



## COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals      **ZONING BOARD APPEALS DATE:** November 14, 2023

**REGARDING:** 48600 Grand River Avenue, Parcel # 50-22-17-126-012 (PZ23-0048)

**BY:** Alan Hall, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### **Applicant**

The Goddard School of Novi

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned General Business (B-3)

Location: north of Grand River Avenue, east of Wixom Road

Parcel #: 50-22-17-126-012

#### **Request**

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 4.12.2.ii.a to allow for the amount of the front yard setback, between the minimum required parking setback and the building façade line used for parking, to consist of 60% of that area (maximum allowed 50%, variance of 10%); Section 4.19.1.B/4.19.2.A to allow an accessory structure to be placed in the front yard (accessory structures not allowed in front yard); Section 4.19.1.J to allow four detached accessory structures for a lot having more than 21,780 square feet of area (maximum of two allowed, variance of two additional). This property is zoned General Business (B-3).

### II. STAFF COMMENTS:

*The applicant, Goddard School, is seeking a variance for having greater than 50% of the front yard and exterior side yard consist of parking because the site is constrained by having two frontages, the operations in regard to care of the children is taking place in the rear yard between the building and 12 Mile Road, where there is no parking or pick-up/drop-off of children, and the surrounding B-3 uses have similar parking situations. Also seeking a variance for constructing (4) accessory structures in a front yard due to the site having two frontages.*

**III. RECOMMENDATION:**

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ23-0048**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.

(b) The property is unique because \_\_\_\_\_.

(c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:  
1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

2. I move that we **deny** the variance in Case No. **PZ23-0048**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including

\_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi



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 www.cityofnovi.org

# ZONING BOARD OF APPEALS APPLICATION

**RECEIVED**

OCT 02 2023

CITY OF NOVI  
 COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: <b>\$300.00</b>
PROJECT NAME / SUBDIVISION Goddard School Annex				Meeting Date: <b>11-14-23</b>
ADDRESS 48600 Grand River Avenue		LOT/SIUTE/SPACE #		ZBA Case #: <b>PZ 23-0048</b>
SIDWELL # 50-22-17 -126 -012		May be obtain from Assessing Department (248) 347-0485		
CROSS ROADS OF PROPERTY North side of Grand River, 1140 feet East of 12 Mile Road				
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
<b>II. APPLICANT INFORMATION</b>				
<b>A. APPLICANT</b>		EMAIL ADDRESS novimi@goddardschools.com	CELL PHONE NO.	
NAME Derick Doe		TELEPHONE NO. 248-938-0400		
ORGANIZATION/COMPANY Doeting Education Co and The Goddard School of Novi		FAX NO. 248-869-6028		
ADDRESS 48600 Grand River Avenue		CITY Novi	STATE MI	ZIP CODE 48374
<b>B. PROPERTY OWNER</b> <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER				
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.	
NAME		TELEPHONE NO.		
ORGANIZATION/COMPANY		FAX NO.		
ADDRESS		CITY	STATE	ZIP CODE
<b>III. ZONING INFORMATION</b>				
<b>A. ZONING DISTRICT</b>				
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input checked="" type="checkbox"/> OTHER <u>B-3</u>				
<b>B. VARIANCE REQUESTED</b>				
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:				
1. Section <u>4.19.1.B/4.19.2.A</u>		Variance requested <u>Accessory Structures in front yard</u>		
2. Section <u>4.19.1.J</u>		Variance requested <u>Number of Accessory Structures - variance to allow 4</u>		
3. Section <u>4.12.2.ii.a</u>		Variance requested <u>50% max percentage of front yard parking area req.</u>		
4. Section _____		Variance requested <u>Variance of 60% for front parking area is proposed.</u>		
<b>IV. FEES AND DRAWINGS</b>				
<b>A. FEES</b>				
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600				
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>				
<ul style="list-style-type: none"> <li>Dimensioned Drawings and Plans</li> <li>Site/Plot Plan</li> <li>Existing or proposed buildings or addition on the property</li> <li>Number &amp; location of all on-site parking, if applicable</li> <li>Existing &amp; proposed distance to adjacent property lines</li> <li>Location of existing &amp; proposed signs, if applicable</li> <li>Floor plans &amp; elevations</li> <li>Any other information relevant to the Variance application</li> </ul>				



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

Applicant Signature

03 Oct 2023  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



**Community Development Department**

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**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

4.19 Accessory Structure variances

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.  
 Not Applicable     Applicable    If applicable, describe below:

*and/or*

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.  
 Not Applicable     Applicable    If applicable, describe below:

Parcel has 2 frontages, Grand River and 12 Mile Road. Grand River acts as the 'front' of the proposed site, 12 Mile as the 'rear' for the proposed site, similar to other adjacent uses along Grand River. Due to need for shade structures on each playground area, applicant is requesting 4 total accessory structures, to include 3 shade structures and one small (12 feet x 12 feet) storage shed (exterior to match building) for lawn/snow equipment and to store shade structure covers in winter.

*and/or*

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.  
 Not Applicable     Applicable    If applicable, describe below:

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Each playground area has a separate shade structure for the use of the students. The facility also has need of a small structure to store lawn and snow equipment, in addition to storing the shade structure covers in the winter. The lawn/snow equipment could not be safely stored within the main building.

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Only allowing 2 structures would preclude the placement of separate playground areas for different ages of students, and a structure to store lawn/snow equipment. The facility could not accommodate the various ages of students needed.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The school needs all 3 playground areas in order to keep students of different ages separate. One shade structure is needed in each playground. Shade structures are to be part of the playground structures, which both provides shade for the play structures and reduces visual 'clutter' of multiple structures in each playground area.

Only one storage structure is being proposed.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

12 Mile Road acts as a rear yard for other adjacent 12 Mile Road / Grand River dual frontage properties. It is recognized that there are parcels on the north side of 12 Mile Road that treat 12 Mile Road as their frontage. The structures will have little to no impact of the properties across 12 Mile Road, which consist of a Auto body shop, tire center and a large boat sales facility. The next parcel east on the north side of 12 Mile Road is another day school which also has a shade structure located along 12 Mile Road frontage.

The accessory structures will be located well outside the front setback of 12 Mile Road.



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**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

4.12 Front Parking Area Variance

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.  
 Not Applicable     Applicable    If applicable, describe below:

*and/or*

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.  
 Not Applicable     Applicable    If applicable, describe below:

Parcel has 2 frontages, Grand River and 12 Mile Road. Grand River acts as the 'front' of the proposed site, 12 Mile as the 'rear' for the proposed site, similar to other adjacent uses along Grand River. However, the rear of the site is also needed for the use, for outdoor recreation area for the students. This precludes adding 'rear' parking. The east side of the site has significant wetlands and grade issues.

*and/or*

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.  
 Not Applicable     Applicable    If applicable, describe below:



### **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Parcel has 2 frontages and one interior side yard that is not suitable for the proposed use as recreational area. The other interior side yard is also being used for parking. If the area of both frontages are considered, the entire parcel is well under 50% ratio of parking of the front yard area outside the parking setback. The front yard for 12 Mile only utilizes 6.5% of the area for parking.

### **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Due to the need for an area for playgrounds, and the easterly interior side yard not being suitable for either outside play areas, or parking due to the proximity of wetlands and severe slopes, strict adherence to the zoning ordinance would not allow the applicant to provide enough parking to meet the parking section of the ordinance.

### **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The parking proposed just meets the minimum required parking for the proposed use. The applicant is not providing any more parking than what is required.

### **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The zoning variance being requested is specific to day care facilities. As the front parking area is a similar layout as the adjacent parcels, there is no impact on the surrounding uses.

**LEGAL DESCRIPTION (AS PROVIDED)**

(PARCEL "A")  
 (PER FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 741758, COMMITMENT DATE: APRIL 13, 2016)

THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF OAKLAND, CITY OF NOVI, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PART OF THE NORTHWEST 1/4 OF SECTION 17, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS BEGINNING AT A POINT DISTANT EAST 1878.14 FEET AND SOUTH 60 FEET FROM THE NORTHWEST SECTIONAL CORNER, THENCE EAST 168.75 FEET, THENCE SOUTH 09 DEGREES 04 MINUTES 39 SECONDS EAST, 334.61 FEET, THENCE SOUTH 20 DEGREES, 37 MINUTES 47 SECONDS WEST, 110.55 FEET, THENCE NORTH 70 DEGREES 04 MINUTES 59 SECONDS WEST, 263.30 FEET, THENCE NORTH 10 DEGREES 41 MINUTES 18 SECONDS EAST, 350.56 FEET TO THE POINT OF BEGINNING.

(PARCEL "B")  
 (PER FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 943901, EFFECTIVE DATE: AUGUST 19, 2021)

**SCHEDULE C DESCRIPTION:**

LAND IN THE CITY OF NOVI, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF THE NORTHWEST 1/4 OF SECTION 17, TOWN 1 NORTH, RANGE 6 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17; THENCE DUE EAST, 1878.14 FEET ALONG THE NORTH LINE OF SAID SECTION 17 AND THE CENTERLINE OF TWELVE MILE ROAD (60.00 FEET 1/2 RIGHT-OF-WAY); THENCE DUE SOUTH, 60.00 FEET, TO THE SOUTHERLY RIGHT-OF-WAY OF SAID TWELVE MILE ROAD AND THE POINT OF BEGINNING; THENCE DUE EAST 594.33 FEET, ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAID TWELVE MILE ROAD; THENCE SOUTH 00 DEGREES 29 MINUTES 31 SECONDS WEST, 581.28 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF GRAND RIVER AVENUE (50.00 FEET 1/2 RIGHT-OF-WAY); THENCE NORTH 70 DEGREES 04 MINUTES 59 SECONDS WEST 695.93 FEET, ALONG THE NORTHERLY RIGHT-OF-WAY OF SAID GRAND RIVER AVENUE; THENCE NORTH 10 DEGREES 41 MINUTES 18 SECONDS EAST, 350.26 FEET TO THE POINT OF BEGINNING.

[PARENT PARCEL "B", TAX ID: 50-22-17-126-012]

EXCEPTING THEREFROM A PART OF THE NORTHWEST 1/4 OF SECTION 17, TOWN 1 NORTH, RANGE 8 EAST, ASSESSED ON THE TAX ROLLS AS: BEGINNING AT A POINT DISTANT EAST 1878.14 FEET AND SOUTH 60 FEET FROM THE NORTHWEST SECTION CORNER TO THE PLACE OF BEGINNING; THENCE EAST 168.75 FEET; THENCE SOUTH 09 DEGREES 04 MINUTES 39 SECONDS EAST, 334.61 FEET; THENCE SOUTH 20 DEGREES 37 MINUTES 47 SECONDS WEST, 110.55 FEET; THENCE NORTH 70 DEGREES 04 MINUTES 59 SECONDS WEST, 263.30 FEET; THENCE NORTH 10 DEGREES 41 MINUTES 18 SECONDS EAST, 350.26 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM A PART OF THE NORTHWEST 1/4 OF SECTION 17, TOWN 1 NORTH, RANGE 8 EAST, ASSESSED ON THE TAX ROLLS AS: BEGINNING AT A POINT DISTANT EAST 1878.14 FEET AND SOUTH 60 FEET FROM THE NORTHWEST SECTION CORNER TO THE PLACE OF BEGINNING; THENCE EAST 255.55 FEET; THENCE SOUTH 02 DEGREES 04 MINUTES 05 SECONDS WEST, 581.71 FEET; THENCE NORTH 70 DEGREES 04 MINUTES 59 SECONDS WEST, 127.82 FEET; THENCE NORTH 13 DEGREES 01 MINUTE 21 SECONDS WEST, 551.98 FEET TO THE POINT OF BEGINNING.

[TAX ID 50-22-17-126-014]

**BEARING REFERENCE**

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:  
 FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 741758, COMMITMENT DATE: APRIL 13, 2016 AND TITLE COMMITMENT NO: 943901, EFFECTIVE DATE: AUGUST 19, 2021,

**DESIGN ENGINEER/SURVEYOR**



MONUMENT ENGINEERING GROUP ASSOCIATES, INC

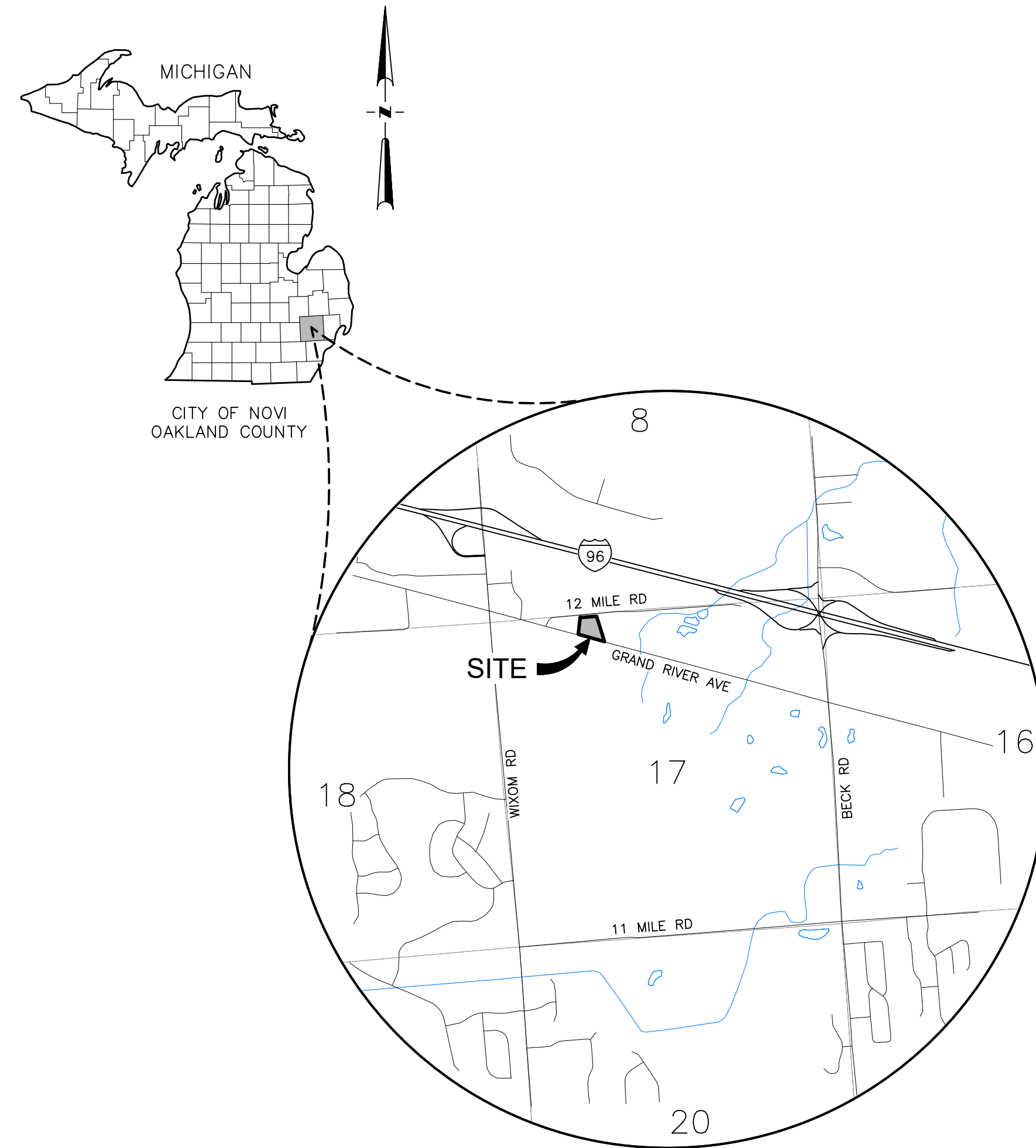
INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE,  
 FOWLERVILLE, MI 48836  
 ALLAN W PRUSS, PE, PS  
 PHONE: 517-223-3512

**NOTES**

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

PRELIMINARY SITE PLAN DRAWING FOR  
**GODDARD SCHOOL**  
**NOVI**



LOCATION MAP

**CLIENT**

DOETING EDUCATION COMPANY  
 48600 GRAND RIVER AVENUE  
 NOVI, MI 48374  
 POC: DERICK DOE  
 PHONE: 248-938-0400

**ARCHITECT**

KRAEMER DESIGN GROUP  
 1420 BROADWAY  
 DETROIT MI 48226  
 POC: JENNIFER ELMORE  
 PHONE: 313-965-3399

**LANDSCAPE ARCHITECT**

FELINO PASCUAL AND ASSOCIATES  
 24333 ORCHARD LAKE ROAD  
 FARMINGTON HILLS 48336  
 POC: FELINO PASCUAL (JOEL)  
 PHONE: 248-557-5588

**SHEET INDEX**

		PLAN SUBMITTALS									
		PRE-APP MEETING SUBMITTAL	WETLAND DELINEATION SUBMITTAL	GODDARD SCHOOLS REVIEW	PRELIMINARY SITE PLAN REVIEW	PERMIT SET	BUILDING PERMIT SUBMITTAL	SITE PLAN RESUBMITTAL	ZBA SUBMITTAL		
		12/07/2022	1/11/2023	1/23/2023	3/24/2023	3/29/2023	7/6/2023	8/1/2023	9/28/2023		
INCLUDED SHEETS											
<b>GENERAL</b>											
SHEET	G-1.0	COVER	•	•	•	•	•	•	•	•	•
<b>SURVEY</b>											
SHEET	V-1.0	TOPOGRAPHIC SURVEY	•	•	•	•	•	•	•	•	•
<b>CIVIL DEMOLITION</b>											
SHEET	CD-1.0	DEMOLITION PLAN	•	•	•	•	•	•	•	•	•
<b>SITE PLAN</b>											
SHEET	C-1.0	DIMENSION AND PAVING PLAN	•	•	•	•	•	•	•	•	•
SHEET	C-1.1	MECH AND STAIRS WITH RAMP AREAS	•	•	•	•	•	•	•	•	•
SHEET	C-1.2	PLAYGROUND PLAN	•	•	•	•	•	•	•	•	•
SHEET	C-1.3	PLAYGROUND DETAILS	•	•	•	•	•	•	•	•	•
<b>CIRCULATION</b>											
SHEET	C-2.0	PLAYGROUND CIRCULATION	•	•	•	•	•	•	•	•	•
SHEET	C-2.1	EMERGENCY VEHICLE CIRCULATION	•	•	•	•	•	•	•	•	•
SHEET	C-2.2	REFUSE VEHICLE CIRCULATION	•	•	•	•	•	•	•	•	•
<b>UTILITY</b>											
SHEET	C-3.0	UTILITY PLAN	•	•	•	•	•	•	•	•	•
SHEET	C-3.1	UTILITY PROFILES	•	•	•	•	•	•	•	•	•
<b>GRADING</b>											
SHEET	C-7.0	GRADING PLAN	•	•	•	•	•	•	•	•	•
SHEET	C-7.1	GRADING PLAN	•	•	•	•	•	•	•	•	•
<b>SOIL EROSION &amp; SEDIMENTATION CONTROL (SESC)</b>											
SHEET	C-8.0	SESC PLAN	•	•	•	•	•	•	•	•	•
SHEET	C-8.1	OAKLAND COUNTY SESC NOTES AND DETAILS	•	•	•	•	•	•	•	•	•
<b>STORM WATER MANAGEMENT</b>											
SHEET	C-9.0	DRAINAGE AREA PLAN	•	•	•	•	•	•	•	•	•
SHEET	C-9.1	RECORD DRAINAGE AREA PLAN	•	•	•	•	•	•	•	•	•
SHEET	C-9.2	STORM WATER CALCULATIONS	•	•	•	•	•	•	•	•	•
SHEET	C-9.3	DETENTION BASIN DETAILS	•	•	•	•	•	•	•	•	•
<b>DETAILS</b>											
SHEET	C-11.0	DETAILS	•	•	•	•	•	•	•	•	•
<b>SPECIFICATIONS</b>											
SHEET	C-12.0	SPECIFICATIONS	•	•	•	•	•	•	•	•	•
SHEET	C-12.1	SPECIFICATIONS	•	•	•	•	•	•	•	•	•
<b>LANDSCAPE</b>											
SHEET	LS-1	LANDSCAPE PLANTING DETAIL	•	•	•	•	•	•	•	•	•
SHEET	LS-2	SOD, SEEDING, IRRIGATION AND AREA REFERENCE PLAN	•	•	•	•	•	•	•	•	•
SHEET	LS-3	PLANTING DETAILS AND LANDSCAPE NOTES	•	•	•	•	•	•	•	•	•
<b>LIGHTING</b>											
SHEET	PE1	SITE PHOTOMETRIC	•	•	•	•	•	•	•	•	•
SHEET	PE2	FRONT & GYM FACADE PHOTOMETRICS	•	•	•	•	•	•	•	•	•
SHEET	PE3	FRONT ENTRY FACADE AND CANOPY PHOTOMETRICS	•	•	•	•	•	•	•	•	•
SHEET	PE4	GYM CANOPY EAST PHOTOMETRICS	•	•	•	•	•	•	•	•	•
SHEET	PE5	SITE LIGHTING CUTSHEETS	•	•	•	•	•	•	•	•	•
<b>ELEVATIONS</b>											
SHEET	A201	ELEVATIONS	•	•	•	•	•	•	•	•	•
SHEET	A202	ELEVATIONS	•	•	•	•	•	•	•	•	•
SHEET	A404	ENLARGED GARAGE PLAN	•	•	•	•	•	•	•	•	•
CITY OF NOVI, OAKLAND COUNTY STANDARD DETAILS											



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 48600 GRAND RIVER  
 NOVI, MI 48374  
 248-938-0400  
 NovMI@goddardschool.com

**COVER**  
 TAX IDS-50-22-17-126-012 & -126-013  
 THE GODDARD SCHOOL NOVI  
 PART OF NW 1/4, SEC. 17, T1N-R8E,  
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DATE	DESCRIPTION
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	ZBA SUBMITTAL

ORIGINAL ISSUE DATE: 12/7/2022

PROJECT NO: 21-2848

SCALE: N/A

FIELD:  
 DRAWN BY: DAH  
 DESIGN BY: TDB  
 CHECK BY: MEB/PL

**G-10**

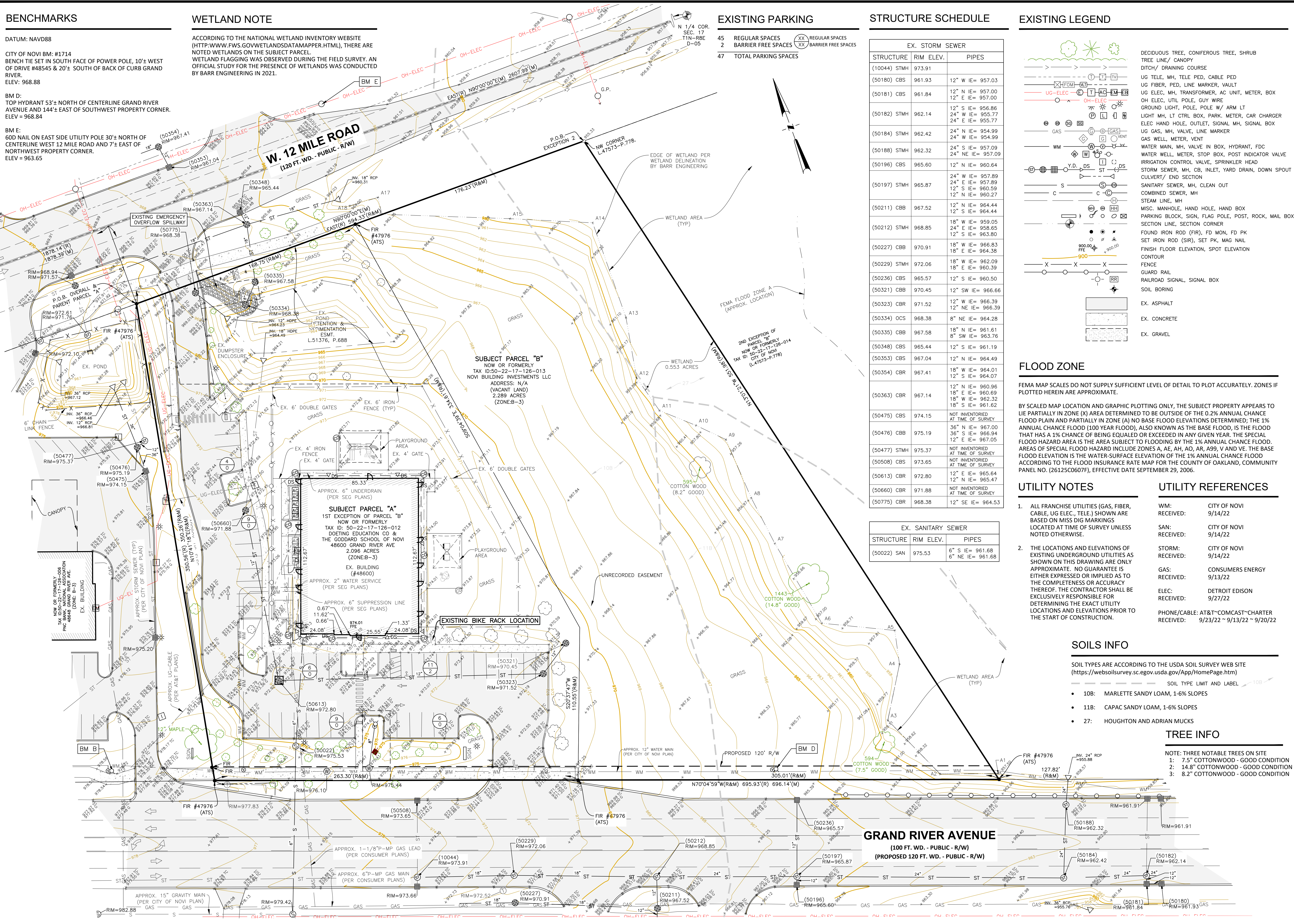
NOT FOR CONSTRUCTION

**BENCHMARKS**

DATUM: NAVD88  
 BENCH TIE SET IN SOUTH FACE OF POWER POLE, 10'± WEST OF DRIVE #48545 & 20'± SOUTH OF BACK OF CURB GRAND RIVER.  
 ELEV: 968.88  
 BM D:  
 TOP HYDRANT 53'± NORTH OF CENTERLINE GRAND RIVER AVENUE AND 144'± EAST OF SOUTHWEST PROPERTY CORNER.  
 ELEV = 968.84  
 BM E:  
 60D NAIL ON EAST SIDE UTILITY POLE 30'± NORTH OF CENTERLINE WEST 12 MILE ROAD AND 7'± EAST OF NORTHWEST PROPERTY CORNER.  
 ELEV = 963.65

**WETLAND NOTE**

ACCORDING TO THE NATIONAL WETLAND INVENTORY WEBSITE (HTTP://WWW.FWS.GOV/WETLANDSDATAMAPPER.HTML), THERE ARE NOTED WETLANDS ON THE SUBJECT PARCEL.  
 WETLAND FLAGGING WAS OBSERVED DURING THE FIELD SURVEY. AN OFFICIAL STUDY FOR THE PRESENCE OF WETLANDS WAS CONDUCTED BY BARR ENGINEERING IN 2021.



**EXISTING PARKING**

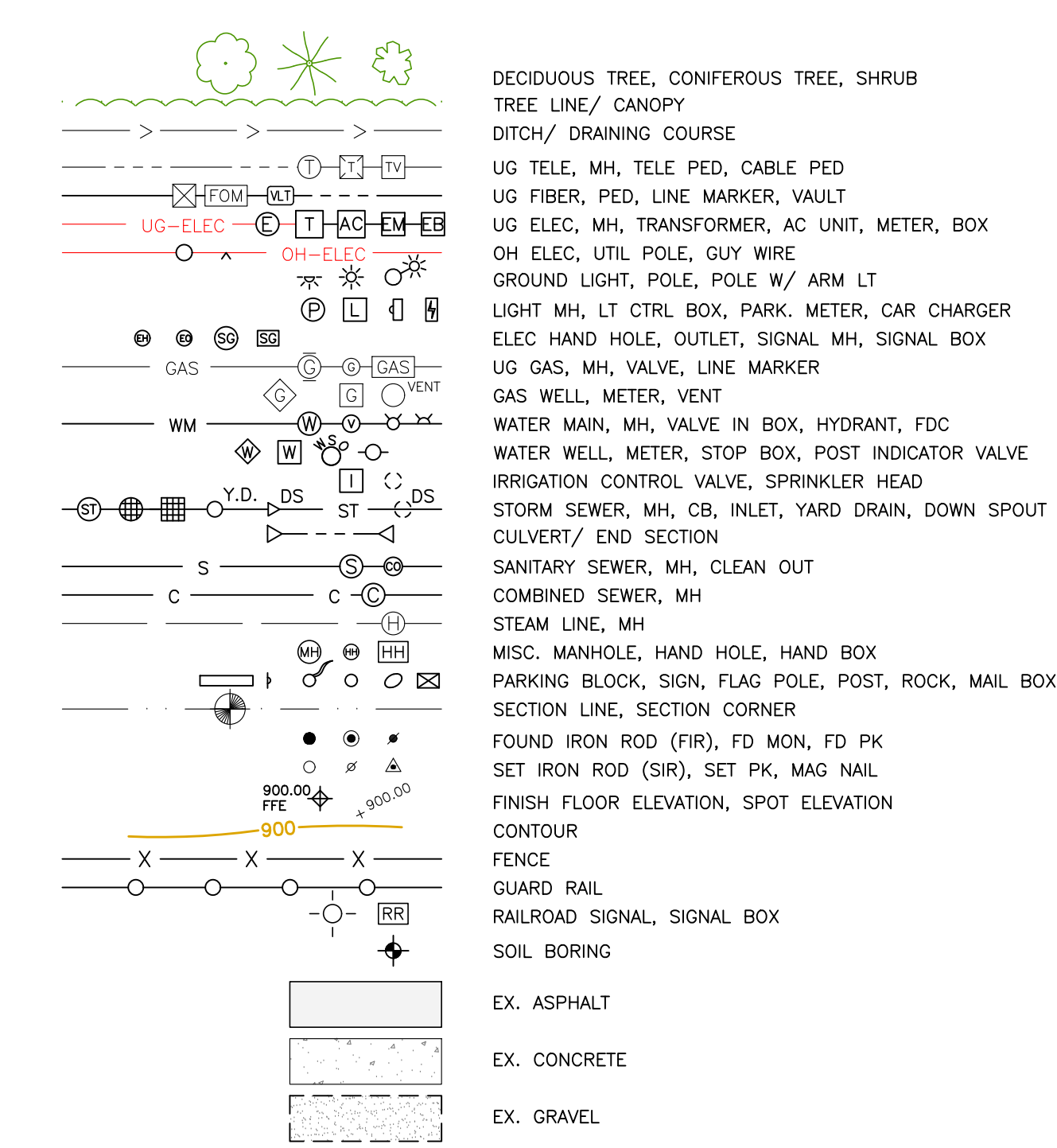
- 45 REGULAR SPACES
- 2 BARRIER FREE SPACES
- 47 TOTAL PARKING SPACES

**STRUCTURE SCHEDULE**

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(10044) STMH	973.91	
(50180) CBS	961.93	12" W IE= 957.03
(50181) CBS	961.84	12" N IE= 957.00 12" E IE= 957.00
(50182) STMH	962.14	12" S IE= 956.86 24" W IE= 955.77 24" E IE= 955.77
(50184) STMH	962.42	24" N IE= 954.99 24" W IE= 954.99
(50188) STMH	962.32	24" S IE= 957.09 24" NE IE= 957.09
(50196) CBS	965.60	12" N IE= 960.64
(50197) STMH	965.87	24" W IE= 957.89 24" E IE= 957.89 12" S IE= 960.57 12" N IE= 960.27
(50211) CBB	967.52	12" N IE= 964.44 12" S IE= 964.44
(50212) STMH	968.85	18" W IE= 959.05 24" E IE= 958.65 12" S IE= 963.80
(50227) CBB	970.91	18" W IE= 966.83 18" E IE= 964.38
(50229) STMH	972.06	18" W IE= 962.09 18" E IE= 960.39
(50236) CBS	965.57	12" S IE= 960.50
(50321) CBB	970.45	12" SW IE= 966.66
(50323) CBR	971.52	12" W IE= 966.39 12" NE IE= 966.39
(50334) OCS	968.38	8" NE IE= 964.28
(50335) CBB	967.58	18" N IE= 961.61 8" SW IE= 963.76
(50348) CBS	965.44	12" S IE= 961.19
(50353) CBS	967.04	12" N IE= 964.49
(50354) CBR	967.41	18" W IE= 964.01 12" S IE= 964.07
(50363) CBR	967.14	12" N IE= 960.96 18" E IE= 960.69 18" W IE= 962.32 18" S IE= 961.62
(50475) CBS	974.15	NOT INVENTORIED AT TIME OF SURVEY
(50476) CBB	975.19	36" N IE= 967.00 36" S IE= 966.94 12" E IE= 967.05
(50477) STMH	975.37	NOT INVENTORIED AT TIME OF SURVEY
(50508) CBS	973.65	NOT INVENTORIED AT TIME OF SURVEY
(50613) CBR	972.80	12" E IE= 965.64 12" N IE= 965.47
(50660) CBR	971.88	NOT INVENTORIED AT TIME OF SURVEY
(50775) CBR	968.38	12" SE IE= 964.53

EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(50022) SAN	975.53	6" S IE= 961.68 6" NE IE= 961.68

**EXISTING LEGEND**



**FLOOD ZONE**

FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.  
 BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE PARTIALLY IN ZONE (X) AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN AND PARTIALLY IN ZONE (A) NO BASE FLOOD ELEVATIONS DETERMINED; THE 1% ANNUAL CHANCE FLOOD (100 YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. AREAS OF SPECIAL FLOOD HAZARD INCLUDE ZONES A, AE, AH, AO, AR, AV, AND VE. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF OAKLAND, COMMUNITY PANEL NO. (26125C0607F), EFFECTIVE DATE SEPTEMBER 29, 2006.

**UTILITY NOTES**

- ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE) SHOWN ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**UTILITY REFERENCES**

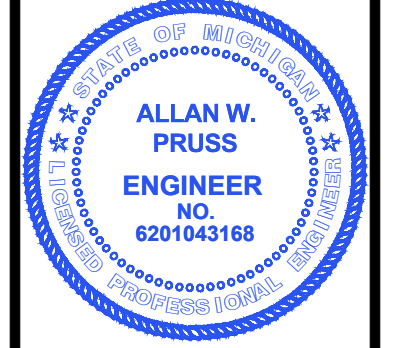
WM: CITY OF NOVI  
 RECEIVED: 9/14/22  
 SAN: CITY OF NOVI  
 RECEIVED: 9/14/22  
 STORM: CITY OF NOVI  
 RECEIVED: 9/14/22  
 GAS: CONSUMERS ENERGY  
 RECEIVED: 9/13/22  
 ELEC: DETROIT EDISON  
 RECEIVED: 9/27/22  
 PHONE/CABLE: AT&T-COMCAST-CHARTER  
 RECEIVED: 9/23/22 ~ 9/13/22 ~ 9/20/22

**SOILS INFO**

SOIL TYPES ARE ACCORDING TO THE USDA SOIL SURVEY WEB SITE (https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm)  
 SOIL TYPE LIMIT AND LABEL  
 • 10B: MARLETTE SANDY LOAM, 1-6% SLOPES  
 • 11B: CAPAC SANDY LOAM, 1-6% SLOPES  
 • 27: HOUGHTON AND ADRIAN MUCKS

**TREE INFO**

NOTE: THREE NOTABLE TREES ON SITE  
 1: 7.5" COTTONWOOD - GOOD CONDITION  
 2: 14.8" COTTONWOOD - GOOD CONDITION  
 3: 8.2" COTTONWOOD - GOOD CONDITION



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**TOPOGRAPHIC SURVEY**  
 TAX IDS: 50-22-17-126-012 & -126-013  
 THE GODDARD SCHOOL NOVI  
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 FIELD:  
 DRAWN BY: DAH  
 DESIGN BY: TDB  
 CHECK BY: MEB/PL  
**V-10**  
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PAVEMENT SCHEDULE	AREA(SF)
DUMPSTER PAD AND APRON	563
GENERATOR PAD	42
SIDEWALK	7,042
CONCRETE (PLAYGROUNDS AND SPORTS COURT)	2,733
ASPHALT	16,423

PERCENT OF PARKING WITHIN AREA BETWEEN PARKING SETBACK AND BUILDING FACADE:  
4056 SF / 62641 SF = 6.5%

62641 SF AREA BETWEEN PARKING SETBACK AND FACADE.

EXISTING SIGN 10 SF FACE AREA (NO CHANGES PROPOSED)

4056 SF TOTAL AREA OF PARKING BETWEEN FACADE AND PARKING SETBACK

INSTALL GARAGE ON EXISTING DUMPSTER PAD. SEE ARCH PLANS FOR DETAILS.

INSTALL BOLLARD AND COVER TYP. OF 3

168 LF OF MCCUE CRASHCOURSE BOLLARD FENCE SEE SHEET C-11.0 FOR DETAIL

SEE SHEET C-1.1 FOR DIMENSIONS, LABELS, AND DETAILS IN THIS AREA

415 SF ASPHALT PAVEMENT

20 LF 4" INTEGRAL CURB

24 LF 6" CONCRETE CURB AND GUTTER

INSTALL 25 BOLLARDS WEST OF MAIN ENTRANCE. SEE SHEET C-1.1 FOR DETAILS.

INSTALL 15 LF OF CONCRETE CURB  
INSTALL SALVAGED CROSSWALK SIGN

134 SF OF ASPHALT PAVEMENT  
HANDICAP SYMBOL SEE C-11.0 FOR DETAIL TYP. OF 4

43 LF REVERSE CONCRETE CURB AND GUTTER

EXISTING SIGN CHANGEABLE MESSAGE BOARD TO BE REMOVED  
REMAINING SIGN FACE AREA = 22.83 SFT

SEE SHEET C-1.1 FOR DIMENSIONS, LABELS, AND DETAILS IN THIS AREA

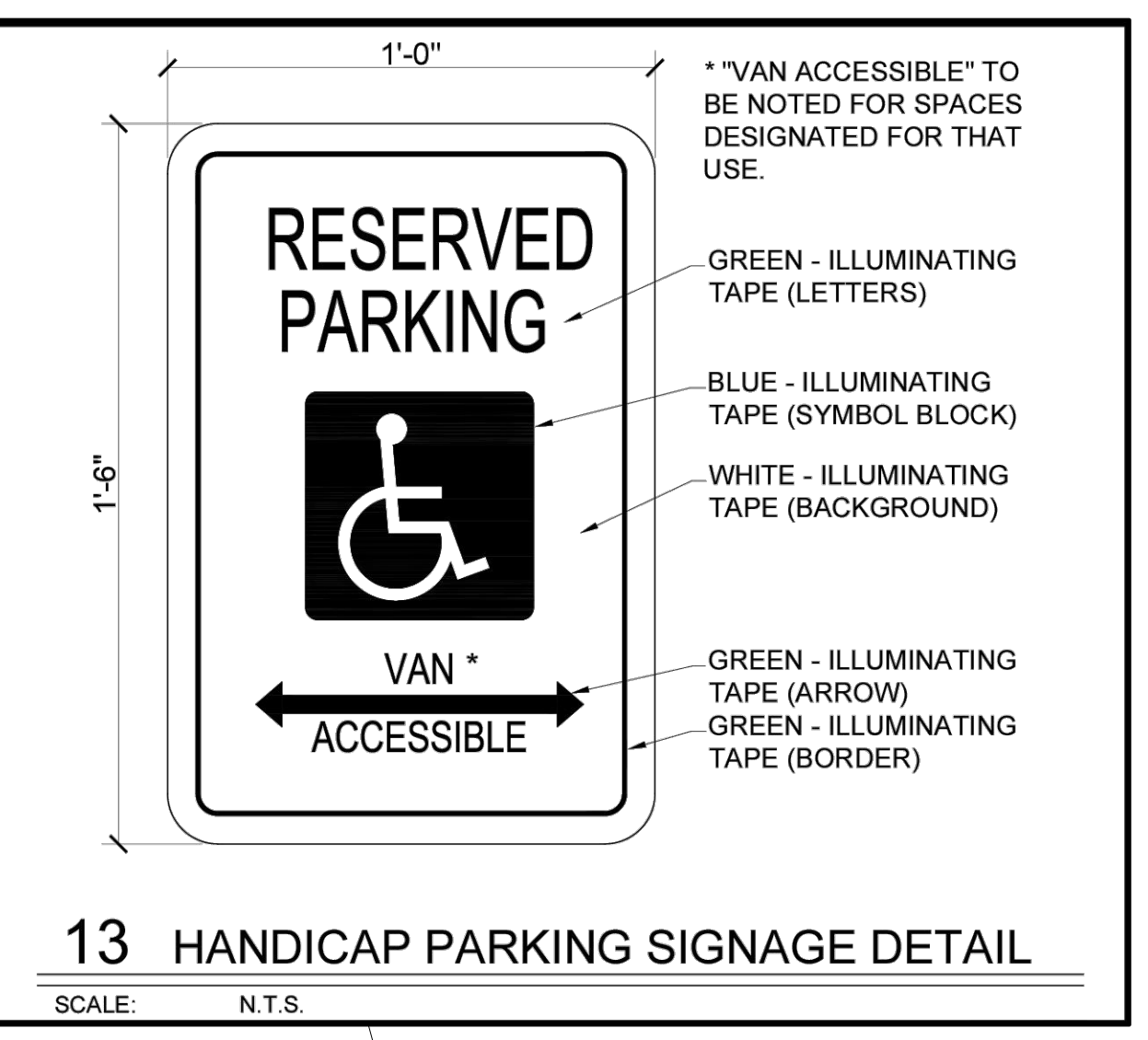
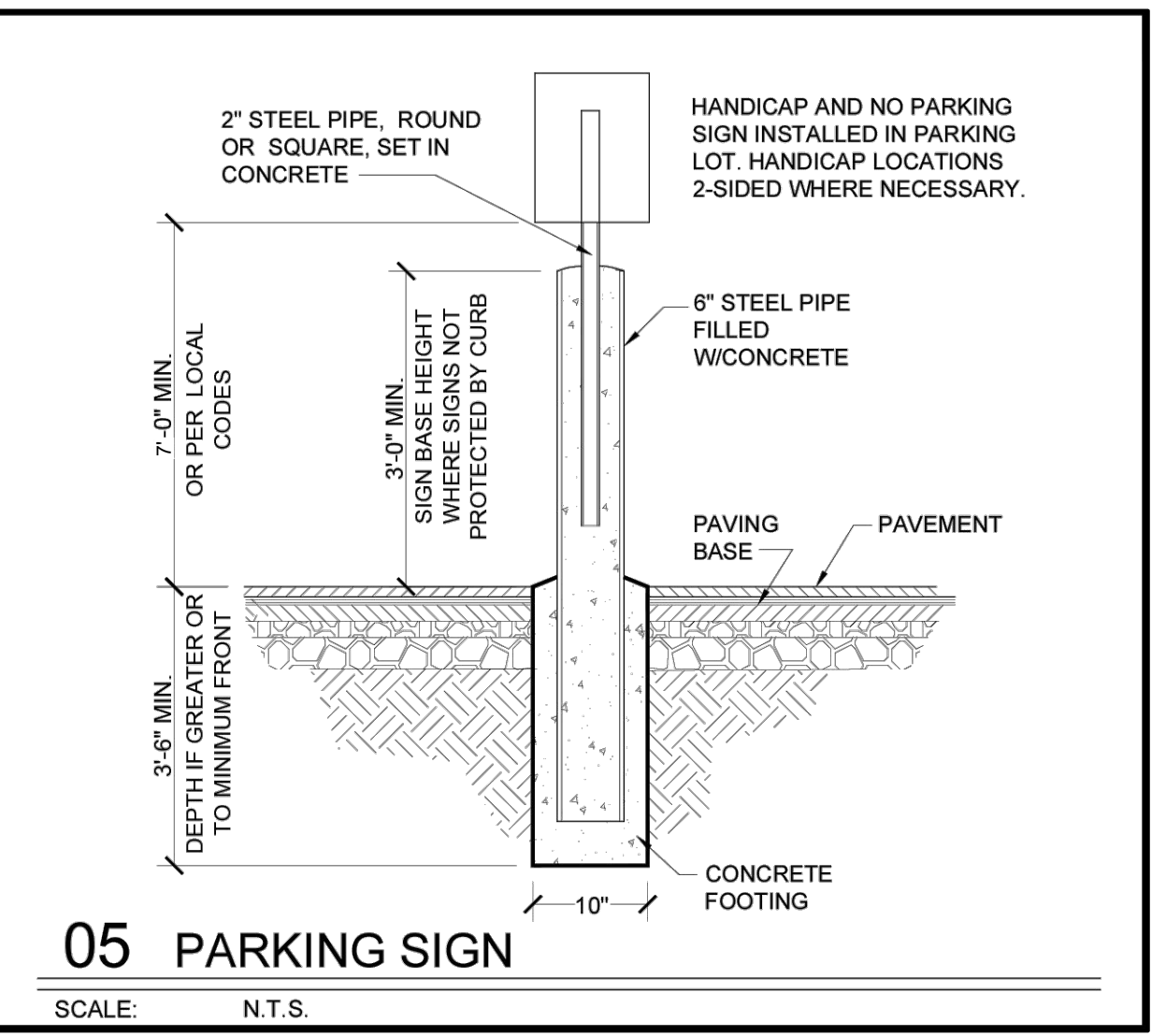
24195 SF TOTAL AREA OF PARKING BETWEEN FACADE AND PARKING SETBACK

40211 SF AREA BETWEEN PARKING SETBACK AND FACADE.

PERCENT OF PARKING WITHIN AREA BETWEEN PARKING SETBACK AND BUILDING FACADE:  
24,195 SF / 40,211 SF = 60%

SEE SHEET C-1.1 FOR DIMENSIONS, LABELS, AND DETAILS IN THIS AREA

SIGN QUANTITY TABLE	
ADA PARKING (R7-8)	3
VAN ACCESSIBLE ADA PARKING (R7-8P)	1



### PAVEMENT LEGEND

	EX. ASPHALT
	EX. CONCRETE
	EX. GRAVEL
	PR. STANDARD DUTY ASPHALT
	PR. HEAVY DUTY ASPHALT
	PR. CONCRETE
	PR. GRAVEL
	PR. RAISED EDGE WALK
	STANDARD CURB AND GUTTER
	REVERSE CURB AND GUTTER

### PROPOSED PARKING

1:350 BUILDING SF + 1:1 MAX EMPLOYEE SHIFT  
15,300 SF / 350 SF + 45 ESTIMATED EMPLOYEES  
TOTAL PARKING REQUIRED = 89 SPACES

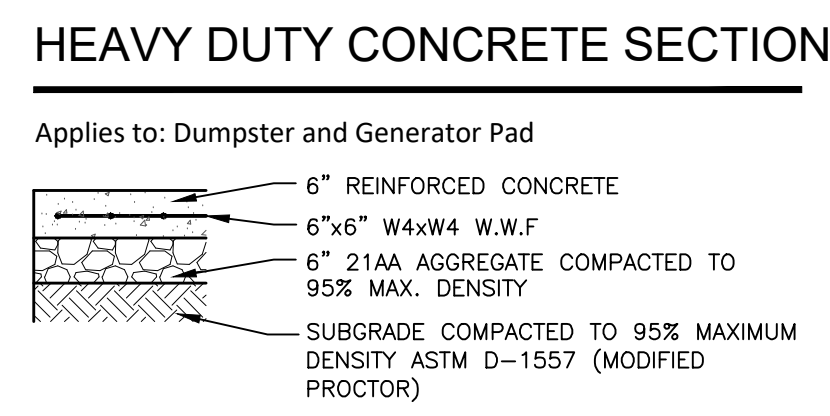
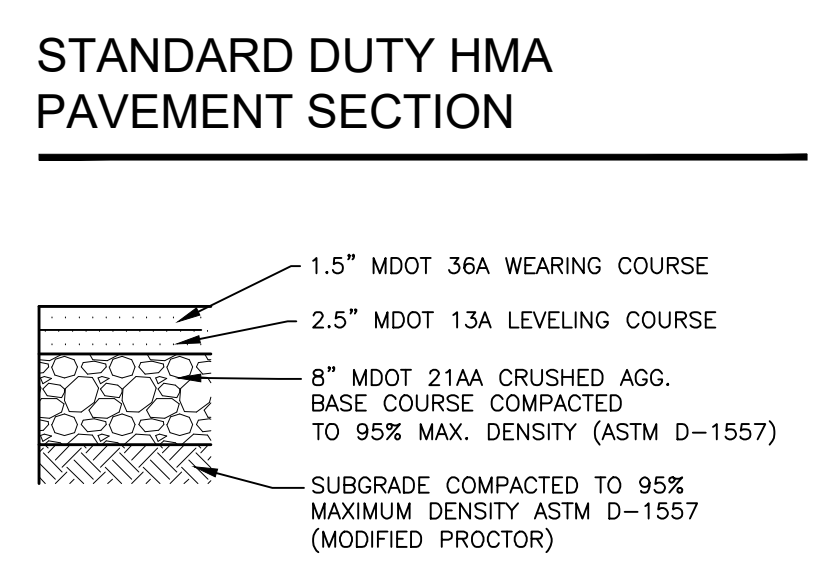
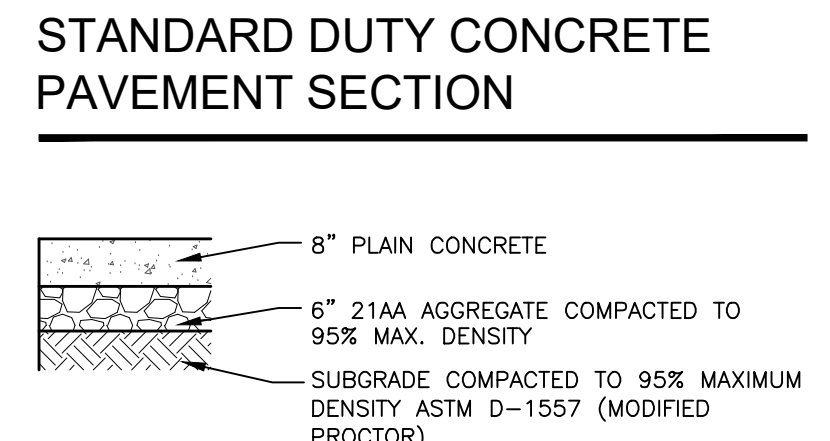
EXISTING PARKING SPACES	34	XX	REGULAR SPACES
EXISTING BARRIER FREE	02	XX	BARRIER FREE SPACES
PARKING SPACES	52		
PROPOSED BARRIER FREE	02	XX	REGULAR SPACES
TOTAL PARKING PROVIDED	90	XX	BARRIER FREE SPACES

### ECONOMIC IMPACT INFORMATION

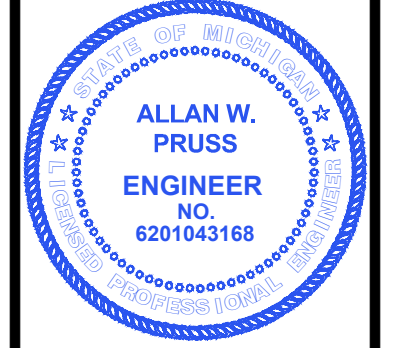
TOTAL PROJECT COST = \$5,750,000  
COST OF ADDITION = \$5,250,000  
COST OF SITE IMPROVEMENTS = \$500,000

ANTICIPATED JOBS CREATED: 55 JOBS  
DURING CONSTRUCTION: 40 JOBS  
POST CONSTRUCTION, EMPLOYED AT SCHOOL ADDITION: 15 JOBS

- ### NOTES
- NOISE GENERATED FROM THE SITE WILL NOT EXCEED THE MAXIMUM LEVELS ALLOWABLE.
  - ADA SPACES SHALL BE MARKED WITH R7-8 SIGNS WITH R7-8P PLACARD FOR VAN ACCESSIBLE SPACES.
  - FHWA STANDARD ALPHABET SERIES MUST BE USED FOR ALL SIGN LANGUAGE.
  - HIGH-INTENSITY PRISMATIC (HIP) SHEETING MUST BE USED FOR ALL SIGNS.
  - FOR ADA SPACES THAT ARE ADJACENT TO REGULAR SPACES STRIPE USING BOTH WHITE AND BLUE 4" WIDE STRIPES.
  - THE CONTENT OF THE GARAGE WILL INCLUDE: CANOPIES FOR THE PLAY STRUCTURES, CHILDREN'S PLAY WATER TABLE, AND LAWN MAINTENANCE EQUIPMENT.
  - LENGTH OF SALVAGED FENCE PANEL IS APPROXIMATE. CONTRACTOR TO ASSUME UP TO 20 FEET OF WASTE IN CUTTING AND INSTALLATION OF SALVAGED FENCE



- ### SIGN NOTES
- CENTERLINE OF 12 MILE ROAD TO NEAREST POINT ON BUILDING FACE FOR RELOCATED GODDARD SCHOOL SIGN.
  - CENTERLINE OF 12 MILE ROAD TO EXISTING MONUMENT SIGN (NO CHANGES PROPOSED).
  - CENTERLINE OF GRAND RIVER AVENUE TO EXISTING MONUMENT SIGN (NO CHANGES PROPOSED).
  - DISTANCE FROM CENTERLINE OF GRAND RIVER AVENUE TO GODDARD LOGO SIGN.
  - DISTANCE FROM CENTERLINE OF GRAND RIVER AVENUE TO NEW GODDARD SCHOOL SIGN.
  - EXISTING GODDARD SCHOOL SIGN TO BE LOCATED TO NORTH SIDE OF GYMNASIUM EXTERIOR. SEE NOTE 1.



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DERICK DOE  
48600 GRAND RIVER  
NOVI, MI 48374  
248-938-0400  
NoviMI@goddardschool.com

### DIMENSION AND PAVING PLAN

TAX IDS: 50-22-17-126-012 & -126-013  
THE GODDARD SCHOOL, NOVI  
PART OF NW 1/4, SEC. 17, T1N-R8E,  
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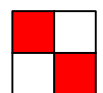
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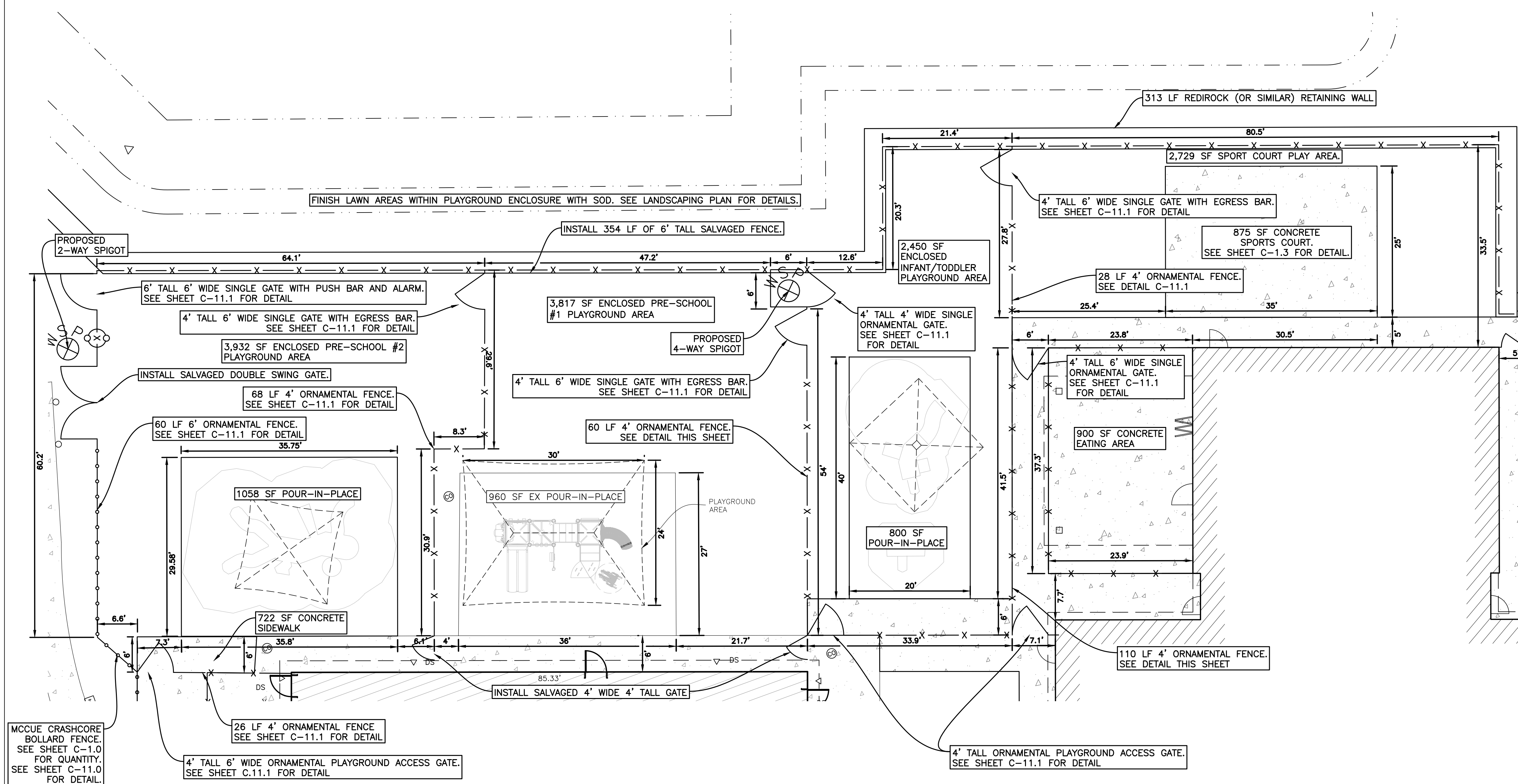
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0 1/2" 1"  
FIELD:  
DRAWN BY: DAH  
DESIGN BY: TDB  
CHECK BY: MEB/PL

**C-10**

NOT FOR CONSTRUCTION



# PLAYGROUND AREA - DETAILED VIEW



## PROPOSED PLAYGROUND AREA CALCUALTIONS

TODDLER PLAYGROUND CALCULATION:  
150 SF PER STUDENT X 16 STUDENTS = 2,400 SF PLAYGROUND ENCLOSURE

PRE-SCHOOL PLAYGROUND CALCULATION:  
150 SF PER STUDENT X 24 STUDENTS = 3,600 SF PLAYGROUND ENCLOSURE

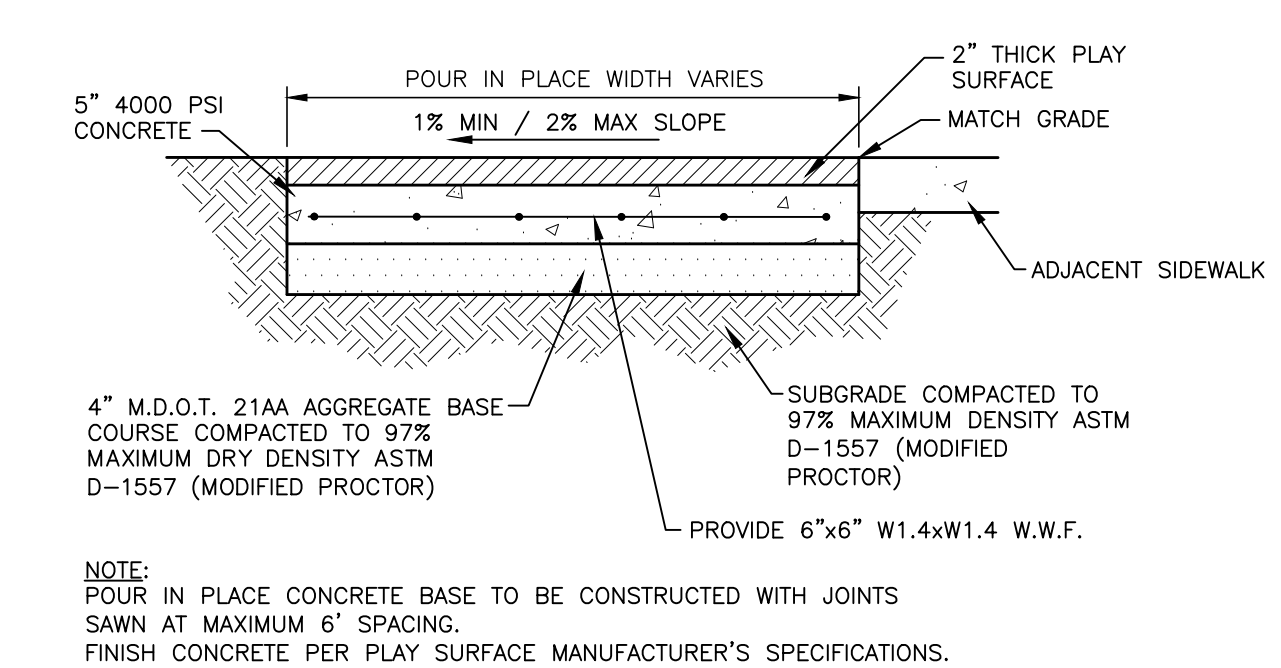
**DEVELOPER/GENERAL CONTRACTOR PLAYGROUND RESPONSIBILITIES**

1. PLAYGROUND STRUCTURE AND SHADE STRUCTURE APPROVALS OR PERMITS IF REQUIRED. APPROVALS AND PERMITTING MAY BE REQUIRED FOR COLOR SCHEME, HEIGHT, MANUFACTURER DESIGN METHODS, ETC.
2. UTILITIES CANNOT BE LOCATED UNDER OR OVER PLAYGROUND BOXES.
3. ELECTRIC AND WATER ARE NEEDED ON SITE, FOR THE PLAYGROUND INSTALLERS USE. IF NOT, OTHER PRIOR ARRANGEMENTS SHALL BE MADE.
4. SOILS WITHIN THE PLAYGROUND BOX DIMENSIONS SHOULD BE SUITABLE FOR SLAB AT GRADE INSTALLATIONS. SOILS SHOULD NOT CONTAIN DEBRIS AND COMPACTED TO 97% IN ACCEPTED INCREMENTS CONTAINING SUITABLE SOIL.
5. PROVIDE GODDARD SYSTEM INC.'S PROJECT MANAGER WITH A TIMELINE FOR PLAYGROUND INSTALLATION. ROUGH GRADE IS REQUIRED AND SIDEWALKS SHALL BE INSTALLED PRIOR TO PLAYGROUND INSTALLATION, SOD, FENCE AND PARKING LOT TOP COAT.
6. LOCATE PLAYGROUND BOXES PER SITE PLAN, EXCAVATED 7" DEEP. PLAYGROUND BOXES CANNOT EXCEED A MAXIMUM 2% GRADE. (DTL. 2/C3.1)
7. SUB-GRADE BACKFILL MUST BE COMPACTED TO AT LEAST 97% AND SHOULD NOT CONTAIN MATERIALS SUCH AS LARGE ROCKS, SCRAP WOOD, CONCRETE SPOILS, ETC. PLAYGROUND INSTALLERS NEED TO DRILL ACCURATE HOLES FOR PLAYGROUND POLE INSTALLATION.
8. INSTALL DRAINAGE SYSTEM TO EXCAVATED PLAYGROUND BOXES PER SITE PLAN.
9. ENSURE ADEQUATE AREA FOR PLAYGROUND INSTALLERS. STAGING AREA NEEDED TO UNLOAD AND PRE-ASSEMBLE APPROX. 1,000 CUBIC FOOT SHIPMENT OF PLAYGROUND EQUIPMENT. HOLDING AREA NEEDED TO RECEIVE DELIVERY OF APPROXIMATELY 40-50 TONS OF CRUSHED STONE. PARKING AREA NEEDED FOR TWO TRUCKS AND ONE 30' TRAILER OF EXCAVATING EQUIPMENT.
10. IN ORDER TO AVOID POSSIBLE DAMAGE, PARKING LOTS SHOULD NOT HAVE TOPCOAT APPLIED AND FENCING SHOULD NOT BE INSTALLED UNTIL PLAYGROUND IS COMPLETE. IF FENCING IS INSTALLED, LEAVE OUT NECESSARY SECTIONS TO PROVIDE ACCESS TO PLAYGROUND AREA.
11. ONCE COMPACTED CRUSH STONE BASE, BORDER, AND EQUIPMENT ARE IN PLACE, THEY SHOULD NOT BE DRIVEN OR WALKED ON AND SHOULD NOT BE USED FOR STORAGE AREA. PLAYGROUND INSTALLATION DESCRIBED ABOVE SHOULD TAKE APPROXIMATELY ONE TO FIVE DAYS, DEPENDING ON SITE CONDITIONS, WEATHER, INSTALLER CREW SIZE, ETC.
12. INSTALLATION OF POUR-IN-PLACE SURFACING USUALLY TAKES PLACE ONE TO TWO WEEKS AFTER PLAYGROUND IS INSTALLED, DEPENDING MAINLY ON WEATHER CONDITIONS.
13. GENERALLY ONLY THREE OR FOUR PARKING SPACES ARE NEEDED FOR SURFACING INSTALLERS. (ONE OR TWO VEHICLES AND A MIXER STAGING AREA)
14. TYPICALLY, TWO MEN MIX THE SURFACING PRODUCT IN THE PARKING LOT AND TRANSPORT BY WHEELBARROW TO PLAYGROUNDS WHERE IT IS POURED AND TROWELED. THEREFORE, NO SPECIAL ALLOWANCES ARE NECESSARY (FENCING CAN BE INSTALLED AND FINISH LANDSCAPING CAN BE COMPLETED)
15. THIS IS USUALLY A TWO-DAY INSTALLATION, DEPENDING MAINLY ON WEATHER CONDITIONS. IMPACT COURSE APPLIED ON DAY ONE, AND TOPCOAT (COLOR) APPLIED ON DAY TWO.
16. ONCE THE TOPCOAT APPLICATION IS COMPLETE, THE BINDING AGENTS WILL TAKE A MINIMUM 24 HOURS TO CURE. DURING THAT TIME THERE IS TO BE ABSOLUTELY NO WALKING ON, PLACING OBJECTS ON, OR ALLOWING ANY DUST TO ACCUMULATE ON THE TOPCOAT SURFACE.
17. FINISH GRADING AND LANDSCAPING MUST BE THE SAME ELEVATION AT THE PLAYGROUND BORDERS.
18. ENSURE THAT THE SITE IS SECURE AND THAT OTHER CONTRACTORS WILL NOT BE STORING, WORKING, WALKING, ETC. ON FINISHED PLAYGROUNDS, SURFACES OR BORDERS.
20. ALL EXTERNAL FENCING WILL BE 6 FEET TALL. ALL INTERNAL FENCING WILL BE 4 FEET TALL.

PLAY AREAS (SF)	
TODDLER PLAYGROUND	2,486 SF
PRESCHOOL PLAYGROUND #1	3,817 SF
PRESCHOOL PLAYGROUND #2	3,932 SF
SPORTS COURT	2,729 SF
OUTDOOR CLASSROOM (COURTYARD)	3,191 SF
TOTAL PLAYGROUND AREA	16,155 SF

FENCE TABLE	
4' FENCE SECTIONS	104
6' FENCE SECTIONS	8
SALVAGED 6' FENCE SECTIONS	125
4' WIDE SINGLE GATES	2
6' WIDE SINGLE GATES	8
DOUBLE GATE	1

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**PLAYGROUND PLAN**

TAX IDS: 50-22-17-126-012 & -126-013  
THE GODDARD SCHOOL NOVI  
PART OF NW 1/4, SEC. 17, T1N-R8E,  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DATE	DESCRIPTION
12/07/2022	PLAN SUBMITTALS/REVISIONS
01/11/2023	PRE-PPR MEETING SUBMISSION
01/23/2023	WELAND DELINEATION SUBMITTAL
03/24/2023	GODDARD SCHOOLS REVIEW
03/29/2023	PRELIMINARY SITE PLAN
07/06/2023	PERMIT SET
09/01/2023	BUILDING PERMIT SUBMITTAL
09/26/2023	SITE PLAN RESUBMITTAL
	ZBA SUBMITTAL

ORIGINAL ISSUE DATE:  
12/7/2022

PROJECT NO: 21-2848

SCALE: 1" = 10'

FIELD:  
DRAWN BY: DAH  
DESIGN BY: TOB  
CHECK BY: MEB/PL

# C-12

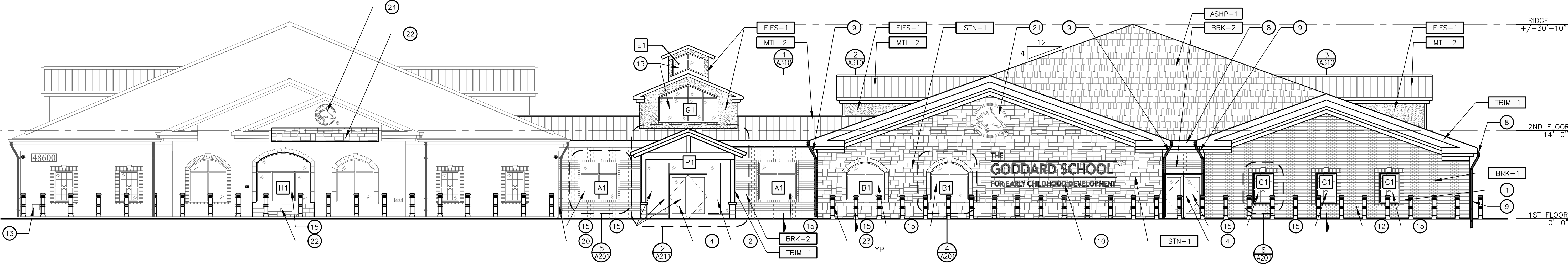
NOT FOR CONSTRUCTION

**GENERAL NOTES**

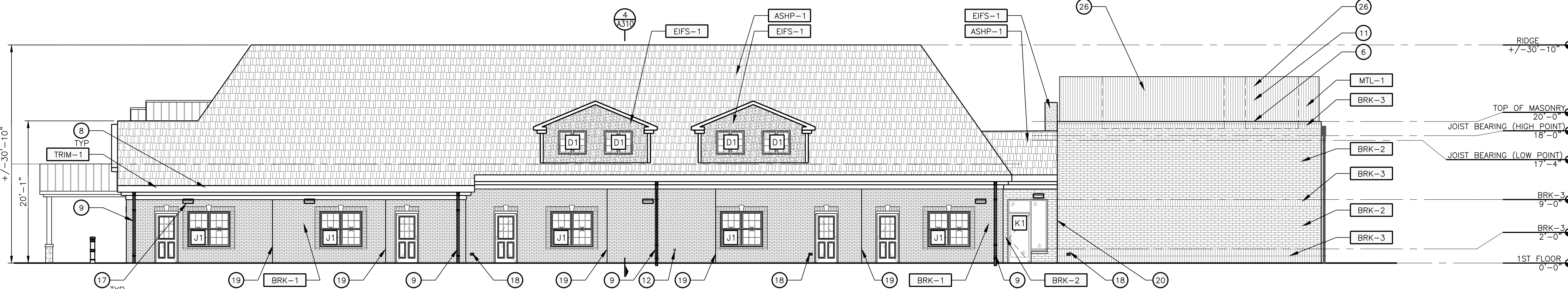
- A. REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B. REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C. REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- D. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REENTRANT CORNERS.
- F. PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G. EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H. APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

**CONSTRUCTION KEYNOTES**

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 WINDOW
  - 2 STOREFRONT
  - 3 NOT USED
  - 4 DOOR
  - 5 ALUMINUM FOLDING GLASS WALL SYSTEM
  - 6 COPING - SEE ROOF PLAN
  - 7 CANOPY
  - 8 GUTTER - SEE ROOF PLAN
  - 9 DOWNSPOUT
  - 10 SIGNAGE - SURFACE MOUNTED LETTERING OF/C/
  - 11 EQUIPMENT SCREEN - SEE SPECIFICATIONS
  - 12 FROST FREE HOSE BIB - SEE PLUMBING. CONFIRM EXACT LOCATION IN FIELD
  - 13 SIAMESE FIRE HOSE CONNECTOR - SEE PLUMBING
  - 14 LOUVER - SEE MECHANICAL
  - 15 SOLAR CONTROL WINDOW COATING - SEE SPECIFICATIONS
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  - 18 EXTERIOR POWER RECEPTACLE - SEE ELECTRICAL PLAN
  - 19 CONSTRUCTION JOINT
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  - 21 ILLUMINATED BUILDING SIGNAGE PROVIDED BY OWNER; COORDINATE POWER LOCATIONS WITH ELECTRICAL
  - 22 INFILL WALL WITH STONE TO MATCH ADJACENT
  - 23 BOLLARD
  - 24 EXISTING TO REMAIN
  - 25 RELOCATE SIGNAGE FROM FRONT FACADE
  - 26 ROOFTOP HVAC UNIT
  - 27 EXTERIOR SIGNAGE LIGHT FIXTURE - SEE ELECTRICAL



**1 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101



**2 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101

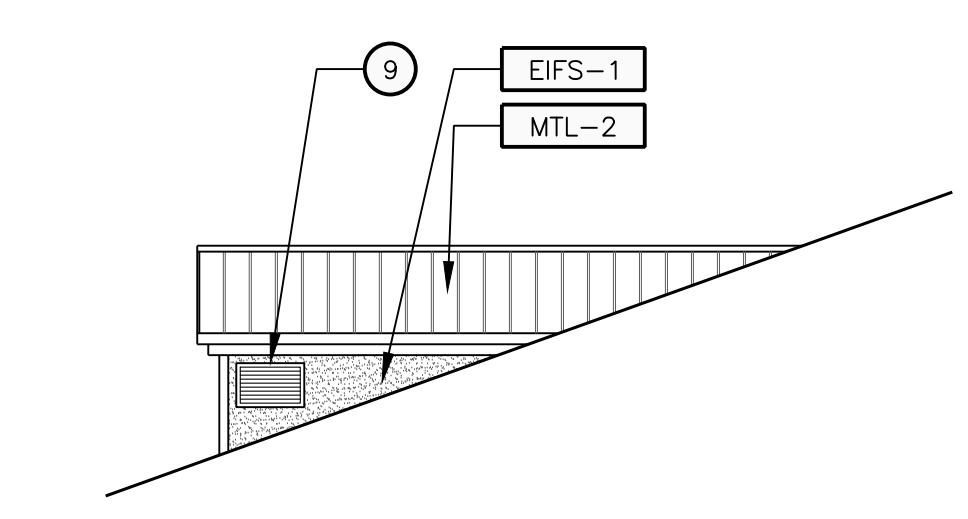
**EXTERIOR ELEVATION MATERIAL LEGEND**

- STN-1 FIELD STONE - NEW TO MATCH EXISTING (COBBLEFIELD CHARDONNAY)
- BRK-1 MODULAR BRICK - NEW TO MATCH EXISTING - RED (ADRIAN)
- BRK-2 UTILITY BRICK - TAUPE (DUTCH GREY SMOOTH)
- BRK-3 UTILITY BRICK - GLAZED - TAUPE (SALT CREEK)
- EIFS-1 EXTERIOR INSULATION & FINISH SYSTEM - GREY
- TRIM-1 CORNICE, TRIM AND COLUMN SURROUNDS - WHITE
- MTL-1 METAL PANEL - MECHANICAL SCREENING - TAUPE
- MTL-2 STANDING SEAM METAL ROOF
- ASPH-1 ASPHALT SHINGLE ROOF
- CSTN-1 CAST STONE SIGNAGE

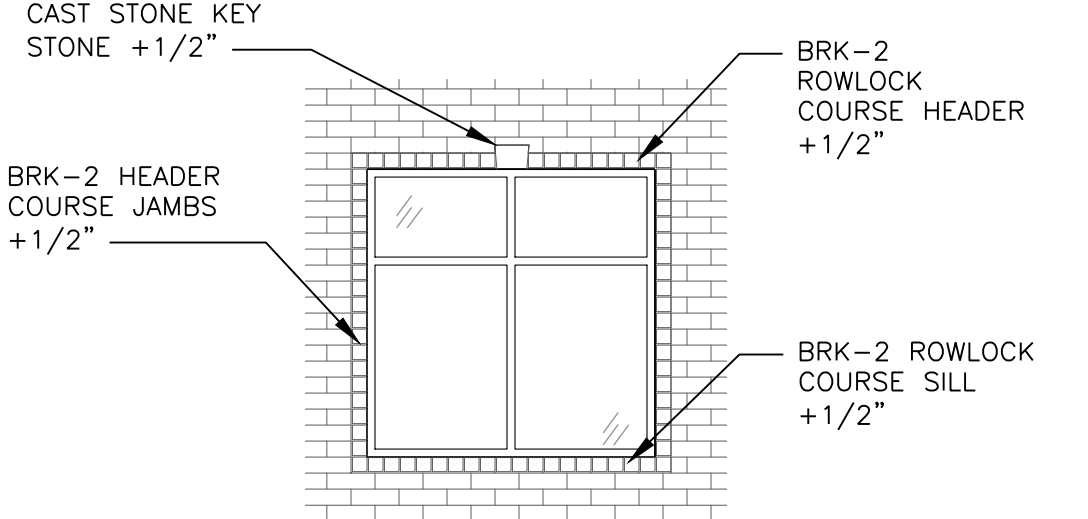
FAÇADE CALCULATIONS

SIDE	BRICK NATURAL CLAY	FIELD STONE	CAST STONE	EIFS	TRIM	ASPHALT SHINGLES	METAL ROOF	METAL PANEL	GLAZED BRICK	TOTALS
NORTH	982 SF (40%)	0 SF (0%)	37 SF (1%)	89 SF (4%)	126 SF (5%)	216 SF (9%)	465 SF (19%)	317 SF (13%)	226 SF (9%)	2458 SF (100%)
EAST	1561 SF (35%)	0 SF (0%)	0 SF (0%)	157 SF (4%)	300 SF (7%)	1952 SF (43%)	69 SF (2%)	233 SF (5%)	173 SF (4%)	4445 SF (100%)
SOUTH	770 SF (28%)	686 SF (24%)	51 SF (1%)	105 SF (4%)	401 SF (14%)	498 SF (18%)	295 SF (11%)	0 SF (0%)	0 SF (0%)	2,806 SF (100%)
WEST	1005 SF (27%)	20 SF (1%)	0 SF (0%)	238 SF (6%)	347 SF (10%)	1571 SF (42%)	164 SF (4%)	233 SF (6%)	132 SF (4%)	3710 SF (100%)

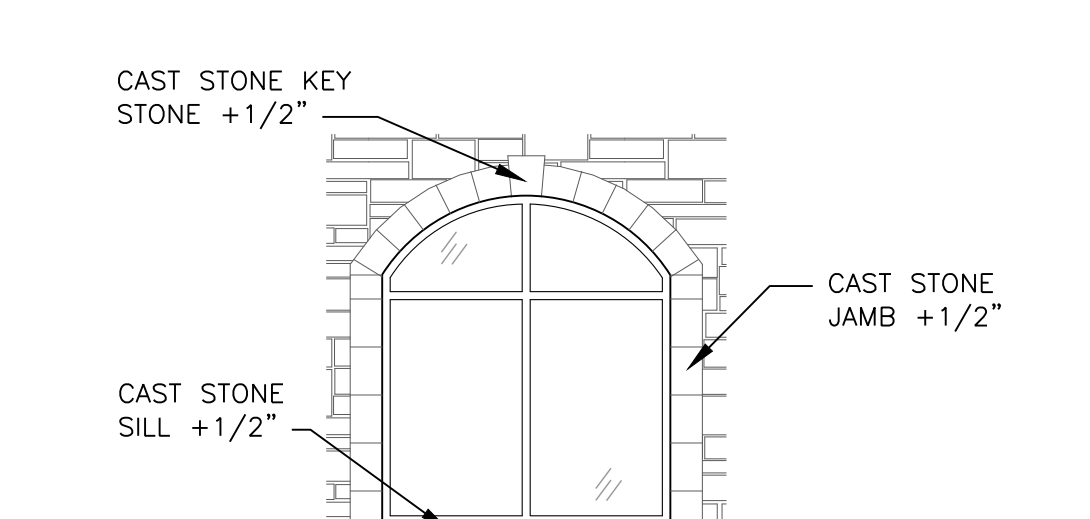
\* ASPHALT SHINGLES: UP TO FIFTY (50) PERCENT ALLOWED WITH RESIDENTIAL STYLE ARCHITECTURE OR IN R DISTRICTS.



**6 TYPICAL C1 WINDOW MASONRY DETAIL**  
 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A201

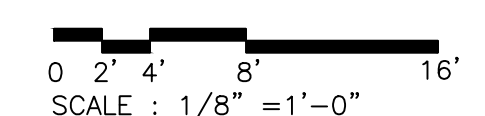


**5 TYPICAL A1 ENTRY MASONRY DETAIL**  
 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A201



**4 TYPICAL B1 WINDOW MASONRY DETAIL**  
 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A201

**7 DORMER ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101



Architect

Consultant

Owner

Project

Seal

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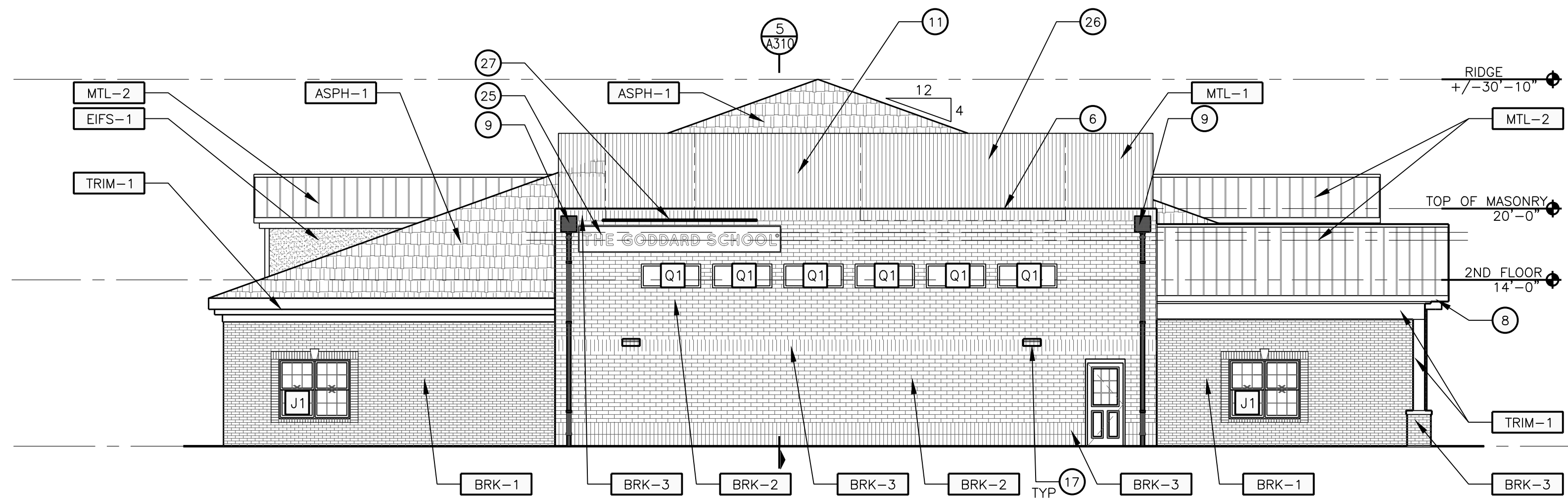
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100% CD	06-30-23
PERMIT SET	03-29-23
90% OWNER REVIEW	03-09-23
50% CD	02-10-23
DD	11-11-22
Revision	Date

Date 03-29-2023

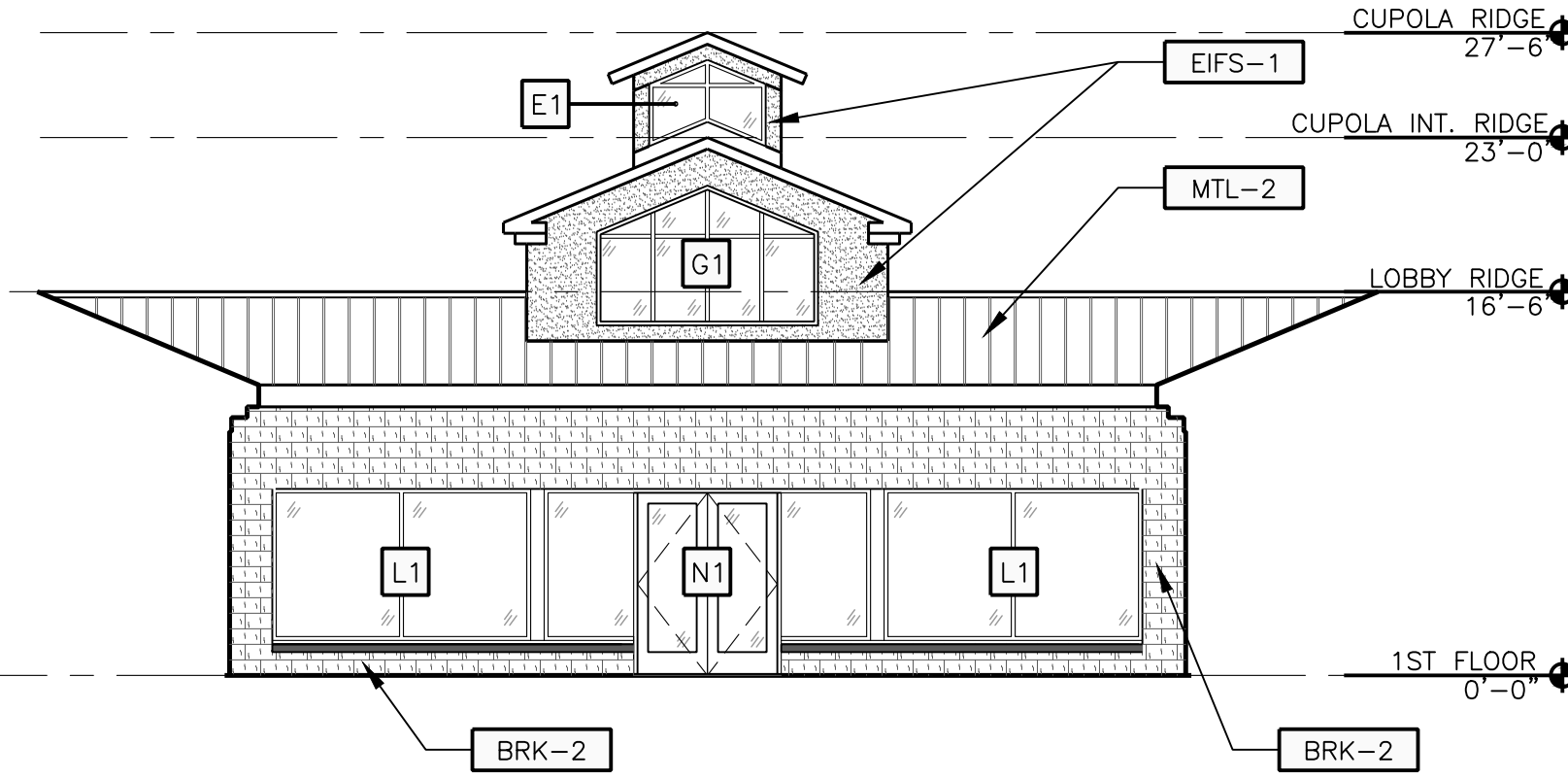
Project Number 2021040

Sheet Title  
**ELEVATIONS**

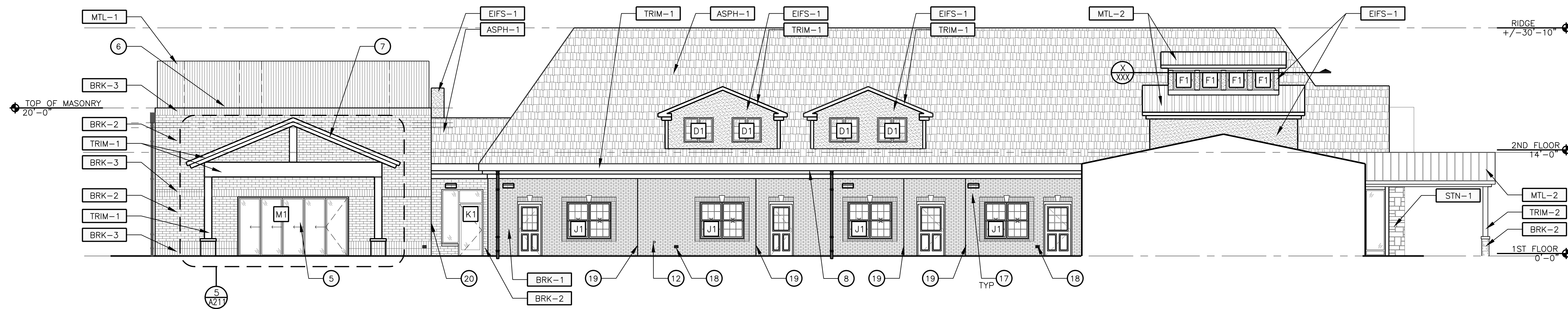
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**2 NORTH ELEVATION**  
 A202 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS:



**1 NORTH ELEVATION**  
 A202 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS:



**3 WEST ELEVATION**  
 A202 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS:

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**KramerDesignGroup**  
 1420 Riverchase | Downers Grove, IL 60528 | P: 312.963.3899 | F: 312.963.3855  
 www.kramerdsg.com

Architect

Consultant

**NOVI BUILDING INVESTMENT LLC.**  
 48800 GRAND RIVER AVE.  
 NOVI, MI 48244

Owner

**GODDARD SCHOOL ANNEX**  
 48800 GRAND RIVER AVE.  
 NOVI, MI 48244

Project

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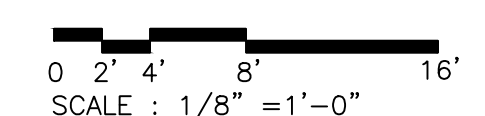
Date 03-29-2023

Project Number 2021040

Sheet Title  
**ELEVATIONS**

Sheet Number

**A202**



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