



CITY OF NOVI CITY COUNCIL
FEBRUARY 24, 2025

SUBJECT: Approval of a Storm Drainage Facility Maintenance Easement Agreement for the Catholic Central High School Connector Road project located on the south side of Twelve Mile Road and west of Wixom Road (parcels 50-22-18-200-026 and 50-22-18-200-027).

SUBMITTING DEPARTMENT: Department of Public Works, Engineering Division

KEY HIGHLIGHTS:

- This agreement is a Storm Water Management Ordinance requirement and details the responsibilities of the property owner to properly maintain their privately owned on-site detention basin.

BACKGROUND INFORMATION:

Catholic Central High School is located on the south side of Twelve Mile Road and west of Wixom Road. Catholic Central High School requests approval of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA) for the storm water management system associated with the Connector Road project. The Storm Drainage Facility Maintenance Easement Agreement (SDFMEA) is a Storm Water Management Ordinance requirement and details the responsibilities of the property owner to properly maintain their privately owned on-site detention basins.

Spalding DeDecker has inspected the on-site stormwater maintenance system. The inspection approval letter dated October 25, 2023, is attached. The enclosed agreement has been favorably reviewed by the City Attorney (Beth Saarela, December 11, 2024) and the City Engineering consultant (Spalding DeDecker, December 11, 2024) and is recommended for approval.

RECOMMENDED ACTION: Approval of a Storm Drainage Facility Maintenance Easement Agreement for Catholic Central Connector Road located on the south side of Twelve Mile Road and west of Wixom Road (parcels 50-22-18-200-026 and 50-22-18-200-027).

Catholic Central Connector Road SDFMEA

Location Map



Catholic Central High School
Parcel 50-22-18-200-026
& 50-22-18-200-027

Map Author: Humna Anjum
Date: 2/11/2025
Project: Catholic Central Connector Rd
Version: 1.0

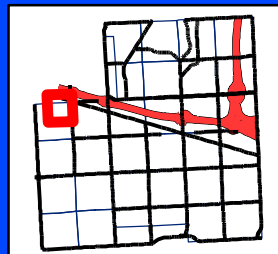
Amended By:
Date:
Department:

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

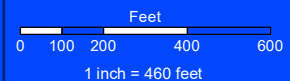
Legend

- Major Roads
- Minor Roads
- Project Location



City of Novi

Engineering Division
Department of Public Works
26300 Lee BeGole Drive
Novi, MI 48375
cityofnovi.org



ELIZABETH KUDLA SAARELA
esaarela@rsjalaw.com

27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331
P 248.489.4100 | F 248.489.1726
rsjalaw.com



ROSATI | SCHULTZ
JOPPICH | AMTSBUECHLER

December 11, 2024

Ben Croy, City Engineer
City of Novi
Field Services Complex
26300 Lee BeGole Drive
Novi, MI 48375

RE: **Catholic Central Connector Road JSP 22-48**
Storm Drainage Facility Maintenance Easement Agreement

Dear Mr. Croy:

We have received and reviewed the Storm Drainage Facility Maintenance Easement Agreement for storm water drainage facilities serving the Catholic Central Connector Road development. The Storm Drainage Facility Maintenance Easement Agreement is in the City's standard format and is acceptable as provided. The attached exhibits have been reviewed and approved by the City's Consulting Engineer. The Agreement is in order and may be placed on an upcoming City Council Agenda for approval. Once approved and executed by the City, the Agreement should be recorded with Oakland County Records by the City Clerk's Office. We will forward the original to the City Clerk's office upon receipt.

Please feel free to contact me with any questions or concerns in regard to this matter.

Very truly yours,

ROSATI SCHULTZ JOPPICH
& AMTSBUECHLER PC

A handwritten signature in blue ink, appearing to read 'Elizabeth Kudla Saarela', is written over a light blue horizontal line.

Elizabeth Kudla Saarela

Enclosure

Ben Croy, City Engineer
City of Novi
December 11, 2024
Page 2

C: Cortney Hanson, Clerk
Charles Boulard, Community Development Director
Barb McBeth, Planner
Lindsay Bell, Planner
Diana Shanahan, Planner
Dan Commer, Planner
Sarah Marchioni, Community Development Building Project Coordinator
Angie Sosnowski, Community Development Bond Coordinator
Alyssa Craigie, Administrative Assistant
Ben Croy, City Engineer
Humna Anjum, Project Engineer
Ben Nelson, Project Engineer
Milad Alesmail, Project Engineer
Holly Demers, Taylor Reynolds & Ted Meadows, Spalding DeDecker
Andy Wozniak, Ziemet Wozniak & Associates
Thomas R. Schultz, Esquire

**STORM DRAINAGE FACILITY
MAINTENANCE EASEMENT AGREEMENT**

THIS EASEMENT AGREEMENT is made this 5TH day of DECEMBER 2024, by and between The Catholic Central High School of Detroit, Inc, a Michigan nonprofit corporation, (aka Catholic Central High School of Detroit Michigan, Catholic Central High School, or Catholic Central High School of Detroit, Inc.) whose address is 27225 Wixom Road, Novi, Michigan 48374 (hereinafter the "Owner"), and the City of Novi, its successors, assigns, or transferees, whose address is 45175 Ten Mile Road, Novi, MI 48375 (hereinafter the "City").

RECITATIONS:

- A. Owner is the owner and developer of a certain parcel of land situated in Section 18 of the City of Novi, Oakland County, Michigan, described on the attached and incorporated **Exhibit A** (the "Property"). Owner has received final site plan approval for construction of a Connector Road on the Property. Tax Identification Number: 22-18-200-026 and 22-18-200-027
- B. The Connector Road shall contain certain storm drainage, detention and/or retention facilities, including but not limited to, a detention/sedimentation basin, for the collection, conveyance, storage, treatment and/or discharge of storm water from the Property in accordance with all approved plans, and all applicable ordinances, laws and regulations.

NOW, THEREFORE, the Owner hereby covenants and agrees that the Owner shall, at its own expense, perpetually preserve, maintain, and repair all storm drainage, detention and retention facilities, including all wetlands which are part of the system, to insure that the same continue to function as intended. The Owner shall establish a regular and systematic program of maintenance (the "Schedule of Maintenance") for such facilities and areas to insure that the physical condition and intended function of such areas and facilities shall be preserved and maintained. The Schedule of Maintenance and the annual estimated costs for maintenance and repairs for the first three (3) years are described in the attached **Exhibit B**.

In the event that the Owner shall at any time fail to carry out the responsibilities specified within this agreement, and/or in the event of a failure to preserve and/or maintain the storm water drainage, detention and retention facilities in reasonable order and condition, the City may serve

written notice upon the Owner setting forth the deficiencies in maintenance and/or preservation along with a demand that the deficiencies be cured within a stated reasonable time period, and the date, time and place for a hearing before the City for the purpose of allowing Owner an opportunity to be heard as to why the City should not proceed with the correction of the deficiency or obligation which has not been undertaken or properly fulfilled. At any such hearing, the time for curing and the hearing itself may be extended and/or continued to a date certain. If, following such hearing, the person conducting the hearing shall determine that the obligation has not been fulfilled or failure corrected within the time specified in the notice, as determined by the City in its reasonable discretion, the City shall thereupon have the power and authority, but not the obligation, to enter upon the Property, or cause its agents or contractors to enter the Property through the Ingress/Egress Easement Area as described and depicted in **Exhibit C** and perform such obligation or take such corrective measures as reasonably found by the City to be appropriate or necessary with respect to the detention/sedimentation basin within the Detention/Sedimentation Basin Easement Area described and depicted in **Exhibit D**, for the purposes described above. The cost and expense of making and financing such actions by the City, including notices by the City and reasonable legal fees incurred by the City, plus an administrative fee in an amount equivalent to twenty-five (25%) percent of the total of all such costs and expenses incurred, shall be paid by Owner within thirty (30) days of a billing to the Owner. All unpaid amounts may be placed on the delinquent tax roll of the City as to the Property, and shall accrue interest and penalties, and shall be collected as, and deemed delinquent real property taxes, according to the laws made and provided for the collection of delinquent real property taxes. In the discretion of the City, such costs and expenses may be collected by suit initiated against the Owner, and, in such event, the Owner shall pay all court costs and reasonable attorney fees incurred by the City in connection with such suit.

The Owner, its agents, representatives, successors, and assigns shall defend, indemnify, and hold harmless the City and the City's, elected officials, agents and employees, from any and all costs, claims, suits, actions, losses, damages, or demands, including court costs and attorneys' fees, relating in any way to or arising out of the design, construction, use, inspection, maintenance, repair, or operation (or omissions in such regard) of the storm drainage system which is the subject of this Agreement.

The parties hereto make this Agreement on behalf of themselves, their heirs, successors, assigns and transferees, and hereby warrant that they have the authority and capacity to execute this Agreement and bind the property as described in the terms and conditions of this agreement.

Invalidation of any of these covenants or conditions by Judgment or Court Order shall in no way affect the validity of any other provision which shall remain in full force and effect.

This agreement shall run with the land and be binding upon all owners, their agents, heirs, successors, assigns and transferees.

Tax Identification Number: 22-18-200-026 and 22-18-200-027

EXHIBIT 'A'

OVERALL LEGAL DESCRIPTION:

(TAX ID. 23-18-200-026 AND 22-18-200-027)

PART OF THE NORTH 1/2 OF SECTION 18, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE NORTH 1/4 CORNER OF SECTION 18 AND PROCEEDING ALONG THE NORTH LINE OF SAID SECTION 18, SAID LINE ALSO BEING THE CENTERLINE OF 12 MILE ROAD (33 FEET WIDE, 1/2 WIDTH) S. 88°55'17" E. 1316.65 FEET; THENCE THE FOLLOWING SEVEN (7) COURSES ALONG BERKSHIRE POINTE, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 2080, 1) S. 00°44'12" E. 630.03 FEET, 2) S. 89°31'51" E. 29.92 FEET, 3) 177.40 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 200.00 FEET, CENTRAL ANGLE 50°49'12" AND A CHORD THAT BEARS S. 64°07'16" E. 171.64 FEET, 4) 417.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 459.96 FEET, CENTRAL ANGLE 51°58'21" AND A CHORD THAT BEARS S. 64°41'50" E. 403.07 FEET, 5) N. 89°19'00" E. 165.00 FEET, 6) S. 00°41'00" E. 384.00 FEET AND 7) N. 89°19'00" E. 539.99 FEET TO A POINT ON THE 60 FOOT RIGHT OF WAY LINE OF WIXOM ROAD; THENCE ALONG SAID LINE S. 00°41'00" E. 1098.12 FEET TO A POINT ON THE NORTH LINE OF ISLAND LAKE VINEYARDS, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 1271; THENCE ALONG SAID LINE N. 89°23'05" W. 2585.76 FEET TO A POINT ON THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 18, ALSO BEING THE EAST LINE OF ANDELINA RIDGE, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 2063; THENCE ALONG SAID LINE N. 00°15'03" W. 1028.05 FEET; THENCE N. 89°31'51" W. 165.00 FEET; THENCE N. 00°15'03" W. 1320.00 FEET TO A POINT ON SAID NORTH LINE OF SECTION 18, ALSO BEING THE CENTERLINE OF 12 MILE ROAD; THENCE ALONG SAID LINE S. 89°31'51" E. 165.00 FEET TO SAID NORTH 1/4 CORNER OF SECTION 18 AND POINT OF BEGINNING CONTAINING 115.11 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD AND THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL AGENCY OVER WIXOM ROAD AND 12 MILE ROAD.

BASIS OF BEARING FOR THE PROPERTY DESCRIPTION IS THE NORTH-SOUTH 1/4 LINE, SEC. 28 S. 00°15'03" E.

REVISIONS			OVERALL LEGAL DESCRIPTION CATHOLIC CENTRAL HIGH SCHOOL CITY OF NOVI OAKLAND COUNTY MICHIGAN  Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE, SUITE 100 NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com	DATE	SCALE HOR: 1" =
ITEM	DATE	BY		6-23-23	FIELD BOOK NO.
REVISED EASEMENT	10-11-23	PTG	DESIGNED BY	JOB NO. 19120.1	
			DRAWN BY	SHEET NO. 1/1	
			PTG		

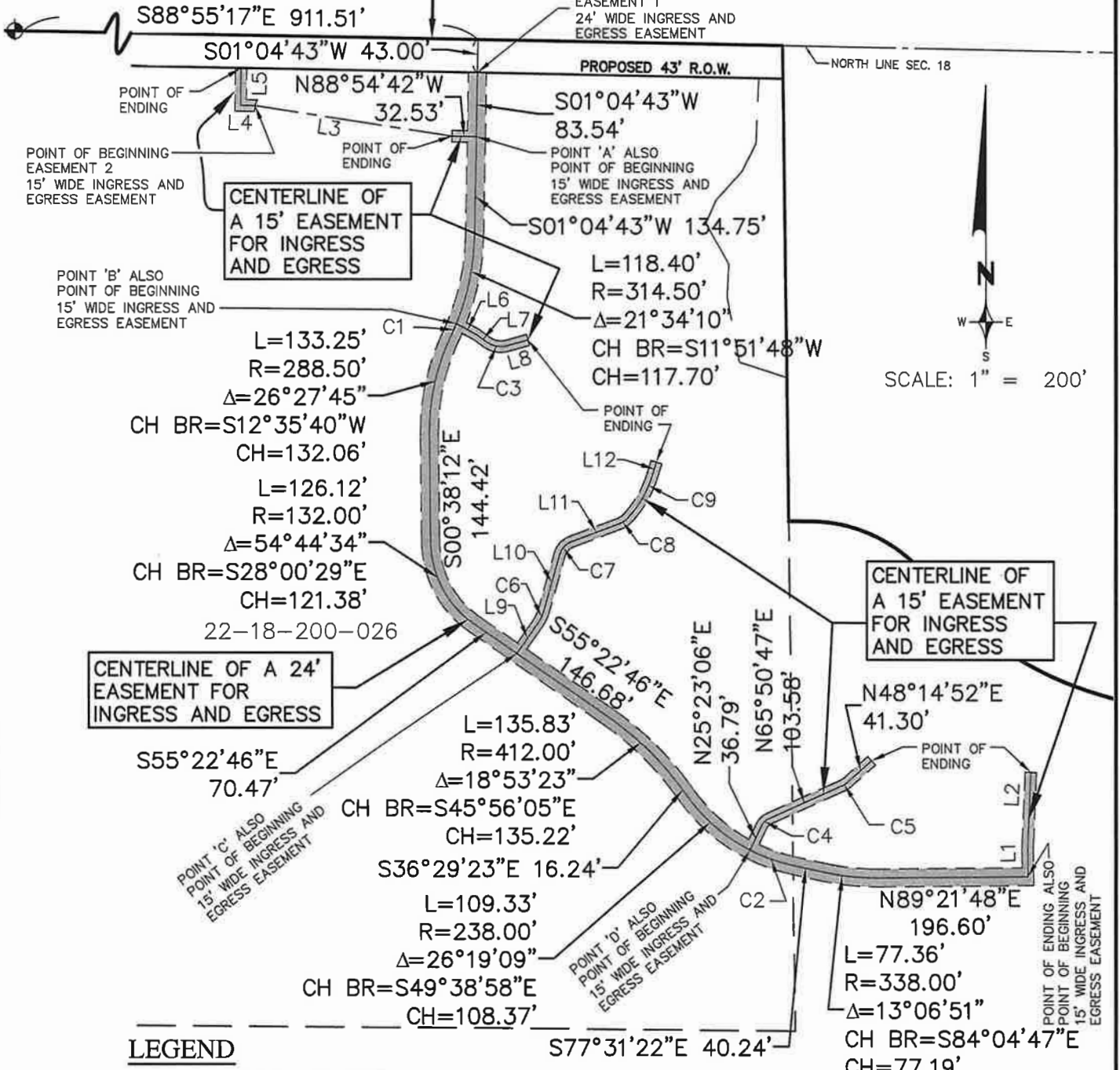
© COPYRIGHT 2022

EXHIBIT 'C'

N. 1/4 CORNER
SECTION 18
T. 1 N., R. 8 E.
CITY OF NOVI
OAKLAND CO., MI

**C/L 12 MILE ROAD
(33' WD., 1/2 WIDTH)**

POINT OF BEGINNING
EASEMENT 1
24' WIDE INGRESS AND
EGRESS EASEMENT



SCALE: 1" = 200'

CENTERLINE OF A 24' EASEMENT FOR INGRESS AND EGRESS

CENTERLINE OF A 15' EASEMENT FOR INGRESS AND EGRESS

LEGEND

- BOUNDARY LINE
- EASEMENTS
- C1 CURVE NUMBER
- L1 LINE NUMBER

22-18-200-027

CURVE DATA

CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH
C1	17.44'	314.50'	03°10'40"	S. 24°14'13" W.	17.44'
C2	61.12'	238.00'	14°42'49"	S. 70°09'57" E.	60.95'
C3	29.14'	32.50'	51°21'55"	S. 79°31'46" E.	28.17'
C4	12.36'	17.50'	40°27'40"	N. 45°36'56" E.	12.10'
C5	14.23'	39.16'	20°49'43"	N. 58°39'44" E.	14.16'
C6	9.46'	57.50'	18°41'37"	N. 25°16'26" E.	18.68'
C7	12.85'	25.50'	53°29'07"	N. 42°40'11" E.	22.95'
C8	7.80'	32.50'	26°59'49"	N. 55°54'49" E.	15.17'
C9	33.01'	147.50'	25°13'45"	N. 29°48'02" E.	64.43'

LINE DATA

LINE	BEARING	DISTANCE
L1	N. 00°38'12" W.	40.32'
L2	N. 02°28'28" E.	98.88'
L3	N. 81°22'20" W.	265.24'
L4	N. 88°51'27" W.	19.27'
L5	N. 01°08'33" E.	48.67'
L6	S. 62°18'07" E.	30.31'
L7	S. 53°50'48" E.	16.22'
L8	N. 74°45'00" E.	28.66'
L9	N. 34°37'14" E.	48.96'
L10	N. 15°55'37" E.	76.41'
L11	N. 69°24'44" E.	67.24'
L12	N. 17°11'10" E.	19.38'

REVISIONS

ITEM	DATE	BY
UPDATE EASEMENT	7-21-22	PTG
REVISED EASEMENT	10-22-23	PTG

**INGRESS AND EGRESS EASEMENT
CATHOLIC CENTRAL HIGH SCHOOL**
CITY OF NOVI OAKLAND COUNTY MICHIGAN

ZEIMET WOZNAK
& ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE, SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

DATE
8-15-22

SCALE
HOR: 1" = 200'
FIELD BOOK NO.

DESIGNED BY

JOB NO.
19120.1

DRAWN BY
PTG

SHEET NO.
1/2

© COPYRIGHT 2022

EXHIBIT 'C'

INGRESS AND EGRESS LEGAL DESCRIPTION:

A CENTERLINE DESCRIPTION OF TWO (2) NON-CONTIGUOUS INGRESS AND EGRESS EASEMENTS REFERRED TO AS EASEMENTS 1 AND 2 LOCATED IN THE N.E. 1/4 OF SECTION 18, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 18 AND PROCEEDING ALONG THE NORTH LINE OF SAID SECTION 18, SAID LINE ALSO BEING THE CENTERLINE OF 12 MILE ROAD (33 FEET WIDE, 1/2 WIDTH) S. 88°55'17" E. 911.51 FEET; THENCE S. 01°04'43" W. 43.00 FEET TO A POINT ON THE PROPOSED 43 FEET WIDE RIGHT OF WAY LINE OF 12 MILE ROAD, ALSO BEING THE POINT OF BEGINNING OF EASEMENT 1, A 24 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE ALONG SAID EASEMENT CENTERLINE S. 01°04'43" W. 83.54 FEET TO POINT 'A'; THENCE S. 01°04'43" W. 134.75 FEET; THENCE 118.40 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 314.50 FEET, CENTRAL ANGLE 21°34'10" AND A CHORD THAT BEARS S. 11°51'48" W. 117.70 FEET TO POINT 'B'; THENCE 17.44 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 314.50 FEET, CENTRAL ANGLE 03°10'40" AND A CHORD THAT BEARS S. 24°14'13" W. 17.44 FEET; THENCE 133.25 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 288.50 FEET, CENTRAL ANGLE 26°27'45" AND A CHORD THAT BEARS S. 12°35'40" W. 132.06 FEET; THENCE S. 00°38'12" E. 144.42 FEET; THENCE 126.12 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 132.00 FEET, CENTRAL ANGLE 54°44'34" AND A CHORD THAT BEARS S. 28°00'29" E. 121.38 FEET; THENCE S. 55°22'46" E. 70.47 FEET TO POINT 'C'; THENCE S. 55°22'46" E. 146.68 FEET; THENCE 135.83 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 412.00 FEET, CENTRAL ANGLE 18°53'23" AND A CHORD THAT BEARS S. 45°56'05" E. 135.22 FEET; THENCE S. 36°29'23" E. 16.24 FEET; THENCE 109.33 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 238.00 FEET, CENTRAL ANGLE 26°19'09" AND A CHORD THAT BEARS S. 49°38'58" E. 108.37 FEET TO POINT 'D'; THENCE 61.12 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 238.00 FEET, CENTRAL ANGLE 14°42'49" AND A CHORD THAT BEARS S. 70°09'57" E. 60.95 FEET; THENCE S. 77°31'22" E. 40.24 FEET; THENCE 77.36 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 338.00 FEET, CENTRAL ANGLE 13°06'51" AND A CHORD THAT BEARS S. 84°04'47" E. 77.19 FEET; THENCE N. 89°21'48" E. 196.60 FEET TO A POINT OF ENDING OF SAID 24 FOOT WIDE INGRESS AND EGRESS EASEMENT, ALSO BEING THE POINT OF BEGINNING OF A 15.00 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE ALONG SAID CENTERLINE OF A 15 FOOT WIDE INGRESS AND EGRESS EASEMENT N. 00°38'12" W. 40.32 FEET; THENCE N. 02°28'28" E. 98.88 FEET TO A POINT OF ENDING OF SAID 15 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE FROM SAID POINT 'B' ALONG THE CENTERLINE OF A 15 FOOT WIDE INGRESS AND EGRESS EASEMENT S. 62°18'07" E. 30.31 FEET; THENCE S. 53°50'48" E. 16.22 FEET; THENCE 29.14 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 32.50 FEET, CENTRAL ANGLE 51°21'55" AND A CHORD THAT BEARS S. 79°31'46" E. 28.17 FEET; THENCE N. 74°45'00" E. 28.66 FEET TO A POINT OF ENDING OF SAID 15 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE FROM SAID POINT 'C' ALONG THE CENTERLINE OF A 15 FOOT WIDE INGRESS AND EGRESS EASEMENT N. 34°37'14" E. 48.96 FEET; THENCE 9.46 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 57.50 FEET, CENTRAL ANGLE 18°41'37" AND A CHORD THAT BEARS N. 25°16'26" E. 18.68 FEET; THENCE N. 15°55'37" E. 76.41 FEET; THENCE 12.85 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 25.50 FEET, CENTRAL ANGLE 53°29'07" AND A CHORD THAT BEARS N. 42°40'11" E. 22.95 FEET; THENCE N. 69°24'44" E. 67.24 FEET; THENCE 7.80 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 32.50 FEET, CENTRAL ANGLE 26°59'49" AND A CHORD THAT BEARS N. 55°54'49" E. 15.17 FEET; THENCE 33.01 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 147.50 FEET, CENTRAL ANGLE 25°13'45" AND A CHORD THAT BEARS N. 29°48'02" E. 64.43 FEET; THENCE N. 17°11'10" E. 19.38 FEET TO A POINT OF ENDING OF SAID 15 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE FROM SAID POINT 'D' N. 25°23'06" E. 36.79 FEET; THENCE 12.36 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 17.50 FEET, CENTRAL ANGLE 40°27'40" AND A CHORD THAT BEARS N. 45°36'56" E. 12.10 FEET; THENCE N. 65°50'47" E. 103.58 FEET; THENCE 14.23 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 39.16 FEET, CENTRAL ANGLE 20°49'43" AND A CHORD THAT BEARS N. 58°39'44" E. 14.16 FEET; THENCE N. 48°14'52" E. 41.30 FEET TO A POINT OF ENDING OF SAID 15 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE FROM SAID POINT 'A' ALONG THE CENTERLINE OF A 15 FOOT WIDE INGRESS AND EGRESS EASEMENT N. 88°54'42" W. 32.53 FEET TO THE POINT OF ENDING OF SAID 15 FOOT WIDE INGRESS AND EGRESS EASEMENT 1; THENCE N. 81°22'20" W. 265.24 FEET TO THE POINT OF BEGINNING OF EASEMENT 2, A 15 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE ALONG SAID CENTERLINE N. 88°51'27" W. 19.27 FEET; THENCE N. 01°08'33" E. 48.67 FEET TO THE POINT OF ENDING OF SAID EASEMENT 2, ALSO BEING ON THE PROPOSED 43 FOOT WIDE RIGHT OF WAY LINE OF 12 MILE ROAD.

TAX ID. 22-18-200-026 AND 22-18-200-027

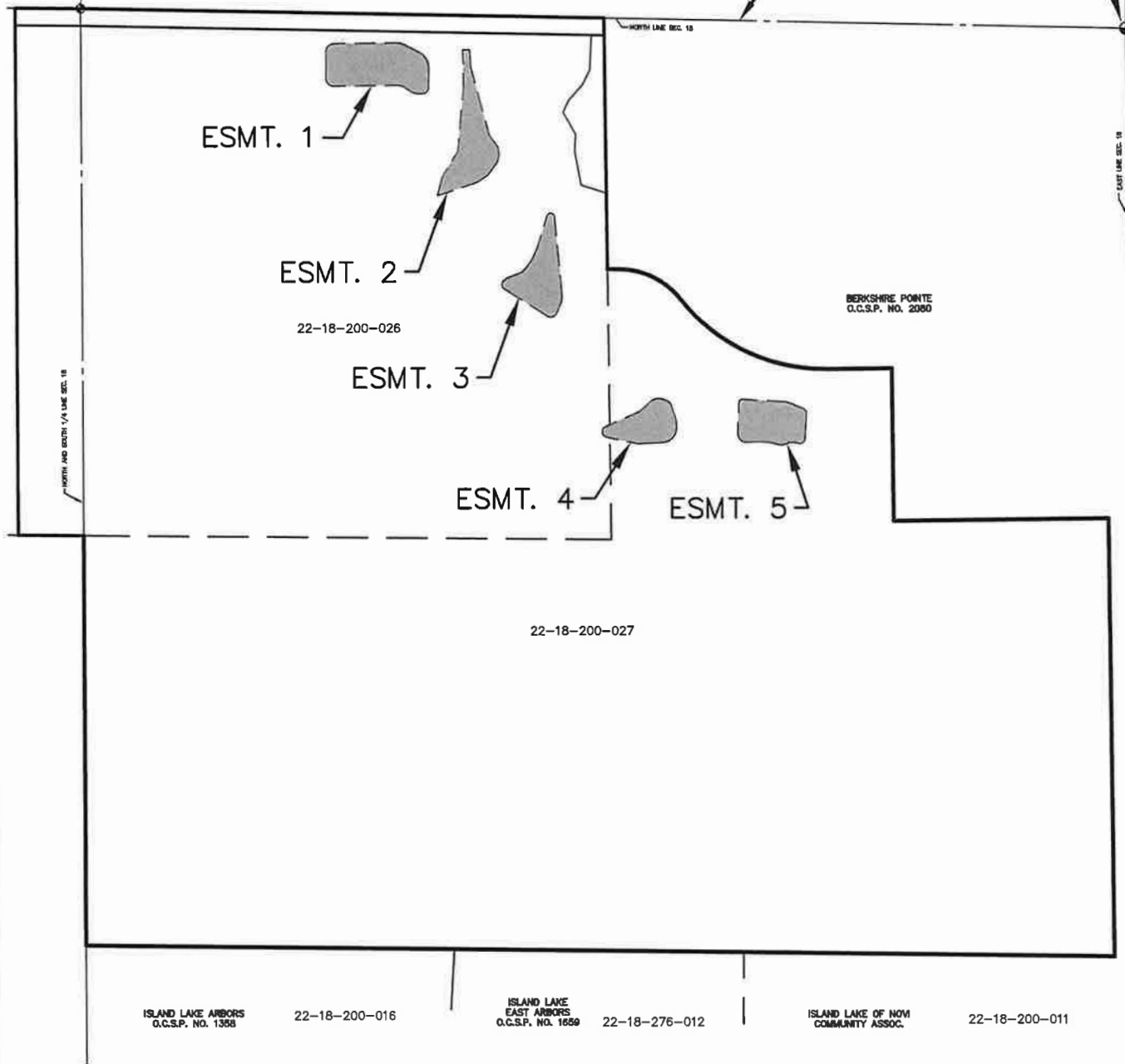
REVISIONS			INGRESS AND EGRESS EASEMENT CATHOLIC CENTRAL HIGH SCHOOL		DATE	SCALE HOR: 1" =		
ITEM	DATE	BY	CITY OF NOVI OAKLAND COUNTY MICHIGAN		8-15-22	FIELD BOOK NO.		
UPDATE EASEMENT	7-21-22	PTG			 Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE, SUITE 100 NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com	DESIGNED BY	JOB NO. 19120.1	© COPYRIGHT 2022
REVISED EASEMENT	10-11-23	PTG				DRAWN BY	SHEET NO. 2/2	
					PTG			

EXHIBIT 'D'

N. 1/4 CORNER
SECTION 18
T. 1 N., R. 8 E.
CITY OF NOVI
OAKLAND CO., MI

N.E. CORNER
SECTION 18
T. 1 N., R. 8 E.
CITY OF NOVI
OAKLAND CO., MI

C/L 12 MILE ROAD
(33' WD., 1/2 WIDTH)



LEGEND

- BOUNDARY LINE
- EASEMENTS (ESMT.)



SCALE: 1" = 400'

REVISIONS		
ITEM	DATE	BY
REVISE EASEMENT	10-11-23	PTG

**DETENTION BASIN EASEMENT
CATHOLIC CENTRAL HIGH SCHOOL**
CITY OF NOVI OAKLAND COUNTY MICHIGAN

Z E I M E T W O Z N I A K
& ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE, SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

DATE	8-15-22	SCALE HOR: 1" = 400'
DESIGNED BY	JOB NO. 19120.1	FIELD BOOK NO.
DRAWN BY PTG	SHEET NO. 1/6	© COPYRIGHT 2022

EXHIBIT 'D'

LEGEND

	BOUNDARY LINE
	EASEMENTS
L1	LINE NUMBER
C1	CURVE NUMBER

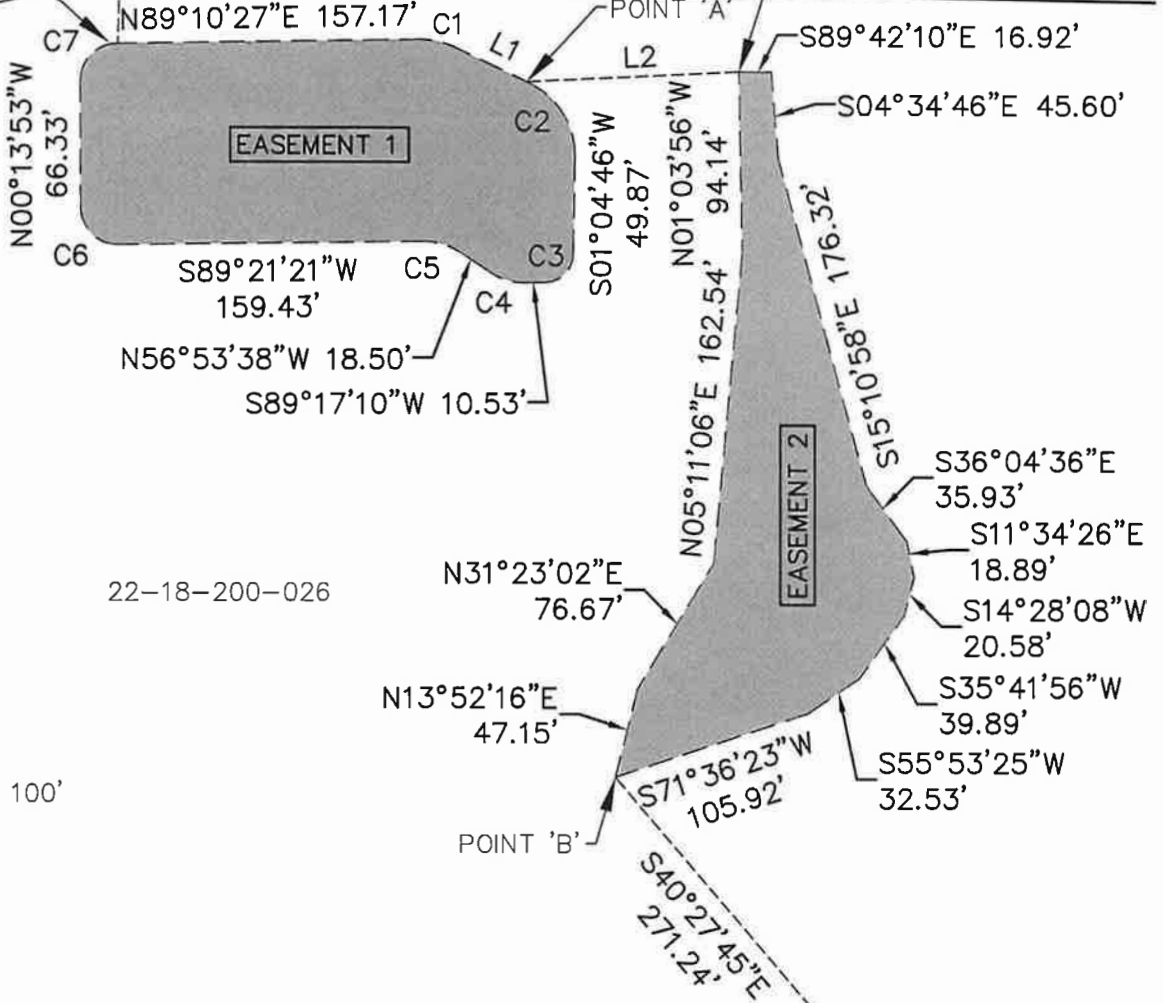
N. 1/4 CORNER
SECTION 18
T. 1 N., R. 8 E.
CITY OF NOVI
OAKLAND CO., MI

C/L 12 MILE ROAD
(33' WD., 1/2 WIDTH)

POINT OF
BEGINNING
EASEMENT 2

N. LINE SEC. 18

POINT OF
BEGINNING
EASEMENT 1



LINE DATA

LINE	BEARING	DISTANCE
L1	S. 63°50'46" E.	41.24'
L2	N. 87°12'42" E.	111.03'

CURVE DATA

CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH
C1	20.06'	42.50'	27°02'17"	S. 77°18'24" E.	19.87'
C2	49.92'	42.50'	67°17'38"	S. 32°34'03" E.	47.10'
C3	23.09'	15.00'	88°12'24"	S. 45°10'58" W.	20.88'
C4	18.89'	32.00'	33°49'12"	N. 73°48'14" W.	18.62'
C5	21.21'	36.00'	33°45'00"	N. 73°46'08" W.	20.90'
C6	29.98'	19.00'	90°24'46"	N. 45°26'16" W.	26.97'
C7	31.21'	20.00'	89°24'20"	N. 44°28'17" E.	28.14'

MATCH LINE
SEE SHEET 3/6

REVISIONS		
ITEM	DATE	BY
REVISE EASEMENT	10-11-23	PTG

DETENTION BASIN EASEMENT
CATHOLIC CENTRAL HIGH SCHOOL
CITY OF NOVI OAKLAND COUNTY MICHIGAN

Z E I M E T W O Z N I A K
& ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE, SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

DATE	8-15-22	SCALE HOR: 1" = 100'
DESIGNED BY	PTG	FIELD BOOK NO.
DRAWN BY	PTG	JOB NO. 19120.1
		SHEET NO. 2/6

© COPYRIGHT 2022

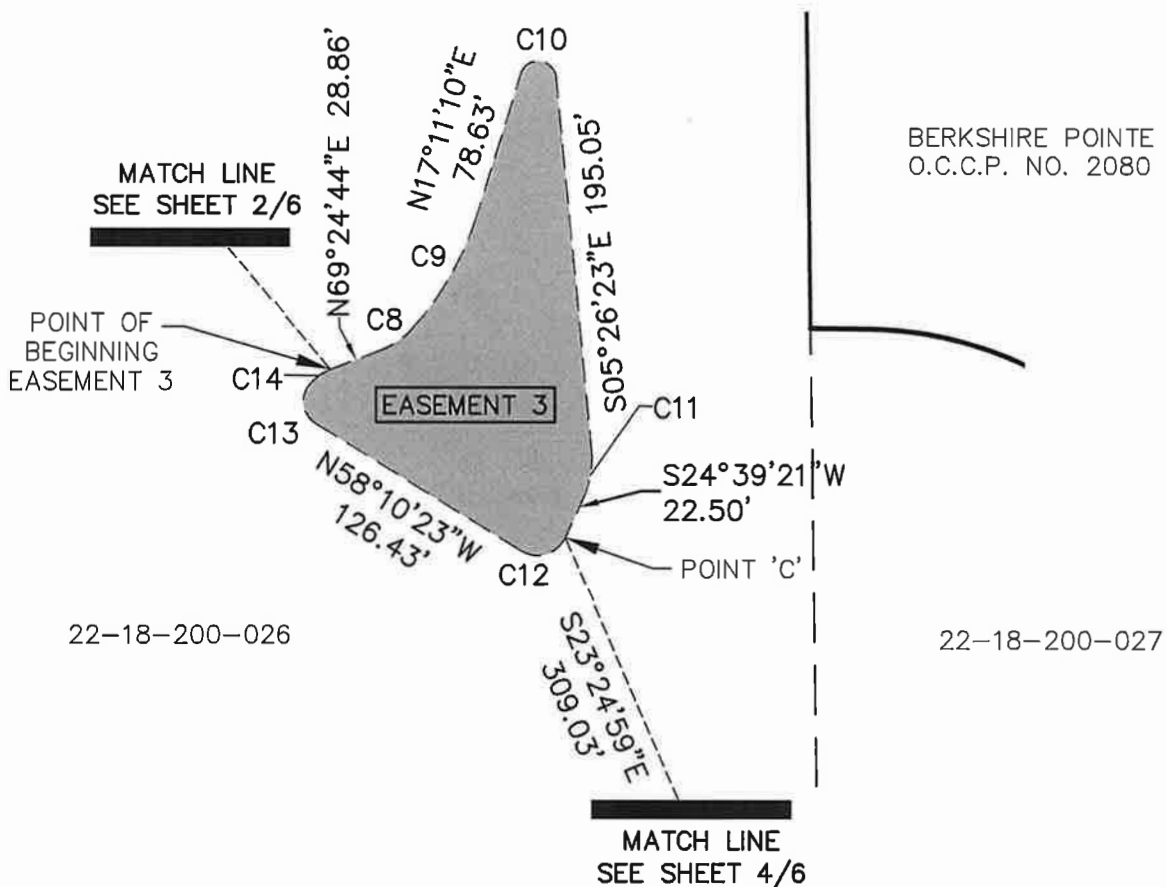
EXHIBIT 'D'

LEGEND

———— BOUNDARY LINE
 - - - - - EASEMENTS



SCALE: 1" = 100'



CURVE DATA

CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH
C8	18.85'	40.00'	26°59'49"	N. 55°54'49" E.	18.67'
C9	68.25'	155.00'	25°13'45"	N. 29°48'02" E.	67.70'
C10	26.09'	9.50'	157°22'27"	S. 84°07'37" E.	18.63'
C11	26.26'	50.00'	30°05'44"	S. 09°36'29" W.	25.96'
C12	27.14'	16.00'	97°10'17"	S. 73°14'29" W.	24.00'
C13	23.18'	13.50'	98°22'29"	N. 08°59'08" W.	20.43'
C14	13.51'	26.50'	29°12'38"	N. 54°48'25" E.	13.36'

REVISIONS		
ITEM	DATE	BY
REVISE EASEMENT	10-11-23	PTG

DETENTION BASIN EASEMENT
CATHOLIC CENTRAL HIGH SCHOOL
 CITY OF NOVI OAKLAND COUNTY MICHIGAN

Z E I M E T W O Z N I A K
 & ASSOCIATES
 Civil Engineers & Land Surveyors
 55800 GRAND RIVER AVE, SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

DATE	8-15-22	SCALE	HOR: 1" = 100'
DESIGNED BY		FIELD BOOK NO.	
DRAWN BY	PTG	JOB NO.	19120.1
		SHEET NO.	3/6

© COPYRIGHT 2022

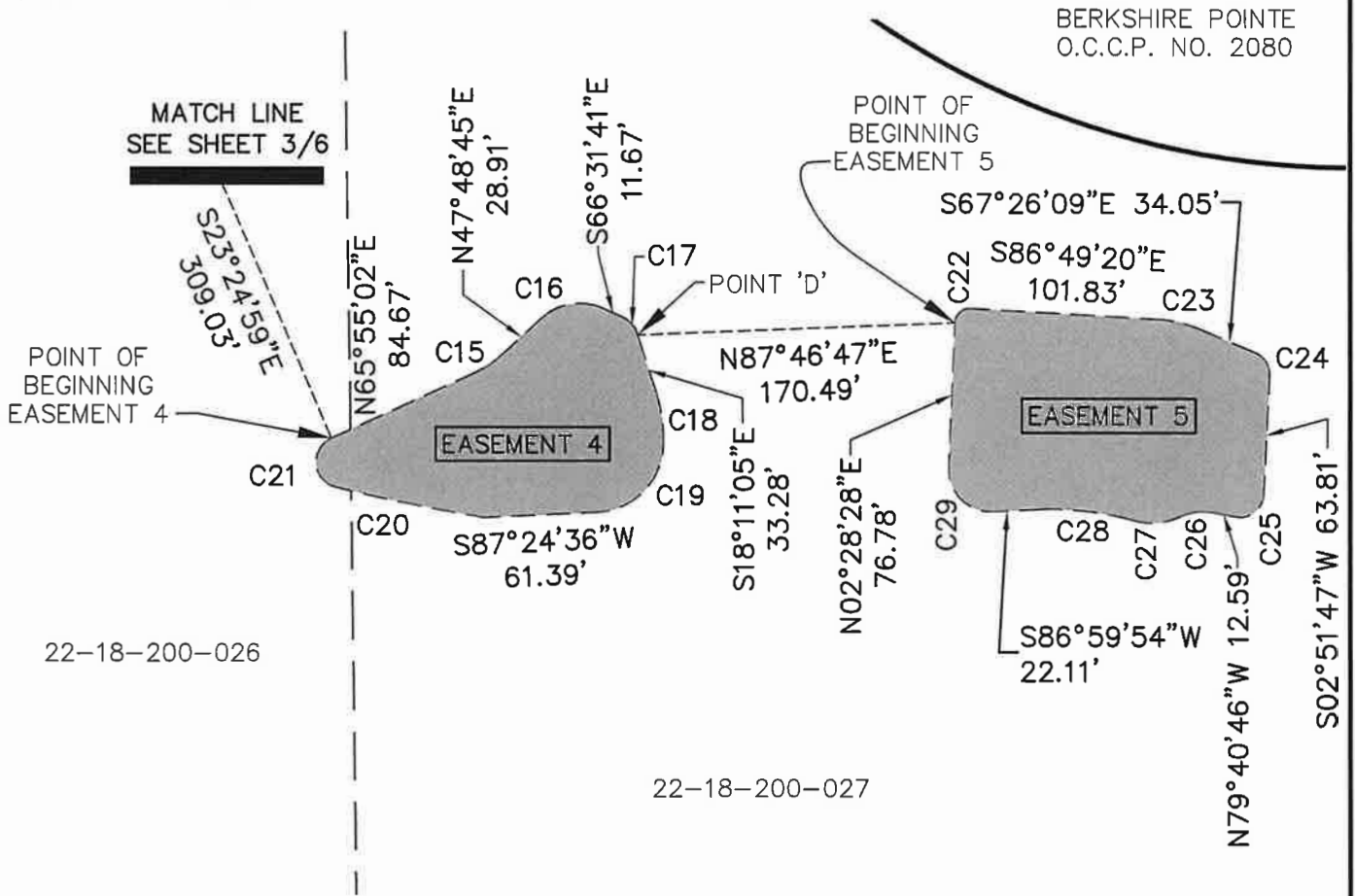
EXHIBIT 'D'



SCALE: 1" = 100'

LEGEND

———— BOUNDARY LINE
 - - - - - EASEMENTS



CURVE DATA

CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH
C15	16.97'	54.05'	17°59'18"	N. 56°37'39" E.	16.90'
C16	35.53'	31.00'	65°39'35"	N. 80°38'32" E.	33.61'
C17	12.89'	14.00'	52°45'14"	S. 40°09'04" E.	12.44'
C18	25.62'	82.61'	17°46'02"	S. 07°39'06" E.	25.51'
C19	56.87'	37.64'	86°33'47"	S. 43°05'29" W.	51.62'
C20	81.27'	1036.57'	04°29'33"	N. 78°20'01" W.	81.25'
C21	34.70'	14.00'	142°00'17"	N. 05°05'07" W.	26.47'
C22	12.66'	8.00'	90°42'13"	N. 47°49'34" E.	11.38'
C23	20.98'	62.00'	19°23'11"	S. 77°07'44" E.	20.88'
C24	14.72'	12.00'	70°17'56"	S. 32°17'11" E.	13.82'
C25	22.11'	13.00'	97°27'27"	S. 51°35'30" W.	19.54'
C26	18.16'	29.00'	35°52'21"	S. 82°23'03" W.	17.86'
C27	24.41'	34.00'	41°08'33"	S. 85°01'10" W.	23.89'
C28	54.52'	168.00'	18°35'32"	N. 83°42'20" W.	54.28'
C29	38.33'	23.00'	95°28'34"	N. 45°15'49" W.	34.04'

REVISIONS <table border="1"> <thead> <tr> <th>ITEM</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>REVISE EASEMENT</td> <td>10-11-23</td> <td>PTG</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			ITEM	DATE	BY	REVISE EASEMENT	10-11-23	PTG																DETENTION BASIN EASEMENT CATHOLIC CENTRAL HIGH SCHOOL CITY OF NOVI OAKLAND COUNTY MICHIGAN			DATE 8-15-22		SCALE HOR: 1" = 100' FIELD BOOK NO.	
ITEM	DATE	BY																												
REVISE EASEMENT	10-11-23	PTG																												
 Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE, SUITE 100 NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com				DESIGNED BY PTG		JOB NO. 19120.1																								
DRAWN BY PTG				SHEET NO. 4/6		© COPYRIGHT 2022																								

EXHIBIT 'D'

DETENTION BASIN EASEMENTS LEGAL DESCRIPTION

A DESCRIPTION OF FIVE (5) NON-CONTIGUOUS DETENTION BASIN EASEMENTS REFERRED TO AS EASEMENTS 1, 2, 3, 4 AND 5 LOCATED IN THE N.E. 1/4 OF SECTION 18, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS:

COMMENCING AT THE N. 1/4 CORNER OF SAID SECTION 18, THENCE S. 88°55'17" E. 638.98 FEET ALONG THE NORTH LINE OF SAID SECTION 18 ALSO BEING THE CENTERLINE OF 12 MILE ROAD (33 FEET WIDE, 1/2 WIDTH); THENCE S. 01°04'43" W. 75.49 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 1; THENCE ALONG SAID EASEMENT 1, N. 89°10'27" E. 157.17 FEET; THENCE 20.06 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 42.50 FEET, CENTRAL ANGLE 27°02'17" AND A CHORD THAT BEARS S. 77°18'24" E. 19.87 FEET; THENCE S. 63°50'46" E. 41.24 FEET TO POINT 'A'; THENCE 49.92 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 42.50 FEET, CENTRAL ANGLE 67°17'38" AND A CHORD THAT BEARS S. 32°34'03" E. 47.10 FEET; THENCE S. 01°04'46" W. 49.87 FEET; THENCE 23.09 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 15.00 FEET, CENTRAL ANGLE 88°12'24" AND A CHORD THAT BEARS S. 45°10'58" W. 20.88 FEET; THENCE S. 89°17'10" W. 10.53 FEET; THENCE 18.89 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 32.00 FEET, CENTRAL ANGLE 33°49'12" AND A CHORD THAT BEARS N. 73°48'14" W. 18.62 FEET; THENCE N. 56°53'38" W. 18.50 FEET; THENCE 21.21 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 36.00 FEET, CENTRAL ANGLE 33°45'00" AND A CHORD THAT BEARS N. 73°46'08" W. 20.90 FEET; THENCE S. 89°21'21" W. 159.43 FEET; THENCE 29.98 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 19.00 FEET, CENTRAL ANGLE 90°24'46" AND A CHORD THAT BEARS N. 45°26'16" W. 26.97 FEET; THENCE N. 00°13'53" W. 66.33 FEET; THENCE 31.21 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 20.00 FEET, CENTRAL ANGLE 89°24'20" AND A CHORD THAT BEARS N. 44°28'17" E. 28.14 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 1; THENCE FROM SAID POINT 'A' N. 87°12'42" E. 111.03 FEET TO THE POINT OF BEGINNING OF EASEMENT 2; THENCE ALONG SAID EASEMENT 2, S. 89°42'10" E. 16.92 FEET; THENCE S. 04°34'46" E. 45.60 FEET; THENCE S. 15°10'58" E. 176.32 FEET; THENCE S. 36°04'36" E. 35.93 FEET; THENCE S. 11°34'26" E. 18.89 FEET; THENCE S. 14°28'08" W. 20.58 FEET; THENCE S. 35°41'56" W. 39.89 FEET; THENCE S. 55°53'25" W. 32.53 FEET; THENCE S. 71°36'23" W. 105.92 FEET TO POINT 'B'; THENCE N. 13°52'16" E. 47.15 FEET; THENCE N. 31°23'02" E. 76.67 FEET; THENCE N. 05°11'06" E. 162.54 FEET; THENCE N. 01°03'56" W. 94.14 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 2; THENCE FROM SAID POINT 'B' S. 40°27'45" E. 271.24 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 3; THENCE ALONG SAID EASEMENT 3, N. 69°24'44" E. 28.86 FEET; THENCE 18.85 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 40.00 FEET, CENTRAL ANGLE 26°59'49" AND A CHORD THAT BEARS N. 55°54'49" E. 18.67 FEET; THENCE 68.25 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 155.00 FEET, CENTRAL ANGLE 25°13'45" AND A CHORD THAT BEARS N. 29°48'02" E. 67.70 FEET; THENCE N. 17°11'10" E. 78.63 FEET; THENCE 26.09 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 9.50 FEET, CENTRAL ANGLE 157°22'27" AND A CHORD THAT BEARS S. 84°07'37" E. 18.63 FEET; THENCE S. 05°26'23" E. 195.05 FEET; THENCE 26.26 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 50.00 FEET, CENTRAL ANGLE 30°05'44" AND A CHORD THAT BEARS S. 09°36'29" W. 25.96 FEET; THENCE S. 24°39'21" W. 22.50 FEET TO POINT 'C'; THENCE 27.14 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 16.00 FEET, CENTRAL ANGLE 97°10'17" AND A CHORD THAT BEARS S. 73°14'29" W. 24.00 FEET; THENCE N. 58°10'23" W. 126.43 FEET; THENCE 23.18 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 13.50 FEET, CENTRAL ANGLE 98°22'29" AND A CHORD THAT BEARS N. 08°59'08" W. 20.43 FEET; THENCE 13.51 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 26.50 FEET, CENTRAL ANGLE 29°12'38" AND A CHORD THAT BEARS N. 54°48'25" E. 13.36 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 3; THENCE FROM SAID POINT 'C' S. 23°24'59" E. 309.03 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 4; THENCE ALONG SAID EASEMENT 4, N. 65°55'02" E. 84.67 FEET; THENCE 16.97 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 54.05 FEET, CENTRAL ANGLE 17°59'18" AND A CHORD THAT BEARS N. 56°37'39" E. 16.90 FEET; THENCE N. 47°48'45" E. 28.91 FEET; THENCE 35.53 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 31.00 FEET, CENTRAL ANGLE 65°39'35" AND A CHORD THAT BEARS N. 80°38'32" E. 33.61 FEET; THENCE S. 66°31'41" E. 11.67 FEET; THENCE 12.89 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 14.00 FEET, CENTRAL ANGLE 52°45'14" AND A CHORD THAT BEARS S. 40°09'04" E. 12.44 FEET TO POINT 'D'; THENCE

CONTINUE ON SHEET 6/6

TAX ID. 22-18-200-026 AND 22-18-200-027

REVISIONS			DETENTION BASIN EASEMENT CATHOLIC CENTRAL HIGH SCHOOL CITY OF NOVI OAKLAND COUNTY MICHIGAN		DATE	SCALE HOR: 1" =	
ITEM	DATE	BY			8-15-22	FIELD BOOK NO.	
REVISE EASEMENT	10-11-23	PTG	 ZEIMET WOZNIAK & ASSOCIATES Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE, SUITE 100 NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com		DESIGNED BY	JOB NO.	
						19120.1	
					DRAWN BY	SHEET NO.	
					PTG	5/6	

© COPYRIGHT 2022

EXHIBIT 'D'

CONTINUED FROM SHEET 5/6.

S. 18°11'05" E. 33.28 FEET; THENCE 25.62 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 82.61 FEET, CENTRAL ANGLE 17°46'02" AND A CHORD THAT BEARS S. 07°39'06" E. 25.51 FEET; THENCE 56.87 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 37.64 FEET, CENTRAL ANGLE 86°33'47" AND A CHORD THAT BEARS S. 43°05'29" W. 51.62 FEET; THENCE S. 87°24'36" W. 61.39 FEET; THENCE 81.27 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 1036.57 FEET, CENTRAL ANGLE 04°29'33" AND A CHORD THAT BEARS N. 78°20'01" W. 81.25 FEET; THENCE 34.70 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 14.00 FEET, CENTRAL ANGLE 142°00'17" AND A CHORD THAT BEARS N. 05°05'07" W. 26.47 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 4; THENCE FROM SAID POINT 'D' N. 87°46'47" E. 170.49 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 5; THENCE ALONG SAID EASEMENT 5, 12.66 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 8.00 FEET, CENTRAL ANGLE 90°42'13" AND A CHORD THAT BEARS N. 47°49'34" E. 11.38 FEET; THENCE S. 86°49'20" E. 101.83 FEET; THENCE 20.98 FEET ALONG THE ARC OF A CURVE TO RIGHT, RADIUS 62.00 FEET, CENTRAL ANGLE 19°23'11" AND A CHORD THAT BEARS S. 77°07'44" E. 20.88 FEET; THENCE S. 67°26'09" E. 34.05 FEET; THENCE 14.72 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 12.00 FEET, CENTRAL ANGLE 70°17'56" AND A CHORD THAT BEARS S. 32°17'11" E. 13.82 FEET; THENCE S. 02°51'47" W. 63.81 FEET; THENCE 22.11 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 13.00 FEET, CENTRAL ANGLE 97°27'27" AND A CHORD THAT BEARS S. 51°35'30" W. 19.54 FEET; THENCE N. 79°40'46" W. 12.59 FEET; THENCE 18.16 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 29.00 FEET, CENTRAL ANGLE 35°52'21" AND A CHORD THAT BEARS S. 82°23'03" W. 17.86 FEET; THENCE 24.41 FEET ALONG THE ARC OF A CURVE TO RIGHT, RADIUS 34.00 FEET, CENTRAL ANGLE 41°08'33" AND A CHORD THAT BEARS S. 85°01'10" W. 23.89 FEET; THENCE 54.52 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 168.00 FEET, CENTRAL ANGLE 18°35'32" AND A CHORD THAT BEARS N. 83°42'20" W. 54.28 FEET; THENCE S. 86°59'54" W. 22.11 FEET; THENCE 38.33 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 23.00 FEET, CENTRAL ANGLE 95°28'34" AND A CHORD THAT BEARS N. 45°15'49" W. 34.04 FEET; THENCE N. 02°28'28" E. 76.78 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT 5.

TAX ID. 22-18-200-026 AND 22-18-200-027

REVISIONS			DETENTION BASIN EASEMENT CATHOLIC CENTRAL HIGH SCHOOL		DATE	SCALE HOR: 1" =	
ITEM	DATE	BY	CITY OF NOVI OAKLAND COUNTY MICHIGAN		8-15-22	FIELD BOOK NO.	
REVISE EASEMENT	10-11-23	PTG	Z EIMET W OZNIAK & ASSOCIATES		DESIGNED BY	JOB NO. 19120.1	
			Civil Engineers & Land Surveyors		DRAWN BY	SHEET NO.	
			55800 GRAND RIVER AVE, SUITE 100 NEW HUDSON, MICHIGAN 48165		PTG	6/6	
			P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com			© COPYRIGHT 2022	

December 11, 2024

Ben Croy
City of Novi
26300 Lee BeGole Drive
Novi, Michigan 48375

Re: Catholic Central Connector Road - Acceptance Documents Review #4
Novi # JSP21-0017
SDA Job No. NV22-205
FINAL DOCUMENTS APPROVED

Dear Mr. Croy:

We have reviewed the Acceptance Document Package received by our office on December 09, 2024 against the Final Site Plan (Stamping Set) approved on January 16, 2023. We offer the following comments:

Final Acceptance Documents

The following items must be provided prior to the issuance of a Temporary Certificate of Occupancy. All documents must be completed using blue/black ink as the County will reject them otherwise.

1. On-Site Water System Easement
(executed 12/05/2024)
Exhibits Approved.
2. Storm Drainage Facility / Maintenance Easement Agreement
(executed 12/05/2024)
Exhibits Approved.
3. Sidewalk Easement
(executed 12/05/2024)
Exhibit Approved.
4. Warranty Deed for Road Right-of-Way
(executed 12/05/2024)
Exhibits Approved.
5. Bills of Sale: Sanitary Sewer System and Water Supply System
(executed 12/05/2024)
Exhibits Approved.
6. Full Unconditional Waivers of Lien from contractors installing public utilities
(executed 05/15/2024)
Received
7. Sworn Statement signed by Developer
(executed 05/16/2024)
Received

Unless otherwise stated above, the documents as submitted were found to be acceptable by our office pending review by the City Attorney. Legal review will not occur until a current title policy is submitted to the City. For those documents which require revisions, please forward those revised documents to the City for further review and approval.

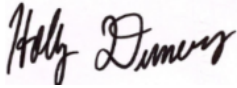
The City Attorney's Office will retain the original documents in their files until such time as they are approved and ready (notarized and executed properly) for the mayor's signature.

It should be noted that the Plan Review Center Report dated August 15, 2022 contains all documentation requirements necessary prior to construction and occupancy of the facility.

If you have any questions regarding this matter, please contact this office at your convenience.

Sincerely,

SPALDING DEDECKER



Holly Demers
Engineer

Cc (via Email): Taylor Reynolds, Spalding DeDecker
Ben Nelson, City of Novi
Cortney Hanson, City of Novi
Diana Shanahan, City of Novi
Sarah Marchioni, City of Novi
Humna Anjum, City of Novi
Beth Saarela, Rosati, Schultz, Joppich, Amtsbuechler
Angie Sosnowski, City of Novi
Melissa Morris, City of Novi
Alyssa Craigie, City of Novi
Barb McBeth, City of Novi
Lindsay Bell, City of Novi
Milad Alesmail, City of Novi
Dan Commer, City of Novi
Ben Nelson, City of Novi
Andy Wozniak, Zeimet Wozniak & Associates

October 25, 2023

Mrs. Humna Ajum
Project Engineer
Department of Public Services
Field Services Complex – Engineering Division
26300 Lee BeGole Drive
Novi, MI 48375

**Re: Catholic Central Connector Road
Storm Water Detention System Inspection**
Novi SP No.: JSP21-0017
SDA Job No.: NV22-205

Dear Mrs. Anjum:

This letter serves to officially notify you that we have reviewed the status of the storm water detention systems including storm sewer piping, detention basin(s) and outlet control structure(s) for the above mentioned project. As a result of this review, we have determined the storm water detention system to be in general conformance with the approved construction plans and recommend a full release of this financial guarantee.

If you have any questions, please do not hesitate to contact us at our office.

Sincerely,

SPALDING DeDECKER

Heather Gendron

Digitally signed by Heather
Gendron
Date: 2023.10.25 08:50:46-04'00'

Heather Gendron, PE
Project Manager

cc: Sarah Marchioni, City of Novi – Building Project Coordinator (e-mail)
Angela Sosnowski, City of Novi – Bond Coordinator (e-mail)
Scott Roselle, City of Novi – Water and Sewer Asset Manager (e-mail)
Justin Barringer, JS Vig (e-mail)
SDA CE Job File