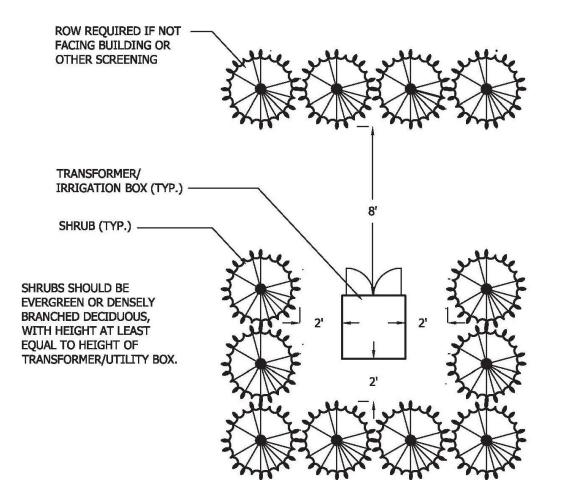
# TREE STAKING DETAIL

NOT TO SCALE

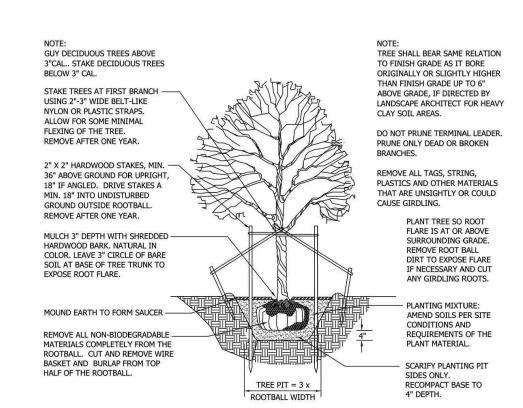


# GROUND COVER/PERENNIAL/ANNUAL

PLANTING DETAIL

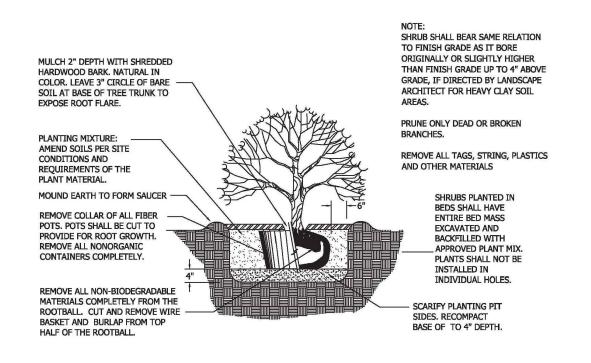


TRANSFORMER SCREENING DETAIL



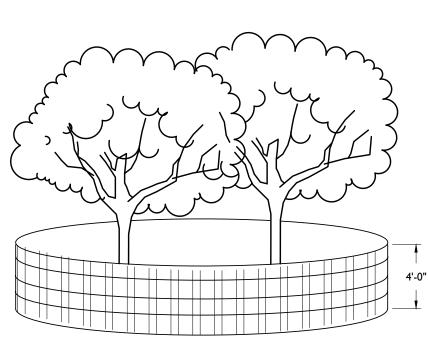
# **DECIDUOUS TREE PLANTING DETAIL**

**NOT TO SCALE** 



# DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



- . SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED. DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
- SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY. IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE

AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

# TREE PROTECTION DETAIL

NOT TO SCALE

# CITY OF NOVI GENERAL NOTES

I. ALL PLANT MATERIALS ARE TO BE INSTALLED IN A SOUND, WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE **CURRENT CITY OF NOVI PLANTING REQUIREMENTS** 

2. ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH.

PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT AAN STANDARDS FOR NURSERY STOCK. THEY SHALL BE PLANTED ACCORDING TO THE CITY OF NOVI PLANTING DETAILS AND SPECIFICATIONS. THE CITY SHALL HAVE THE RIGHT TO INSPECT THE PLANT MATERIALS PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED TO NOT MEET THE STANDARDS OF THE ZONING ORDINANCE.

4. ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PARK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B). 5. ANY DECIDUOUS CANOPY TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "V" CROTCHES SHALL

ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN THREE (3) MONTHS OR THE NEXT APPROPRIATE PLANTING PERIOD AS DETERMINED BY THE CITY OF NOVI. 8. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION,

7. ALL PLANT MATERIAL SHALL BE WARRANTIED FOR TWO (2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY OF NOVI.

**GENERAL LANDSCAPING NOTES:** 

I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND

INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY. 2. Work must be carried out only during weather conditions favorable to landscape construction and to THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE

PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL. 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE

SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.

4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.

5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE. SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL

6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

## PROTECTION OF EXISTING VEGETATION NOTES:

I. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE

CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED ? IN ORDER TO AVOID DAMAGE TO ROOTS BARK OR LOWER BRANCHES NO VEHICLE FOLIPMENT DEBRIS OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES,

AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS: TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN. THE TREE ROOTS SHALL NOT BE CUT. BUT THE

TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED. CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY FARTH FILL IS PLACED. NEW FARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED. A DRY LAID TREE WELL SHALL BE CONSTRUCTED.

IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL." LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

#### **SOIL PREPARATION AND MULCH NOTES:**

I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS

2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS

 MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM. • MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM

UP TO 30% OF THE TOTAL MIX. . TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL

MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.

5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROIECT SITE. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF

TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS. . UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE. 3. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE

REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN. 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE II. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL

SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.

12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING. 13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILLING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILLING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILLING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.

14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.

# 15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.

• DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION. MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND

MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE. SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.

FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL

APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION. OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL

DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

# • FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.

• TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

# CITY OF NOVI GENERAL NOTES

9. ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION. 10. ALL TREE WRAP, STAKES, AND GUYS MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.

II. ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN. 12. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.

13. PLANT MATERIALS, EXCEPT SOD, GROUND COVERS, AND CREEPING VINE TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE. 14. ALL TRANSFORMERS ARE TO BE SCREENED IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND SO AS TO NOT CONFLICT WITH DTE RESTRICTIONS. (SEE DETAIL THIS SHEET).

15. THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD. 16. THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE

CITY ORDINANCES 17. A MINIMUM OF ONE CULTIVATION IN JUNE, JULY, AND AUGUST DURING THE (2) TWO YEAR WARRANTY PERIOD SHALL OCCUR.

**PLANT QUALITY AND HANDLING NOTES:** 

REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER

**COMMON NAMES** 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.

ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.

4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (I-I/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE

5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.

6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY,

VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. . ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL

PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED 8. PLANTS TRANSPORTED TO THE PROIECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INIURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING

PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED, SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE. 9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF

10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED woodchips. Proper irrigation shall be supplied so as to not allow the root ball to dry out. Plantings SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.

II. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL. 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED. 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED. THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO

RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT. 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.

15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS PLANTS (MARCH 15 - NOVEMBER 15)

LAWNS (MARCH 15 - IUNE 15 OR SEPTEMBER 1 - DECEMBER 1) 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):

ABIES CONCOLOR CORNUS VARIETIES OSTRYA VIRGINIANA ACER BUERGERIANUM CRATAEGUS VARIETIES PINUS NIGRA ACER FREEMANII CUPRESSOCYPARIS LEYLANDII PLATANUS VARIETIES POPULUS VARIETIES ACER RUBRUM FAGUS VARIETIES **ACER SACCHARINUM** PRUNUS VARIETIES HALESIA VARIETIES BETULA VARIETIES ILEX X FOSTERII PYRUS VARIETIES QUERCUS VARIETIES (NOT Q. PALUSTRIS) CARPINUS VARIETIES ILEX NELLIE STEVENS SALIX WEEPING VARIETIES CEDRUS DEODARA ILEX OPACA CELTIS VARIETIES **IUNIPERUS VIRGINIANA** SORBUS VARIETIES CERCIDIPHYLLUM VARIETIES KOELREUTERIA PANICULATA TAXODIUM VARIETIES **CERCIS CANADENSIS** LIQUIDAMBAR VARIETIES TAXUX B REPANDENS TILIA TOMENTOSA VARIETIES CORNUS VARIETIES LIRIODENDRON VARIETIES CRATAEGUS VARIETIES MALUS IN LEAF ULMUS PARVIFOLIA VARIETIES

NYSSA SYLVATICA ZELKOVA VARIETIES 17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER AND CITY LANDSCAPE ARCHITECT PRIOR TO ORDERING AND INSTALLATION. 18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY

STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED. 19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.

20. PLANT MATERIAL MUST BE GUARANTEED FOR A PERIOD OF 2 YEARS DURING THE MAINTENANCE PERIOD AND SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED

MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY FROSION OR

OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION 22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3)

OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS. AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO

CLEAR THEM FROM MOWING DEBRIS. . GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND

24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.

25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROIECT LOCATION. THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER. 26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT

INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

# PLANT MATERIAL GUARANTEE NOTES

. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS (2 YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S

2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART,

VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER. 4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

# LAWN (SEED OR SOD) NOTES:

SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS. 2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND

WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION." 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD. 4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS

PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY

5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT. SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

# **CITY OF NOVI NONLIVING DURABLE MATERIAL NOTES:**

PURPOSES. COMPOST MAY BE USED AS AN ALTERNATIVE.

10. PLASTIC OR OTHER ARTIFICIAL REPLICAS OF PLANT MATERIAL ARE PROHIBITED.

# NONLIVING DURABLE MATERIAL

I. MULCH FOR ALL PLANTINGS SHALL BE PREMIUM SHREDDED HARDWOOD AND SHALL NOT BE ARTIFICIALLY COLORED. NO CYPRESS WOOD MULCH OR RUBBER MULCH IS TO BE USED. 2. TREES SHALL BE MULCHED TO A 3 INCHES OVERALL DEPTH AT PLANTING.

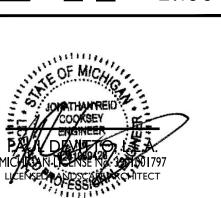
3. SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE MULCHED TO A 2 INCHES OVERALL DEPTH AT PLANTING. 4. ALL LAWN TREES SHALL BE PLANTED WITH A 4 FOOT DIAMETER CIRCLE OF THE SHREDDED HARDWOOD BARK MULCH.

5. MULCH SHALL BE PULLED BACK 3 INCHES FROM THE TREE TRUNK IN A CIRCLE DOWN TO THE ROOT BALL DIRT TO EXPOSE THE ROOT COLLAR TO AIR. NO "VOLCANO" MULCHING IS ALLOWED AT PLANTING OR IN FUTURE APPLICATIONS OF MULCH. 6. IF A ROOTBALL'S DIRT IS PILED UP ON THE TRUNK, IT SHOULD BE REMOVED TO EXPOSE THE ROOT FLARE.

7. FOR FIRE SAFETY, SHREDDED HARDWOOD BARK IS NOT TO BE INSTALLED ADIACENT TO OR WITHIN 4 FEET OF BUILDINGS THAT ARE CONSTRUCTED OF COMBUSTIBLE MATERIALS. PLANTINGS ADIACENT TO COMBUSTIBLE BUILDINGS SHALL BE MULCHED WITH A NON-COMBUSTIBLE MATERIAL TYPICALLY MARKETED AS LANDSCAPE MULCH. THE COLOR OF SUCH MATERIALS SHALL BE NATURAL AND COMPATIBLE WITH THE BUILDING.

8. GRAVEL TYPE MULCHES ARE NOT PERMITTED WITHIN OR IMMEDIATELY ADJACENT TO PAVED PARKING LOTS OR ROADWAYS. APPROVAL OF TYPE, DEPTH AND SPECIFIC LOCATION FOR GRAVEL MULCH IS TO BE APPROVED BY THE CITY. 9. SPHAGNUM PEAT/BOG PEAT IS HARVESTED FROM FUNCTIONING WETLANDS SO IT SHALL NOT BE USED FOR LANDSCAPE

NOT APPROVED FOR CONSTRUCTION





**CITY PROJECT NUMBER: JSP24-25** 

SCALE: AS SHOWN PROJECT ID: DET-240225

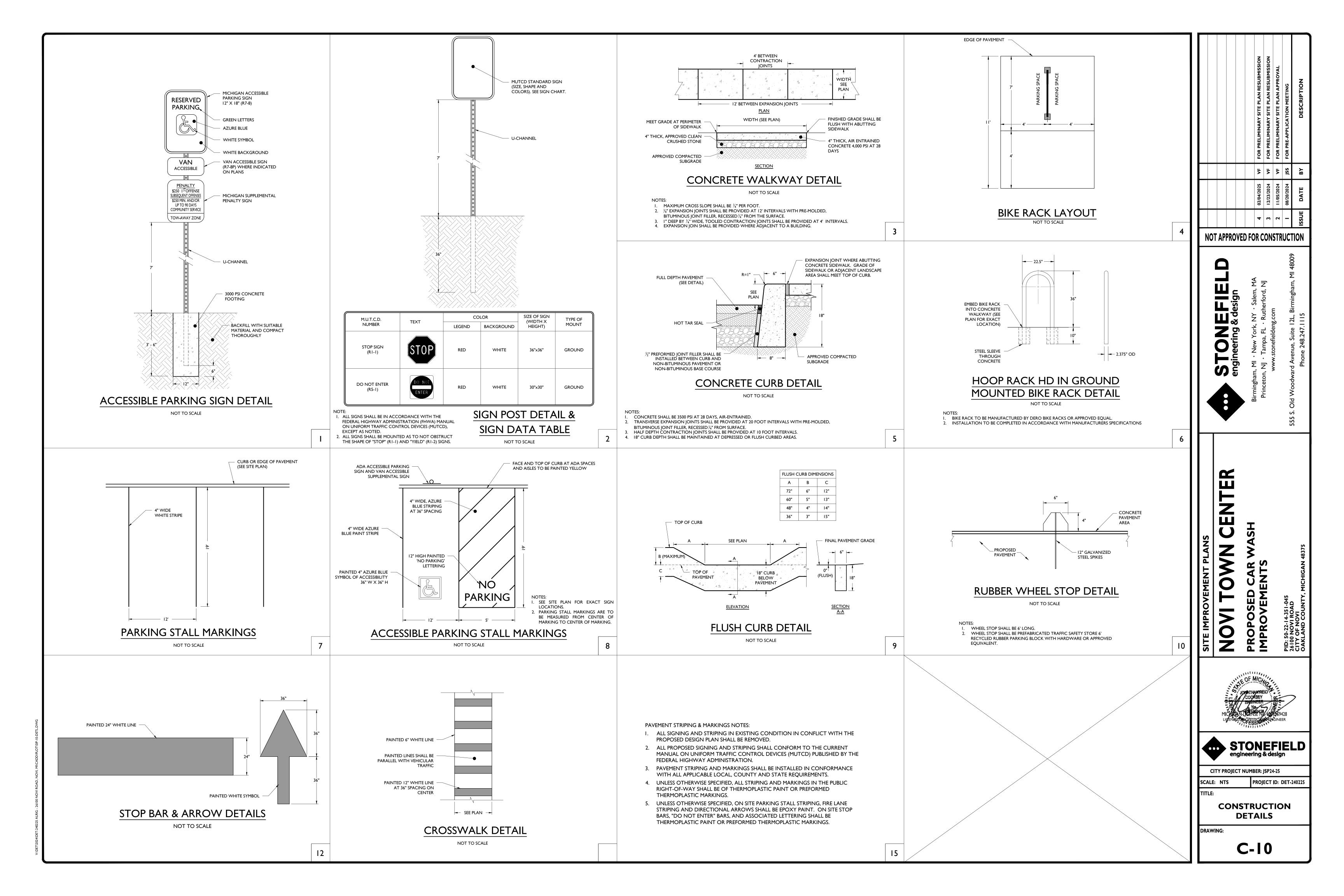
LANDSCAPING DETAILS

DRAWING:

3. ALL PLANT MATERIALS ARE TO BE NORTHERN NURSERY GROWN NO.I GRADE AND INSTALLED ACCORDING TO ACCEPTED

SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES. 6. MULCH SHALL BE NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK FOR ALL PLANTINGS. 3" THICK FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 2-3" THICK FOR SHRUBS AND SHRUB BEDS AND 2" THICK

WEED CONTROL AND SOIL ENRICHMENTS AS MAY BE NECESSARY



PARKING STRIPES ARE FADED AND IN POOR CONDITION. UNABLE TO DETERMINE PARKING COUNT AT TIME OF SURVEY.

 $23.359\pm$  SQUARE FEET =  $0.54\pm$  ACRES

BASIS OF BEARING

NORTH 00°00'00" EAST, BEING THE WESTERLY LINE OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, AS DESCRIBED

FLOOD NOTE

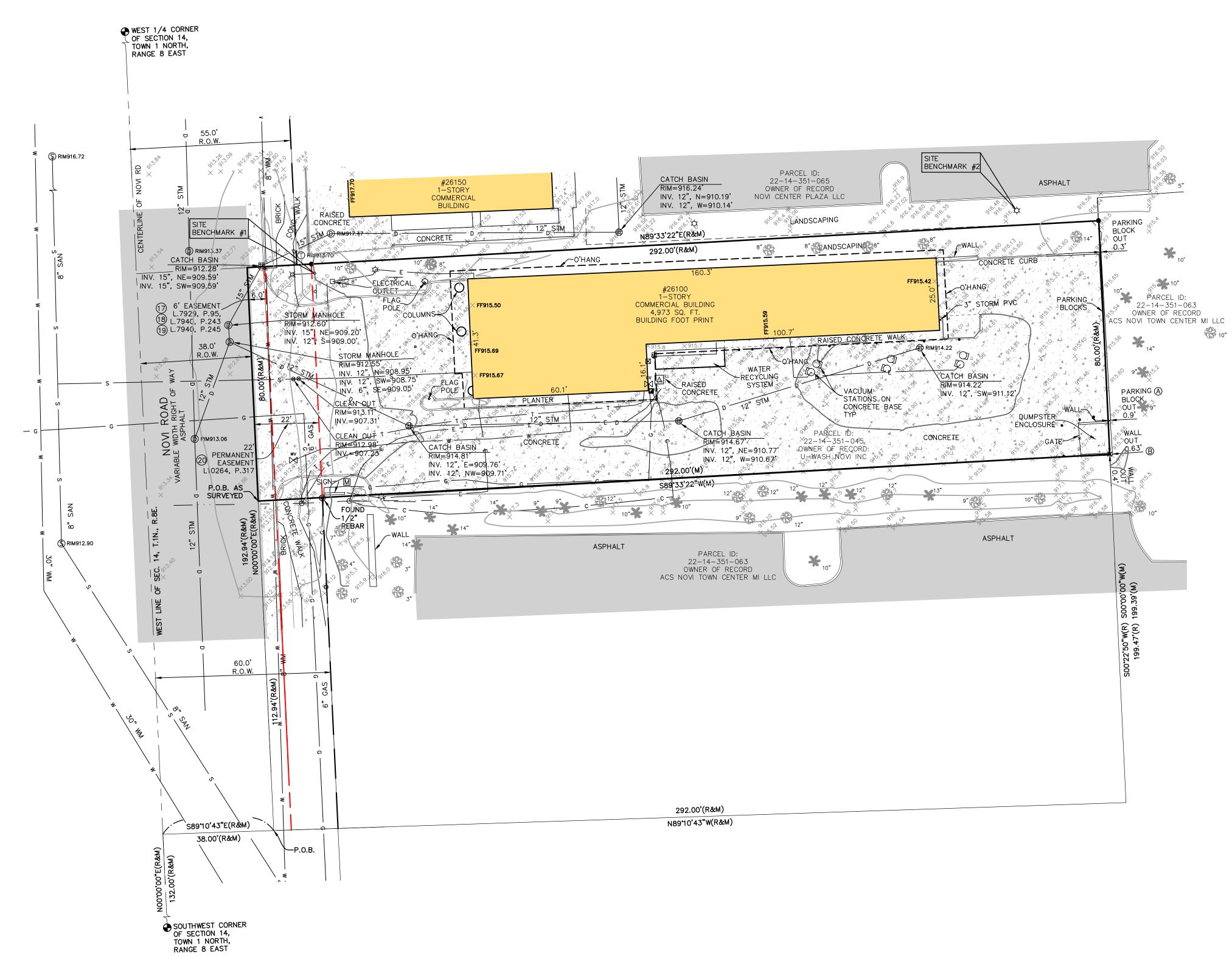
SUBJECT PARCEL LIES WITHIN:

OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0626F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

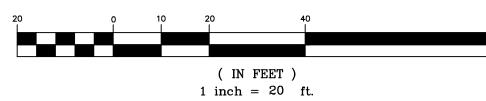
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ASPHALT





GRAPHIC SCALE



# **BENCHMARK**

SITE BENCHMARK #1 CUT "X" IN LIGHT POLE BASE NEAR NORTHWEST CORNER OF SITE. ELEVATION = 915.85' (NAVD 88)

# SITE BENCHMARK #2

CUT "X" IN LIGHT POLE BASE NEAR 25'± WEST OF NORTHEAST CORNER OF ELEVATION = 918.08' (NAVD 88)

# PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

NORTH 80 FEET OF THE FOLLOWING DESCRIBED LAND:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 192.94 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 199.47 FEET; THENCE NORTH 89 DEGREES 10 MINUTES 43 SECONDS WEST 292.00 FEET TO THE POINT OF

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# TITLE REPORT NOTE

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17. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7929, PAGE 95. (AS

18. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 243. (AS SHOWN)

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20. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN LIBER 10264, PAGE 317. (AS SHOWN)

# SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

3. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

4. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

5. THE UTILITIES APPEAR TO ENTER THE PROPERTY FROM NOVI ROAD PUBLIC RIGHT OF WAY

6. POSSIBLE ENCROACHMENT: A) PARKING BLOCK ON EAST SIDE OF SITE B) WALL ON EAST SIDE OF SITE

# SURVEYOR'S CERTIFICATION

TO NATIONAL EXPRESS WASH II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE, TITLE CONNECT LLC,:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B1, 7C 8, 9, 11A, 16 AND 17 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 10/14/24.

DATE OF PLAT OR MAP: 10/17/24

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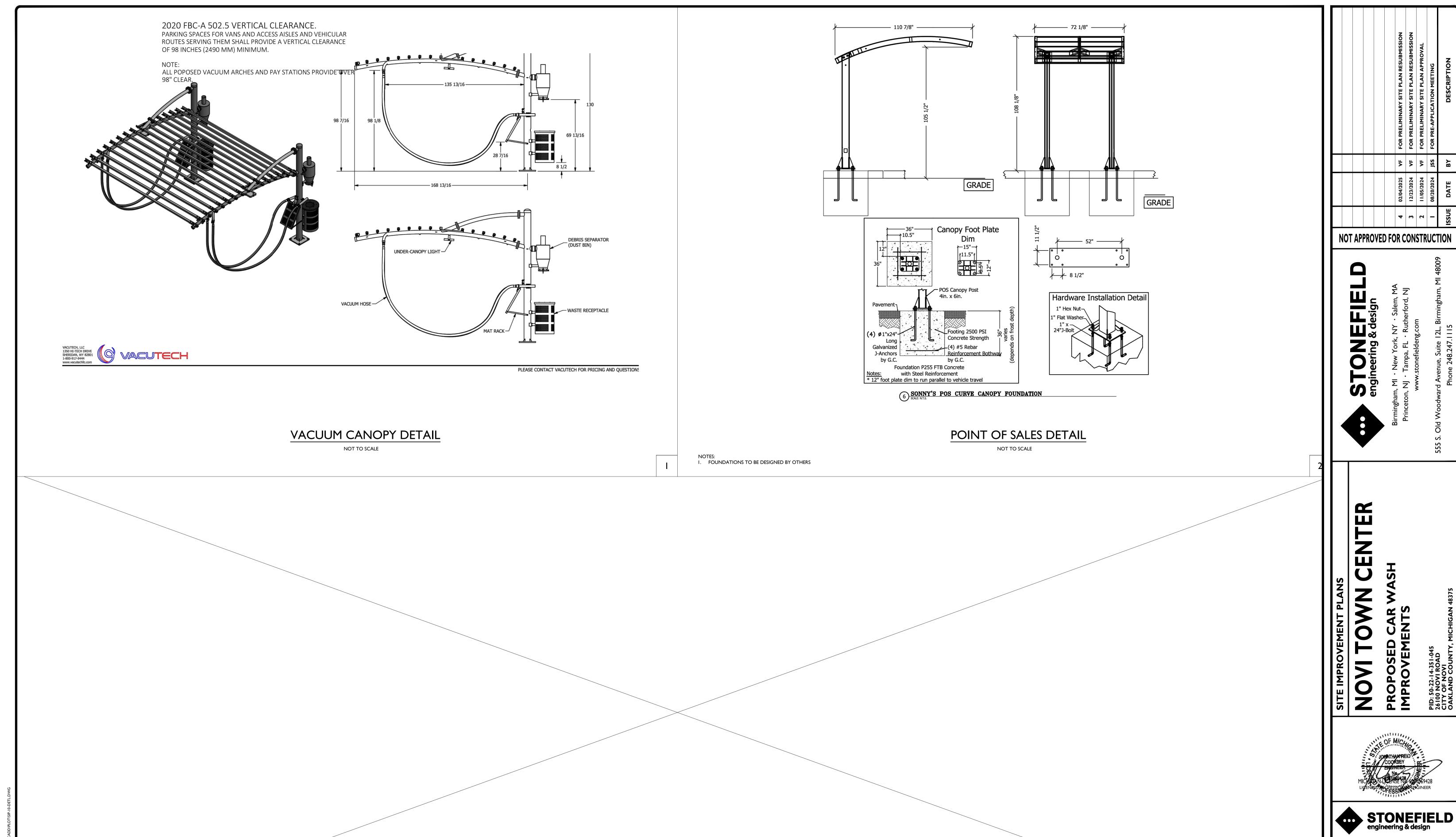
ANTHONY T. SYCKO, JR., P.S. PROFESSIONAL SURVEYOR MICHIGAN LICENSE NO. 47976 22556 GRATIOT AVE., EASTPOINTE, MI 48021 TSycko@kemtec-survey.com

1 OF 1 SHEETS

PROFES SURVE SERVIC Ann Arb (734) 994.0

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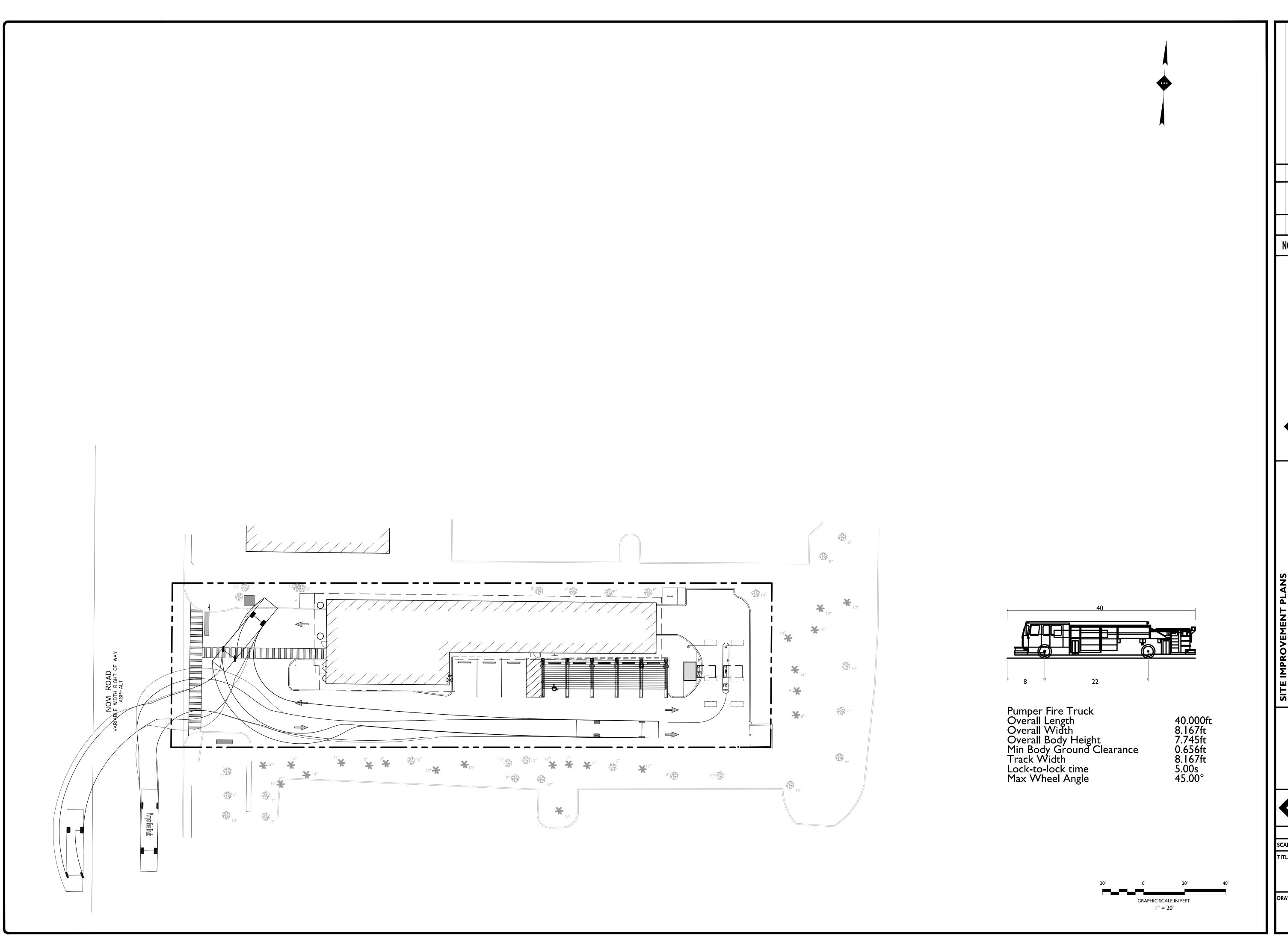
PROJECT ID: DET-240225

CONSTRUCTION DETAILS

**CITY PROJECT NUMBER: JSP24-25** 

DRAWING:

C-II



NOT APPROVED FOR CONSTRUCTION

**TOWN CENTER** 





CITY PROJECT NUMBER: JSP24-25

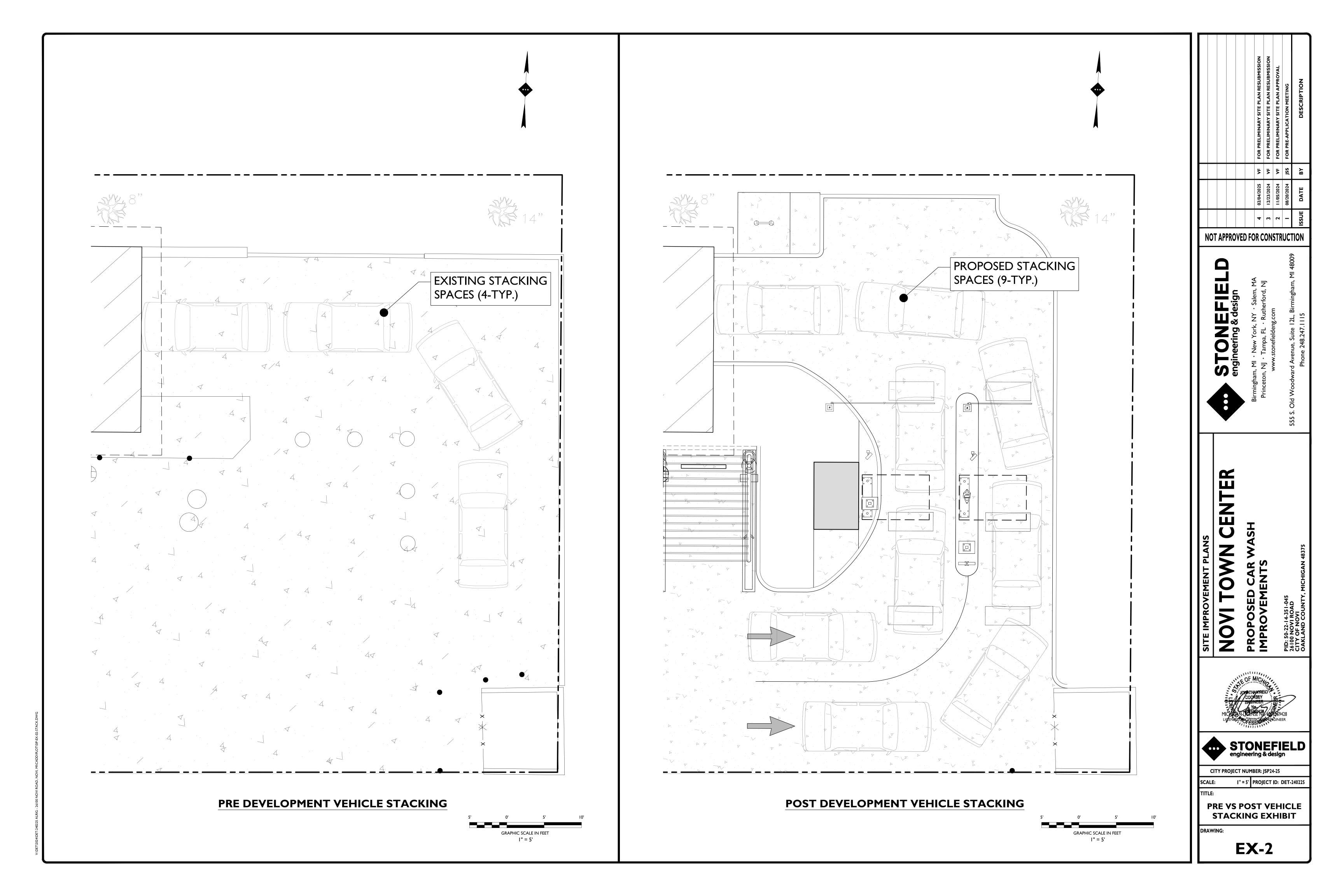
I" = 20' PROJECT ID: DET-240225

**FIRE TRUCK CIRCULATION** 

**EXHIBIT** 

DRAWING:

EX-I



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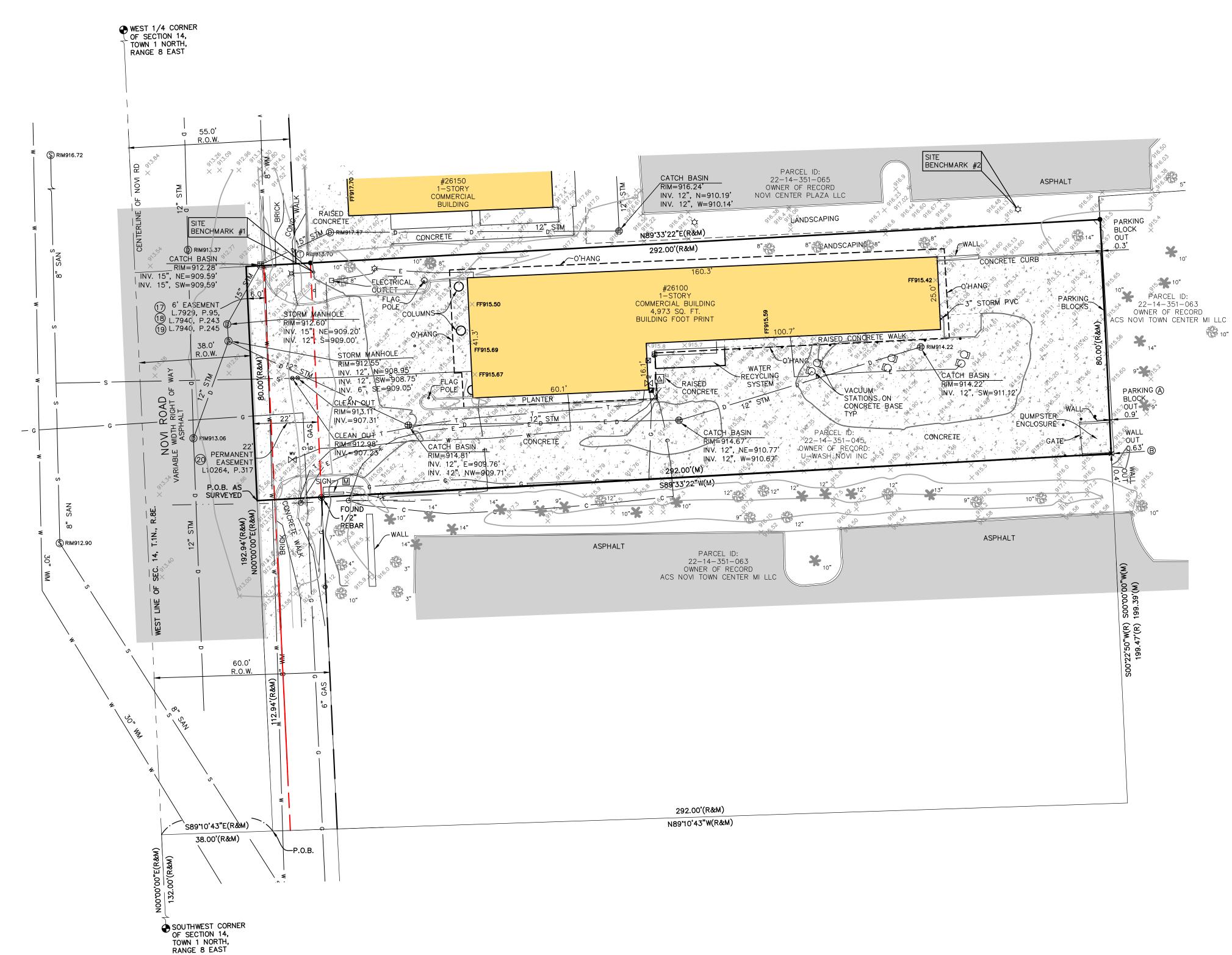
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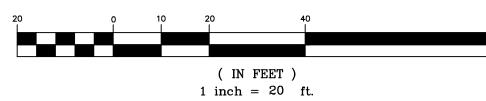
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GRAPHIC SCALE



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20. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN LIBER 10264, PAGE 317. (AS SHOWN)

# SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

3. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

4. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

5. THE UTILITIES APPEAR TO ENTER THE PROPERTY FROM NOVI ROAD PUBLIC RIGHT OF WAY

6. POSSIBLE ENCROACHMENT: A) PARKING BLOCK ON EAST SIDE OF SITE B) WALL ON EAST SIDE OF SITE

# SURVEYOR'S CERTIFICATION

TO NATIONAL EXPRESS WASH II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE, TITLE CONNECT LLC,:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B1, 7C 8, 9, 11A, 16 AND 17 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 10/14/24.

DATE OF PLAT OR MAP: 10/17/24

C:\Users\tsycko\Desktop\Seal2-Only.jpg C:\Users\tsycko\Desktop\Signature-Only.jpg

ANTHONY T. SYCKO, JR., P.S. PROFESSIONAL SURVEYOR MICHIGAN LICENSE NO. 47976 22556 GRATIOT AVE., EASTPOINTE, MI 48021 TSycko@kemtec-survey.com

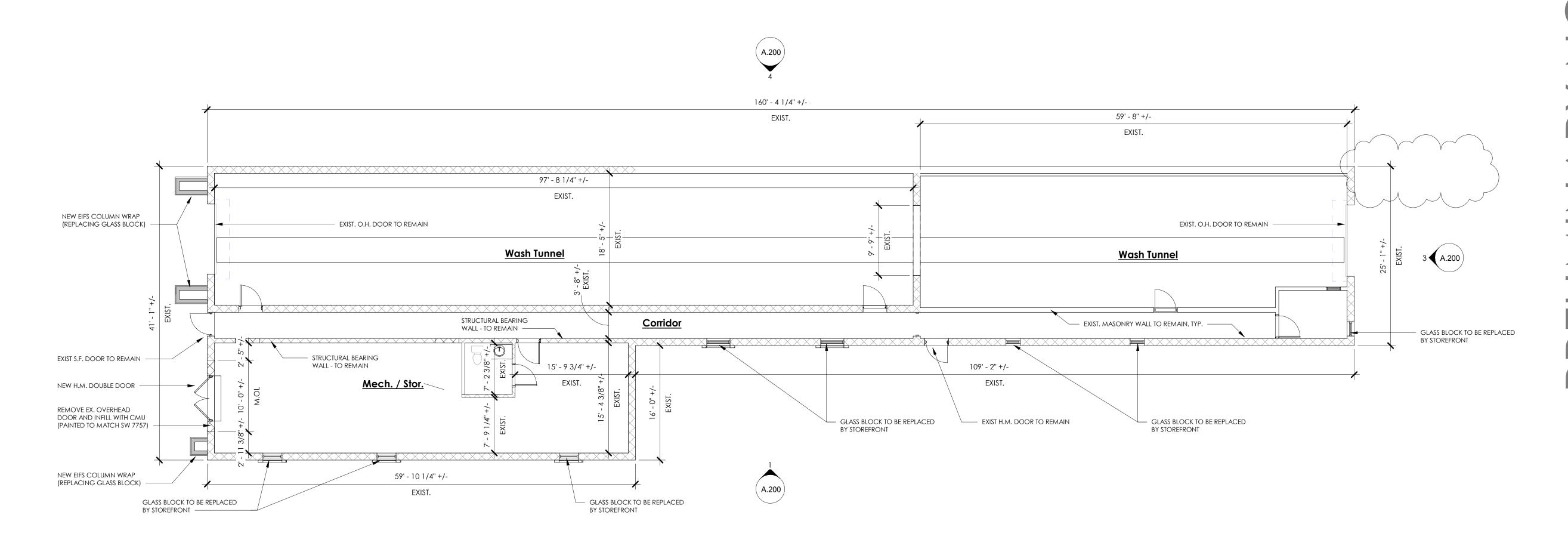
1 OF 1 SHEETS

PROFES SURVE SERVIC Ann Arb (734) 994.0

D TITLE SURI ALRIG USA NOVI, MICHIGAN, STION 14, ANGE 8 EAST

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	REVISED WATELINE & ADD TREES	REVISED TITLE WORK	ADD ADDITIONAL UTILITY INFORMATION	DESCRIPTION	
	OP	ATS	OP	ВҮ	
	8-24	25–24	3-24	4 TE	



krieger klatt

ARCHITECTS

architecture interiors consulting 400 E. Lincoln Ave. Suite A | Royal Oak, MI 48067 P: 248.414.9270 www.kriegerklatt.com

Client:

El Car Wash MI Novi II, LLC 30200 Telegraph Rd, Suite 205 Bingham Farms, MI 48025

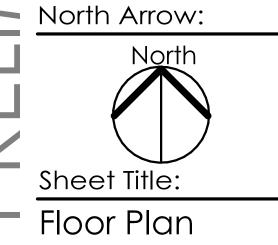
Project:

Novi 12 Oaks - Ext. Renovation 26100 Novi Rd. Novi, MI 48375

	Issued Description		Ву
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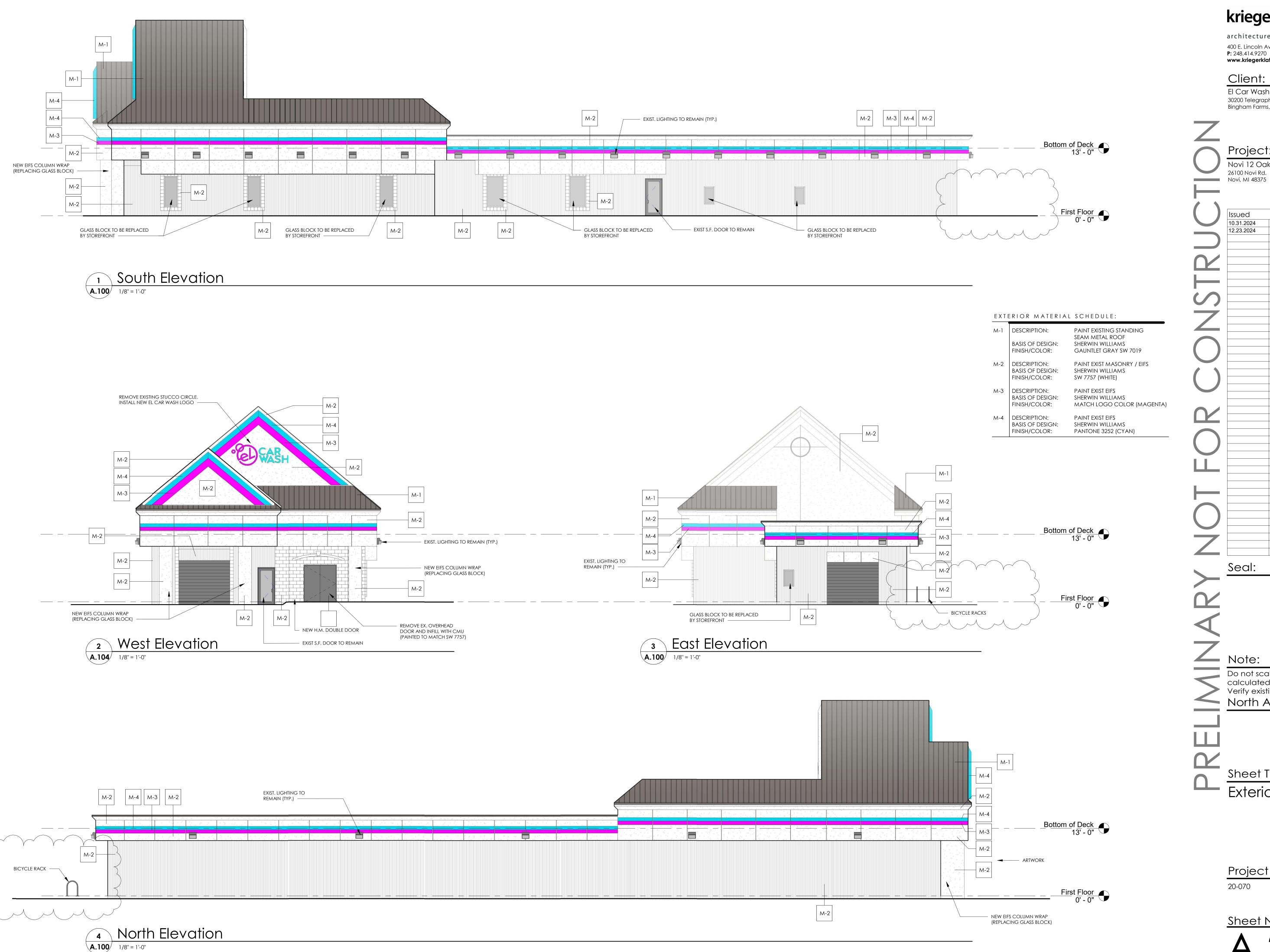
Note: Do not scale drawings. Use calculated dimensions only.

Verify existing conditions in field.



Project Number:

**Sheet Number:** 



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Client:

El Car Wash MI Novi II, LLC 30200 Telegraph Rd, Suite 205 Bingham Farms, MI 48025

Project:

Novi 12 Oaks - Ext. Renovation 26100 Novi Rd.



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field. North Arrow:

Sheet Title:

Project Number:

20-070

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