



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

MEETING DATE: April 8, 2025

REGARDING: 26100 Novi Road #50-22-14-351-045 (PZ25-0009)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

El Car Wash II

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned Town Center (TC)

Location: on Novi Road, north of Grand River Avenue

Parcel #: 50-22-14-351-045

Request

The applicant is requesting variances from City of Novi Zoning Ordinance Section 3.1.25.D to allow an 8 ft parallel parking space within the required 20 ft parking setback on the north side; Section 5.3.11.D to omit the requirement of a bypass lane; Section 5.3.11.I for a reduction of vehicle stacking spaces before the tunnel to 9 (25 spaces required, variance of 14).

II. STAFF COMMENTS:

The applicant, El Car Wash, is seeking (3) variances in the improvement of an existing car wash facility on Novi Road.

- 1) Provide parallel parking in 20' setback*
- 2) Omit bypass lane*
- 3) Reduce the stack line before the tunnel to (9) vehicles – a (14) vehicle variance.*

The site is constrained by existing conditions.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ25-0009**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ25-0009** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
 www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

RECEIVED

FEB 25 2025

CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: \$330.00 Meeting Date: 4-8-25 ZBA Case #: PZ 25-0009	
PROJECT NAME / SUBDIVISION El Car Wash Novi 12 Oaks					
ADDRESS 26100 Novi Road				LOT/SIUTE/SPACE #	
SIDWELL # 50-22- 14 - 351 - 045		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY Grand River Ave. & Novi HOad					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS sbarrett@alrigusa.com		CELL PHONE NO.	
NAME Steven Barrett				TELEPHONE NO. 248-983-5429	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS 30200 Telegraph Road		CITY Bingham Farms		STATE MI	ZIP CODE 48025
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS justin@elcarwash.com		CELL PHONE NO. 917-680-5575	
NAME Justin Landau				TELEPHONE NO.	
ORGANIZATION/COMPANY El Car Wash MI Novi II, LLC				FAX NO.	
ADDRESS 2753 NW 87th Ave		CITY Doral		STATE FL	ZIP CODE 33172
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input checked="" type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>5.3.11.B</u> Variance requested		<u>Parallel parking within 20' parking setback</u>			
2. Section <u>5.3.11.D</u> Variance requested		<u>Lack of bypass lane</u>			
3. Section <u>5.3.11.I</u> Variance requested		<u>Shortage of vehicle stacking prior to the tunnel entrance</u>			
4. Section _____ Variance requested		_____			
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable 			<ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 		



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Steven Barrett

Applicant Signature

02/24/2025

Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

[Signature]

Property Owner Signature

02/24/2025

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Standard #3. Strict Compliance.

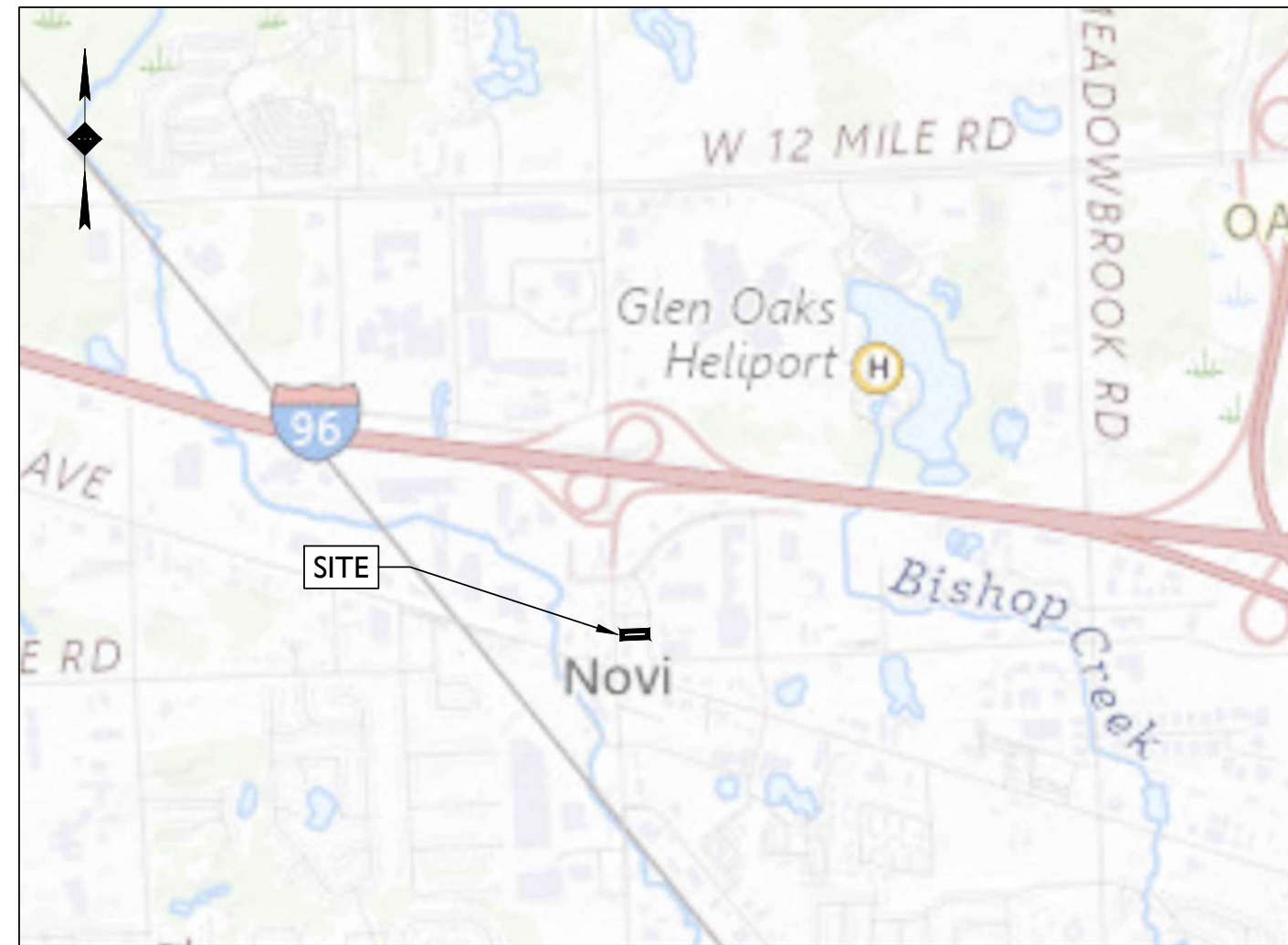
Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.



SOURCE: USGS ONLINE MAPS

LOCATION MAP

SCALE: 1" = 2,000'±

SITE IMPROVEMENT PLANS FOR NOVI TOWN CENTER PROPOSED CAR WASH IMPROVEMENTS

PARCEL ID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN 48375

APPLICANT

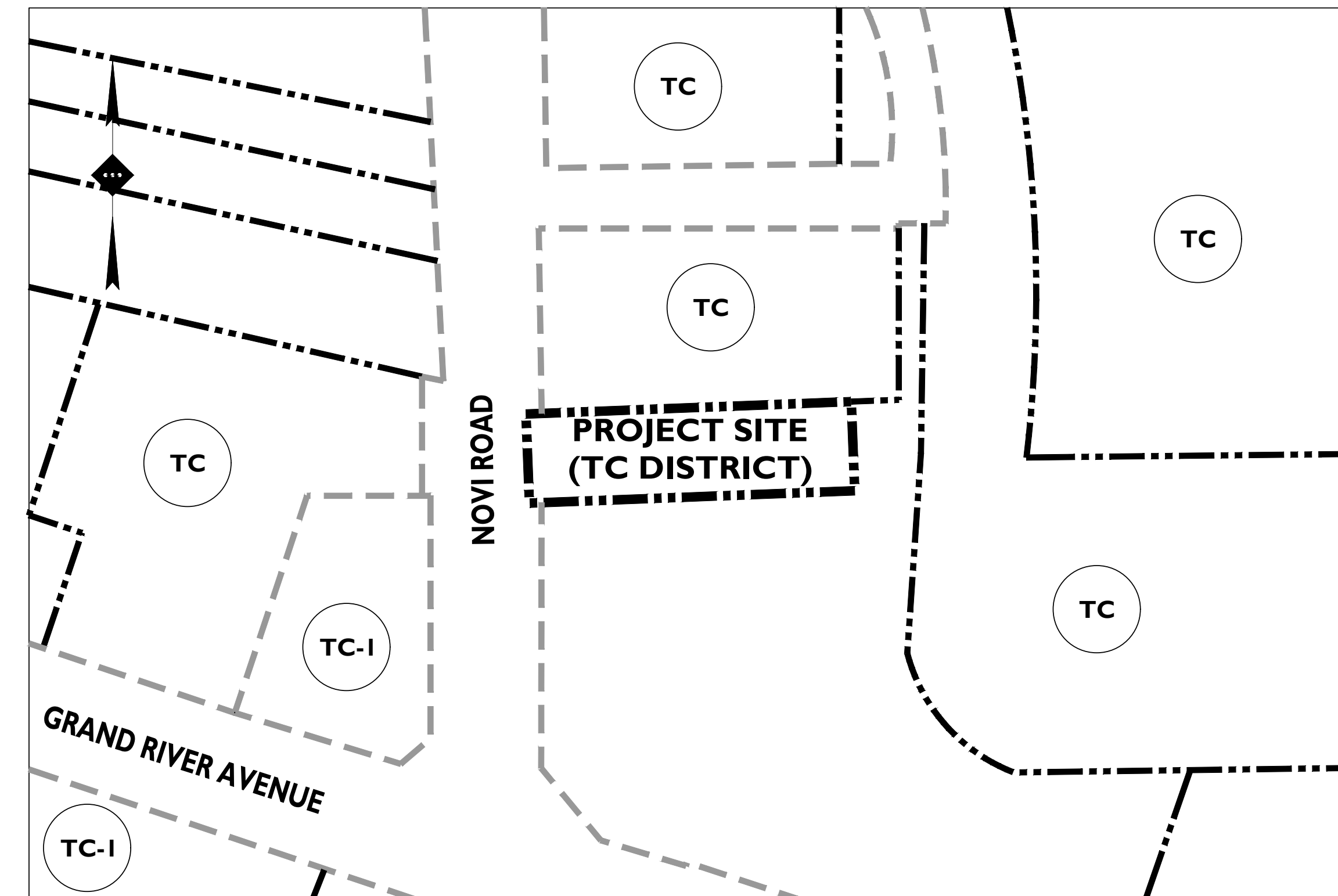
EL CAR WASH NOVI II LLC
30200 TELEGRAPH ROAD
BINGHAM FARMS, MI 48025
248.646.999
SBARRETT@ALRIGUSA.COM



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 100'±



SOURCE: OAKLAND COUNTY GIS & CITY OF NOVI ZONING MAP

ZONING MAP

SCALE: 1" = 100'±

PLANS PREPARED BY:



Know what's below
Call before you dig.



Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefieldeng.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA/NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC DATED 07/12/2022
 - ARCHITECTURAL PLANS PREPARED BY KRIEGER KLATT ARCHITECTS DATED 10/31/2024
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION PLAN	C-2
SITE PLAN	C-3
GRADING & DRAINAGE PLAN	C-4
PRE VS POST CONSTRUCTION CONDITIONS	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
LANDSCAPING PLAN	C-8
LANDSCAPING DETAILS	C-9
CONSTRUCTION DETAILS	C-10 & C-11
FIRE TRUCK CIRCULATION EXHIBIT	EX-1
PRE VS POST VEHICLE STACKING EXHIBIT	EX-2

ADDITIONAL SHEET INDEX

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	1 OF 1

SITE IMPROVEMENT PLANS

**NOVI TOWN CENTER
PROPOSED CAR WASH
IMPROVEMENTS**

PARCEL ID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



CITY PROJECT NUMBER: JSP24-25
SCALE: AS SHOWN PROJECT ID: DET-240225

TITLE:
COVER SHEET

DRAWING:
C-1

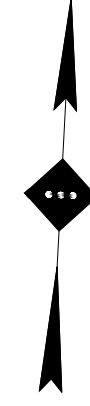
NOT APPROVED FOR CONSTRUCTION



Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefieldeng.com
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

ISSUE	DATE	BY	DESCRIPTION
1	08/22/2024	JSS	FOR PRE-APPLICATION MEETING
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION

NOVI TOWN CENTER, 26100 NOVI ROAD, NOVI, MI 48009



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
	CONCRETE PAVEMENT TO BE REPAIRED / REPLACED AS NEEDED
---	PROPOSED TREE PROTECTION FENCE

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Birmingham, MI · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Rutherford, NJ
www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

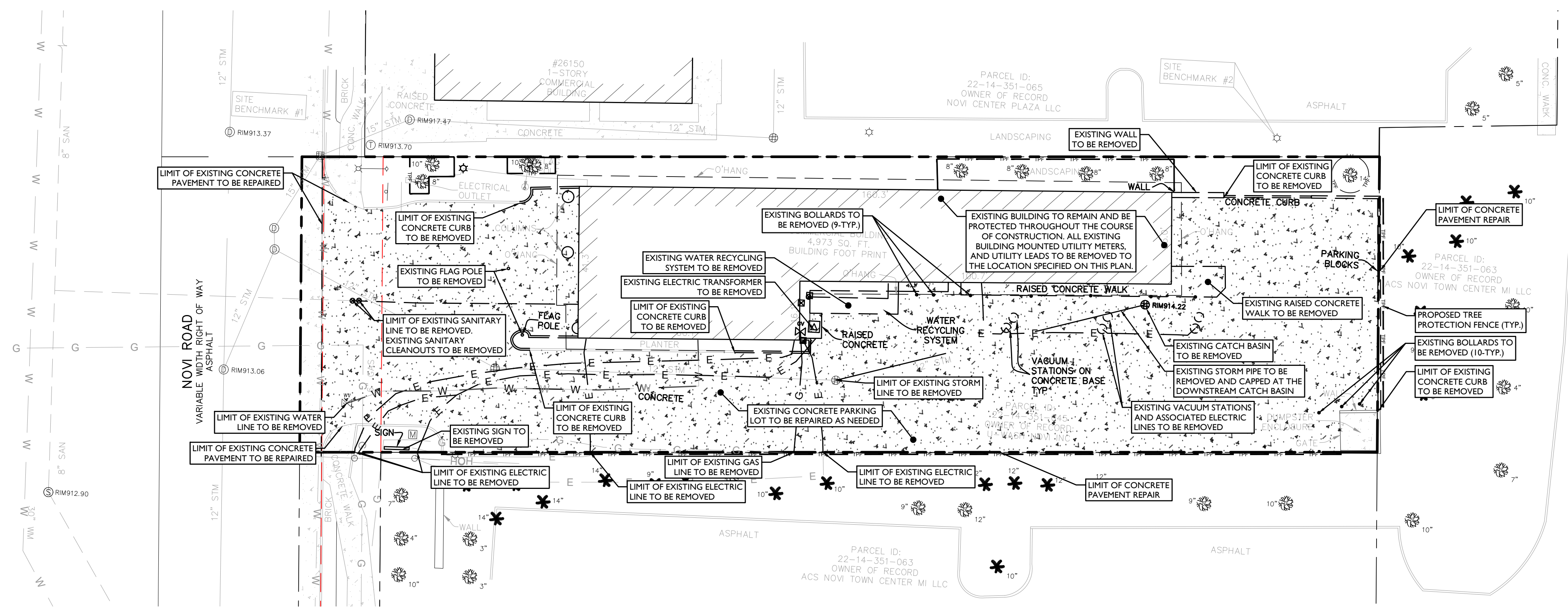
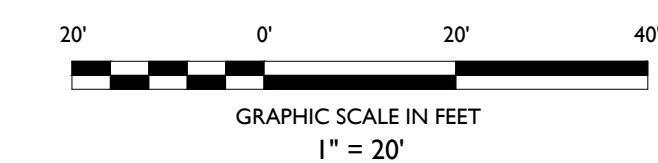
ALL SITE FEATURES WITHIN THIS PLAN ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS REMOVED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



SITE IMPROVEMENT PLANS
NOVI TOWN CENTER
PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



STONEFIELD
engineering & design

CITY PROJECT NUMBER: J5P24-25
SCALE: 1" = 20' PROJECT ID: DET-240225
TITLE: **DEMOLITION PLAN**
DRAWING: **C-2**

NOT FOR CONSTRUCTION. ALL RIGHTS RESERVED. 2024 NOV 14 10:58 AM. NOVI, MI. 248.247.1115. STONEFIELD ENGINEERING & DESIGN

LAND USE AND ZONING		
PID: 50-22-14-351-045		
TOWN CENTER DISTRICT (TC)		
PROPOSED USE		
AUTO WASH		
ZONING REQUIREMENT	NON-PERMITTED USE (EN)	PROPOSED
MINIMUM LOT AREA	N/A	23,358 SF (0.53 AC)
MINIMUM OPEN SPACE	15% (3,504 SF)	16.4% (3,846 SF)
MAXIMUM BUILDING HEIGHT	65 FT (5 STORIES)	< 65 FT (5 STORIES)
MINIMUM FRONT PARKING SETBACK	20 FT	32.8 FT
MINIMUM SIDE PARKING SETBACK (NORTH)	20 FT	2.0 FT (V)
MINIMUM SIDE PARKING SETBACK (SOUTH)	20 FT	0 FT (EN)
MINIMUM REAR PARKING SETBACK	10 FT	10.0 FT
MINIMUM FRONT YARD SETBACK	15 FT	75.2 FT
MINIMUM SIDE YARD SETBACK	10 FT	8.0 FT (EN)
MINIMUM REAR YARD SETBACK	10 FT	56.2 FT
FLAG POLE SETBACK	37.6 FT	60.4 FT

- (V) VARIANCE
 (EN) EXISTING NON-CONFORMITY
 (I) § 4.19(2)(b) - FLAGPOLES SHALL BE LOCATED NO CLOSER THAN HALF THE DISTANCE BETWEEN THE RIGHT OF WAY AND PRINCIPAL BUILDING.

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.2.12	AUTO WASH PARKING: 2 SPACES PLUS 1 PER EMPLOYEE (2 SPACES) + (2 EMPLOYEE)(1 SPACE/EMPLOYEE) = 4 SPACES PLUS 1 SPACE PER VACUUM (5 VACUUMS)(1 SPACE/VACUUM) = 5 SPACES TOTAL REQUIRED PARKING: 4 + 5 = 9 SPACES	4 SPACES 5 VACUUMS TOTAL SPACES: 9
§ 5.3.2	90° PARKING: 9 FT X 19 FT W/ 24 FT AISLE 0° PARKING: 8 FT X 23 FT W/ 13 FT AISLE 8 FT X 23 FT W/ 14 FT AISLE	12 FT X 19 FT W/ 24 FT AISLE 8 FT X 23 FT W/ 14 FT AISLE
§ 5.3.2(E)(H)	STACKING SPACE REQUIREMENTS: 9 FT X 19 FT W/ 18 FT BYPASS LANE	10 FT X 19 FT NOT PROVIDED (EN)
§ 5.3.11.1	AUTO WASH STACKING REQUIREMENTS: 25 VEHICLES PRIOR TO TUNNEL 3 VEHICLES AFTER TUNNEL	8 VEHICLES (EN) 3 VEHICLES
§ 5.4(2)	LOADING REQUIREMENT: 10 SF PER FRONT FT OF BUILDING (50 FT BUILDING) (10 SF/FT BUILDING) = 500 SF	TO OCCUR OFF HOURS

(EN) EXISTING NON-CONFORMITY

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 28-5.1	SIGN SETBACK: 3 FT	22.0 FT

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT	QUANTITY
		LEGEND	BACKGROUND			
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND	1
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND	1
RESERVED PARKING (R7-8)		GREEN/BLUE	WHITE	12"x18"	GROUND	1
RESERVED PARKING (R7-8P)		GREEN	WHITE	12"x6"	GROUND	1

- NOTE:
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.
 3. FHWA STANDARD ALPHABET SERIES USED FOR ALL SIGN LANGUAGE
 4. HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY.
 5. ALL SIGNS INSTALLED SHALL HAVE A BOTTOM HEIGHT OF 7 FT FROM FINAL GRADE.
 6. ALL SIGNING SHALL BE PLACED TWO (2) FEET FROM THE FACE OF THE CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR EDGE OF THE SIGN.
 7. SIGNS 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB U-CANNEL POST
 8. SIGNS GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB OR GREATER U-CANNEL POST

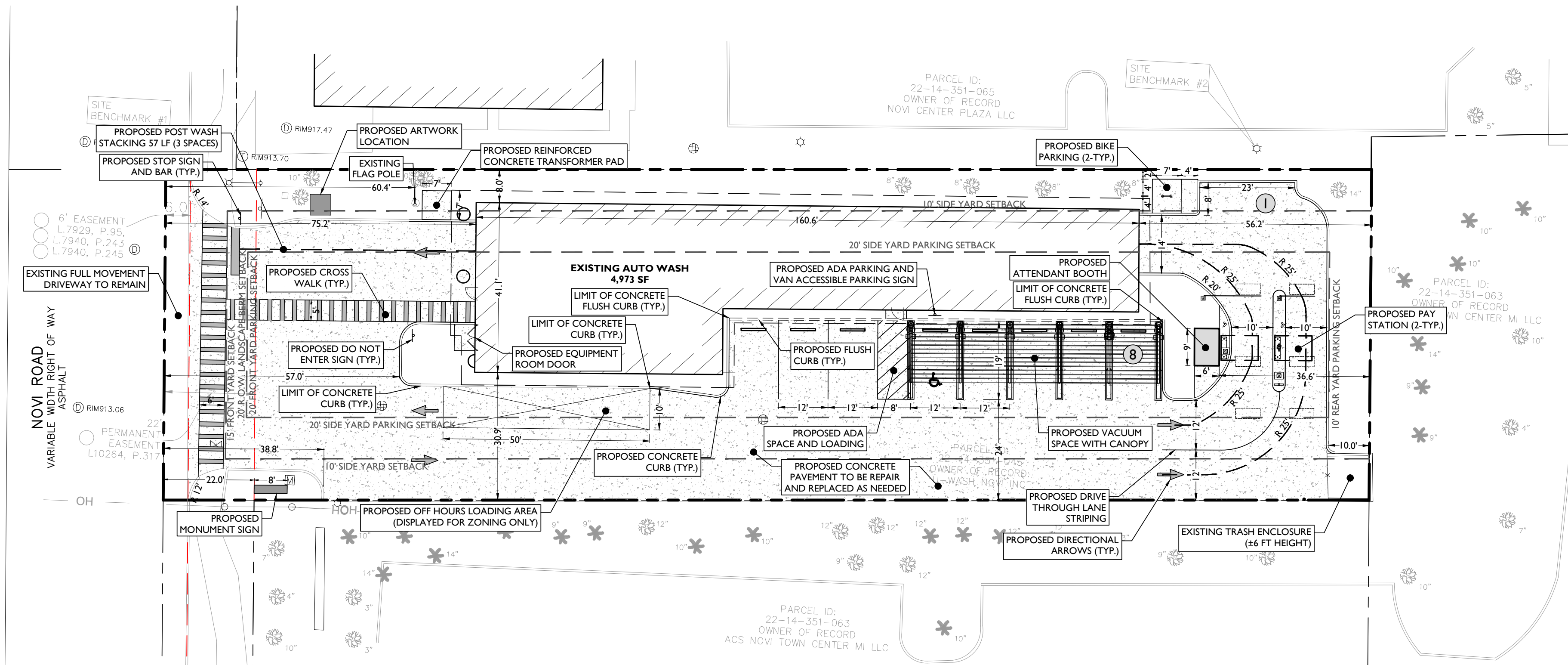
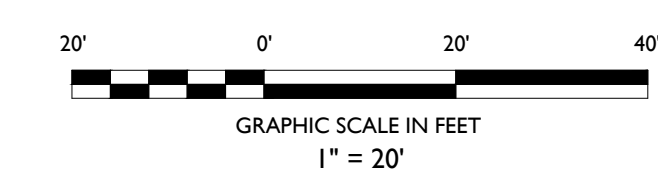
SIGN DATA TABLE

NOT TO SCALE

ALL VACUUM APPARATUS AND CANOPIES TO BE FINISHED GREY TO MATCH THE PRIMARY BUILDING

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/22/2024	JSS	FOR RE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
 engineering & design

Birmingham, MI • New York, NY • Salem, MA
 Princeton, NJ • Tampa, FL • Rutherford, NJ
 www.stonefielddesign.com

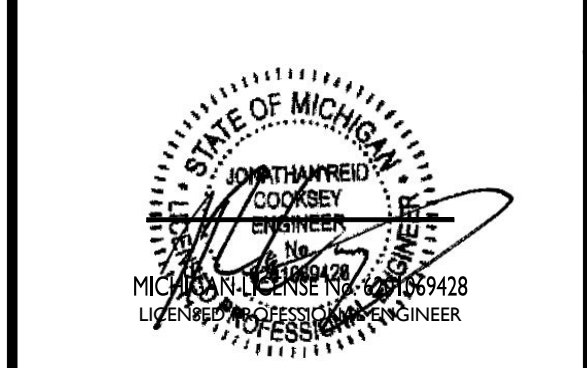
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
 Phone 248.247.1115

SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



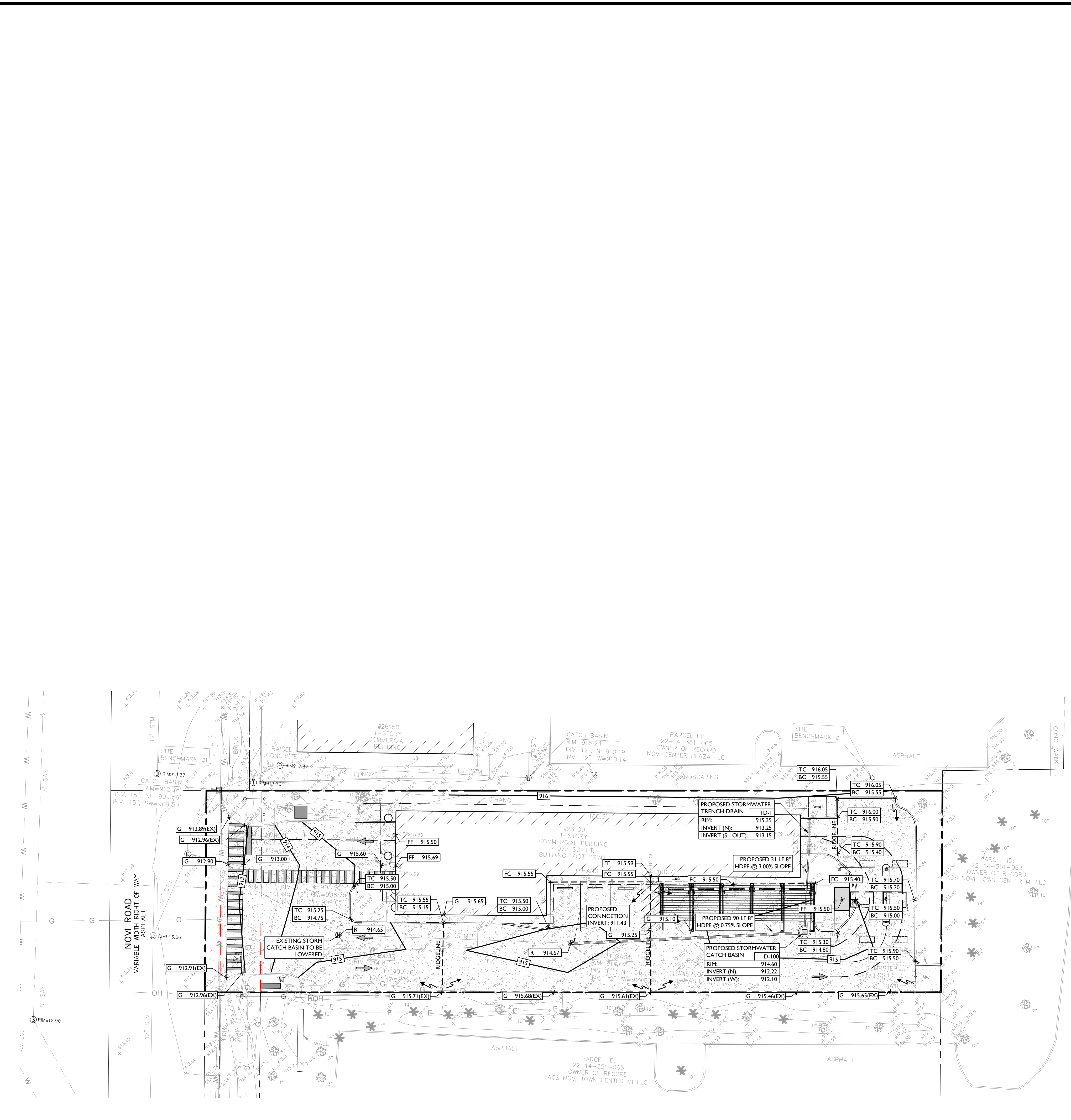
STONEFIELD
 engineering & design

CITY PROJECT NUMBER: J5P24-25
 SCALE: 1" = 20' PROJECT ID: DET-240225

TITLE:
SITE PLAN

DRAWING:
C-3

V:\PROJECTS\2024\24000\NOVI\NOVI_TOWN_CENTER_MICHIGAN\NOVI_TOWN_CENTER_MICHIGAN.dwg



DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

SYMBOL DESCRIPTION

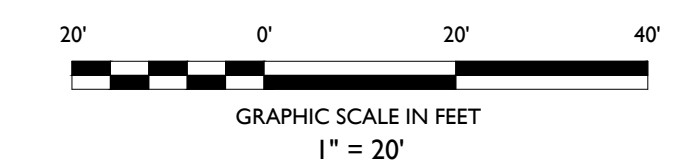
- PROPERTY LINE
- PROPOSED GRADING CONTOUR
- PROPOSED GRADING RIDGELINE
- PROPOSED DIRECTION OF DRAINAGE FLOW
- PROPOSED GRADE SPOT SHOT
- PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
- PROPOSED FLUSH CURB SPOT SHOT
- PROPOSED STORMWATER STRUCTURES
- PROPOSED STORMWATER PIPING

GRADING NOTES

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES. TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33%. IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP, CURBS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL PROVIDE A BEVEL THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



ISSUE	DATE	BY	DESCRIPTION
4	03/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
 engineering & design

Birmingham, MI · New York, NY · Salem, MA
 Princeton, NJ · Tampa, FL · Rutherford, NJ
 www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
 Phone: 248.247.1115

SITE IMPROVEMENT PLANS
NOVI TOWN CENTER
PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



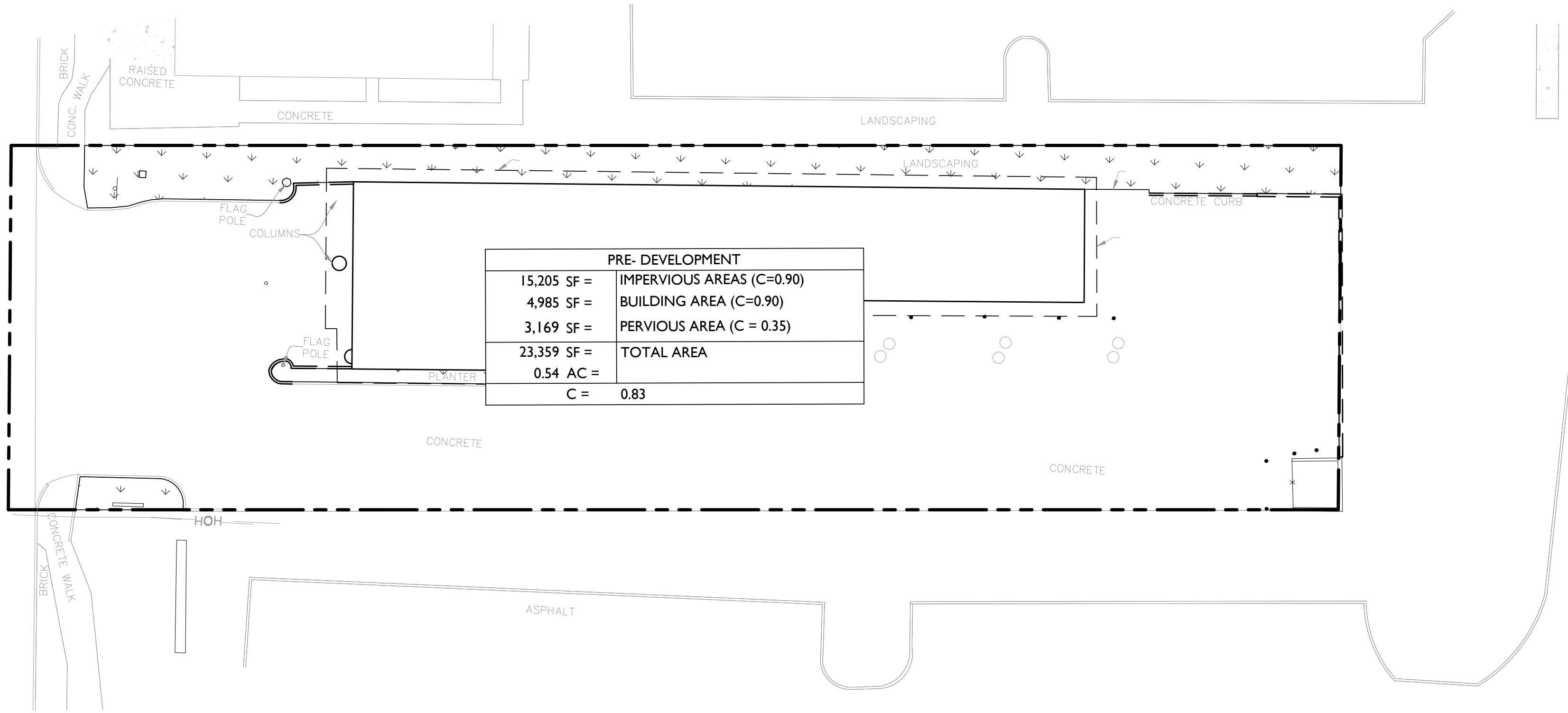
STONEFIELD
 engineering & design

CITY PROJECT NUMBER: J5P24-25
 SCALE: 1" = 20' PROJECT ID: DET-240225
 TITLE:
GRADING & DRAINAGE PLAN
 DRAWING:
C-4

V:\072104\DET-240225-AJUNG-24100-NOVI-ROAD-NOVI-PC\LOADING\DET-240225-STRIP.DWG

NOVI ROAD
VARIABLE WIDTH RIGHT OF WAY
ASPHALT

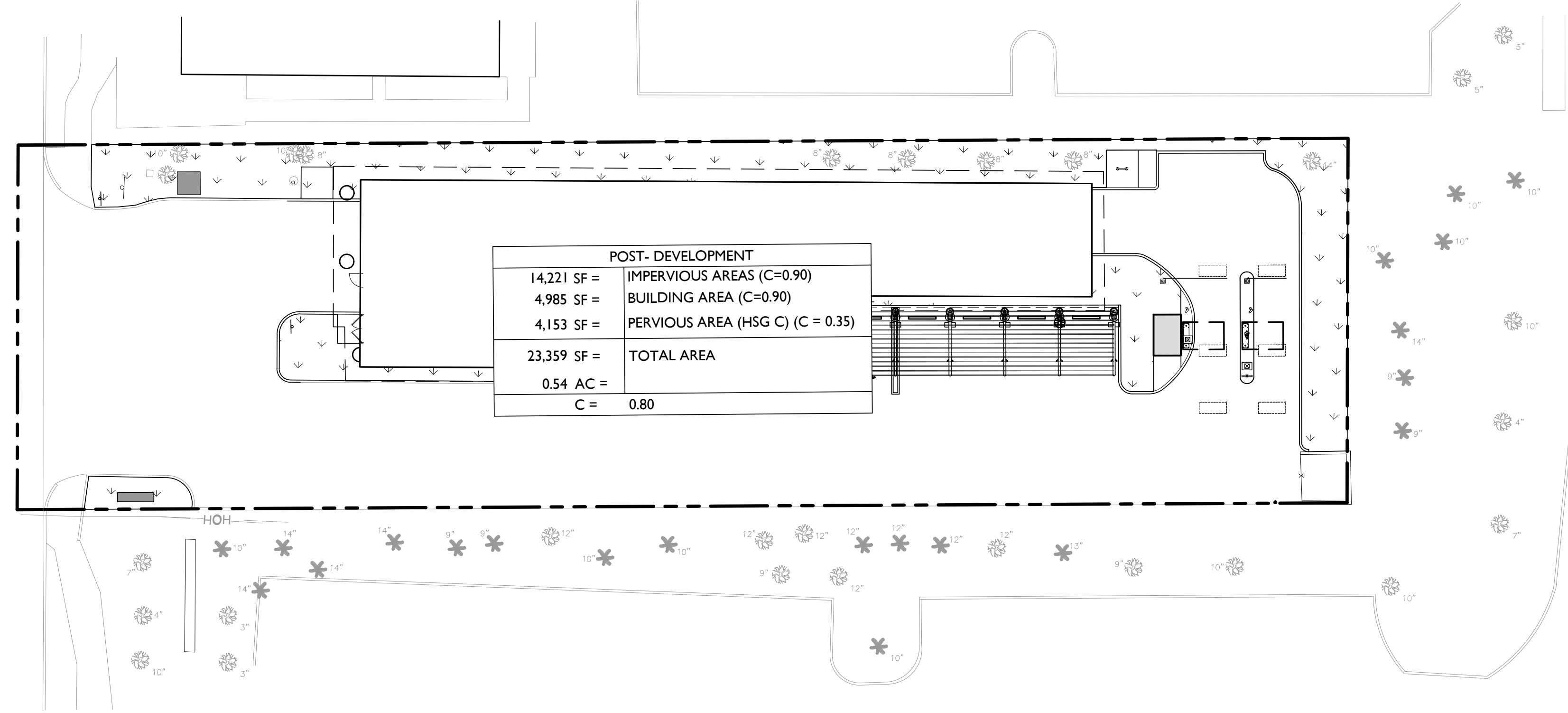
OH



PRE DEVELOPMENT SURFACE AREA

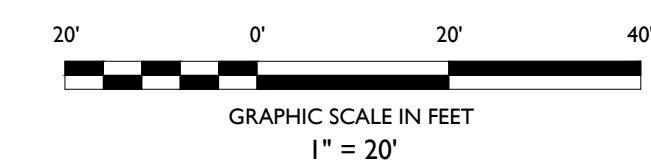
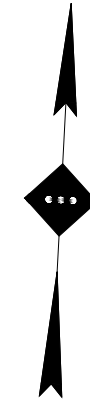
NOVI ROAD
VARIABLE WIDTH RIGHT OF WAY
ASPHALT

OH

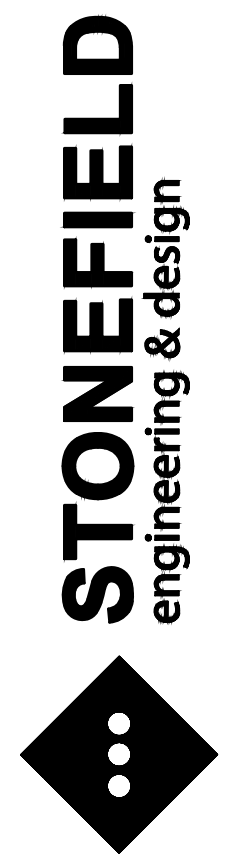


POST DEVELOPMENT SURFACE AREA

SYMBOL	DESCRIPTION
---	PROPERTY LINE
◀▶	EXISTING/PROPOSED PERVIOUS



NOT APPROVED FOR CONSTRUCTION

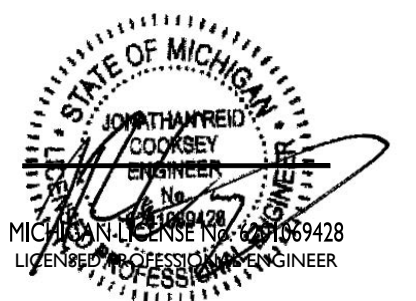


Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE IMPROVEMENT PLANS

**NOVI TOWN CENTER
PROPOSED CAR WASH
IMPROVEMENTS**

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



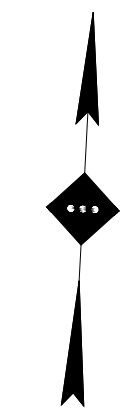
CITY PROJECT NUMBER: JSP24-25
SCALE: 1" = 20' PROJECT ID: DET-240225

TITLE: **PRE VS POST
CONSTRUCTION
CONDITIONS**

DRAWING:

C-5

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JBS	FOR PRE-APPLICATION MEETING



SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊕	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE IMPROVEMENT PLANS

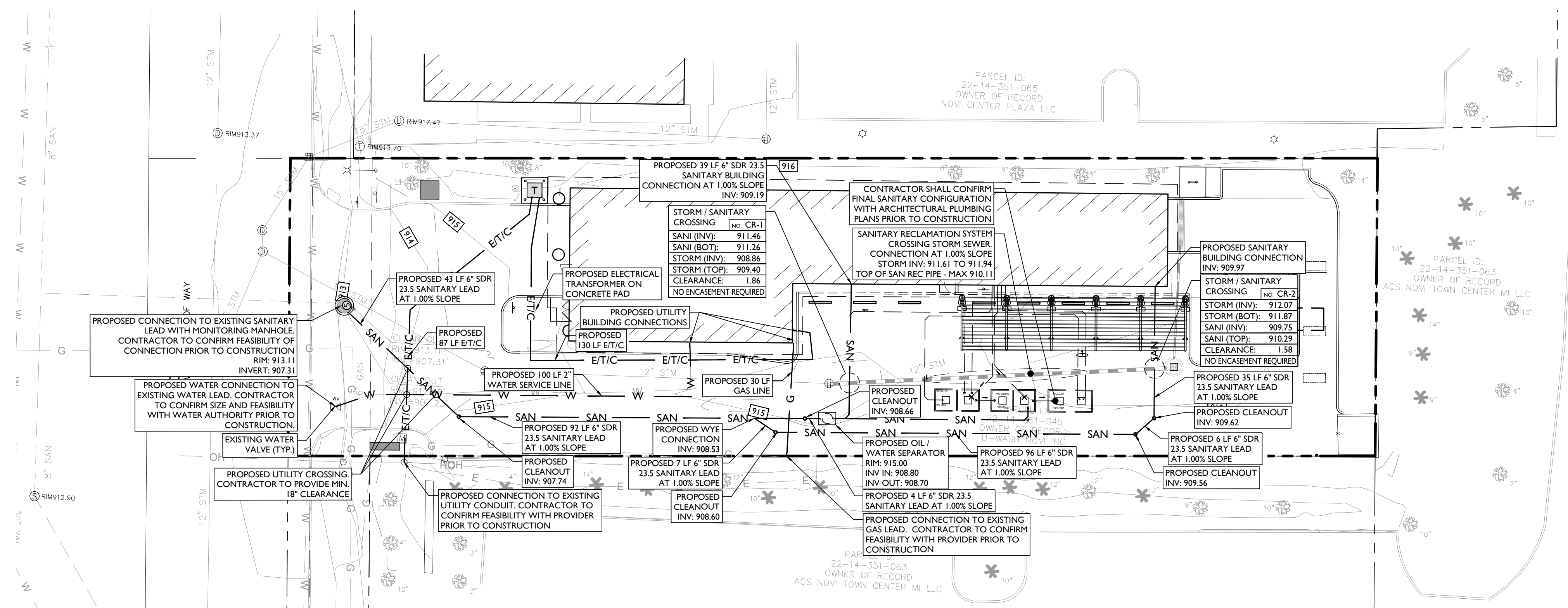
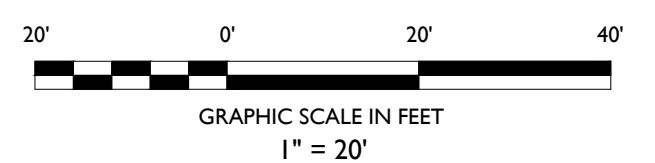
NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



NOVI TOWN CENTER 26100 NOVI ROAD, NOVI, MI 48240 (313) 486-1115

STONEFIELD
engineering & design

CITY PROJECT NUMBER: J5P24-25
SCALE: 1" = 20' PROJECT ID: DET-240225

TITLE:
UTILITY PLAN

DRAWING:
C-6

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.7.3.A	MAXIMUM HEIGHT - 25 FT	25.0 FT
§ 5.7.3.K	AVERAGE TO MINIMUM RATIO - 4:1	3.8 : 1
§ 5.7.3.K	MAXIMUM PROPERTY LINE ILLUMINATION: 1.0 FC	2.1 FC (EN)
TABLE 5.7.3.K	MINIMUM ILLUMINATIONS:	
	PARKING AREAS - 0.2 FC	0.2 FC
	LOADING AND UNLOADING AREAS - 0.4 FC	2.4 FC
	WALKWAYS - 0.2 FC	0.2 FC
	BUILDING ENTRANCES - FREQUENT USE - 1.0 FC	1.3 FC
	BUILDING ENTRANCES - INFREQUENT USE - 0.2 FC	5.1 FC

(EN) EXISTING NON-CONFORMITY

PROPOSED / EXISTING LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	3	PREVAIL LED AREA LIGHT POLE & FIXTURE COMBO WITH HOUSE SIDE SHIELD C40 - 3000K	TYPE IV	0.9	EATON	PRV-C40-D-UNV-T4-BZ-7030-HSS.ies
	B	1	MIRADA SMALL WALL SCONCE 3000K	TYPE FT	0.9	LSI	XWS-LED-08L-SIL-FT-30-70CRLies
	EX	23	MIRADA SMALL WALL SCONCE 3000K	TYPE FT	0.9	LSI	XWS-LED-08L-SIL-FT-30-70CRLies

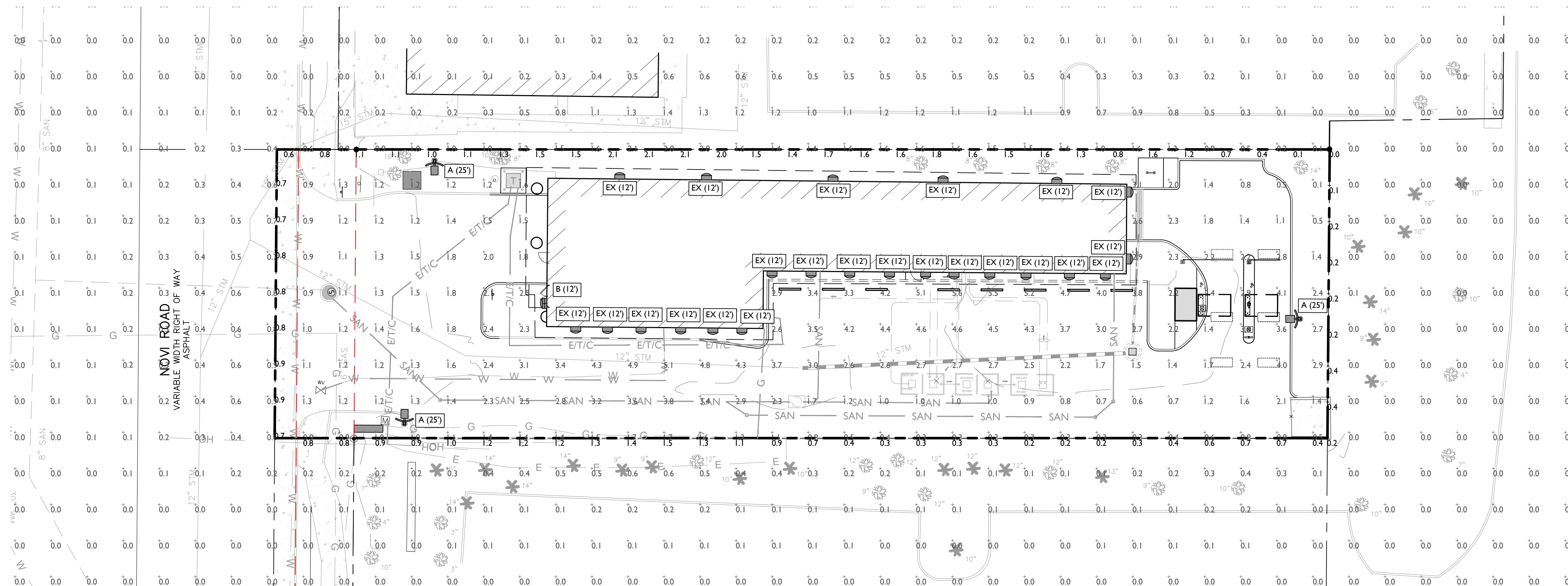
ALL EXISTING WALL MOUNTED LIGHTS HAVE BEEN MODELED ASSUMING THE FIXTURE DEPICTED IN THE TABLE FOR REFERENCE. EXISTING FIXTURES ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION



FIXTURE A

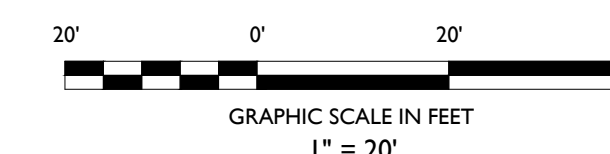


FIXTURES B & EX



GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDELES)

DATE	BY	DESCRIPTION
02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
08/29/2024	JSS	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Birmingham, MI · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Rutherford, NJ
www.stonefielddesign.com

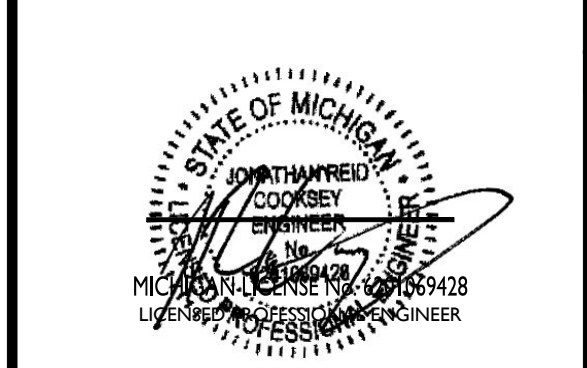
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



STONEFIELD
engineering & design

CITY PROJECT NUMBER: J5P24-25
SCALE: 1" = 20' PROJECT ID: DET-240225

TITLE:
LIGHTING PLAN

DRAWING:
C-7

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§5.5.3.A.(5)	GREENBELT REQUIREMENTS: 3' TALL BERM WITH 3" CREST IS REQUIRED ALONG GRAND RIVER AVENUE NOVI ROAD: 80 LF CANOPY TREES: (80 LF / 30 LF) = 3 REQUIRED TREES SUB-CANOPY TREES: (80 LF / 20 LF) = 4 REQUIRED TREES	NO CHANGE (EN) (W) 1 TREES (W)
§5.5.3.C.g	PARKING LOT ISLAND REQUIREMENTS: EACH ISLAND: MINIMUM 200 SF WITH 10 FT WIDEST MINIMUM 3 FT BACK OF CURB TO TREE TRUNK	DOES NOT COMPLY (W) 3.0 FT
§5.5.3.C.ii	INTERIOR PARKING AREA REQUIREMENTS: INTERIOR PARKING LOT ISLAND AND CANOPY TREE REQUIREMENTS	NO PROPOSED PARKING LOTS (W) ⁽¹⁾
§5.5.3.C.iv	PARKING LOT PERIMETER TREES: ONE PERIMETER CANOPY TREE PER 35 LF REQUIRED ACCESS DRIVE	NO CHANGE (W) (EN) ⁽¹⁾
§5.5.3.D.ii.a	BUILDING FOUNDATION LANDSCAPE: MINIMUM FOUNDATION LANDSCAPE SQUARE FOOTAGE IS 8 FT MULTIPLIED BY BUILDING PERIMETER (NOT INCLUDING INGRESS / EGRESS)	2,385 SF (EN) (W)
§5.5.3.D.ii.b	LANDSCAPE PLANTING BEDS MINIMUM 75% OF BUILDING FOUNDATION AREA WITH 4 FT WIDTH. [403 LF * 75% = 302 LF REQUIRED PLANTING BED]	362 LF (89.8%)
§5.5.3.D.ii.d	FACADES ADJACENT TO PUBLIC STREET SHALL HAVE MINIMUM 60% PERIMETER AS GREENSPACE [40 LF OF BUILDING FRONTAGE * 0.60 = 24 REQUIRED LF OF GREENSPACE]	4.2 FT (EN) (W)

(W) WAIVER
(EN) EXISTING NONCONFORMITY
(1) SINGLE-SIDED PARKING BAY ADJACENT TO BUILDING. NO PARKING LOTS EXIST ON SITE OR ARE PROPOSED ON SITE.

TREES SHALL BE PLANTED:
• 10 FEET FROM HYDRANTS AND UTILITY STRUCTURES
• 5 FEET FROM UTILITY LINES
• 3 FEET FROM CURBS

CITY MUST APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION

ANY TREE ON SITE WHICH IS REMOVED THAT IS NOT PERMITTED MUST BE REPLACED.

DEAD OR DECLINING TREES ON SITE SHALL BE REPLACED.

PROPOSED TREES SHALL BE INSTALLED MINIMUM 4 FT FROM PROPERTY.

ALL TREES SHALL BE MULCHED AT 3" DEPTH AND GROUND COVERS AT 2" DEPTH.

IRRIGATION PLANS ARE REQUIRED AND SHALL BE PROVIDED AS PART OF THE FINAL SITE PLAN

SHOULD JAPANESE KNOTWEED OR PHRAGMITES BE PRESENT ON SITE THEY SHALL BE REMOVED FROM THE PREMISES

TREE PROTECTION FENCE SHALL BE (1) ONE FOOT OUTSIDE OF THE DRIPLINE

TREES IN POOR CONDITION SHALL BE REMOVED AND REPLACED IN KIND AS PART OF THE LANDSCAPE INSTALLATION. SHOULD A FLOWERING PEAR TREE BE REPLACED, THE SPECIES SHOULD BE REVIEWED WITH THE TOWNSHIP LANDSCAPE ARCHITECT.

PLANT SCHEDULE									
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	UNIT COST	TOTAL	
DECIDUOUS TREES									
+	CCA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" - 3" CAL	B&B	3	\$400	\$1,200	
+	GYM	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE	2.5" - 3" CAL	B&B	2	\$400	\$800	
+	NYS	NYSSA SYLVATICA	SOUR GUM	2.5" - 3" CAL	B&B	2	\$400	\$800	
SHRUBS									
*	AZA	AZALEA X 'SILVER SWORD'	SILVER SWORD AZALEA	18" - 24"	POT	13	\$50	\$650	
*	VER	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18" - 24"	POT	5	\$50	\$250	
*		VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	24" - 30"	POT	9	\$50	\$450	
EVERGREEN SHRUBS									
*	ICO	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT	10	\$50	\$500	
*	TAX	ILEX VERTICILLATA 'DENSIFORMIS'	DENSE ANGLIO-JAPANESE YEW	30" - 36"	B&B	5	\$50	\$250	
GRASS SYMBOLS									
*	PAN	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.	POT	39	\$15	\$585	
GRASS AREAS									
■	CAR	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL.	POT, 24" O.C.	195	\$15	\$2,925	
LANDSCAPE MATERIALS									
SEED	-	-	-	-	1 SYD	0	\$3.00	\$0.00	
SOD	-	-	-	-	1 SYD	90	\$6.00	\$540	
MULCH	-	-	-	-	1 CYD	4	\$35.00	\$140	
TOTAL COST:								\$9,090	

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.
* LANDSCAPE COST MAY VARY PER AVAILABILITY AND MARKET RATES.
** 19 OF 22 PROPOSED PLANTS ARE NATIVE (85.7%).

LA ARCHITECT
PAUL DeVITTO III
STONEFIELD ENGINEERING & DESIGN
555 SOUTH OLD WOODWARD AVENUE,
SUITE 12L
BIRMINGHAM, MICHIGAN 48009
(248) 247-1115
PDEVITTO@STONEFIELDENG.COM

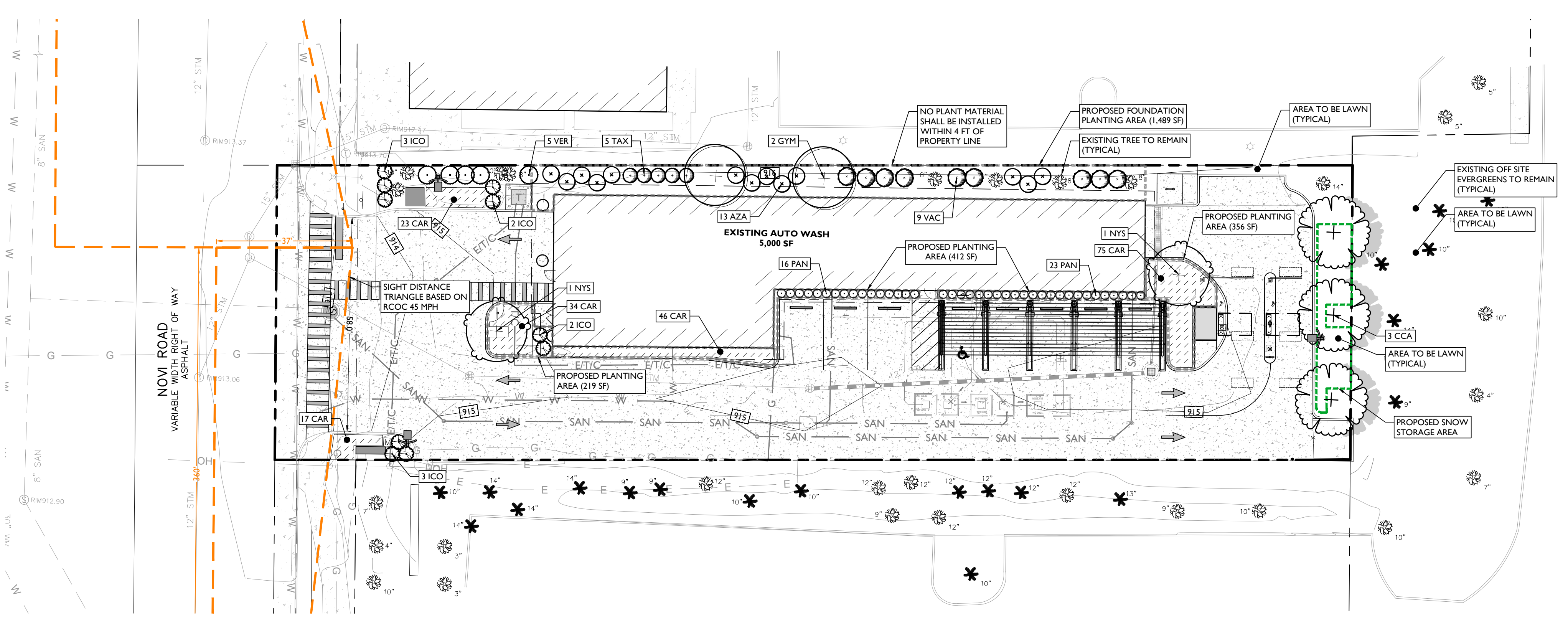
APPLICANT
EL CAR WASH NOV II LLC
30200 TELEGRAPH ROAD
BINGHAM FARMS, MI 48025
248.646.9999
SBARRETT@ALRIGUSA.COM



EXISTING CONDITION - SITE FRONTAGE
NOT TO SCALE

UTILITY SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED UNDERGROUND ELECTRICAL/DATA CONDUITS
— G —	PROPOSED GAS LINE
o	PROPOSED SANITARY MANHOLE / CLEANOUT
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

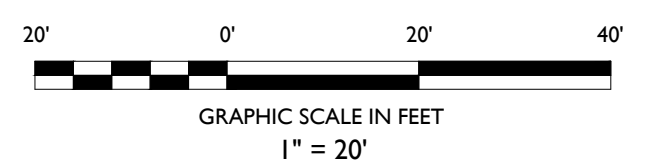
MAINTENANCE TASK	MONTH											
	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
SITE INSPECTION			X				X				X	
DEBRIS AND WEED CONTROL - AS NEEDED			X	X	X	X	X	X	X	X	X	X
IRRIGATION MAINTAINANCE				X						X		
MULCHING				X								
SEASONAL PLANTINGS					X	X	X	X	X	X	X	X
MOWING OF TURF			X	X	X	X	X	X	X	X	X	X
PRUNING			X	X							X	
FERTILIZER AND AMENDMENTS			X	X	X	X	X	X	X	X	X	X
INSECT AND DISEASE CONTROL					X	X	X	X	X	X		
PLANTING RENOVATION			X							X		
LANDSCAPE STRUCTURES INSPECTION				X								
LIGHTING MAINTAINANCE			X							X		
PAVED SURFACE MAINTAINANCE				X								



Know what's below
Call before you dig.

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
 - ALL TRANSFORMERS MUST BE SCREENED PER THE CITY OF NOVI STANDARDS AND SPECIFICATIONS.

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	CAPAC SANDY LOAM
PERCENT OF SITE COVERAGE	39.2%
HYDROLOGIC SOIL GROUP	C/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.20 TO 0.57 IN / HR
DEPTH TO WATER TABLE	12 TO 24 INCHES
TYPE OF SOIL	BROOKSTON & COLWOOD LOAM
PERCENT OF SITE COVERAGE	58.7%
HYDROLOGIC SOIL GROUP	B/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.57 TO 1.98 IN / HR
DEPTH TO WATER TABLE	ABOUT 6 INCHES
TYPE OF SOIL	URBAN LAND
PERCENT OF SITE COVERAGE	2.1%
HYDROLOGIC SOIL GROUP	N/A
DEPTH TO RESTRICTIVE LAYER	N/A
SOIL PERMEABILITY	N/A
DEPTH TO WATER TABLE	N/A

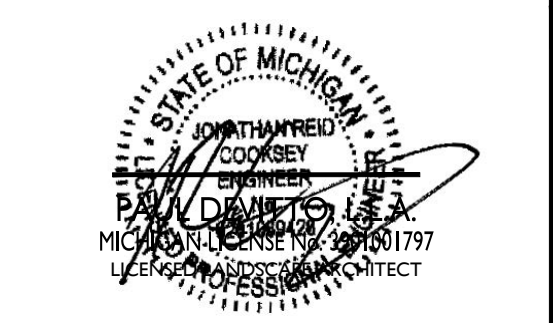


DATE	ISSUE	DESCRIPTION
02/01/2025	4	FOR PRELIMINARY SITE PLAN RESUBMISSION
12/22/2024	3	FOR PRELIMINARY SITE PLAN RESUBMISSION
11/05/2024	2	FOR PRELIMINARY SITE PLAN APPROVAL
08/29/2024	1	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design
Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutberford, NJ
www.stonefieldeng.com
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

NOVI TOWN CENTER
PROPOSED CAR WASH IMPROVEMENTS
P/D: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375

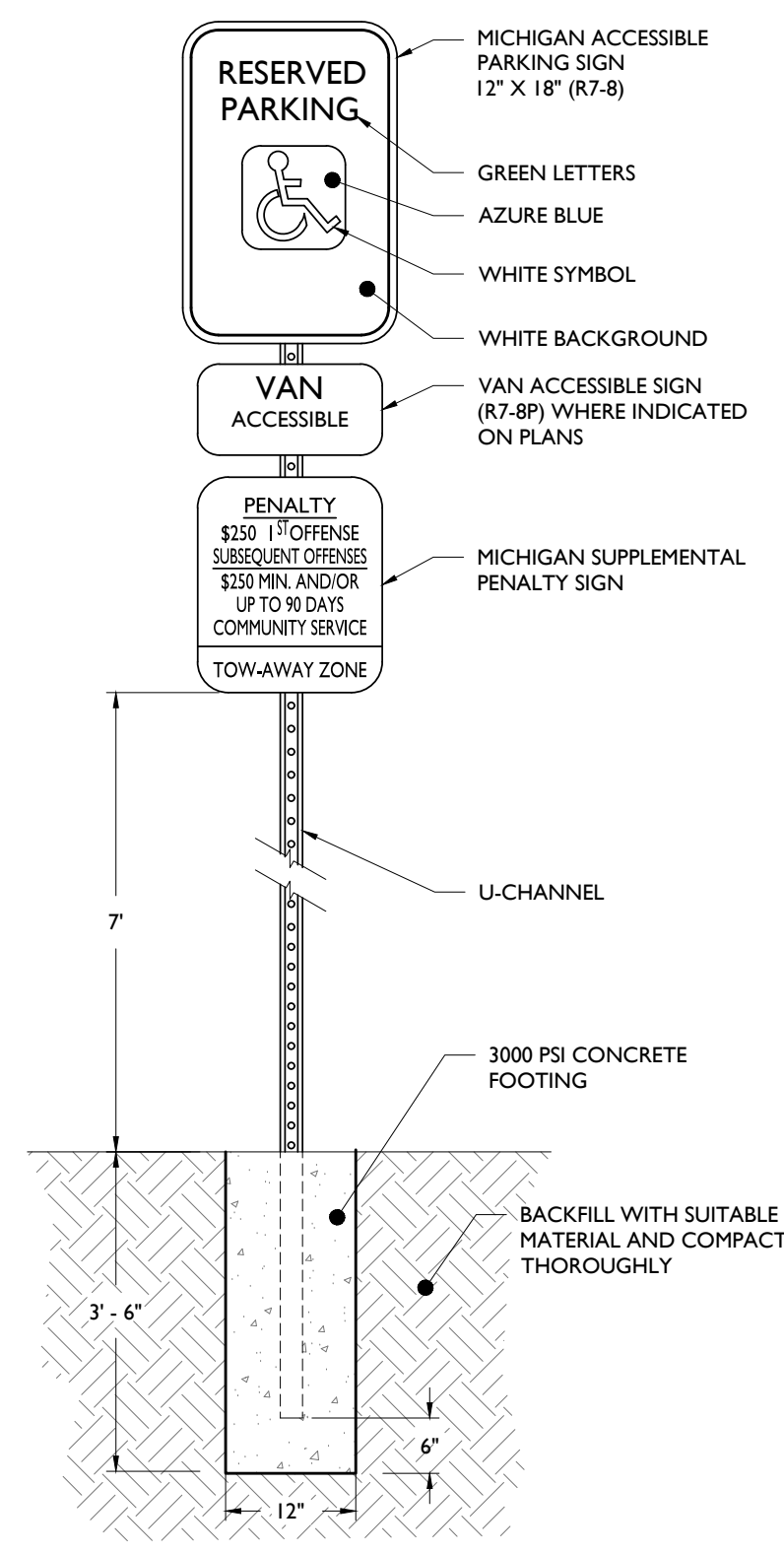


STONEFIELD
engineering & design

CITY PROJECT NUMBER: JSP24-25
SCALE: 1" = 20' PROJECT ID: DET-240225

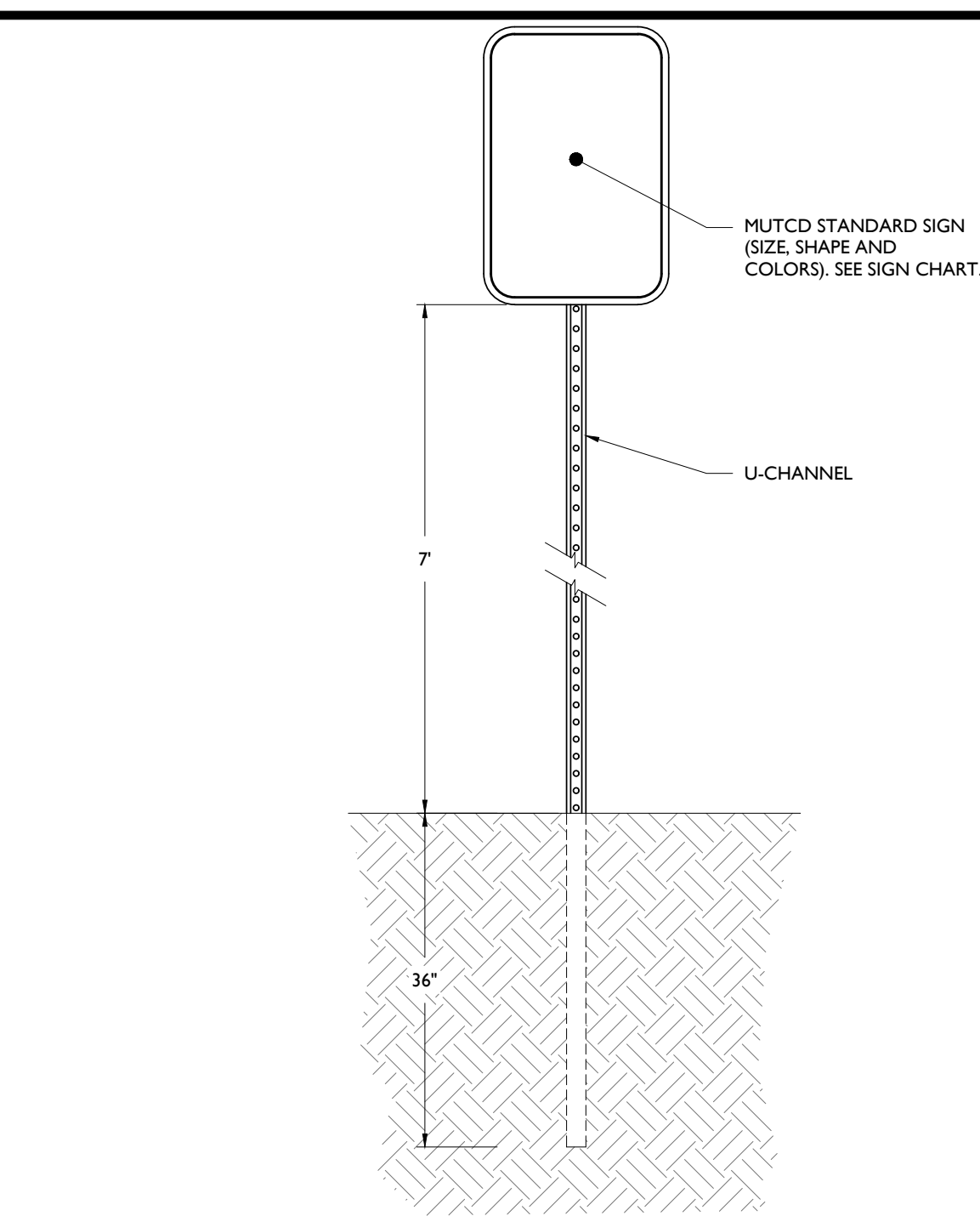
TITLE:
LANDSCAPING PLAN

DRAWING:
C-8



ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

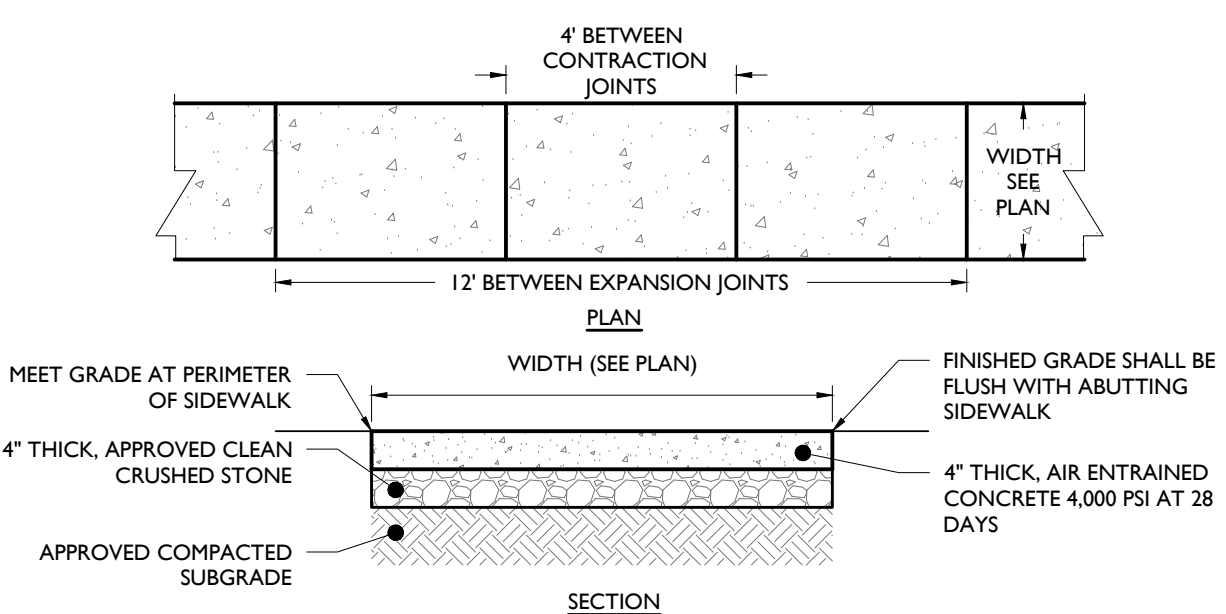


M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

SIGN POST DETAIL & SIGN DATA TABLE

NOT TO SCALE

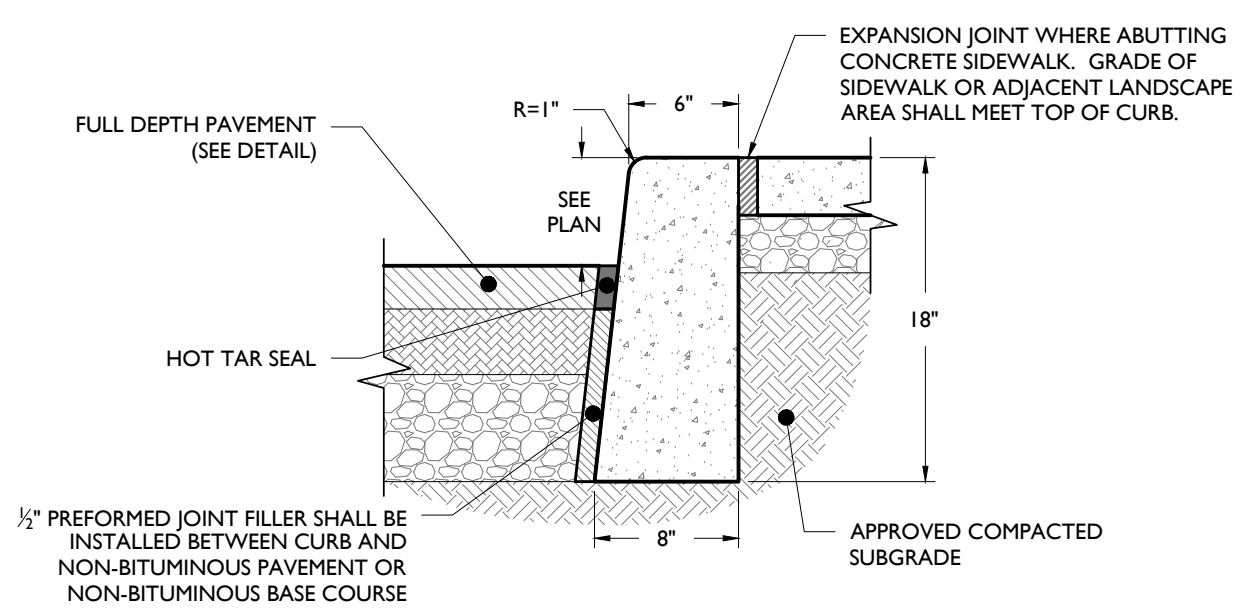
NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.



CONCRETE WALKWAY DETAIL

NOT TO SCALE

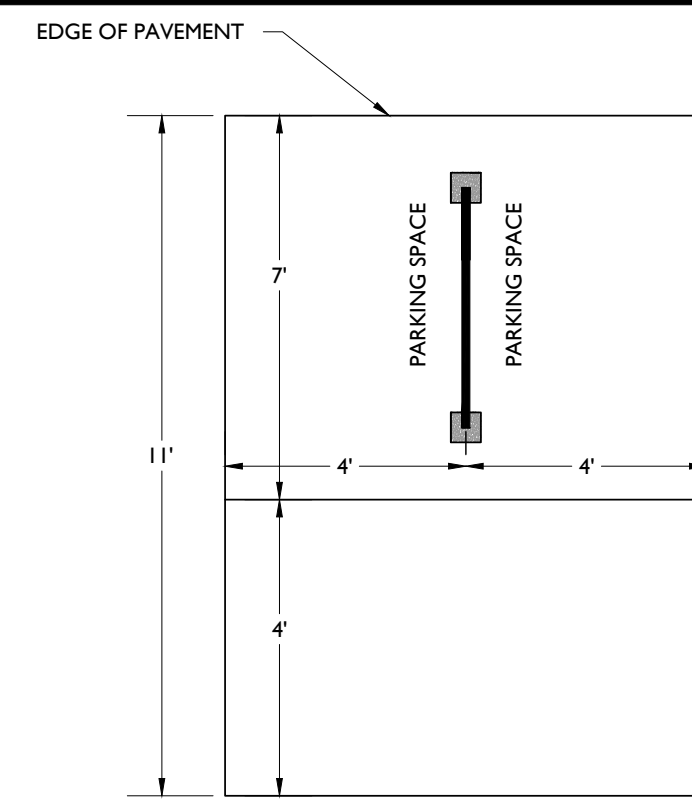
NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



CONCRETE CURB DETAIL

NOT TO SCALE

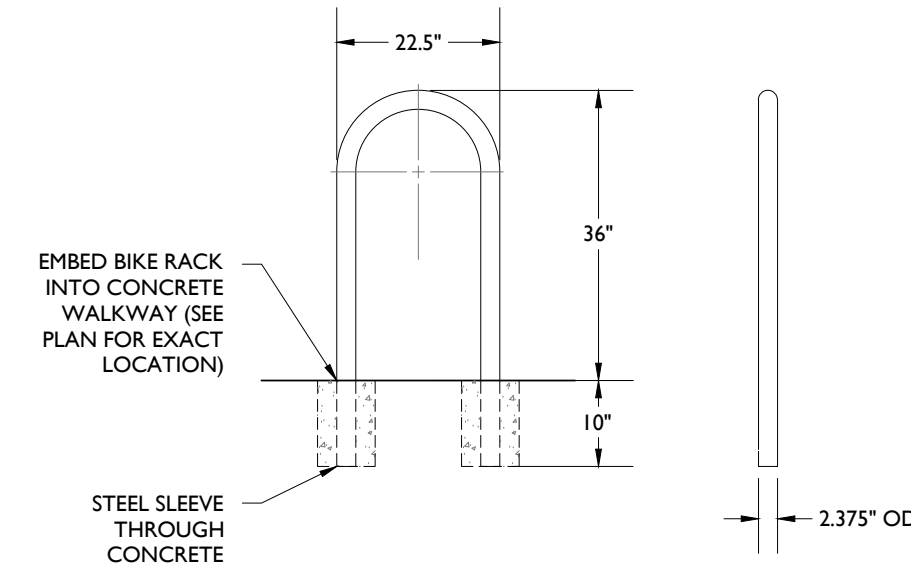
NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



BIKE RACK LAYOUT

NOT TO SCALE

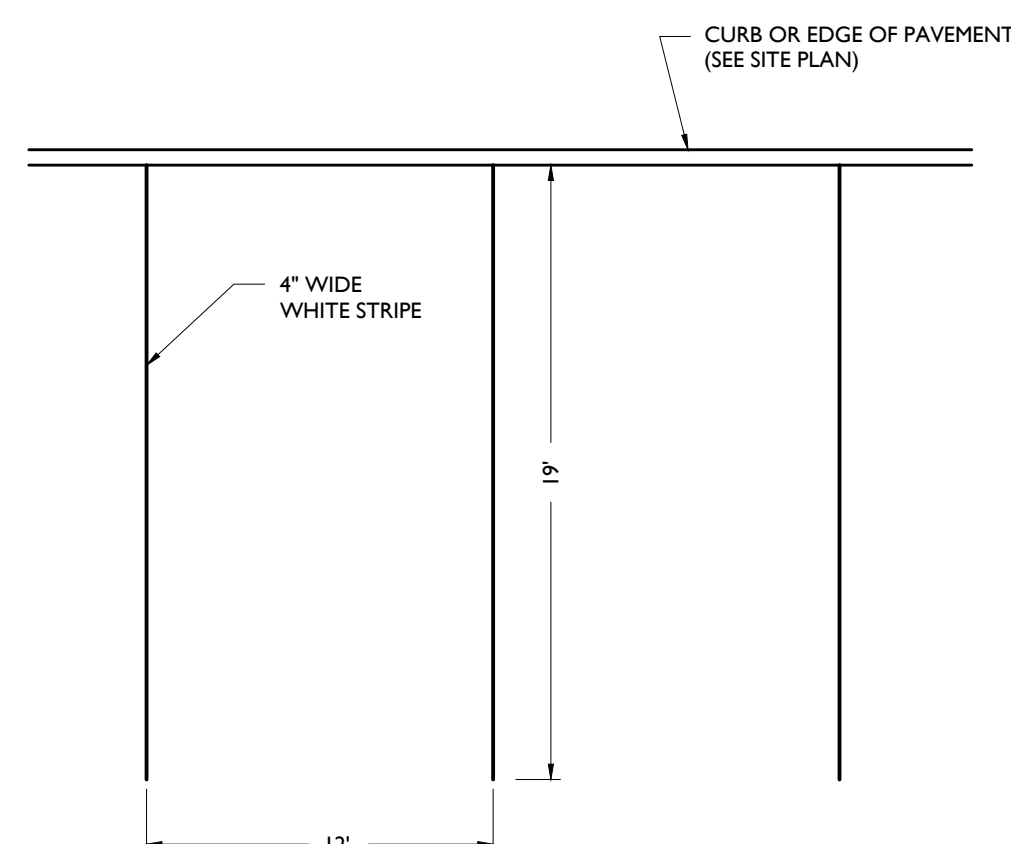
NOTE:
1. BIKE RACK TO BE MANUFACTURED BY DERO BIKE RACKS OR APPROVED EQUAL.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



HOOP RACK HD IN GROUND MOUNTED BIKE RACK DETAIL

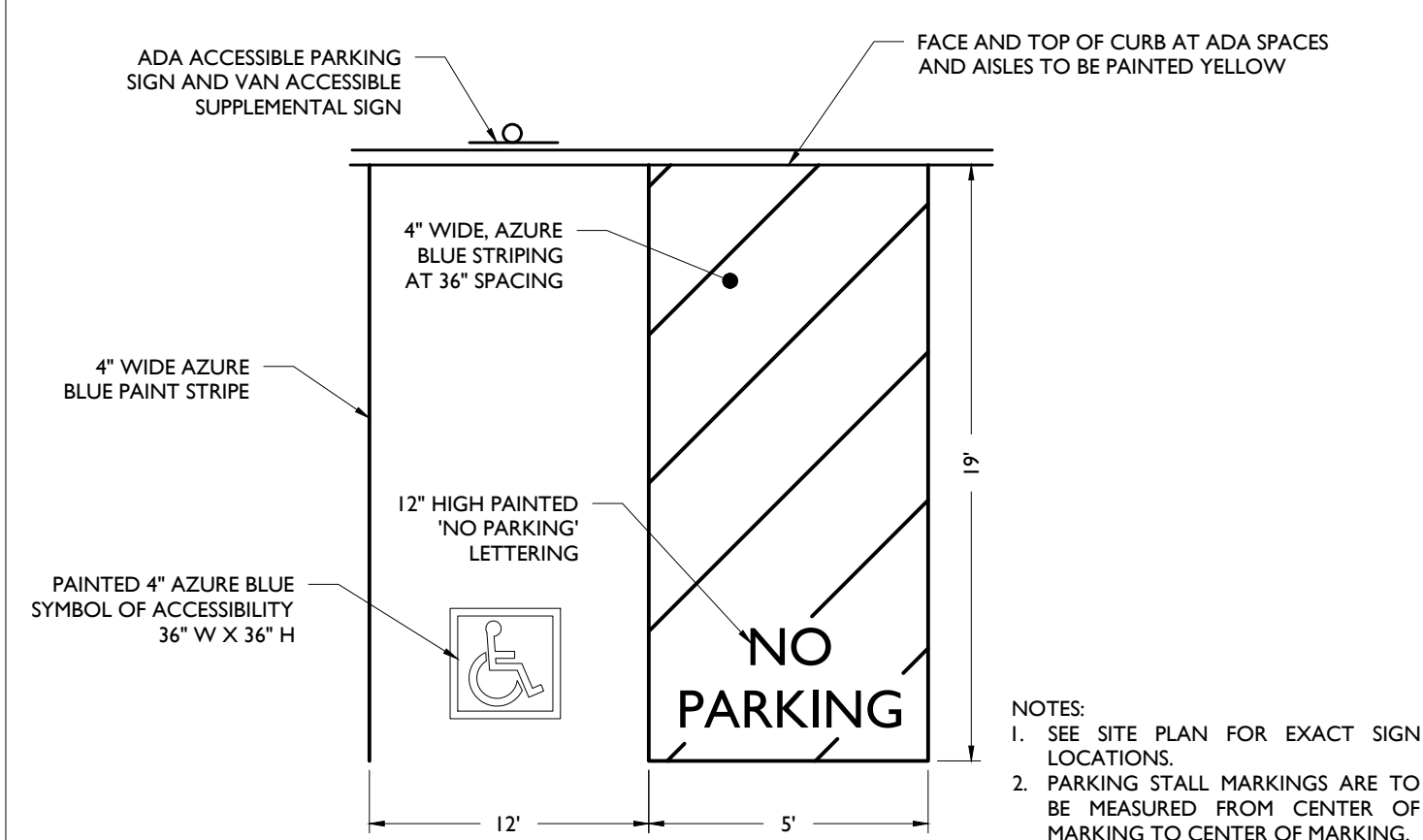
NOT TO SCALE

NOTE:
1. BIKE RACK TO BE MANUFACTURED BY DERO BIKE RACKS OR APPROVED EQUAL.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



PARKING STALL MARKINGS

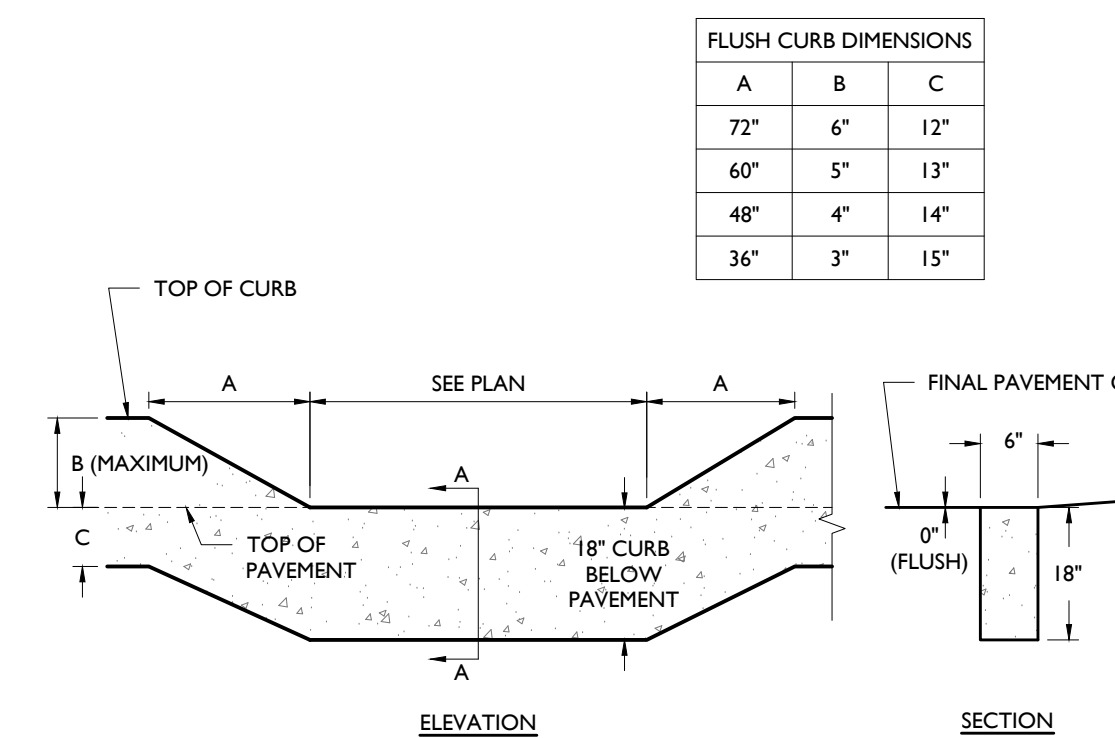
NOT TO SCALE



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

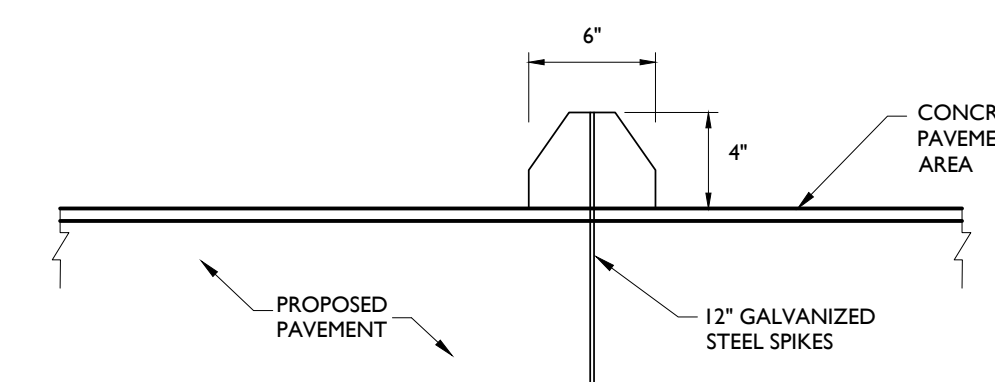
NOTES:
1. SEE SITE PLAN FOR EXACT SIGN LOCATIONS.
2. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.



FLUSH CURB DETAIL

NOT TO SCALE

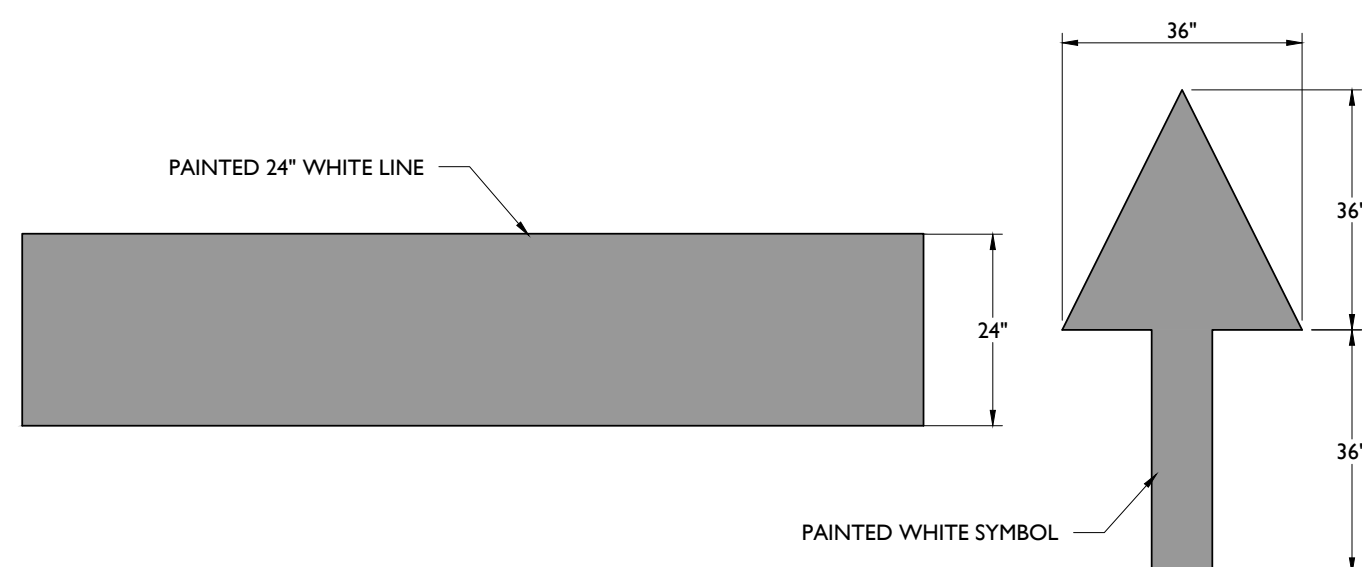
PAVEMENT STRIPING & MARKINGS NOTES:
1. ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
2. ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.



RUBBER WHEEL STOP DETAIL

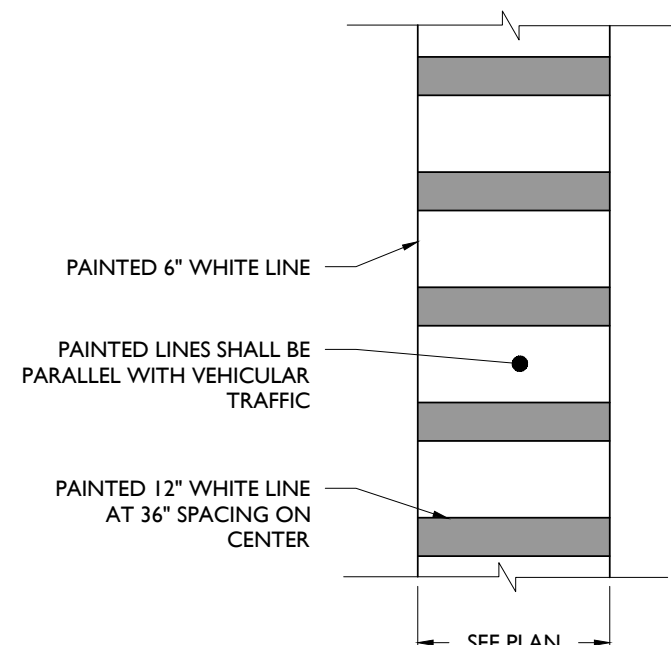
NOT TO SCALE

NOTES:
1. WHEEL STOP SHALL BE 6' LONG.
2. WHEEL STOP SHALL BE PREFABRICATED TRAFFIC SAFETY STORE 6' RECYCLED RUBBER PARKING BLOCK WITH HARDWARE OR APPROVED EQUIVALENT.



STOP BAR & ARROW DETAILS

NOT TO SCALE



CROSSWALK DETAIL

NOT TO SCALE

DATE	BY	DESCRIPTION
03/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
08/29/2024	JSS	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



STONEFIELD
engineering & design

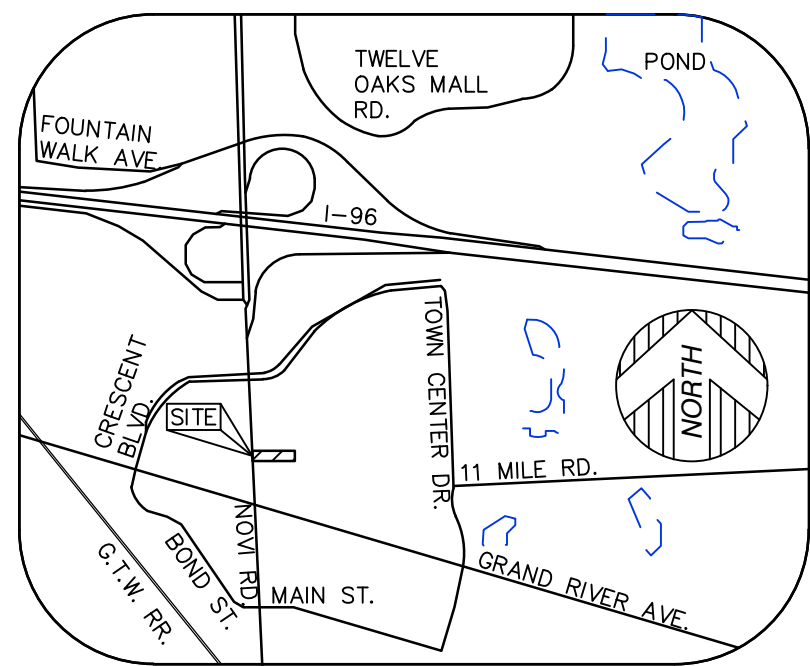
CITY PROJECT NUMBER: JSP24-25

SCALE: NTS PROJECT ID: DET-240225

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-10

V:\072024\DET-240225-AJUNG_240824\NOVI_TOWN_CENTER\PROPOSAL\DET-240225-01.DWG



VICINITY MAP
(NOT TO SCALE)

PARCEL AREA

23,359± SQUARE FEET = 0.54± ACRES

PARKING

PARKING STRIPES ARE FADED AND IN POOR CONDITION. UNABLE TO DETERMINE PARKING COUNT AT TIME OF SURVEY.

BASIS OF BEARING

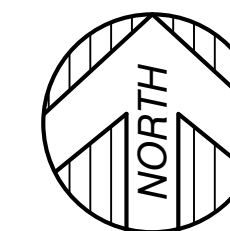
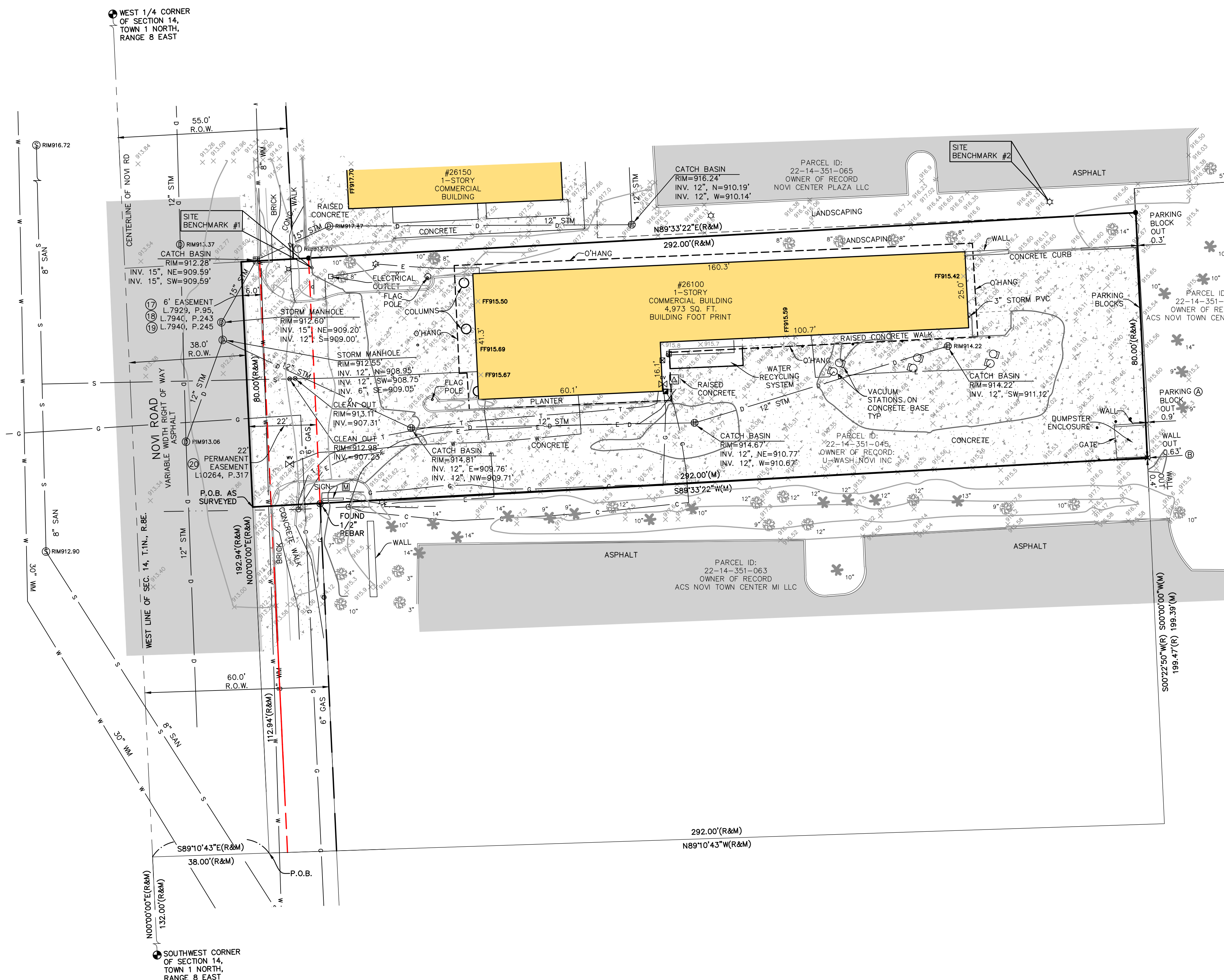
NORTH 00°00'00" EAST, BEING THE WESTERLY LINE OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, AS DESCRIBED

FLOOD NOTE

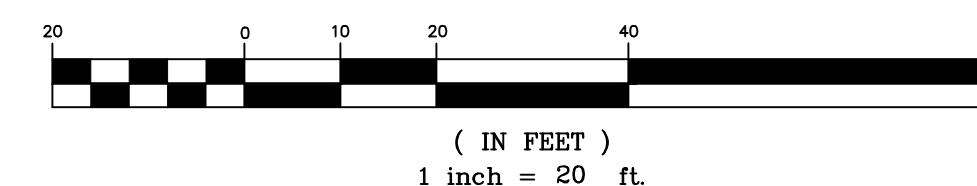
SUBJECT PARCEL LIES WITHIN:
OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0626F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- ✕ SET X-CUT
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- GROUND ELEVATION
- ⊠ ELECTRIC METER
- ⊠ ELECTRIC PANEL
- ⊠ TRANSFORMER
- UTILITY POLE
- GAS LINE MARKER
- GAS VALVE
- LIGHT POLE WITH STREET LAMP
- TELEPHONE MANHOLE
- CABLE TV RISER
- CLEANOUT
- SANITARY MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- STORM DRAIN MANHOLE
- BOLLARD
- FLAGPOLE
- LIGHTPOST/LAMP POST
- MAIL BOX
- SINGLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- BUILDING
- BUILDING OVERHANG
- CENTERLINE ROAD
- CONCRETE CURB
- RAISED CONCRETE
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- E ELECTRIC LINE
- C UNDERGROUND CABLE
- T COMMUNICATION LINE
- G GAS LINE
- S SANITARY LINE
- D STORM LINE
- W WATER LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



GRAPHIC SCALE



BENCHMARK

SITE BENCHMARK #1
CUT "X" IN LIGHT POLE BASE NEAR NORTHWEST CORNER OF SITE.
ELEVATION = 915.85' (NAVD 88)

SITE BENCHMARK #2
CUT "X" IN LIGHT POLE BASE NEAR 25'± WEST OF NORTHEAST CORNER OF SITE.
ELEVATION = 918.08' (NAVD 88)

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

NORTH 80 FEET OF THE FOLLOWING DESCRIBED LAND:
A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 192.94 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 199.47 FEET; THENCE NORTH 89 DEGREES 10 MINUTES 43 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

PROPERTY DESCRIPTION AS SURVEYED

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS A POINT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 112.94 FEET TO THE POINT OF BEGINNING; THENCE PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 80.00 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 80.00 FEET; THENCE SOUTH 89 DEGREES 33 MINUTES 22 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE TITLE CONNECT, LLC COMMITMENT NO. 1013-113895, REV. NO. 6, DATED OCTOBER 15, 2024, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

17. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7929, PAGE 95. (AS SHOWN)

18. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 243. (AS SHOWN)

19. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 245. (AS SHOWN)

20. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN LIBER 10264, PAGE 317. (AS SHOWN)

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
3. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
4. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
5. THE UTILITIES APPEAR TO ENTER THE PROPERTY FROM NOVI ROAD PUBLIC RIGHT OF WAY.
6. POSSIBLE ENCROACHMENT:
A) PARKING BLOCK ON EAST SIDE OF SITE
B) WALL ON EAST SIDE OF SITE

SURVEYOR'S CERTIFICATION

TO NATIONAL EXPRESS WASH II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE, TITLE CONNECT LLC.:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B1, 7C, 8, 9, 11A, 16 AND 17 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 10/14/24.

DATE OF PLAT OR MAP: 10/17/24

C:\Users\tsycko\Desktop\Signatures-Dmy.jpg C:\Users\tsycko\Desktop\Sign-Dmy.jpg

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
Tsycko@kemttec-survey.com

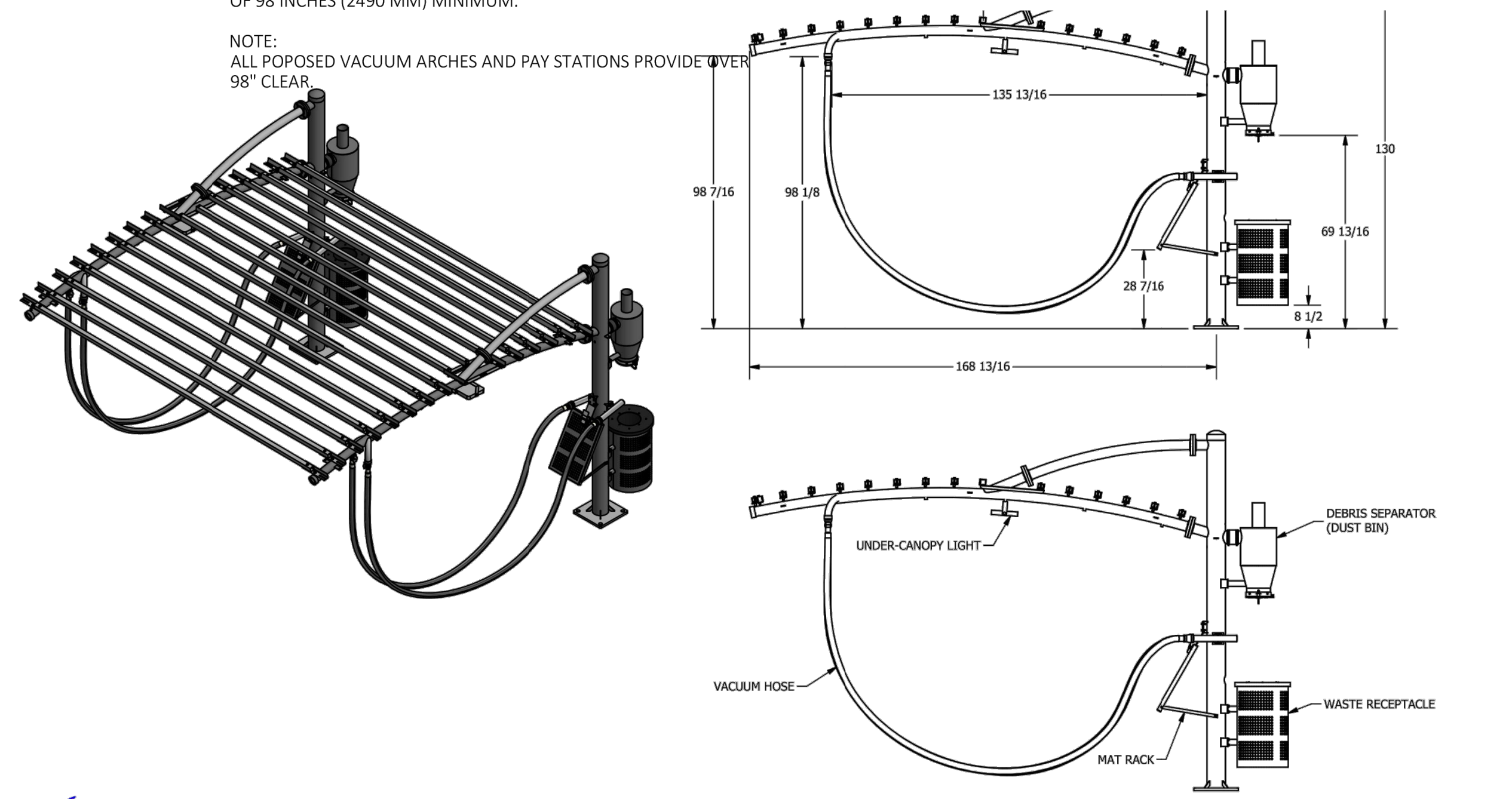
ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: ALRIG USA
26100 NOVI ROAD, NOVI, MICHIGAN,
PART OF SECTION 14,
TOWN 1 NORTH, RANGE 8 EAST

PROFESSIONAL ENGINEERING,
SURVEYING & ENVIRONMENTAL
SERVICES
KEM-TEC
A GROUP OF COMPANIES
Eastpointe
(800) 285-7222 (1/3) 758-0977
Ann Arbor
(734) 994-0888
Grand Blanc
(888) 694-0001
www.kemttecgroupofcompanies.com

NO.	DATE	BY	REVISION	DESCRIPTION
1	10-23-24	JO	1	ADD ADDITIONAL UTILITY INFORMATION
2	10-25-24	ATS	2	REVISED TITLE WORK
3	12-18-24	JO	3	REVISED WATERLINE & ADD TREES

2020 FBC-A 502.5 VERTICAL CLEARANCE.
 PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR
 ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE
 OF 98 INCHES (2490 MM) MINIMUM.

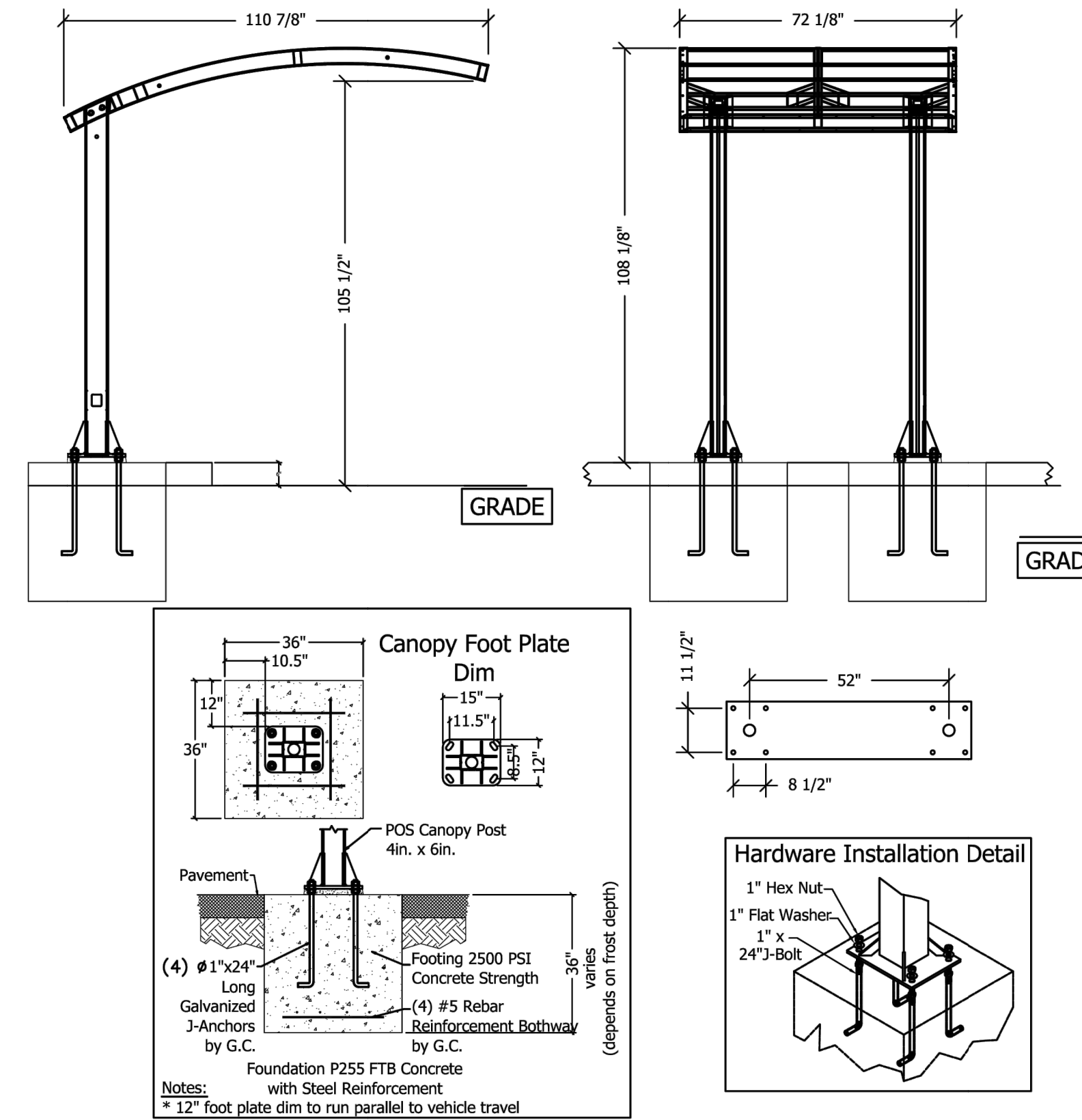
NOTE:
 ALL POPOSED VACUUM ARCHES AND PAY STATIONS PROVIDE OVER
 98" CLEAR



VACUUM CANOPY DETAIL

NOT TO SCALE

PLEASE CONTACT VACUTECH FOR PRICING AND QUESTIONS



POINT OF SALES DETAIL

NOT TO SCALE

NOTES:
 I. FOUNDATIONS TO BE DESIGNED BY OTHERS

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

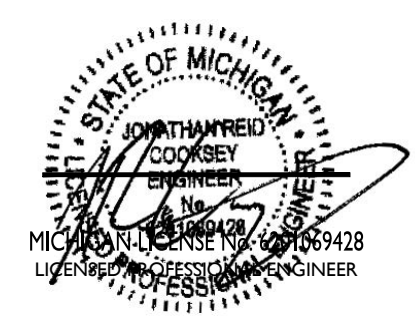
STONEFIELD
 engineering & design

Birmingham, MI · New York, NY · Salem, MA
 Princeton, NJ · Tampa, FL · Rutherford, NJ
 www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
 Phone 248.247.1115

SITE IMPROVEMENT PLANS
NOVI TOWN CENTER
 PROPOSED CAR WASH
 IMPROVEMENTS

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



STONEFIELD
 engineering & design

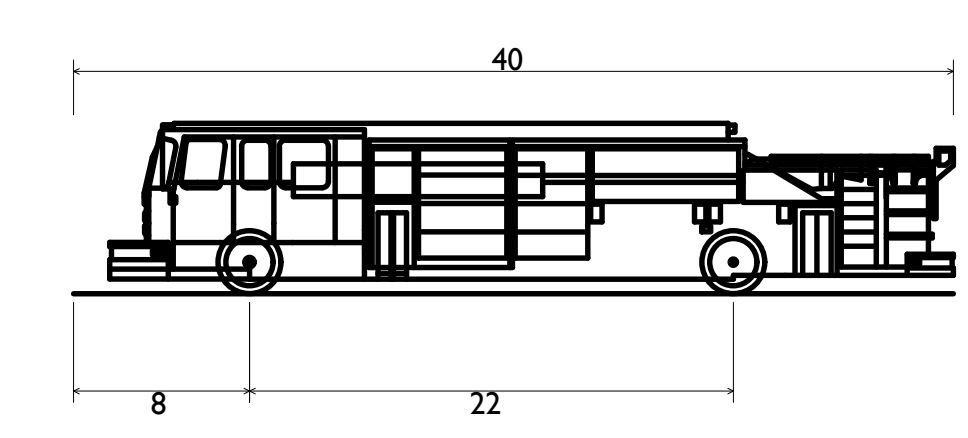
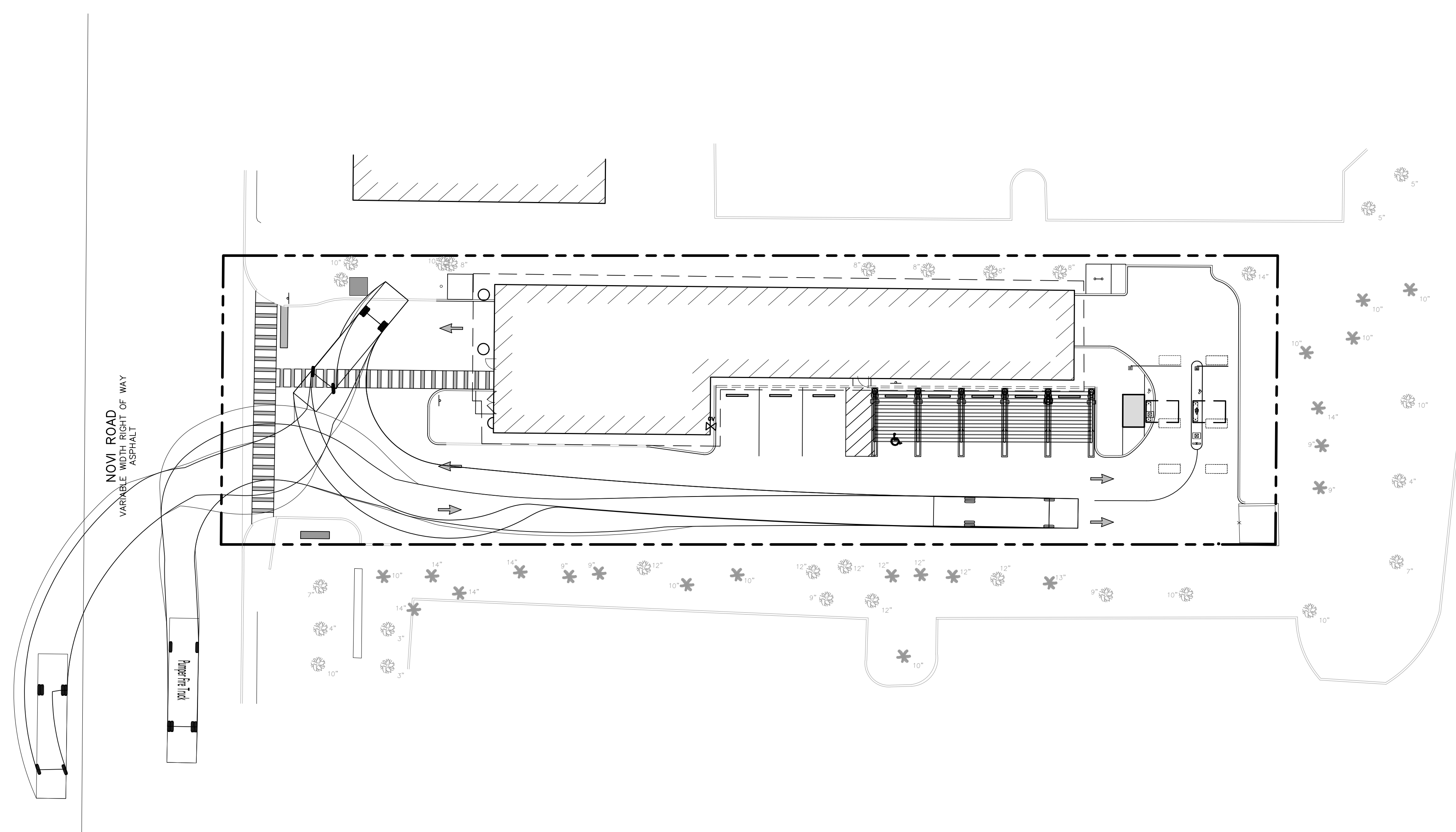
CITY PROJECT NUMBER: JSP24-25
 SCALE: NTS PROJECT ID: DET-240225

TITLE:
**CONSTRUCTION
 DETAILS**

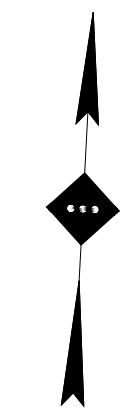
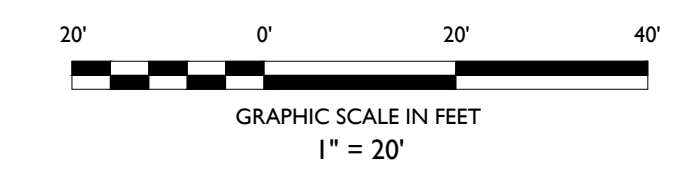
DRAWING:
C-11

V:\025\040574\025_AJMG_2400_NOVI_TOWN_CENTER_CARWASH_SITE_IMPROVEMENTS.DWG

V:\0125\0425\DET-24025-AJUG - 2410 NOVI ROAD - NOVI - P\CAD\PROJECTS\KX-B\TRUCK.DWG



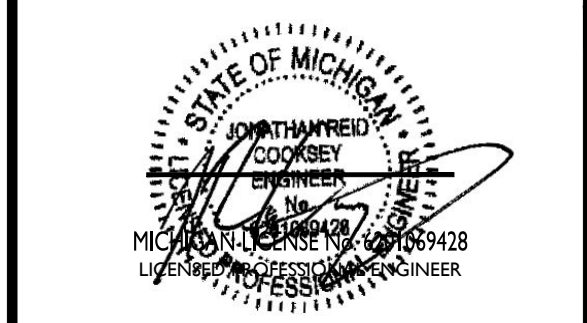
Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



SITE IMPROVEMENT PLANS

**NOVI TOWN CENTER
PROPOSED CAR WASH
IMPROVEMENTS**

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



CITY PROJECT NUMBER: JSP24-25
 SCALE: 1" = 20' PROJECT ID: DET-24025

TITLE:
**FIRE TRUCK
CIRCULATION
EXHIBIT**

DRAWING:
EX-I

STONEFIELD
engineering & design

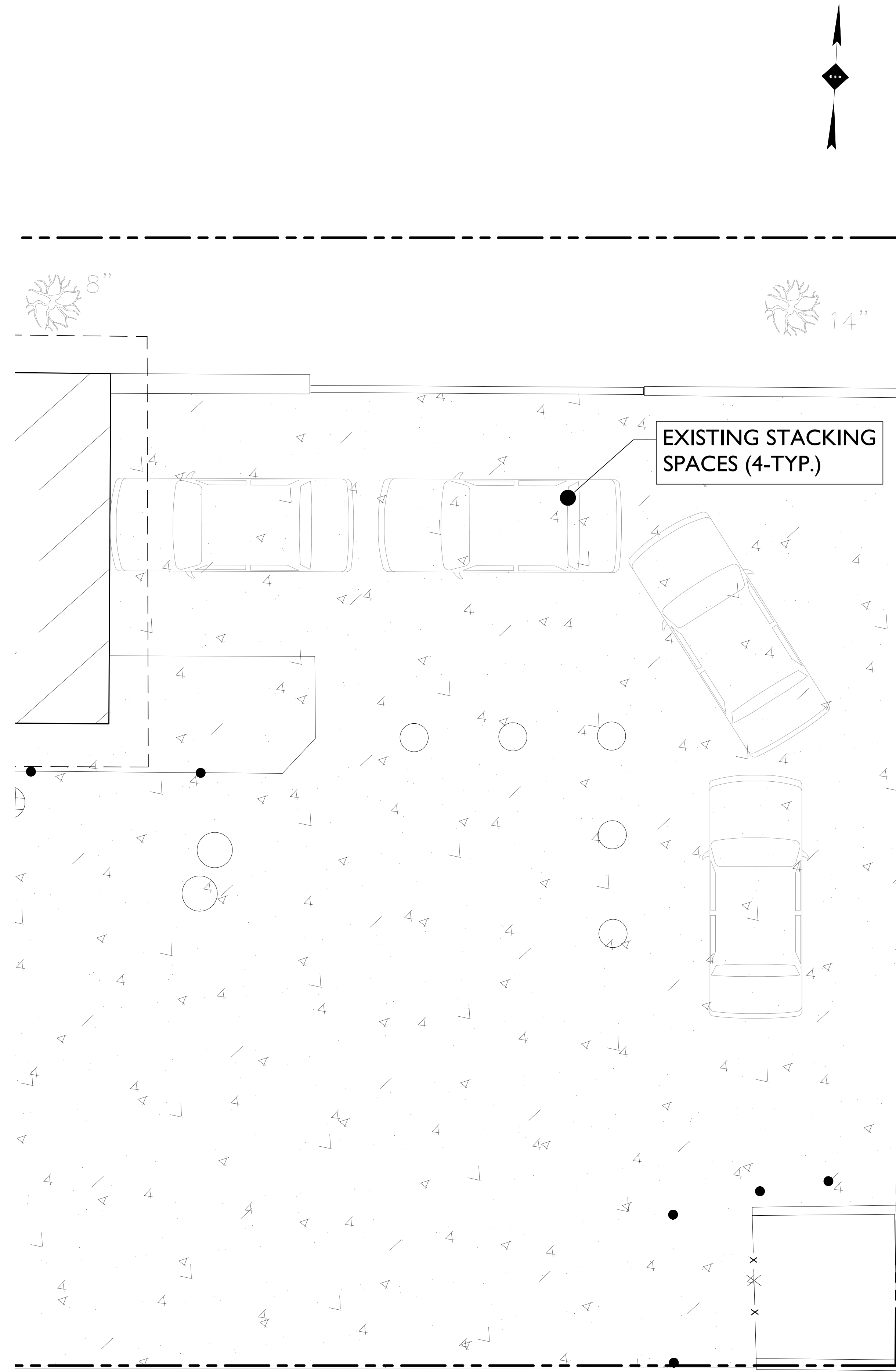
Birmingham, MI · New York, NY · Salem, MA
 Princeton, NJ · Tampa, FL · Rutherford, NJ
 www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
 Phone 248.247.1115

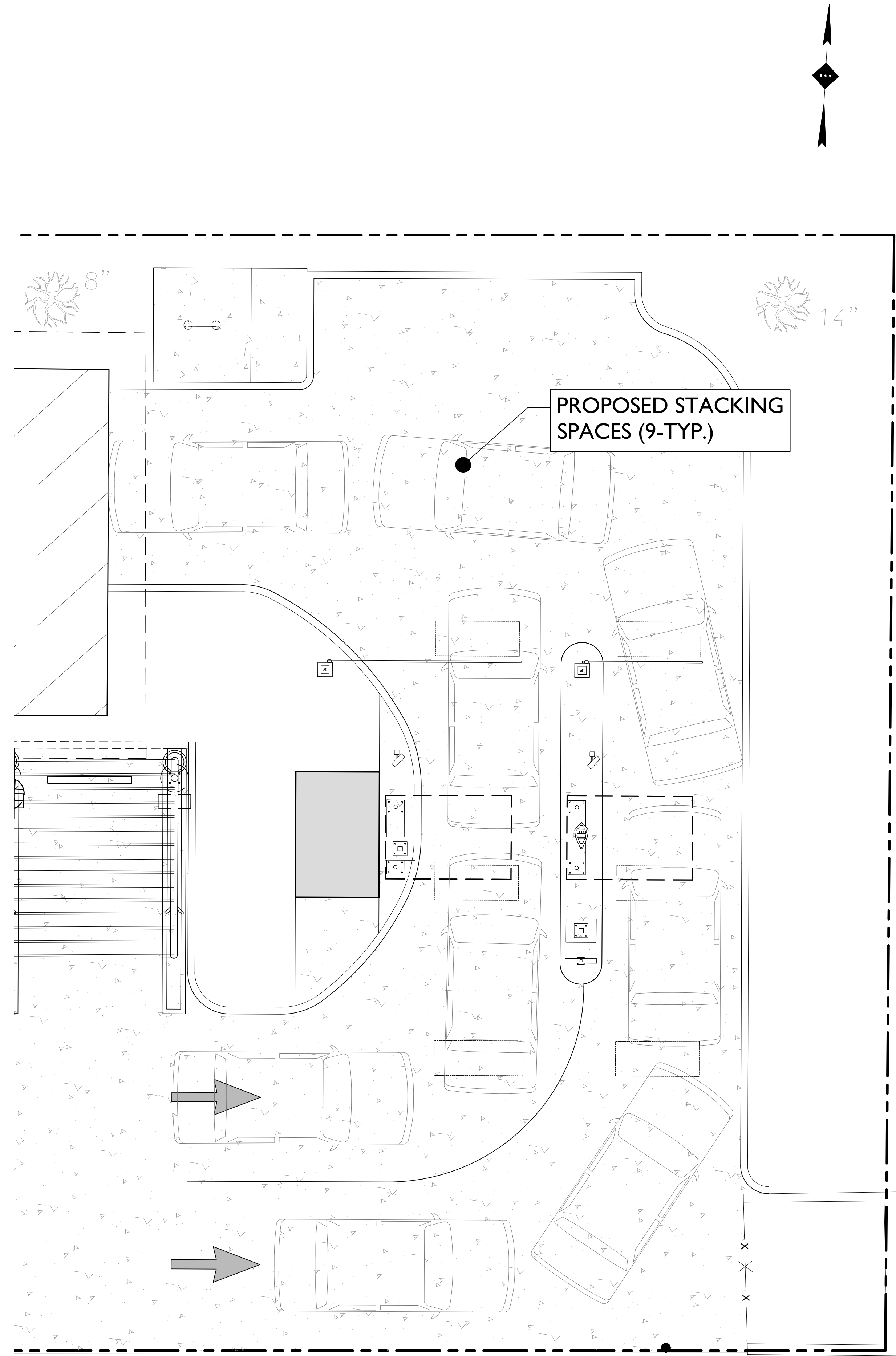
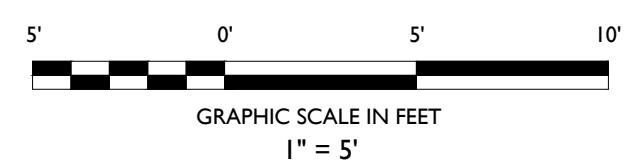
NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/22/2024	JSS	FOR PRE-APPLICATION MEETING

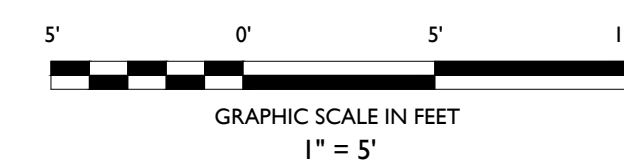
\\0120104021\2025_AJUNG_24101\NOVI\ROAD\NOVI_PICADIPROJECT\EXHIBIT\STACKING.DWG



PRE DEVELOPMENT VEHICLE STACKING



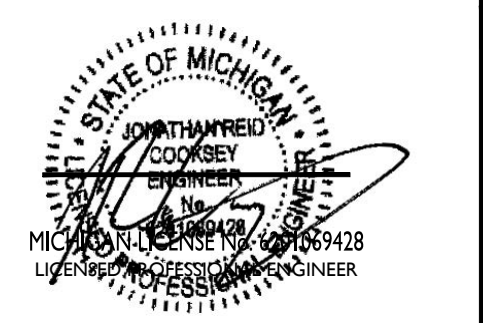
POST DEVELOPMENT VEHICLE STACKING



SITE IMPROVEMENT PLANS

**NOVI TOWN CENTER
PROPOSED CAR WASH
IMPROVEMENTS**

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



CITY PROJECT NUMBER: JSP24-25
SCALE: 1" = 5' PROJECT ID: DET-240225

TITLE:
**PRE VS POST VEHICLE
STACKING EXHIBIT**

DRAWING:

EX-2

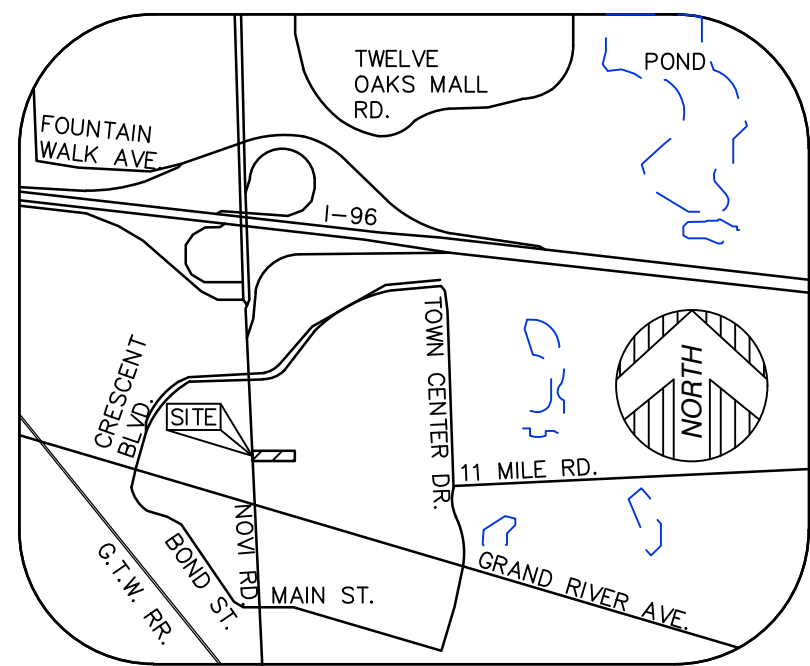
STONEFIELD
engineering & design

Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING



VICINITY MAP
(NOT TO SCALE)

PARCEL AREA

23,359± SQUARE FEET = 0.54± ACRES

PARKING

PARKING STRIPES ARE FADED AND IN POOR CONDITION. UNABLE TO DETERMINE PARKING COUNT AT TIME OF SURVEY.

BASIS OF BEARING

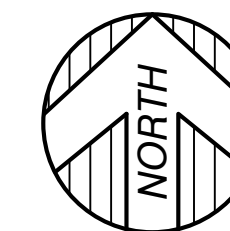
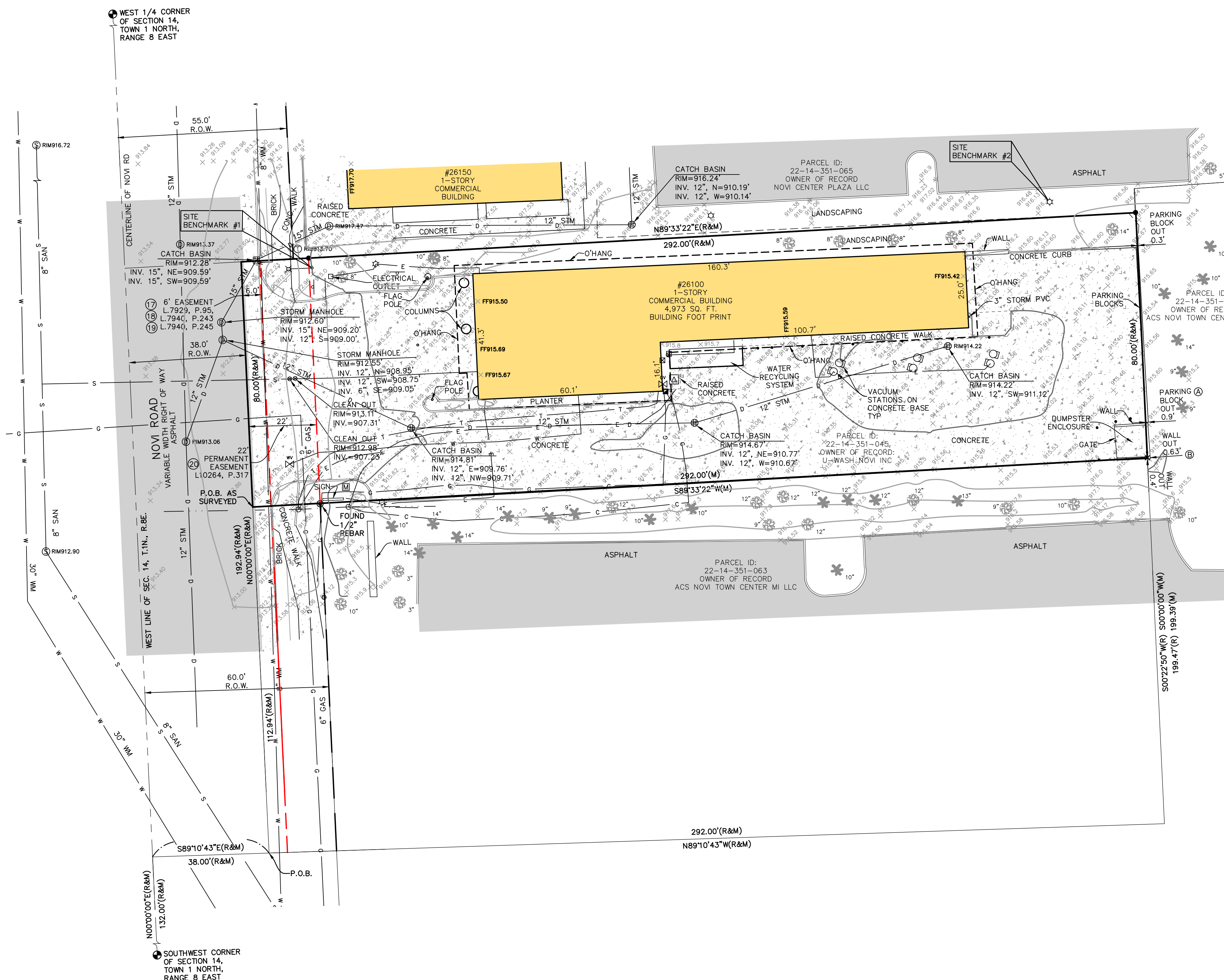
NORTH 00°00'00" EAST, BEING THE WESTERLY LINE OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, AS DESCRIBED

FLOOD NOTE

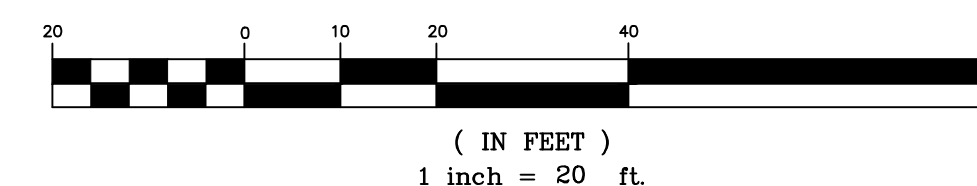
SUBJECT PARCEL LIES WITHIN:
OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0626F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- ✕ SET X-CUT
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- GROUND ELEVATION
- ⊠ ELECTRIC METER
- ⊠ ELECTRIC PANEL
- ⊠ TRANSFORMER
- UTILITY POLE
- GAS LINE MARKER
- GAS VALVE
- LIGHT POLE WITH STREET LAMP
- TELEPHONE MANHOLE
- CABLE TV RISER
- CLEANOUT
- SANITARY MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- STORM DRAIN MANHOLE
- BOLLARD
- FLAGPOLE
- LIGHTPOST/LAMP POST
- MAIL BOX
- SINGLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- BUILDING
- BUILDING OVERHANG
- CENTERLINE ROAD
- CONCRETE CURB
- RAISED CONCRETE
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- E ELECTRIC LINE
- C UNDERGROUND CABLE
- T COMMUNICATION LINE
- G GAS LINE
- S SANITARY LINE
- D STORM LINE
- W WATER LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



GRAPHIC SCALE



BENCHMARK

SITE BENCHMARK #1
CUT "X" IN LIGHT POLE BASE NEAR NORTHWEST CORNER OF SITE.
ELEVATION = 915.85' (NAVD 88)

SITE BENCHMARK #2
CUT "X" IN LIGHT POLE BASE NEAR 25'± WEST OF NORTHEAST CORNER OF SITE.
ELEVATION = 918.08' (NAVD 88)

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

NORTH 80 FEET OF THE FOLLOWING DESCRIBED LAND:
A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 192.94 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 199.47 FEET; THENCE NORTH 89 DEGREES 10 MINUTES 43 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

PROPERTY DESCRIPTION AS SURVEYED

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS A POINT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 112.94 FEET TO THE POINT OF BEGINNING; THENCE PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 80.00 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 80.00 FEET; THENCE SOUTH 89 DEGREES 33 MINUTES 22 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE TITLE CONNECT, LLC COMMITMENT NO. 1013-113895, REV. NO. 6, DATED OCTOBER 15, 2024, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

17. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7929, PAGE 95. (AS SHOWN)

18. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 243. (AS SHOWN)

19. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 245. (AS SHOWN)

20. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN LIBER 10264, PAGE 317. (AS SHOWN)

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
3. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
4. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
5. THE UTILITIES APPEAR TO ENTER THE PROPERTY FROM NOVI ROAD PUBLIC RIGHT OF WAY.
6. POSSIBLE ENCROACHMENT:
A) PARKING BLOCK ON EAST SIDE OF SITE
B) WALL ON EAST SIDE OF SITE

SURVEYOR'S CERTIFICATION

TO NATIONAL EXPRESS WASH II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE, TITLE CONNECT LLC:
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B1, 7C, 8, 9, 11A, 16 AND 17 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 10/14/24.

DATE OF PLAT OR MAP: 10/17/24

C:\Users\tsycko\Desktop\Signatures-Dmy.jpg C:\Users\tsycko\Desktop\Sign-Dmy.jpg

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
Tsycko@kemttec-survey.com

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: ALRIG USA
26100 NOVI ROAD, NOVI, MICHIGAN,
PART OF SECTION 14,
TOWN 1 NORTH, RANGE 8 EAST

NO.	DATE	BY	REVISION	DESCRIPTION
1	10-23-24	JO	1	ADDITIONAL UTILITY INFORMATION
2	10-25-24	ATS	2	REVISED TITLE WORK
3	12-18-24	JO	3	REVISED WATERLINE & ADD TREES

PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
KEM-TEC
A GROUP OF COMPANIES
Eastpointe, Michigan
Ann Arbor, Michigan
Detroit, Michigan
(800) 285-7222 (1-877-758-0877) (734) 994-0888 (888) 694-0001
www.kemttecgroupofcompanies.com

Issued	Description	By
08.27.2024	Pre-App. Submission	
10.31.2024	SPA	
12.23.2024	SPA Response	

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

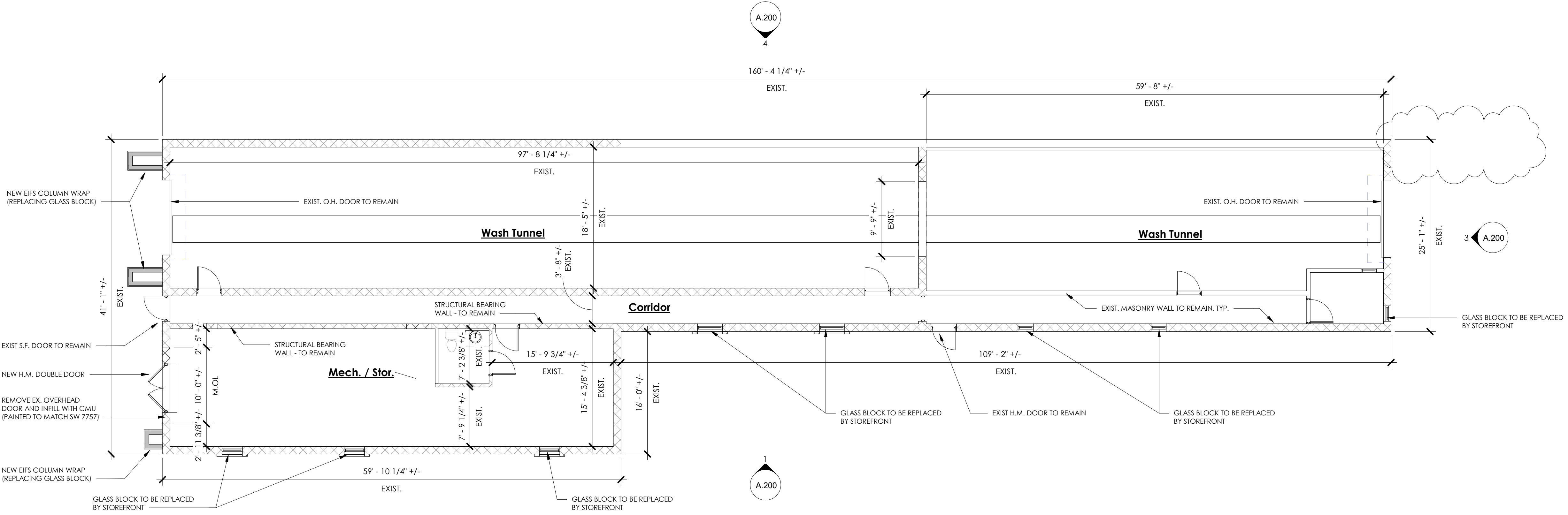


Sheet Title:
Floor Plan

Project Number:
20-070

Sheet Number:
A.100

PRELIMINARY NOT FOR CONSTRUCTION



Proposed Floor Plan
1/8" = 1'-0"

Client:
El Car Wash MI Novi II, LLC
30200 Telegraph Rd. Suite 205
Bingham Farms, MI 48025

Project:
Novi 12 Oaks - Ext. Renovation
26100 Novi Rd.
Novi, MI 48375

Issued	Description	By
10.31.2024	SPA	
12.23.2024	SPA Response	

PRELIMINARY NOT FOR CONSTRUCTION

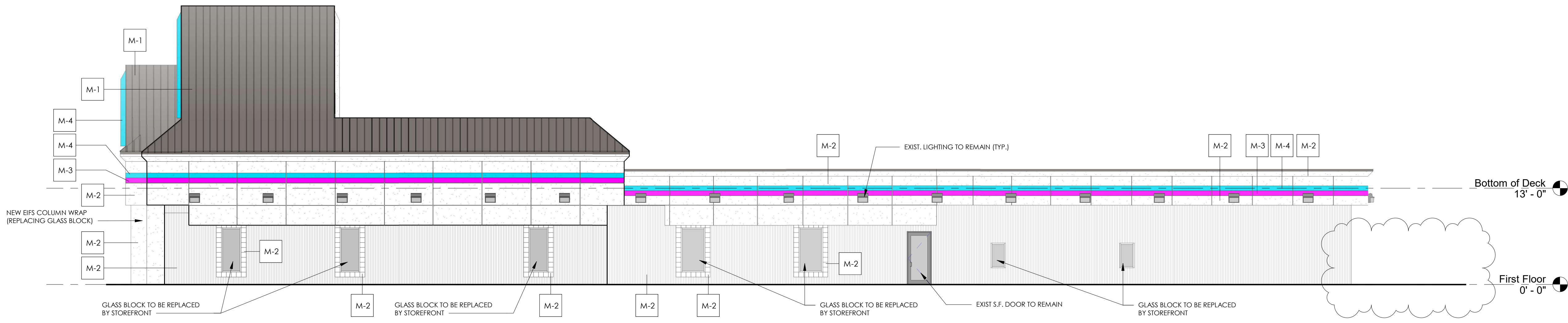
Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.
North Arrow:

Sheet Title:
Exterior Elevations

Project Number:
20-070

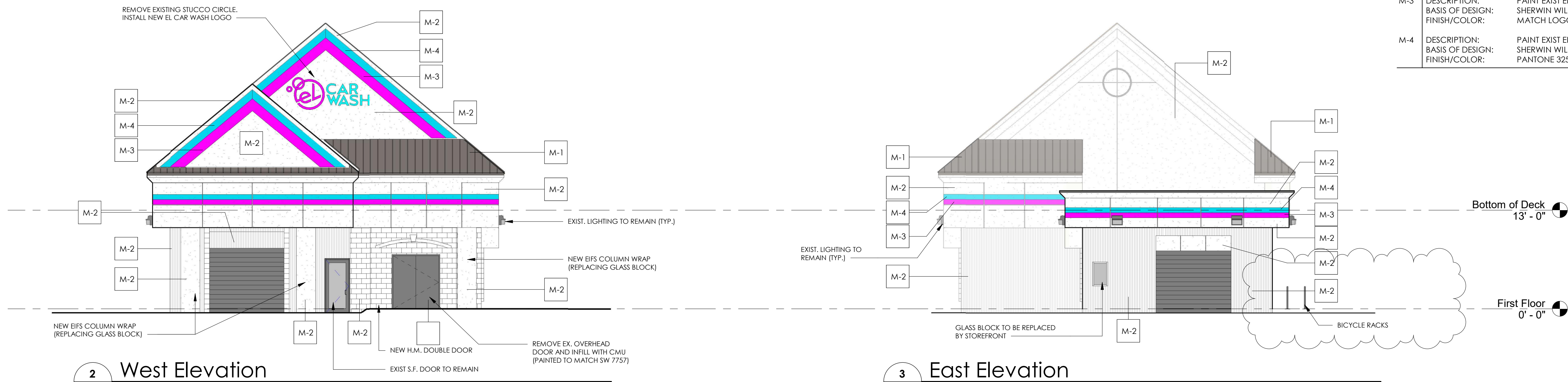
Sheet Number:
A.200



1 South Elevation
A.100 1/8" = 1'-0"

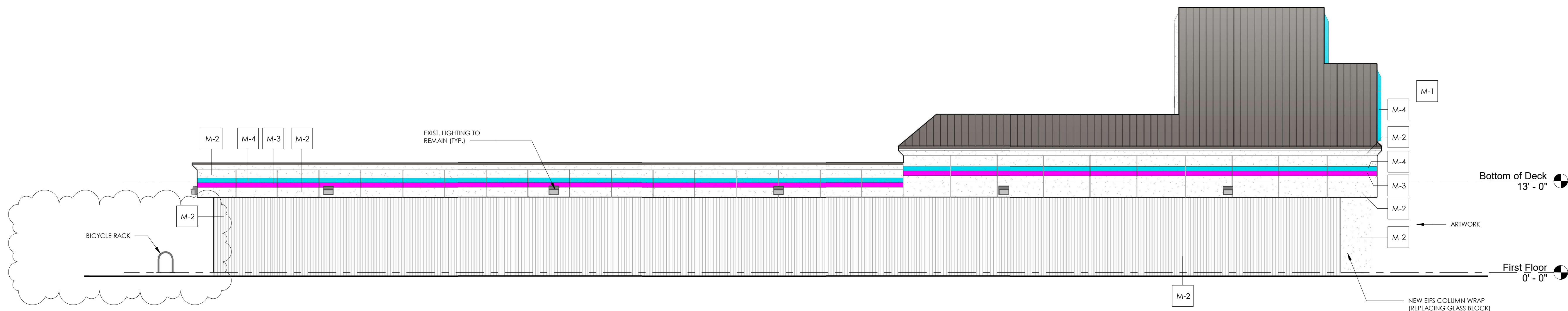
EXTERIOR MATERIAL SCHEDULE:

M-1	DESCRIPTION: PAINT EXISTING STANDING SEAM METAL ROOF BASIS OF DESIGN: SHERWIN WILLIAMS GAUNTLET GRAY SW 7019 FINISH/COLOR:
M-2	DESCRIPTION: PAINT EXIST MASONRY / EIFS BASIS OF DESIGN: SHERWIN WILLIAMS SW 7757 (WHITE) FINISH/COLOR:
M-3	DESCRIPTION: PAINT EXIST EIFS BASIS OF DESIGN: SHERWIN WILLIAMS MATCH LOGO COLOR (MAGENTA) FINISH/COLOR:
M-4	DESCRIPTION: PAINT EXIST EIFS BASIS OF DESIGN: SHERWIN WILLIAMS PANTONE 3252 (CYAN) FINISH/COLOR:



2 West Elevation
A.104 1/8" = 1'-0"

3 East Elevation
A.100 1/8" = 1'-0"



4 North Elevation
A.100 1/8" = 1'-0"





Lel CAR WASH







