



WADE ONE - HELIOS JSP24-05

JSP24-05 Wade One - Helios

Public Hearing at the request of Integrity Building Group for a Special Land Use Permit and Preliminary Site Plan approval. The subject property, 45241 Grand River Avenue, is an approximately 29,000 square foot building on a 7.61 acre parcel within the I-1 Light Industrial Zoning District. The site is located south of Grand River Avenue and east of Taft Road. The applicant is proposing to operate a single business out of an existing industrial building. Helios is a company that manufactures stone-cutting equipment and assembly/shipping of purchased equipment.

Required Action

Approve/Deny the Special Land Use Permit and Preliminary Site Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	3-6-2025	A noise impact statement certified by an qualified sound engineer will be required at Final Site Plan review.
Engineering	Approval Recommended	5-22-2024	Items to be addressed by the applicant at Electronic Stamping Set submittal
Landscape	Approved with Conditions	3-6-2025	Contingent on the applicant correcting the plans to remove the unsupported waiver - <u>Deficiency in parking lot perimeter trees</u>
Traffic	Approval Recommended	6-25-2024	Planning Commission waiver for proposed painted end islands proposed at the back of the building
Façade	Approval Recommended	5-16-2024	It appears that the applicant is not proposing any changes to the façade materials or colors at this time
Fire	Approval Recommended	6-11-2024	
Woodland	Approved with Conditions	5-15-2024	Conditional approval subject to woodland fence guarantee prior to Final Site Plan review

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Wade One - Helios, JSP24-05, motion to **approve** the Special Land Use Permit based on and subject to the following:

a. Relative to other feasible uses of the site:

1. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off street parking, off-street loading/unloading, travel times, and thoroughfare level of service *(as it is an existing building with shared parking in place)*;
2. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area *(no impacts to utilities are anticipated)*;
3. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats *(no impacts to existing natural features are proposed)*;
4. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *(the parcel is borders other I-1 properties on two sides and the nearest single-family residential building is approximately 1,000 feet away)*;
5. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan or Land Use *(as it fulfills one of the Master plan objectives to attract new businesses to the City of Novi)*;
6. The proposed use will promote the use of land in a socially and economically desirable manner *(as it fulfills one of the Master plan objectives to attract new businesses to the City of Novi)*;
7. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located;

b. The applicant will work with staff to restore the site landscaping to what was provided on the original landscape through an Electronic Stamping Set submittal and review;

c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Electronic Stamping Set submittal; and

d. *(additional conditions here if any)*.

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance)

- AND -

Approval – Preliminary Site Plan

In the matter of Wade One - Helios, JSP 24-05, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Per Section 3.14.3 of the Zoning Ordinance, the Planning Commission finds that:
 1. The scale, size, building design, façade materials, landscaping and activity of the use is such that current and future adjacent residential uses will be protected from any adverse impacts, since additional landscaping is being provided, and will offer additional buffering between the adjacent residential areas;
 2. The intended truck delivery service can be effectively handled without long term truck parking on site, which is made a condition of the approval;
 3. The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of this article and performance standards of Section 5.14, since the applicant has provided a noise analysis statement, and staff is recommending that the analysis be certified by a qualified sound engineer at the time of Final Site Plan review;
 4. The storage and/or use of any volatile, flammable or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or hazardous materials, as the applicant has indicated that there shall be compliance with the ordinance;
 5. There is compliance with the City's hazardous materials checklist for required submittal data, since the applicant has complied with the submittal requirement;
- b. The request requires the submittal of a noise impact statement certified by a qualified sound engineer will be required at the time of Final Site Plan review.
- c. Landscape waiver for lack of berm in greenbelt, as a hedge is being added, and is supported by staff, which is hereby granted;
- d. Landscape waiver for deficiency in interior parking lot landscape areas and trees, and is supported by staff, which is hereby granted;
- e. Landscape waiver for lack of accessway perimeter trees along east side of building, and is supported by staff, which is hereby granted;
- f. Landscape waiver for deficiency in building foundation landscaping, and is supported by staff, which is hereby granted;
- g. Contingent on the applicant correcting the plans to remove the **unsupported waiver** for deficiency in in parking lot perimeter trees by planting two canopy trees on the south side of the building, outside of the sanitary easement;
- h. Planning Commission waiver for the lack of curbed and landscaped end islands at the back of the building, with the applicant proposing painted end islands only, due to projected low traffic circulation in this area;
- i. Contingent on the applicant obtaining a woodland fence guarantee prior to Final Site Plan review and adding the cost to stake, install, and remove the tree protection fencing to the Woodland Plan;

- j. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the Electronic Stamping Set; and
- k. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- OR -

Denial – Special Land Use Permit

In the matter of Wade One - Helios, JSP24-05, motion to **deny** the Special Land Use Permit *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

- AND -

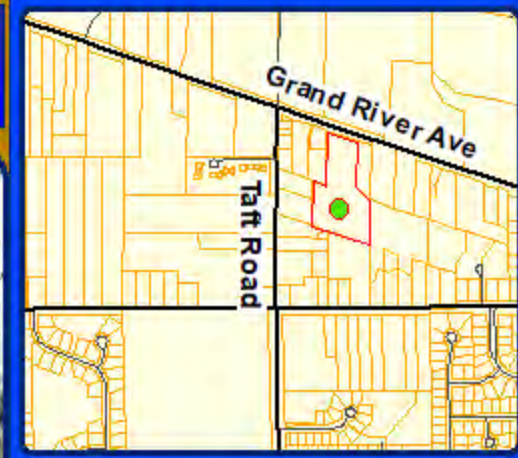
Denial – Preliminary Site Plan

In the matter of Wade One - Helios, JSP24-05, motion to **deny** the Preliminary Site Plan *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*


MAPS
Location
Zoning
Future Land Use
Natural Features

JSP 24-05 Wade One and Noble Gas

Location



LEGEND

 Subject Property



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Dan Commer
Date: 7/16/2024
Project: JSP 24-05 WADE ONE AND NOBLE GAS
Version #: 1

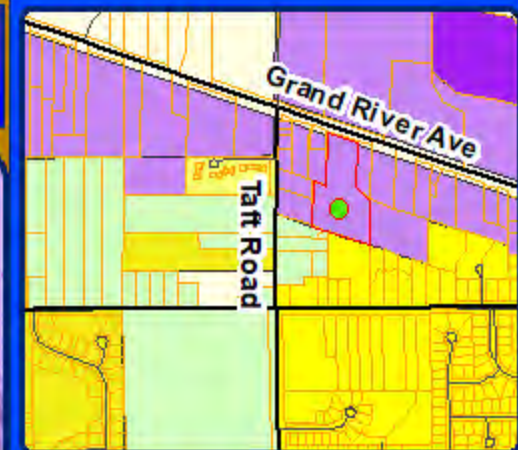
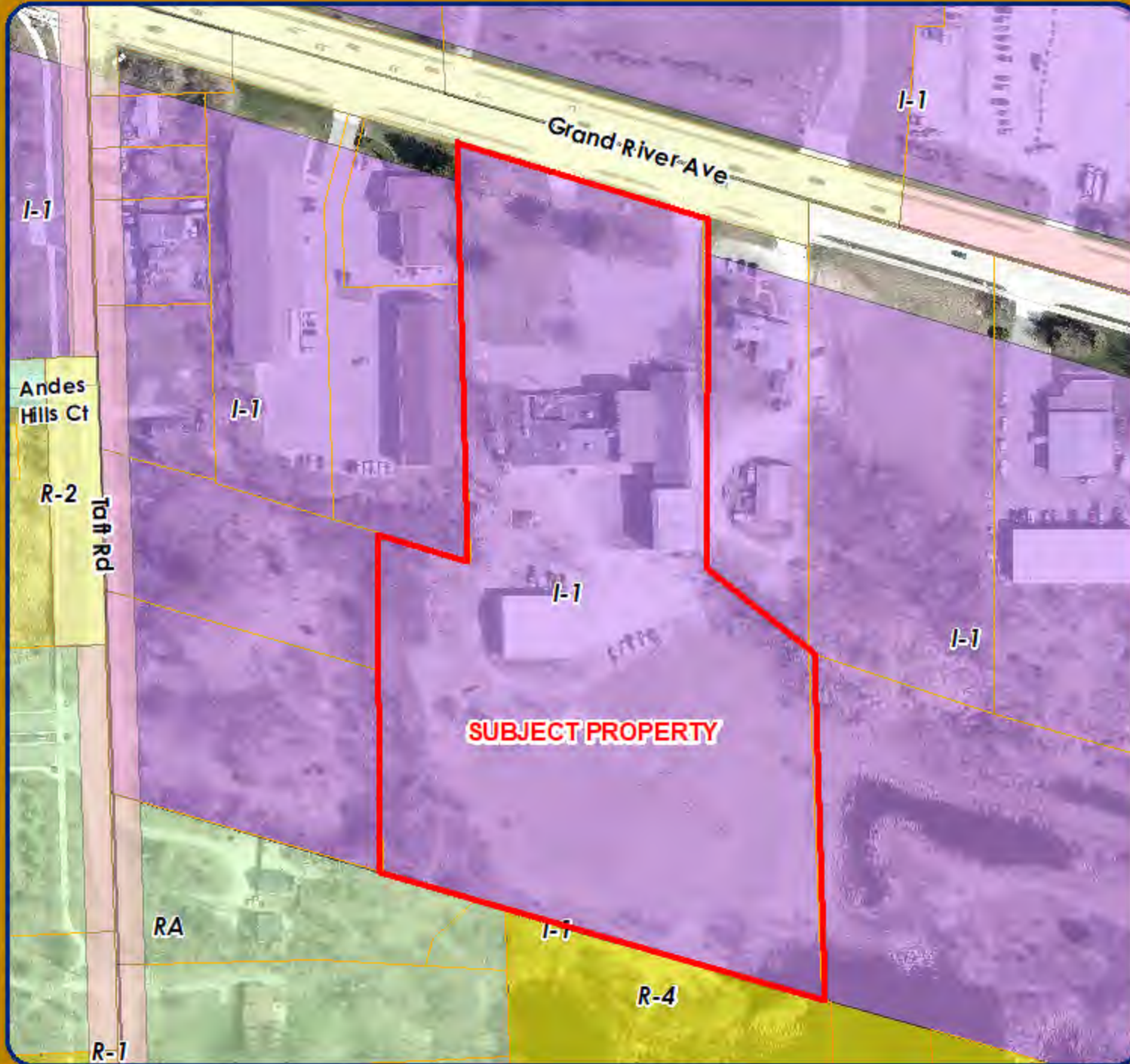


MAP INTERPRETATION NOTICE

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JSP 24-05 Wade One and Noble Gas

Zoning




LEGEND

- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-4: One-Family Residential District
- I-1: Light Industrial District
- I-2: General Industrial District
- Subject Property

 **City of Novi**
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City Hall / Civic Center
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Novi, MI 48375
cityofnovi.org

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0 35 70 140 210 Feet
1 inch = 167 feet

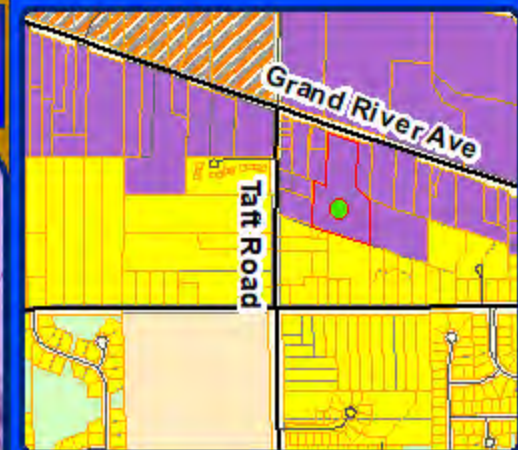
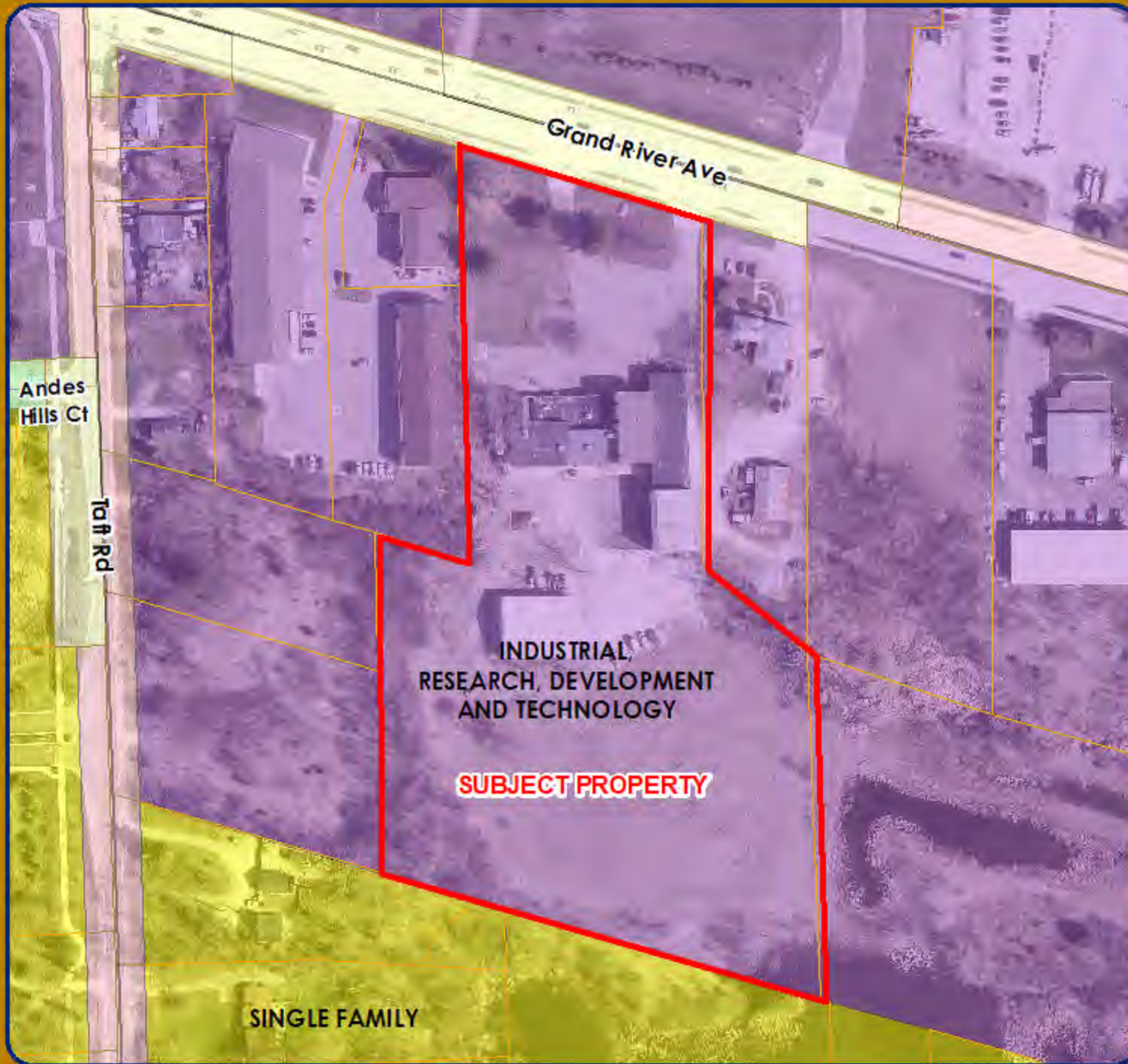


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JSP 24-05 Wade One and Noble Gas

Future Land Use Map




- LEGEND**
- Single Family
 - Industrial, Research, Development and Technology
 - City West
 - Educational Facility
 - Private Park
 - Subject Property**



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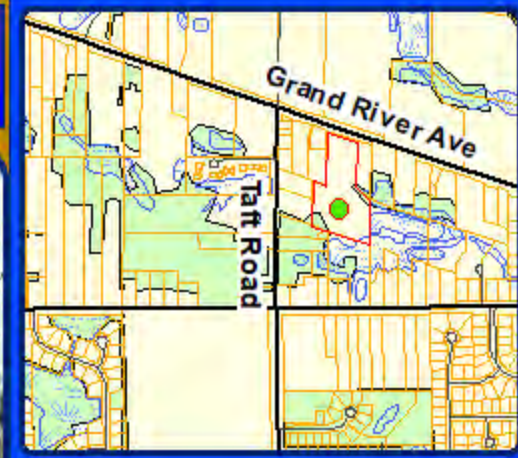


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JSP 24-05 Wade One and Noble Gas

Natural Features

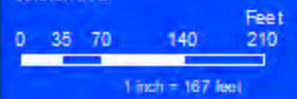


- LEGEND**
- WETLANDS
 - WOODLANDS
 - Subject Property



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SITE PLAN

GRAND NOVI STORAGE

Mailing Address:

44237 / 45241 Grand River Avenue
Novi, Michigan 48226

45237 (45241) Grand River Avenue
Novi, Michigan 48226

Project No. 2021-16

ISSUES:

03/14/2024	Zoning Concept Meeting	06/03/2024	Final Meeting Revisions
03/15/2024	Pre-Application Meeting		
04/22/2024	Preliminary/Final Meeting		

Design Professional in Responsible Charge:
John P. Biggar (per 107.3.4.1)
Michigan Architect License Number: 0301041902

CONSTRUCTION MANAGER:



350 Madison Avenue
4th Floor
Detroit, Michigan 48226

313 549 2790 [p]
jpb@ware-house.com
studiozONEdetroit.com

ARCHITECT:

studiozONE : DETROIT

architectural
historical
interior
urban
DESIGN

350 Madison Avenue
4th Floor
Detroit, Michigan 48226

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jpb@ware-house.com
studiozONEdetroit.com

SHEET INDEX:

Final Meeting Revisions 06/03/2024	Preliminary/Final Meeting 04/22/2024	Pre-Application Meeting 03/15/2024	Concept Meeting 03/14/2024		
ARCHITECTURAL:					
•	•	•	•	A1.00	MBC Code Review (for Reference)
•	•	•	•	A1.01	MBC Code Review (for Reference)
•	•	•	•	A1.02	Zoning Information (Use Matrix)
•	•	•	•	A1.03	Zoning Information (I-1 Use Standards)
•	•	•	•	A1.04	Zoning Information (Site Aerial & Adjacent Zoning)
•	•	•	•	A1.05	Zoning Information (Street Landscape Screening)
•	•	•	•	A1.06	Zoning Information (Taft Road)
•	•	•	•	A3.11	Floor Plans (Main Building w/ Tenant)
•	•	•	•	A3.12	Floor Plans (Out Building)
•	•	•	•	A3.13	Roof Plan
•	•	•	•	A5.10	Building Elevations
•	•	•	•	A5.11	Building Elevations
CIVIL:					
•	•	•	•	1	ALTA/NSPS Land Title Survey
•	•	•	•	2	Topographic Survey
•	•	•	•	C2.10	Site Vehicular Plan
•	•	•	•	C2.11	Site Layout Plan
•	•	•	•	C2.12	Site Grading Plan
•	•	•	•	C2.13	Site Utilities Plan
•	•	•	•	C2.14	Site Storm Water Management Plan
•	•	•	•	C2.15	Soil Erosion Control Plan
•	•	•	•	C2.16	Wetlands Survey
•	•	•	•	C2.60	Site Details
•	•	•	•	C2.61	Site Details
•	•	•	•	C2.62	Soil Erosion Control Details
LANDSCAPE:					
•	•	•	•	L2.10	Landscape Plan
•	•	•	•	L2.11	Landscape Aerial Plan
•	•	•	•	L2.12	Woodland Plan
•	•	•	•	L2.60	Landscape Details & Notes

SITE DATA:

SITE AREA:	7.61 ACRES
PARCEL ID:	22-15351-012
EXISTING ZONING:	I-1 LIGHT INDUSTRIAL
PROPOSED ZONING:	I-1 LIGHT INDUSTRIAL
BUILDING SQUARE FOOTAGE:	23,493 SF +/- MAIN BUILDING 5,703 SF +/- ACCESSORY BUILDING
MAIN BUILDING HEIGHT*	29,196 SF +/- BUILDING TOTAL VARIES FROM 11' +/- TO 33' +/-
ACCESSORY BUILDING HEIGHT:	25' +/-

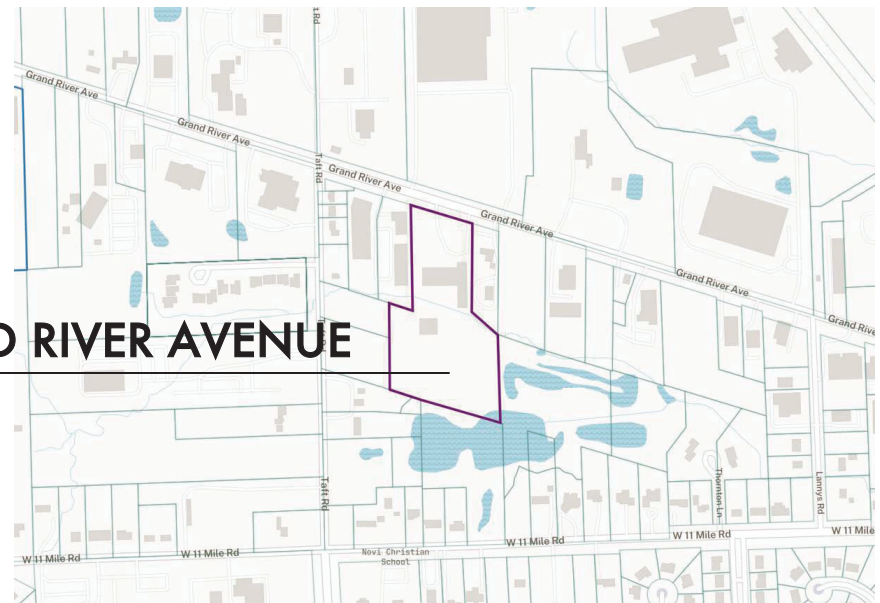
LEGAL DESCRIPTION:

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

THAT PART OF THE SOUTHWEST 1/4 SECTION 15, TOWNSHIP OF NOVI, OAKLAND COUNTY, MICHIGAN, BEGINNING AT THE POINT DISTANT NORTH 1695.76 FEET AND SOUTH 72 DEGREES 06 MINUTES EAST 444.34 FEET FROM THE SOUTHWEST CORNER OF SECTION 15, THENCE SOUTH 72 DEGREES 06 MINUTES EAST 292.61 FEET ALONG THE SOUTH LINE OF GRAND RIVER ROAD, THENCE SOUTH 00 DEGREES 32 MINUTES 30 SECONDS WEST 399.98 FEET; THENCE SOUTH 48 DEGREES 19 MINUTES EAST 158.95 FEET; THENCE SOUTH 00 DEGREES 32 MINUTES 30 SECONDS WEST 4010.75 FEET; THENCE NORTH 71 DEGREES 23 MINUTES 00 SECONDS WEST 526.30 FEET; THENCE NORTH 396.00 FEET; THENCE SOUTH 71 DEGREES 28 MINUTES EAST 115.93 FEET; THENCE NORTH 479.83 FEET TO THE POINT OF BEGINNING.

NOW KNOW AS:
LOT(S) 2 OF ASSESSOR'S PLAT NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 219 OF PLATS, PAGE 34, 35 AND 36 OF OAKLAND COUNTY RECORDS.

TAX PARCEL NUMBER: 22-15351-012



45237 GRAND RIVER AVENUE

PARCEL ID: 2215351012

FIRE RESISTANCE REQUIREMENTS (FOR NEW CONSTRUCTION)

BUILDING ELEMENT (INCLUDING COLUMNS, GIRDERS, TRUSSES AND OTHER NON-FRAME)	REQUIRED TYPE OR PROPOSED	EXISTING TYPE OR PROPOSED
STRUCTURAL FRAME	0 HOUR	0 HOUR
BEARING WALLS		
EXTERIOR	2 HOUR	0 HOUR
INTERIOR	0 HOUR	1 HOUR
NON-BEARING WALLS & PARTITIONS (PROTECTED PER TABLE 602)		
FIRE SEPARATION DISTANCE		
<5'	N/A	N/A
≥5'	N/A	N/A
≥10'	N/A	N/A
≥15'	N/A	N/A
≥20'	0 HOUR	0 HOUR
FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)	0 HOUR	0 HOUR
ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)	0 HOUR	0 HOUR
FIRE WALLS (per table 706.4 & section 706)	3 HOUR	N/A
FIRE BARRIERS (per section 707)		
SHAFT ENCLOSURES (per section 710.1)	1 HOUR	N/A
INTERIOR EXIT STAIRWAY & RAMP (per section 710.2)	1 HOUR	1 HOUR
ENCLOSURES FOR EXIT ACCESS STAIRWAYS (per section 710.3)	1 HOUR	1 HOUR
EXIT PASSAGEWAYS (per section 710.4)	1 HOUR	N/A
HORIZONTAL EXIT (per section 710.5)	2 HOUR	N/A
INCIDENTAL USE AREAS (per section 711.1)		
PAINT SHOP(S) (per section 711.2)	2 HOUR	1 HOUR
*ON AUTOMATIC FIRE EXTINGUISHING SYSTEM		
CONTROL AREAS (per section 712.1)	1 HOUR	1 HOUR
MEZEEL OCCUPANCY SEPARATION (per section 713.1 & Table 100.1)	1 HOUR	N/A
FIRE AREAS (per section 713.2 & Table 100.1)	1 HOUR	N/A
SHAFTS (per section 714.1 & 714.2) (Top & bottom equal to shaft or extended to roof / bottom of building)	1 HOUR	N/A
FIRE PARTITIONS (per section 708)	1 HOUR	N/A
SMOKE BARRIERS (per section 709)	1 HOUR	N/A
SMOKE PARTITIONS (per section 710)	0 HOUR	0 HOUR
CORRIDORS (per section 1005 & Table 100.1) (Occupant load greater than 30 persons without sprinkler system)	1 HOUR	1 HOUR
FLOOR/ROOF HORIZONTAL ASSEMBLIES (per section 714.4) (Same as apply for floor & roof construction for building type. When separating occupancies (808.4) or fire areas (707.3.10))	0 HOUR	N/A

FIRE RESISTANCE REQUIREMENTS FOR INTERIOR FINISHES TABLE 803.9

USE GROUP	REQUIRED		USE GROUP F (non-sprinklered)
	REQUIRED	PROVIDED	
A. EXIT ENCLOSURES AND EXIT PASSAGEWAYS	B	B	
B. CORRIDORS PROVIDING EXIT ACCESS	C	C	
C. ROOMS OR ENCLOSED SPACES	C	C	
INTERIOR FINISHES AND TRIM - FLAME SPREAD CHARACTERISTICS			
CLASS A	0 TO 25 FLAME SPREAD, SMOKE DEVELOPED 0-450		
CLASS B	26 TO 75 FLAME SPREAD, SMOKE DEVELOPED 0-450		
CLASS C	76 TO 200 FLAME SPREAD, SMOKE DEVELOPED 0-450		

FIRE RESISTIVE ASSEMBLIES

FIRE RESISTIVE ASSEMBLIES IN THIS PROJECT SHALL CONFORM TO DESIGNS LISTED IN THE 2009 EDITION OF UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY OR AS AN ALTERNATIVE THE MICHIGAN BUILDING CODE REQUIREMENTS FOR MINIMUM PROTECTION FOR:

STRUCTURAL PARTS BASED UPON TABLE 720.1 (1)
 RATED FIRE RESISTANCE PERIODS FOR WALLS & PARTITIONS BASED UPON TABLE 720.1 (2)
 MINIMUM PROTECTION FOR FLOOR AND ROOF SYSTEMS BASED UPON TABLE 720.1 (3)

ANY MATERIAL SUBSTITUTIONS TO A LISTED U.L. DESIGN NUMBER SHALL BE COORDINATED BY THE CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPROVALS FROM THE LOCAL FIRE MARSHAL AND BUILDING INSPECTOR FOR ANY MATERIAL SUBSTITUTIONS MADE TO REQUIRED U.L. DESIGN NUMBERS, PRIOR TO ACCEPTANCE BY THE ARCHITECT.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CHANGES IN THE LISTED U.L. DESIGN NUMBERS DUE TO MATERIAL SUBSTITUTIONS FOR OTHER RELATED MATERIALS AFFECTED BY THE U.L. NUMBERS CHANGE.

CONTRACTOR SHALL SUBMIT ALL CERTIFICATIONS, AND ALL FINAL U.L. DESIGN NUMBERS USED FOR EACH REQUIRED ASSEMBLY.

CODE SUMMARY

APPLICABLE CODES
 THE RENOVATION OF THE EXISTING STRUCTURE SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE FOLLOWING CODES, REGULATIONS AND ORDINANCES:
APPLICABLE CODE: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2018
PRESCRIPTIVE COMPLIANCE METHOD - CHAPTER 4
LEVEL 2 ALTERATION - CHAPTER 8
 THE FOLLOWING CODES ARE REFERENCED:
 BUILDING MICHIGAN BUILDING CODE [2015]
 MECHANICAL MICHIGAN MECHANICAL CODE [2015]
 ELECTRICAL NATIONAL ELECTRICAL CODE (NEC) [2017]
 PLUMBING MICHIGAN PLUMBING CODE [2018]
 ACCESSIBILITY ICC ANSI A117.1 [2015]

PROJECT DESCRIPTION & USE/OCCUPANCY CLASSIFICATION

EXISTING 2-STORY STRUCTURE OF TYPE IIBB CONSTRUCTION
 RENOVATION OF EXISTING 1ST FLOOR (S-1 OCCUPANCY)
 BUILDING HEIGHT 35' +/- (TO TOP OF PARAPET)
 BUILDING ADDRESS: 25241 GRAND RIVER, NOVI, MICHIGAN 48375

BUILDING	EXISTING AREA	ADDITION AREA	TOTAL FLOOR AREA
1ST FLOOR	21,218 sf	0 sf	21,218 sf
2ND FLOOR	2,389 sf	0 sf	2,389 sf
TOTAL	23,607 sf	0 sf	23,607 sf
ACCESSORY OCCUPANCIES (808.2)			% OF TOTAL AREA
NONE	0 sf	0 sf	%

YARD / SEPARATION 20' MINIMUM TO PROPERTY LINE
 BUILDING TOTAL PERIMETER (200' 0" N + 200' 4" S + 203' 9" E, 203' 9" W) = 808' 0"
 BUILDING OPEN PERIMETER (200' 0" N + 200' 4" S + 4" E, 100' 0" W) = 504' 0" (OPEN PERIMETER)

OCCUPANCY CLASSIFICATION	EXISTING OCCUPANCY	PROPOSED OCCUPANCY
1ST FLOOR & 2ND FLOOR	S-1	S-1

TYPE OF CONSTRUCTION IIBB
 FIRE SUPPRESSION PROVIDED NO

HEIGHT & AREA INFORMATION

ALLOWABLE BUILDING HEIGHT (Table 504.2)	USE GROUP S-1	55'
ALLOWABLE BUILDING HEIGHT (Table 504.4)	USE GROUP S-1	2 STORIES
ALLOWABLE AREA (per table 506.2)	USE GROUP S-1	17,500 GSF
MODIFIED ALLOWABLE AREA (per Section 506.2.1) (SEE CHAPTER 9/14 CALCULATIONS THIS SHEET)	USE GROUP S-1	23,467 GSF

FIRE ALARM & DETECTION SYSTEMS (Section 907 & 908)

OCCUPANCY F (907)
 1. MANUAL FIRE ALARM SYSTEM NOT REQUIRED FOR S OCCUPANCY APPLIES PER SECTION 907
 ALL OCCUPANCIES
 MANUAL FIRE ALARM BOXES NOT MORE THAN 5' FROM EXIT ENTRANCE AT 42" AFF
 EACH FLOOR SHALL BE ZONED SEPARATELY
 PUBLIC AND COMMON AREAS TO HAVE VISIBLE & AUDIBLE ALARMS

OCCUPANT LOAD (Section 1004.1 & TABLE 1004.1.1)

OCCUPANT LOADS - (SEE PLANS FOR BREAKDOWN)
 WAREHOUSE AREAS - 1500 GROSS SF PER PERSON
 OFFICE AREAS - 100 GROSS SF PER PERSON
 ASSEMBLY AREAS - 115 NET SF PER PERSON

BUILDING AREA	FUNCTION OF SPACE	OCCUPANT LOAD	TOTAL LOAD
1ST FLOOR	WAREHOUSE (S-1)	(42) PERSONS	(42) PERSONS
2ND FLOOR	OFFICE	(22) PERSONS	(78) PERSONS
TOTAL			(120) PERSONS

EGRESS REQUIREMENTS

	CODE REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS (per Section 1001 & Table 1001.1)	2	2
EXIT ACCESS TRAVEL DISTANCE (per section 1017.1 & Table 1017.1) (W/O SPRINKLER)	200'	49'
MAXIMUM LENGTH OF DEAD END CORRIDOR (per section 1018.4)	20'	0'
EGRESS WIDTH PER OCCUPANT (per Section 1005.1)		
STAIRS - 0.30' PER OCCUPANT	23.4"	34" MINIMUM STAIR WIDTH PER EXIT
OTHER EGRESS COMPONENTS - 0.20' PER OCCUPANT (E78) persons x 5.23 = 29' total	TOTAL 15.6" MIN.	
CORRIDORS & RAMPS (per section 1018.2)	44" MIN	N/A
STAIRWAYS (per section 1009.1)	34" MIN	34" MIN
RAMPS (per section 1010.5.1)	34" MIN	N/A
DOORS (per table 1008.1.1)	20" MIN	34" MIN

CHAPTER 5 CALCULATIONS

Modified Allowable Area (Equation 5.1 & Equation 14.3)
 $A_a = \text{Allowable area of (per story)}$
 $A_a = A_t + [NS + E]$
 $A_t = \text{Tabular area per story in accordance with Table 506.2 (NS, S1 or S1R)}$
 $NS = \text{Tabular allowable area factor in accordance with Table 506.2 for non-sprinklered buildings}$
 $E = \text{Area increase factor due to frontage as calculated with Section 504.3}$

Storage S-1 - Type IIBB
 $A_a = 17,500 + [17,500 x (34.1\%)]$
 $A_a = 17,500 + 5,967.5$
 $A_a = 23,467.5 \text{ SF}$

Open Perimeter (Equation 5.2)	Perimeter Information	TOTAL OPEN
Frontage Increase	$I_f = \left[\frac{F}{P} \right] \cdot 0.25 \cdot \frac{W}{30}$	North 20'1"2"
$I_f = \text{Area increase due to frontage}$	East 203'4"	201'2"
$I_f = \text{Building Perimeter frontage on Public Way}$	South 201'2"	201'2"
$I_f = \text{Perimeter of entire building}$	West 203'4"	0'0"
$I_f = \text{Width of Public Way}$	Total 809'4"	0'15'0"
		BUILDING TOTAL PERIMETER = 76%

NO CHANGE TO EXISTING USE AND OCCUPANCY OF THE BUILDING



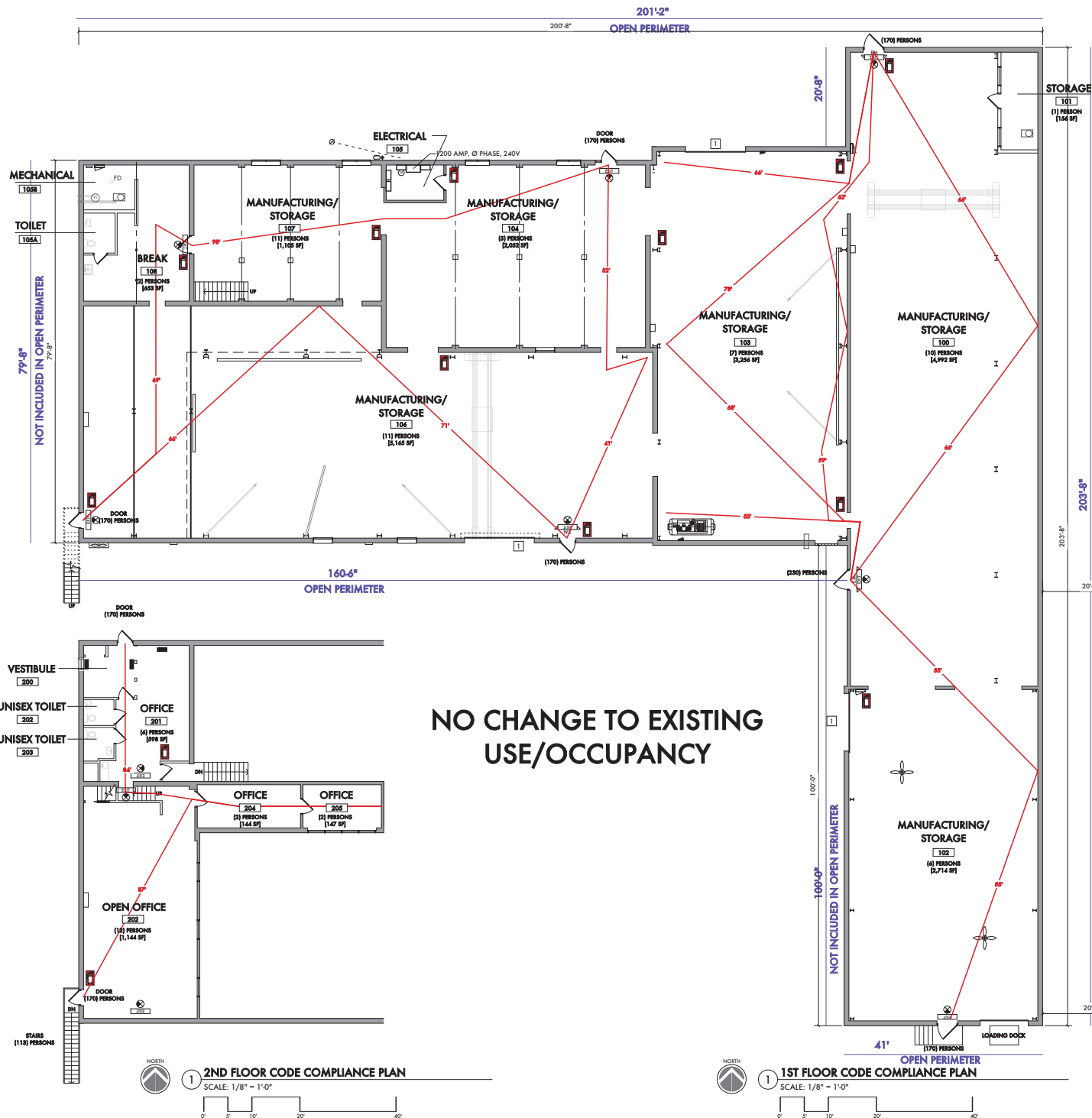
06/03/24 Final Meeting Revisions
 04/22/24 Preliminary / Final Meeting
 03/15/24 Pre-Application Meeting
 05/14/24 Special Land Use
 04/04/23 ADD#2 Plan Review Comments
 01/06/23 Building Permit - S-1 Use
 10/13/22 ADD #1 - Building Permit Revisions
 08/18/22 Building Permit
 Date: Issued For:

Wade One @ Grand New Storage, LLC
 43237 Grand River
 Novi, Michigan 48375
 43241 Grand River
 Novi, Michigan 48375

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Sheet Title: **CODE REVIEW**

Sheet Number: **A1.00**
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2ND FLOOR CODE COMPLIANCE PLAN
 SCALE: 1/8" = 1'-0"
 0' 5' 10' 20' 40'

1ST FLOOR CODE COMPLIANCE PLAN
 SCALE: 1/8" = 1'-0"
 0' 5' 10' 20' 40'



- 06/03/24 Final Meeting Revisions
- 04/22/24 Preliminary / Final Meeting
- 03/15/24 Pre-Application Meeting
- 03/14/24 Special Land Use
- 04/04/23 ADD #2 - Plan Review Comments
- 06/06/23 Building Permit - 1-1 Use
- 10/13/22 ADD #1 - Building Permit Revisions
- 08/18/22 Building Permit

Date: Issued For:

Wade One @ Grand Nord Storage, LLC
 45237 Grand River
 Novi, Michigan 48375
 Meeting:
 45247 Grand River
 Novi, Michigan 48375

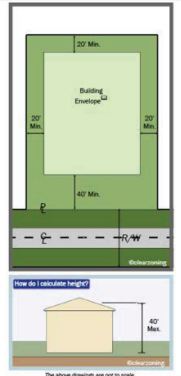
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 48100 Farm Westport, Michigan 48224 | stl@studioone.com

- 1 Purpose and Introduction
- 2 Definitions
- 3 Zoning Districts
- 4 Use Standards
- 5 Site Standards
- 6 Development Procedures
- 7 Admin and Enforcement



3.1.18 I-1 Light Industrial District

- D. DEVELOPMENT STANDARDS**
- Lot Size**
Minimum lot area: See Section 3.6.2.D
Minimum lot width: See Section 3.6.2.D
 - Lot Coverage**
Maximum lot coverage: See Section 3.6.2.D
 - Setbacks**
Minimum front yard setback: 40 ft
Minimum rear yard setback: 20 ft
Minimum side yard setback: 20 ft
 - Building Height**
Maximum building height: 40 ft
 - Parking Setbacks**
Minimum front yard setback: 10 ft
Minimum rear yard setback: 10 ft
Minimum side yard setback: 10 ft
- NOTES**
- For additions to the above requirements, refer to Section 3.6.2 Notes to District Standards, C, D, E, F, H, M, O, P and Q
 - See Selected References below for applicability



- SELECTED REFERENCES**
- 3. Zoning Districts**
 - T3 Required Conditions § 3.14
 - 4. Use Standards**
 - Use Not Otherwise Included § 4.6
 - Unlisted Use Determination § 4.67
 - 5. Site Standards**
 - Off-street Parking Spaces, Standards, § 5.3
 - Off-street Loading and Unloading § 5.4
 - Landscaping Standards § 5.5
 - Signs § 5.6
 - Exterior Lighting § 5.7
 - Corner Clearance § 5.8
 - Outdoor Food Carts § 5.10
 - Frontage on a Public Street § 5.12
 - Access to Major Thoroughfares § 5.13
 - 6. Development Procedures**
 - Site Plan Review § 6.1
 - Public Hearing § 6.2
 - 7. Admin. and Enforcement**
 - Nonconformities § 7.1
 - Revised Rezoning Overlay § 7.1.3.2
 - Performance Standards § 5.4**
 - Exterior Building Wall Finish Materials § 5.5**
 - Site Parking Facility Requirements § 5.6**
 - Nonconformities § 7.1**
 - Revised Rezoning Overlay § 7.1.3.2**

4.54 STORAGE FACILITIES FOR BUILDING MATERIALS, SAND, GRAVEL, STONE, LUMBER, STORAGE OF CONTRACTORS EQUIPMENT AND SUPPLIES

Storage facilities for building materials, sand, gravel, stone, lumber, storage of contractors equipment and supplies are permitted as a special land use in the I-1 district and as a permitted use in the I-2 district provided such use is enclosed within a building. A noise analysis is required subject to the standards of Section 5.14.10.B.

4.55 OUTDOOR STORAGE YARDS

In the I-2 district, outdoor storage yards are permitted either as a principal use of a site or as a use accessory to a principal use of a site when such yards are totally enclosed by a masonry wall, landscaped earth berm, chain link fence with heavy screen plantings, or combinations thereof. The height, location and extent of which shall be according to the requirements of Section 5.5 of this Ordinance, except as hereinafter enumerated in Section 3.15.2 for a location within a planned industrial park. Whenever outdoor storage is the principal use of the parcel, no outdoor storage shall extend into the required front yard setback of the district and no wall, fence or other screening devices shall extend into the required front yard setback.

4.56 COMMERCIAL SALE OF NEW AND USED HEAVY TRUCKS AND HEAVY OFF-ROAD CONSTRUCTION EQUIPMENT

In the I-2 district, commercial sale of new and used heavy trucks and heavy off-road construction equipment such as but not limited to: track loading machinery, graders, earth moving or earth hauling vehicles are a permitted use. The outdoor storage of any such equipment shall comply with the outdoor storage requirements of the Section 4.55, except that up to five (5) such pieces of new or rebuilt equipment may be displayed within any yard when placed on concrete pads and made an integral part of the yard's landscaping.

4.57 PRODUCTION OR MANUFACTURING USES

In the I-2 district, production or manufacturing uses, are a permitted use provided that they are located not less than eight-hundred (800) feet distant from any residential district and not less than three-hundred (300) feet distant from any other district.

4.58 JUNKYARDS

In the I-2 district, junkyards are a permitted use subject to Section 4.57 and provided they are entirely enclosed within a building or within an eight (8) foot concrete wall and provided further that one (1) property line abuts a railroad right-of-way.

4.59 INCINERATION OF GARBAGE OR REFUSE

In the I-2 district, incineration of garbage or refuse are permitted uses subject to Section 4.57 when conducted within an approved and enclosed incinerator plant.

4.60 INDOOR TENNIS COURTS, ROLLER SKATING RINKS, AND ICE-SKATING RINKS

In the I-2 district, indoor tennis courts, roller skating rinks, and ice-skating rinks are a permitted use when, together with accessory uses such as off-street parking, they are located at least one-hundred (100) feet from any adjacent residential district.

4.61 LUMBER AND PLANING MILLS

In the I-2 district, lumber and planing mills are a permitted use when located in the interior of the lot so that no property line shall form the exterior boundary of the I-2 district.

4.62 INSTRUCTIONAL CENTERS

In the I-2 district, instructional centers, such as schools for dance, music, language, arts, or general education are a permitted use subject to the following:

- The center must comply with all applicable state laws and licensing requirements.
- All business, servicing or processing, except for off-street parking or loading shall be conducted within a completely enclosed building.

4.63 SPECIAL LAND USES IN THE NCC DISTRICT

All principal uses permitted in the RMA district as principal uses are permitted as a special land use in the NCC district subject to the following:

- The Planning Commission shall first as a fact that the proposed use shall be compatible with and not adversely affect the orderly growth of the city's fabric according to the proposed use.

4.42 OTHER SIMILAR USES

- In the FS district, other similar uses, as determined by the Planning Commission, are permitted. In determining that the uses are similar, the Planning Commission shall find that the uses will primarily serve the needs of freeway traffic.
- In the I-2 district, any other use which shall be determined by the City Council upon recommendations from the Planning Commission after a public hearing as set forth and regulated in Section 6.2 of this Ordinance to be of the same general character as permitted uses in Section 3.1.18.B are permitted. The City Council may impose any required setback, performance standards and/or screening so as to ensure public health, safety and the general welfare.

4.43 NOISE ANALYSIS

A noise analysis is required subject to the standards of Section 5.14.10.B.

4.44 INDUSTRIAL OFFICE SALES, SERVICE AND INDUSTRIAL OFFICE RELATED USES

In the I-1, I-2 and EXPO districts, industrial office sales, service and industrial office related uses are permitted when located within an existing office building portion of an industrial use.

4.45 SELECT I-1 AND EXPO DISTRICT USES

These uses shall be permitted as principal uses in the I-1 and EXPO districts when located in a residential district, they shall be treated as special land uses subject to approval by the Planning Commission in accordance with the additional requirements of Section 6.1.2.C for special land uses, and subject to the public hearing requirements set forth and regulated in Section 6.2 of this Ordinance and shall provide a noise impact statement.

4.46 PET BOARDING FACILITIES

In the I-1 and I-2 districts, pet boarding and training facilities are permitted, subject to the following conditions:

- The facilities are allowed in single-tenant buildings on lots one acre or larger, or in buildings with multiple tenants on lots two acres or larger.

- 1 Purpose and Introduction
- 2 Definitions
- 3 Zoning Districts
- 4 Use Standards
- 5 Site Standards
- 6 Development Procedures
- 7 Admin and Enforcement

4-23

- 1 Purpose and Introduction
- 2 Definitions
- 3 Zoning Districts
- 4 Use Standards
- 5 Site Standards
- 6 Development Procedures
- 7 Admin and Enforcement

Article 4.0 Use Standards

- 4.1 Farms and Greenhouses
- 4.2 Greenhouses
- 4.3 Schools
- 4.4 Home Occupations
- 4.5 Family Day Care Homes
- 4.6 Raising of Plant Material
- 4.7 Dairies
- 4.8 Keeping and Raising of Large Animals
- 4.9 Limited Nonresidential Use of Historic Buildings
- 4.10 Places of Worship
- 4.11 Utility and Public Service Buildings
- 4.12 Group Day Care Homes, Day Care Centers, and Adult Day Care Centers
- 4.13 Private Noncommercial Recreational Areas, Institutional or Community Recreation Centers, and Nonprofit Swimming Pool Clubs
- 4.14 Golf Courses
- 4.15 Colleges, Universities, and Other Such Institutions of Higher Learning
- 4.16 Private Pools
- 4.17 Mortuary Establishments
- 4.18 Bed and Breakfast Operations
- 4.19 Accessory Uses
- 4.20 Housing for the Elderly
- 4.21 Convalescent Homes, Antennae Lining Facilities, Hospice Care Facilities, and Child Care Centers
- 4.22 Retail Commercial Services and Office Uses
- 4.23 Mobile Home Sales
- 4.24 Dry Cleaning Establishments or Pickup Stations
- 4.25 Mixed-Use Developments
- 4.26 Publicly Owned Buildings, Utility Buildings and Stations
- 4.27 Retail Business or Service Establishments
- 4.28 Hotels, Motels, and Transient Lodging Facilities
- 4.29 Fueling Stations and Minor Automobile Service Establishments
- 4.30 Sale of Produce and Seasonal Plant Materials Outdoors
- 4.31 Veterinary Hospital or Clinics
- 4.32 Auto Washes
- 4.33 New and Used Car Showrooms, Showroom, or Offices
- 4.34 Public or Private Health and Fitness Facilities and Clubs
- 4.35 Microbreweries and Brewpubs
- 4.36 Outdoor Space for Exclusive Sale of New or Used Automobiles, Campers, Recreation Vehicles, Mobile Homes, or Rental of Trailers or Automobiles
- 4.37 Businesses in the Character of a Drive-In or Open Front Store
- 4.38 Public or Private Indoor and Private Outdoor Recreational Facilities
- 4.39 Mini-Lake or Oil Change Establishment
- 4.40 Restaurants in the Character of a Fast Food Carryout, Drive-In, Fast Food Drive-Through, or Fast Food Sit-Down
- 4.41 Restaurants (Sit-Down)
- 4.42 Other Similar Uses
- 4.43 Noise Analysis
- 4.44 Industrial Office Sales, Service and Industrial Office Related Uses
- 4.45 Select I-1 and Expo District Uses
- 4.46 Pet Boarding Facilities
- 4.47 Motion Picture, Television, Radio and Photographic Production Facilities
- 4.48 Metal Printing, Buffing, Polishing and Molded Rubber Production

Article 4.0 Use Standards (Continued)

- 4.49 Eating and Drinking Establishment and Motels
- 4.50 Automobile Service Establishments
- 4.51 Self-Storage Facilities
- 4.52 Retail Sales Activities
- 4.53 General Dry Cleaning, Plants or Landfills
- 4.54 Storage Facilities for Building Materials, Seal Gravel, Stone, Lumber, Storage of Contractor's Equipment, and Supplies
- 4.55 Outdoor Storage Yards
- 4.56 Commercial Sale of New and Used Heavy Trucks and Heavy Off-Road Construction Equipment
- 4.57 Production or Manufacturing Uses
- 4.58 Junkyards
- 4.59 Incineration of Garbage or Refuse
- 4.60 Indoor Tennis Courts, Roller Skating Rinks, and Ice-Skating Rinks
- 4.61 Lumber and Planing Mills
- 4.62 Instructional Centers
- 4.63 Special Land Use in the NCC District
- 4.64 Facilities for Human Care
- 4.65 Impaired Bed Facility Portion of General Hospitals
- 4.66 Retail Commercial Business Uses
- 4.67 Assessment and Entertainment Uses
- 4.68 Research, Testing, Design and Development, Technical Training, and Design of Pilot or Experimental Products
- 4.69 Secondary Uses in the OST District and EXPO Overlay District
- 4.70 Low-Rise Multiple-Family Residential Use in the PSLR District
- 4.71 Live/Work Units
- 4.72 Non-Profit Community Buildings and Cultural Facilities
- 4.73 Accessory Buildings, Structures and Uses in the PSLR District
- 4.74 Parking for Sale of New, Unlicensed Motor Vehicles and Parking of Unlicensed Rental and Leased Motor Vehicles
- 4.75 Conference Centers
- 4.76 Retail Sale of Products or Services Occurring as Part of a Scheduled Exposition Function
- 4.77 I-1 Use in the EXPO District
- 4.78 Retail Uses, Service Uses and Restaurant Uses
- 4.79 Shopping Centers
- 4.80 Opera Air Businesses
- 4.81 Financial Institutions
- 4.82 Residential Dwelling
- 4.83 Keeping of Cats and Dogs
- 4.84 Outdoor Restaurants
- 4.85 Adult Bookstores, Adult Motion Picture Theaters, Adult Motels, Adult Personal Service Businesses, and Cabarets
- 4.86 Uses Not Otherwise Included Within a Specific Use District
- 4.87 Unlisted Use Determinations
- 4.88 Special Use Accommodations
- 4.89 Service of Alcoholic Beverages Subject to Approval Required
- 4.90 Outdoor Space for Parking of Licensed Retail Motor Vehicles
- 4.91 Restaurants (Sit-Down and Fast Food Carryout), within a Planned Commercial Center
- 4.92 Restaurants (Sit-Down and Fast Food Carryout), within a Planned Commercial Center



Date	Issued For:
06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use

Wade One @ Grand North Berge, LLC
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 45241 Grand River
 Novi, Michigan 48375

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Project Number: 2021 - 16

Sheet Title:
ZONING REVIEW

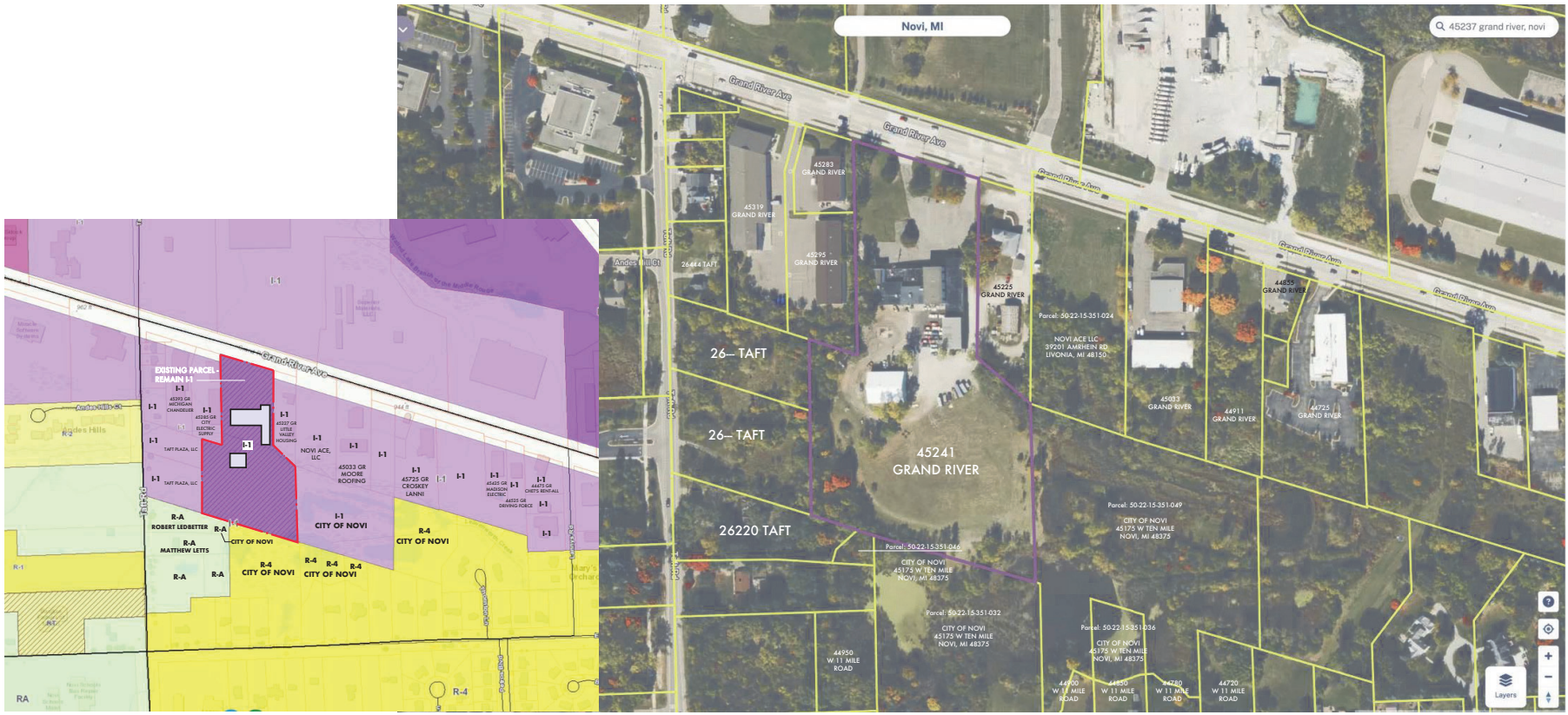
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CLOSE-UP VIEW OF PROPERTY FROM SOUTH



OVERALL VIEW OF PROPERTY FROM SOUTH W/ ADJACENT PROPERTIES



B SITE & SURROUNDING ZONING DISTRICTS
SCALE: 1/8" = 1 - 0"

A AERIAL MAP W/ SITE BOUNDARIES
SCALE: 1/8" = 1 - 0"



06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
Date:	Issued For:

Wade One
Grand Novi Storage, LLC
45237 Grand River
Novi, Michigan 48375
Mailing:
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Project Number: 2021 - 16

Sheet Title:
ZONING INFORMATION

5.5.3.B.1.f Right-of-Way Landscape Screening Requirements (Continued)									
Use	Zoning	Berm Located	Requirements						
			Greenbelt width (feet)	Min. berm crest width (feet)	Min. Berm Height (feet)	3 Foot Wall/ Fence	Deciduous canopy or large evergreen trees: 1 per X linear feet frontage	Deciduous sub-canopy trees: 1 per X linear feet frontage	In area between sidewalk and curb, plant 1 Deciduous canopy tree per X linear feet frontage
Multi-Family Residential	RM-1, RM-2, MH	Adjacent to parking	20	2	3	(4)(5)(6) (7)	35	25	35
		Not adjacent parking	34	2	3	(6)(6)(7)	35	25	35
Residential PRO (20)			Avg. 50 Min. 34	4	4	(6)(6)(7)	40	25	25
Commercial / Office	NCC, OS-1, OSC, OST, B-1, B-2, B-3	Adjacent to parking	20	3	3	(4)(5)(6) (7)	35	20	35
		Not adjacent parking	25	0	0	(6)(6)(7)	60	40	35
		Parking between ROW and at least 67% of primary building (18)	20	3	3	(4)(5)(6) (7)	75	40 plus 2 shrubs per 40 linear feet	35
Industrial (12)	I-1, I-2	Adjacent to Parking	25	3	3	(4)(5)(6) (7)	40	35	45
		Not adjacent parking	25	—	—	—	60	40	45
Downtown	TC, TC-1	Adjacent to Parking	20	—	—	(6)(7)	25 (17)	15 (17)	—
		No adjacent parking	—	—	—	(6)(7)	30 (17)	20 (17)	—

5.5.3.B.1.f Right-of-Way Landscape Screening Requirements (continued)

Notes to table:

- Round fractions to the nearest whole number for the required number of trees and shrubs.
- Subcanopy trees are to be used under overhead utilities. Use 1.5 subcanopy trees for each one canopy tree requirement. If columnar/fastigate varieties are used, 2 subcanopy trees per canopy tree must be used. The minimum total mature canopy width of the provided subcanopy trees should equal or exceed 25 feet. Wherever possible, however, deciduous canopy trees are to be used as street trees.
- Subcanopy trees can be in an informal or formal arrangement. Format spacing shall be 10-foot minimum to 15-foot maximum on center.
- Shrubs are to be used to screen parking and vehicular use areas where no berm or wall is provided, and are encouraged to be used in other areas to provide seasonal interest where no parking occurs. Shrubs in front of parking areas must provide minimum screening opacity of 80% in winter and 90% in summer and be maintained at a height of at least 3 feet. The use of shrubs in place of the required berm requires a Planning Commission Waiver (berms are preferred).
- Up to 10% of the required trees or subcanopy trees may be replaced with shrubs at a rate of 8 shrubs per canopy tree or evergreen tree, or 5 shrubs per subcanopy tree. The shrubs must be maintained at a minimum height of 3 feet.
- A wall may be used instead of a berm. If a wall, consistent with footnote (7) below, is provided in front of parking areas, a reduction of up to 33% of the required greenbelt plantings (not street trees) is allowed in the parking greenbelt area. A Planning Commission Waiver is required to use a wall instead of a berm.



5.5.3.B.1.f Right-of-Way Landscape Screening Requirements (continued)

Notes to table:

- Freestanding walls shall be constructed of masonry or concrete with all exterior sides of face brick with a suitable cap.
- An ornamental fence with shrubs and brick piers may be used instead of a berm if approved by the Planning Commission in Use/Zoning as indicated above. A Planning Commission waiver is required for this substitution.
- View channels into the site are to be used for safety visibility. Please provide sight lines to the building address for approaching vehicles at an approximately 20-40 degree angle.
- Tree spacing requirements are intended to dictate the tree quantity per linear footage along the proposed right-of-way (ROW). They are not intended to dictate exact placement on the site within the area of the requirement. Creative landscape design is encouraged.
- (1.1) in situations where sidewalks are not required, the street trees shall be placed midway between



OVERALL VIEW OF PROPERTY FROM GRAND RIVER, NORTHEAST PROPERTY



OVERALL VIEW OF PROPERTY FROM GRAND RIVER, NORTH PROPERTY



OVERALL VIEW OF PROPERTY FROM GRAND RIVER, NORTHWEST OF PROPERTY



06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
Date:	Issued For:

Wade One @ Grand Now Storage, LLC
 45237 Grand River
 Novi, Michigan 48375
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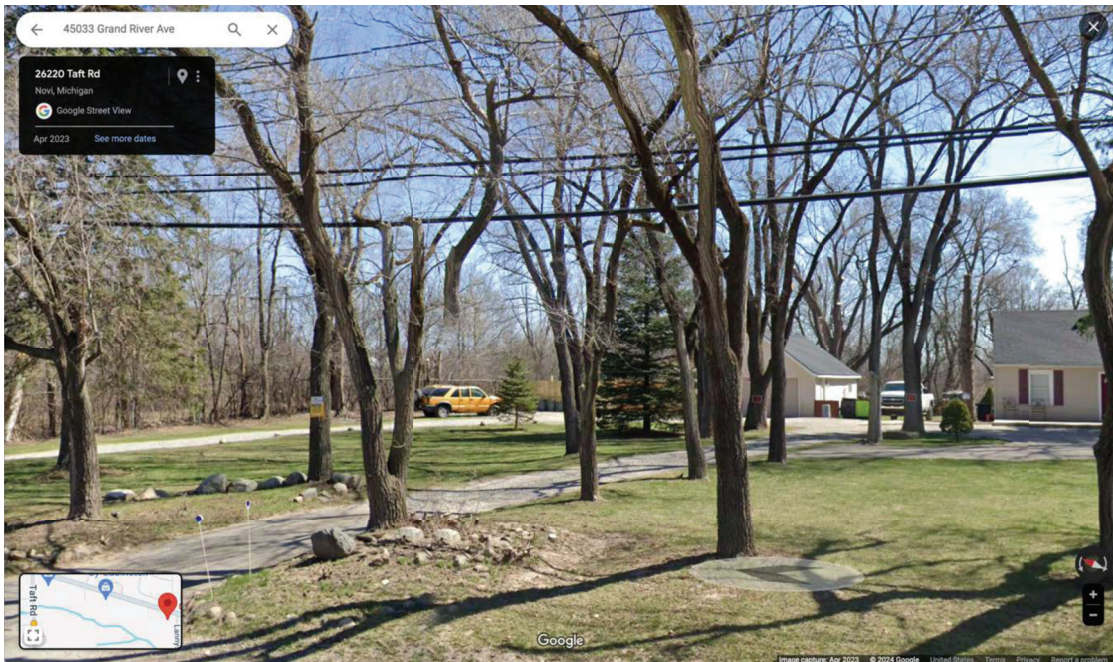
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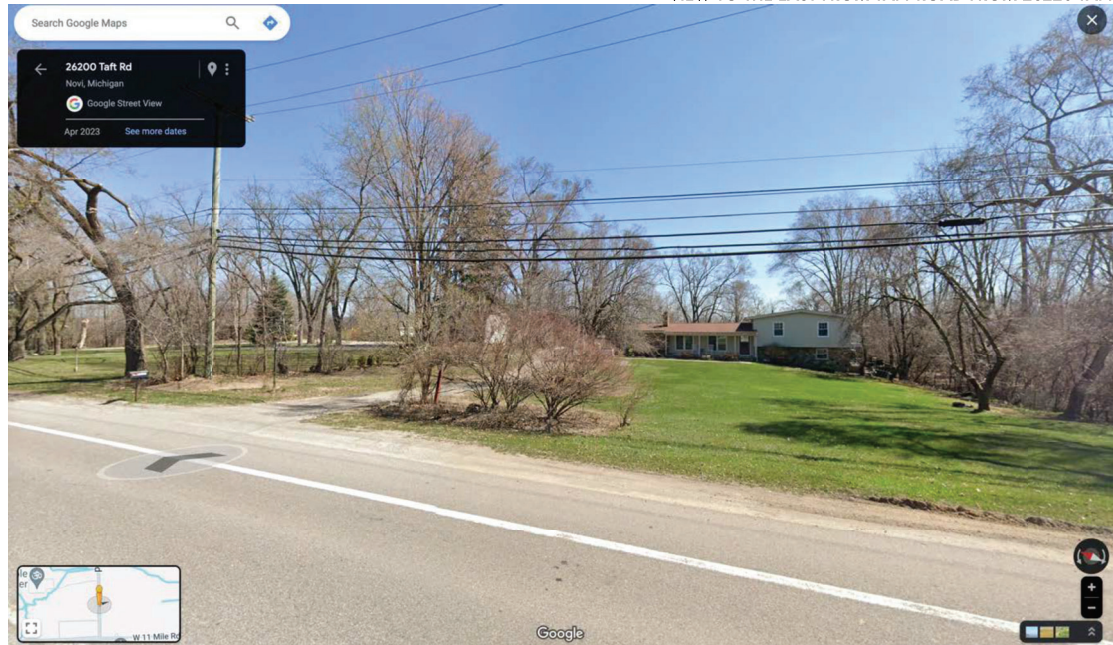
ZONING INFORMATION

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VIEW TO THE EAST FROM TAFT ROAD FROM 26220 TAFT



VIEW TO THE EAST FROM TAFT ROAD FROM 26200 TAFT



- 06/03/24 Final Meeting Revisions
- 04/22/24 Preliminary/Final Meeting
- 03/15/24 Pre-Application Meeting
- 03/14/24 Special Land Use

Date: Issued For:

Wade One @
Grand Now Storage, LLC
 45237 Grand River
 Novi, Michigan 48375
 Mailing:
 45241 Grand River
 Novi, Michigan 48375

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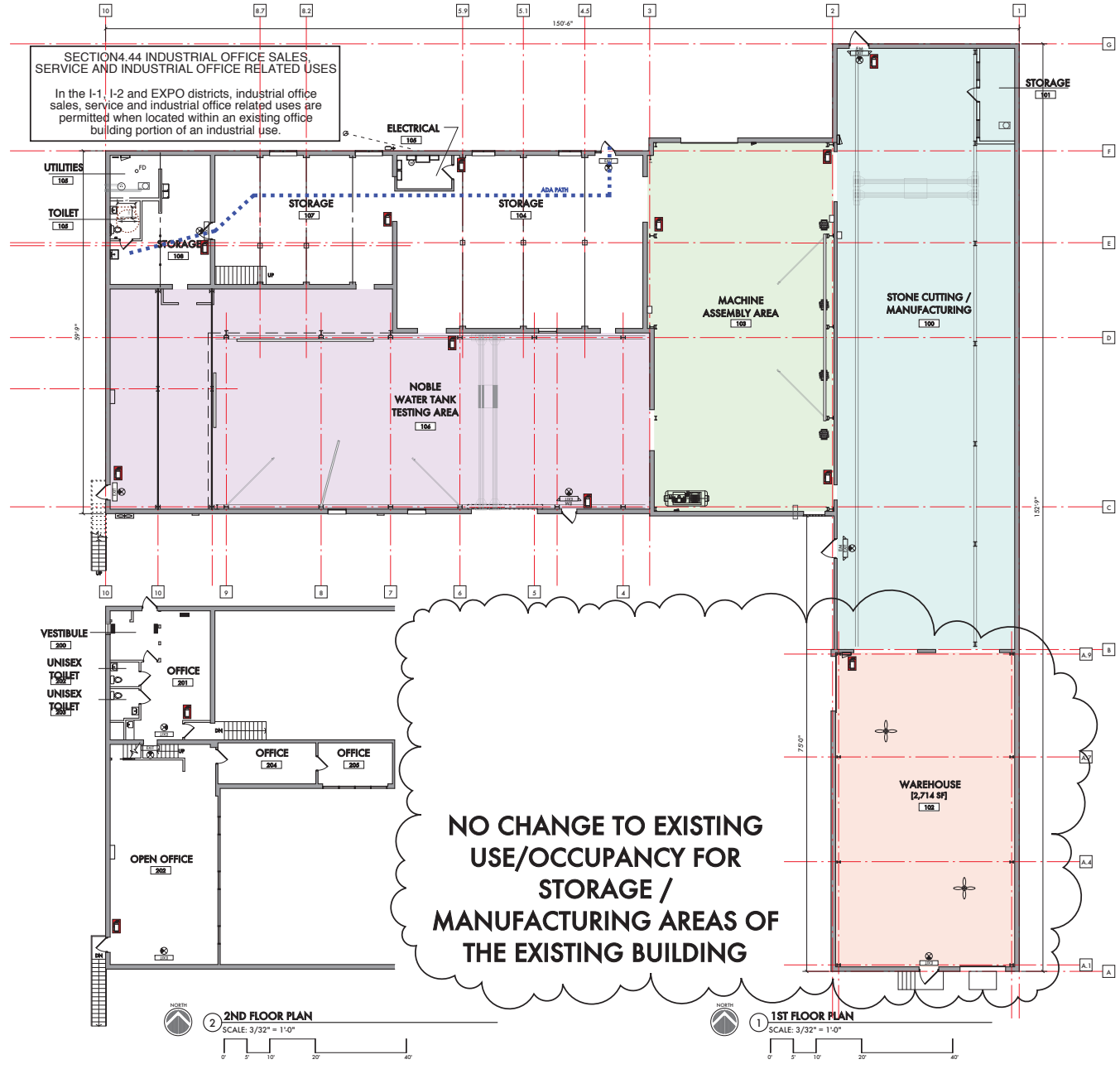
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Project Number: 2021 - 16

Sheet Title:
**ZONING
 INFORMATION**

A1.06

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SECTION 4.44 INDUSTRIAL OFFICE SALES, SERVICE AND INDUSTRIAL OFFICE RELATED USES

In the I-1, I-2 and EXPO districts, industrial office sales, service and industrial office related uses are permitted when located within an existing office building portion of an industrial use.

NO CHANGE TO EXISTING USE/OCCUPANCY FOR STORAGE / MANUFACTURING AREAS OF THE EXISTING BUILDING

2 2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"

1 1ST FLOOR PLAN
SCALE: 3/32" = 1'-0"

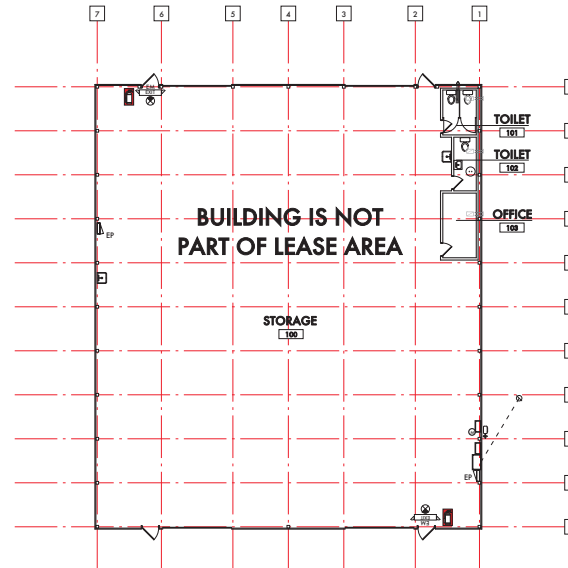


- 06/03/24 Final Meeting Revisions
 - 04/22/24 Preliminary/Final Meeting
 - 03/15/24 Pre-Application Meeting
 - 03/14/24 Special Land Use
 - 06/20/23 Zoning Approval
 - 04/24/23 ADD#2 Plan Review Comments
 - 01/09/23 Building Permit (I-1 Use)
 - 12/28/22 PRD Resubmission
 - 10/26/22 Site Plan Approval
 - 10/13/22 ADD #1 - Building Permit Revisions
 - 08/18/22 Building Permit
 - 07/01/22 HVAC Engineering
- Date: Issued For:

Wade One
Grand Navi Storage, LLC
4527 Grand River
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Project Number: 2021 - 16
Sheet Title:
FLOOR PLANS



1 1ST FLOOR PLAN - OUT BUILDING
 SCALE: 3/32" = 1'-0"
 0' 5' 10' 20' 40'



06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
08/20/23	Zoning Approval
04/24/23	ADD#2 Plan Review Comments
01/08/23	Building Permit (I-2 Use)
12/28/22	PRO Resubmission
10/26/22	Site Plan Approval
10/13/22	ADD #1 - Building Permit Revisions
08/18/22	Building Permit
07/01/22	HVAC Engineering

Date: Issued For:

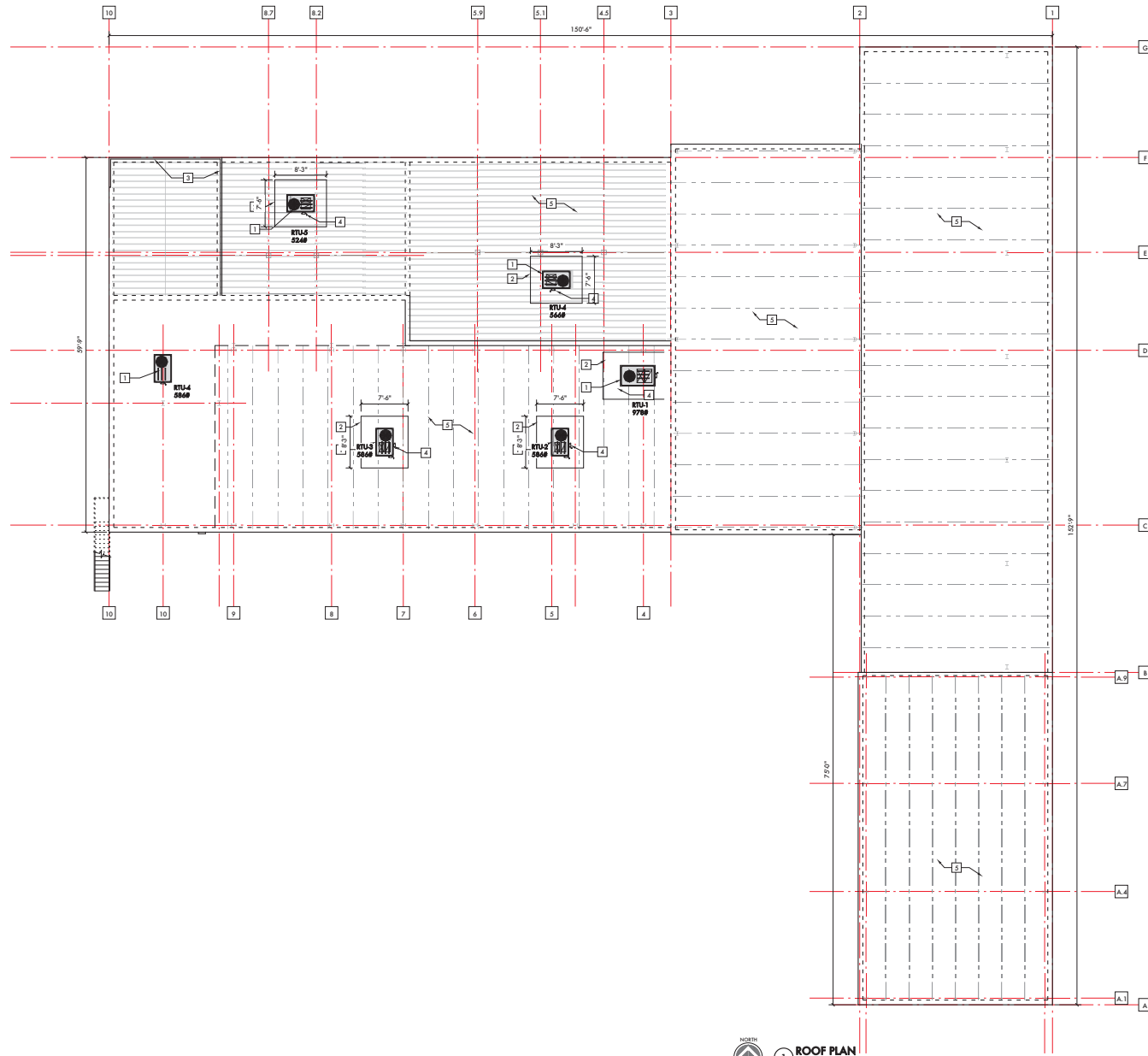
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Project Number: **2021-16**

Sheet Title:
FLOOR PLANS

Sheet Number:
A3.12
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- KEYED NOTES:**
- 1 EXISTING ROOFTOP PACKAGE MECHANICAL UNIT, SEE MECHANICAL DRAWINGS
 - 2 EXISTING ROOFTOP MECHANICAL SCREEN, 64" TALL
 - 3 EXISTING ROOFTOP SCREEN TO REMAIN
 - 4 EXISTING ELECTRICAL DISCONNECT AT MECHANICAL UNIT
 - 5 EXISTING ROOF MEMBRANE, PATCH AND REQUIRE AS REQUIRED

- GENERAL NOTES:**
1. SEE S3.13 ROOF STRUCTURAL PLAN FOR FRAMING AROUND NEW OPENINGS FOR DUCTWORK IN EXISTING METAL DECK
 2. SEE S3.13 ROOF STRUCTURAL PLAN FOR LOCATIONS OF ROOFTOP PENETRATIONS FOR STRUCTURAL FRAME TO SUPPORT METAL ROOF SCREEN.

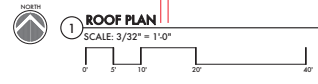


06/03/24	Final Meeting Revisions
04/24/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
06/20/23	Zoning Approval
05/22/23	ADD#9 Facade Approval
04/24/23	ADD#6 Plan Review Comments
01/06/23	Building Permit - I-1 Use
12/28/22	PRO Resubmission
10/28/22	Site Plan Approval
08/18/22	Building Permit
07/01/22	HVAC Engineering
Date:	Issued For:

Wade One
Grand Novi Storage, LLC
 45237 Grand River
 Novi, Michigan 48375
 Meeting
 45241 Grand River
 Novi, Michigan 48375

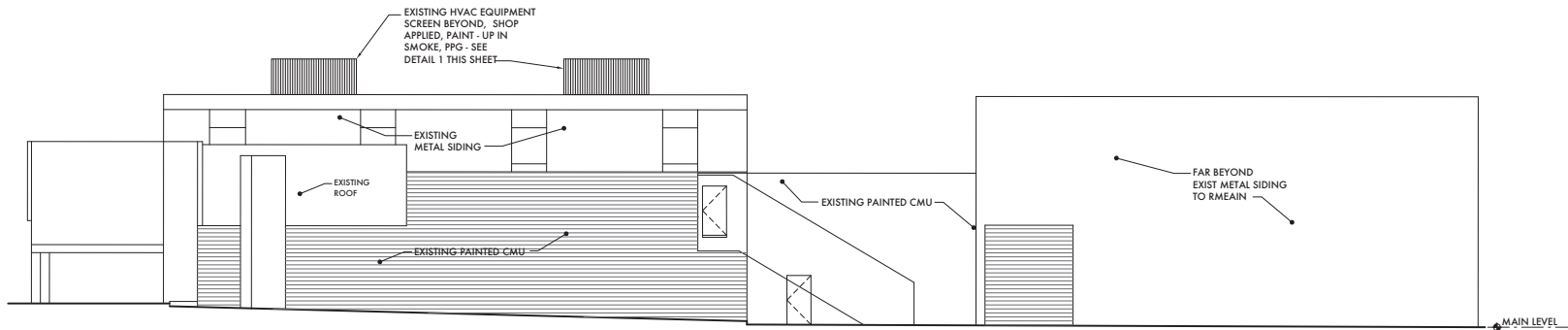
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 architectural
 urban DESIGN
 interior

350 Madison Avenue 313.549.3790 [a]
 4th Floor jbig@wadeone.com
 Detroit, Michigan 48226 wadeone.com

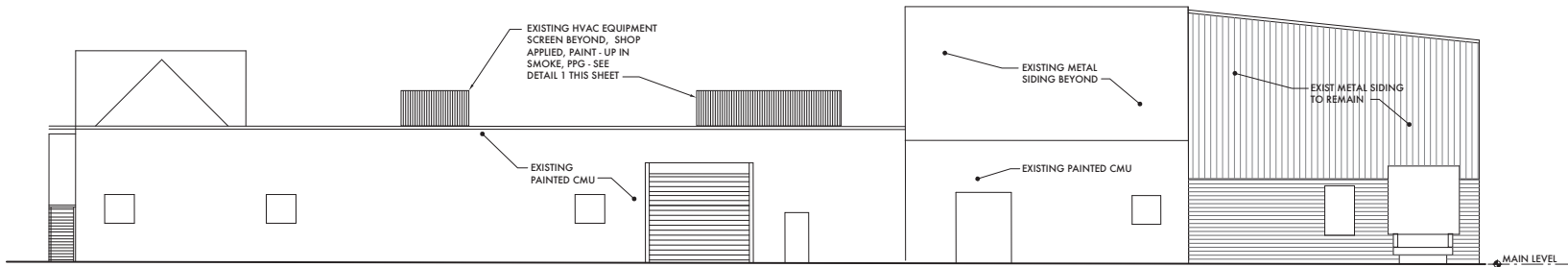


Project Number: 2021 - 16
 Sheet Title:
ROOF PLAN

Sheet Number:
A3.13
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B WEST ELEVATION
SCALE: 1/8" = 1 - 0"



A SOUTH ELEVATION
SCALE: 1/8" = 1 - 0"

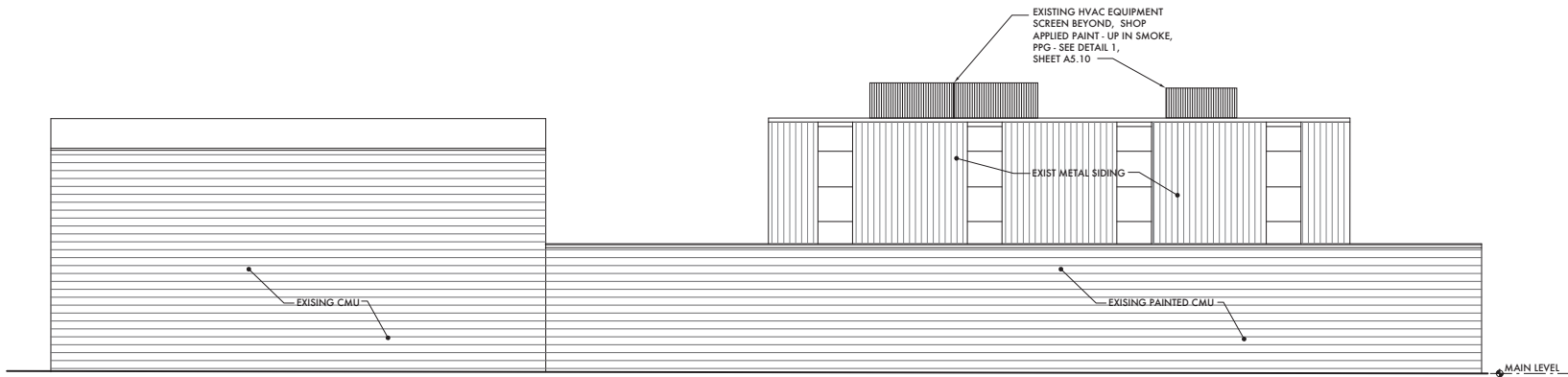


06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
06/20/23	Zoning Approval
05/22/23	ADD# 3 Facade Approval
04/24/23	ADD# 2 Plan Review Comments
12/28/22	PIFO Resubmission
10/26/22	Site Plan Approval
Date:	Issued For:
Wade One @ Grand Now Storage, LLC	
45237 Grand River	
Novi, Michigan 48375	
Mailing:	
45241 Grand River	
Novi, Michigan 48375	

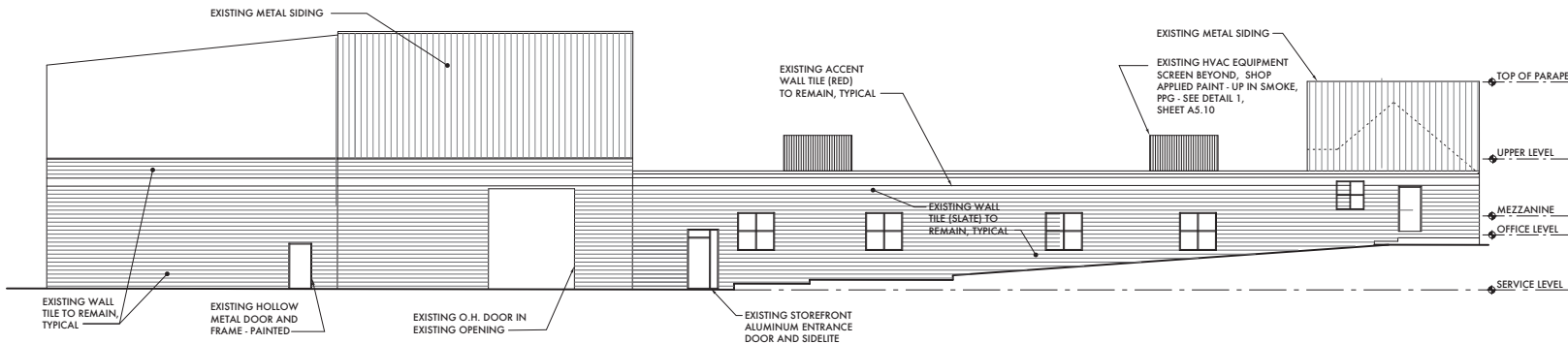
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Project Number: 2021 - 16
Sheet Title:
ELEVATIONS

A5.10
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D EAST ELEVATION
SCALE: 1/8" = 1'-0"



C NORTH (GRAND RIVER) ELEVATION
SCALE: 1/8" = 1'-0"



06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
06/20/23	Zoning Approval
05/22/23	ADD# 3 Facade Approval
04/24/23	ADD#2 Plan Review Comments
12/28/22	PRO Resubmission
10/26/22	Site Plan Approval

Date: Issued For:
Wade One @ Grand Next Storage, LLC
45237 Grand River
Novi, Michigan 48375
Mailing:
45241 Grand River
Novi, Michigan 48375

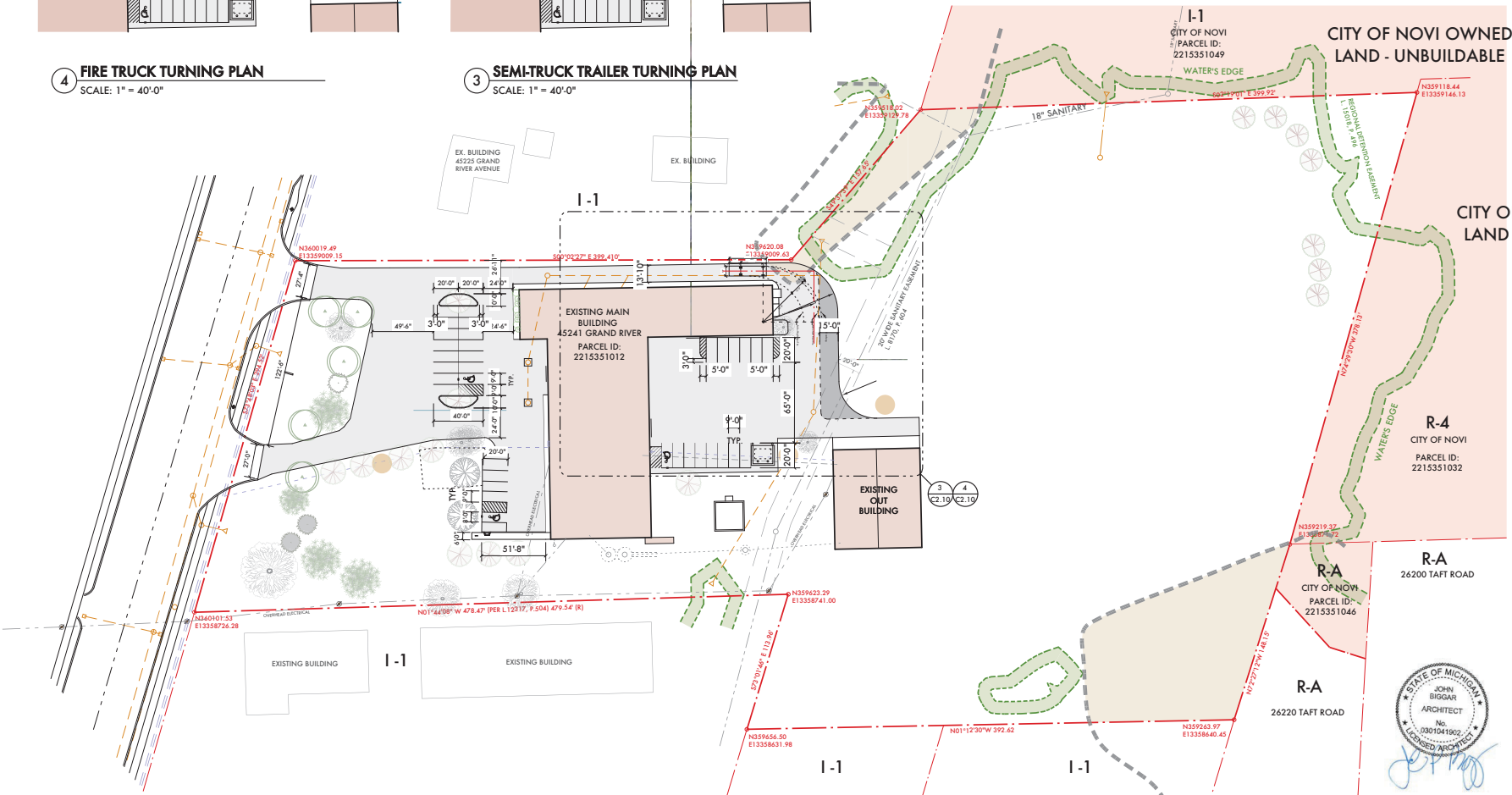
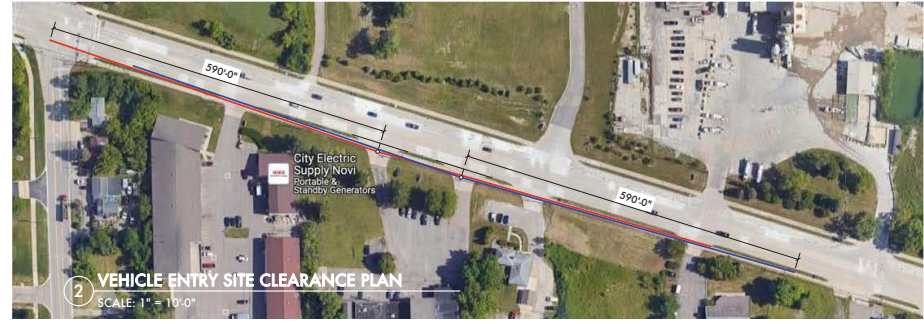
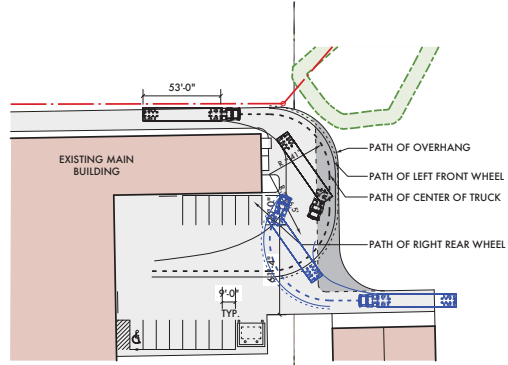
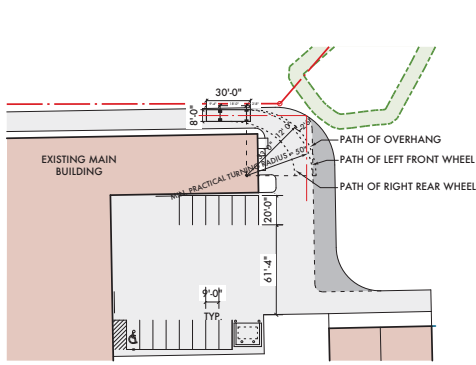
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Project Number: 2021 - 16

Sheet Title:
ELEVATIONS

Sheet Number:
A5.11

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CITY OF NOVI OWNED LAND - UNBUILDABLE

CITY OF NOVI OWNED LAND - UNBUILDABLE

R-4 CITY OF NOVI PARCEL ID: 2215351032

R-A CITY OF NOVI PARCEL ID: 2215351046

R-A 26220 TAFT ROAD

R-A 26220 TAFT ROAD

06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
Date:	Issued For:

Wade One
Grand Novi Storage, LLC
45237 45241 Grand River
Novi, Michigan 48375
Meeting:
45241 Grand River
Novi, Michigan 48375

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wade@studioone.com

Project Number: 2021 - 16

Sheet Title:
SITE VEHICULAR PLAN



MISS DIG 811

Sheet Number: **C2.10**

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SIGNING TABLE:

ITEM	MMUTC CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R7-8P	(3)	12" X 6"	VAN ACCESSIBLE
(B)	R7-8	(2)	12" X 18"	RESERVED PARKING ONLY
(F)	R7-9A	(2)	12" X 18"	NO PARKING FIRE LANE

GENERAL TRAFFIC SIGNING AND STRIPING NOTES & REQUIREMENTS:

- ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MMUTC.
- SINGLE SIGNS WITH NOMINAL DIMENSIONS OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED Z18, U-CANNEL POST. MULTIPLE SIGNS AND/PR SIGNS WITH NOMINAL DIMENSIONS GREATER THAN 12" X 18" SHALL BE MOUNTED ON WALL AS APPLICABLE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
- STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ADJUTS A NON-HANDICAPPED PARKING SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES. AREAS STRIPPED OUT FOR NO PARKING SHALL BE YELLOW.
- AN END PARKING SPACE ABUTTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPOR OR 9 FEET WIDE IF NOT. THESE WIDTHS ARE REFERENCED TO THE FACE OF CURB OR WALK.
- EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAR) TO BE PAINTED PER THE DETAIL ON THE DETAIL SHEET C2.61.
- NOTE OMITTED
- CONTRACTOR TO PROVIDE "NO PARKING FIRE LANE" SIGNS IN LOCATIONS AS REQUIRED BY THE CITY OF NOVI FIRE MARSHAL.
- PROPOSED SIGNS TO BE MOUNTED SUCH THAT THE BOTTOM EDGE OF THE SIGN IS SEVEN FEET(7') ABOVE THE FINAL GRADE.
- SIGNS SHALL BE PLACED TWO FEET (2') FROM EDGE OF CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR EDGE OF THE SIGN.
- TRAFFIC CONTROL SIGNS SHALL USE FHWA STANDARD ALPHABET SERIES USED FOR ALL SIGN LANGUAGE
- TRAFFIC CONTROL SIGNS SHALL HAVE HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY

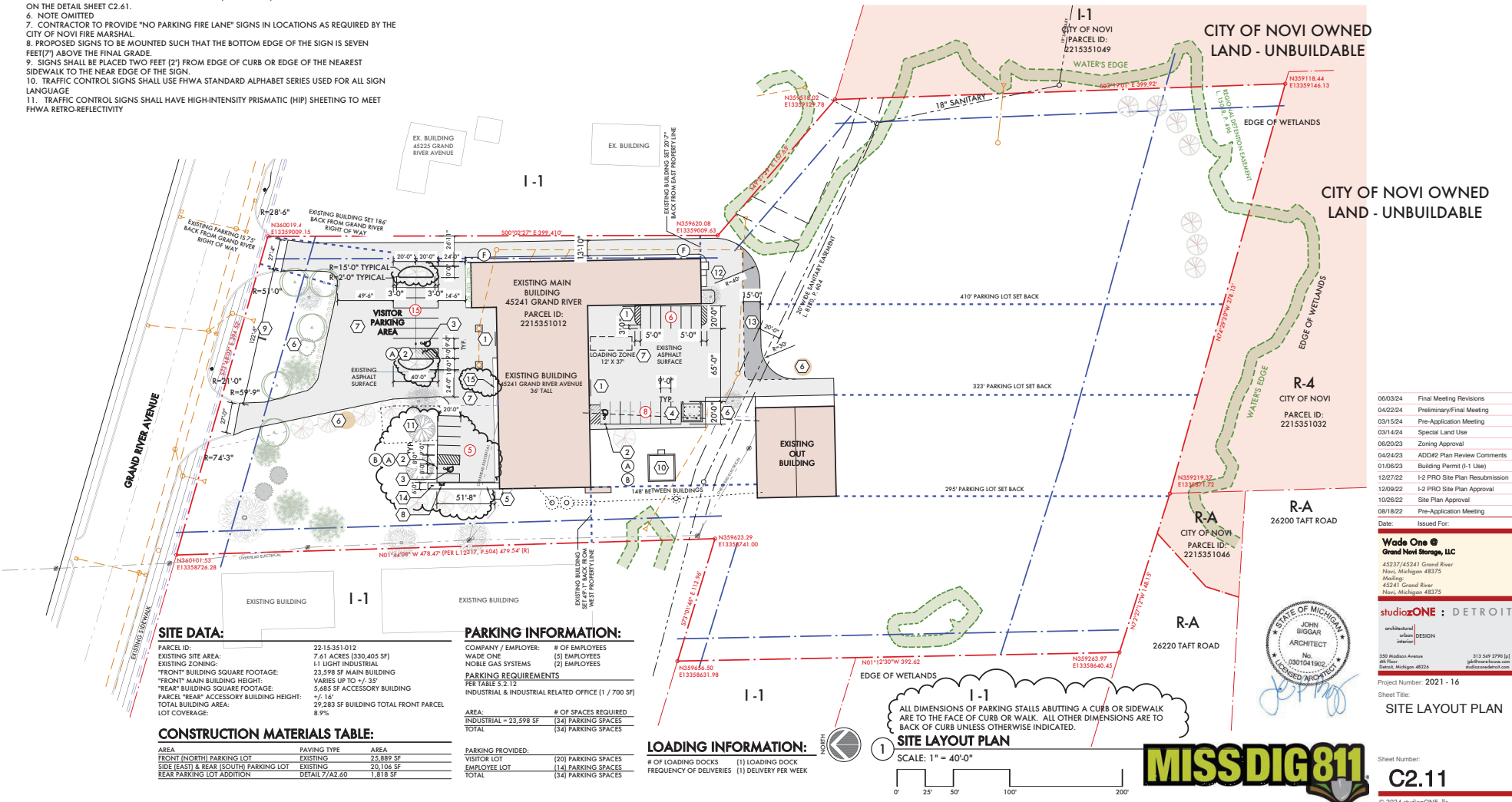
GENERAL NOTES:

- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE USED AFTER THE SITES HOURS OF OPERATIONS.
- FLASHING LIGHT SHALL NOT BE PERMITTED.
- CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, CURB, SIDEWALK, AND OTHER SITE ELEMENTS.
- PARKING USE DESIGNATIONS FOR ILLUSTRATIVE USE ONLY.
- VEHICLE ON-SITE PARKING IS LIMITED TO CUSTOMERS AND EMPLOYEES. (SEC 4.50.2)
- ALL NOISE IS TO BE CONTAINED WITHIN INTERIOR OF BUILDING (SEC 4.50.4)
- DAYTIME HOURS, SOUND IS LIMITED TO 75 DECIBELS OR LESS, NIGHT TIME HOURS, SOUND IS LIMITED TO 70 DECIBELS OR LESS.
- NO LONG TERM TRUCK PARKING IS PERMITTED ON THE SITE.
- THE USE OF CRUSHED, CONCRETE AGGREGATE FOR THE PROJECT IS PROHIBITED. THE ONLY PERMITTED PRODUCT IS 21AA CRUSHED LIMESTONE.
- ALL DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
- ROOFTOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS, SEE ROOF PLAN.
- EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
- RIGHT-OF-WAY PERMITS ARE REQUIRED FROM THE CITY OF NOVI AND THE ROAD COMMISSION OF OAKLAND COUNTY (RCCO) FOR ANY WORK IN THE GRAND RIVER AVENUE RIGHT-OF-WAY.
- ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TYPICAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO THE ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL, AND ISSUANCE OF A SIGN PERMIT
- CALL MISS DIG (811) A MINIMUM OF (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
- DIMENSIONS OF PARKING STALLS (LENGTH AS WELL AS WIDTH) ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF THE CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF THE CURB UNLESS OTHERWISE INDICATED.

KEYED NOTES

- REMOVE FORMER PARKING AREA
- EXISTING LOADING DOCK/AREA TO REMAIN
- EXTEND ASPHALT PAVING
- BICYCLE RACK
- EXISTING STEPS AND SIDEWALK AGAINST THE BUILDING TO REMAIN
- EXISTING VEHICLE ENTRY DOOR
- VEHICLE ACCESSIBLE PARKING SPACE SIGN
- VAN ACCESSIBLE PARKING SPACE
- CONCRETE BLOCK DUMPSTER ENCLOSURE
- 4" WIDE X 4" THICK CONCRETE SIDEWALK ON 4" COMPACTED GRAVEL BASE
- SNOW REMOVAL COLLECTION AREA
- MILL AND RESURFACE EXISTING ASPHALT, STRIPE WHERE INDICATED
- ADA SIDEWALK CURBS CUT W/ ACCESSIBLE WARNING PLATE, SEE DETAIL 1/A2.61
- EXISTING STREET SIGN TO REMAIN
- EXISTING SLAB ON GRADE & FOUNDATION - FUTURE MAINTENANCE EQUIPMENT SHET



SITE DATA:

PARCEL ID:	22-15-351-012
EXISTING SITE AREA:	7.61 ACRES (330,405 SF)
EXISTING ZONING:	I1 LIGHT INDUSTRIAL
FRONT BUILDING SQUARE FOOTAGE:	23,598 SF MAIN BUILDING
FRONT MAIN BUILDING HEIGHT:	VARIABLE UP TO +/- 35'
REAR BUILDING SQUARE FOOTAGE:	5,485 SF ACCESSORY BUILDING
PARCEL *REAR* ACCESSORY BUILDING HEIGHT:	7'-11"
TOTAL BUILDING AREA:	29,283 SF BUILDING TOTAL FRONT PARCEL
LOT COVERAGE:	8.9%

PARKING INFORMATION:

COMPANY / EMPLOYER:	# OF EMPLOYEES
WADE ONE	(5) EMPLOYEES
NOBLE GAS SYSTEMS	(2) EMPLOYEES
PARKING REQUIREMENTS	
PER TABLE 5.2.12	
INDUSTRIAL & INDUSTRIAL RELATED OFFICE (1 / 700 SF)	
AREA:	# OF SPACES REQUIRED
INDUSTRIAL = 23,598 SF	(34) PARKING SPACES
TOTAL	(34) PARKING SPACES
PARKING PROVIDED:	
VISITOR LOT	(20) PARKING SPACES
EMPLOYEE LOT	(14) PARKING SPACES
TOTAL	(34) PARKING SPACES

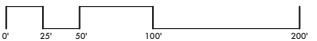
LOADING INFORMATION:

# OF LOADING DOCKS	(1) LOADING DOCK
FREQUENCY OF DELIVERIES	(1) DELIVERY PER WEEK

ALL DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.

SITE LAYOUT PLAN

SCALE: 1" = 40'-0"



06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
06/20/23	Zoning Approval
04/24/23	ADDP/ Plan Review Comments
01/06/23	Building Permit (I-1 Use)
12/27/22	I-2 PRO Site Plan Resubmission
12/09/22	I-2 PRO Site Plan Approval
10/26/22	Site Plan Approval
08/18/22	Pre-Application Meeting
Date:	Issued For:

WaDe One
 Grand Novi Storage, LLC
 45227 45241 Grand River
 Novi, Michigan 48375
 wa1@waone.com
 45241 Grand River
 Novi, Michigan 48375

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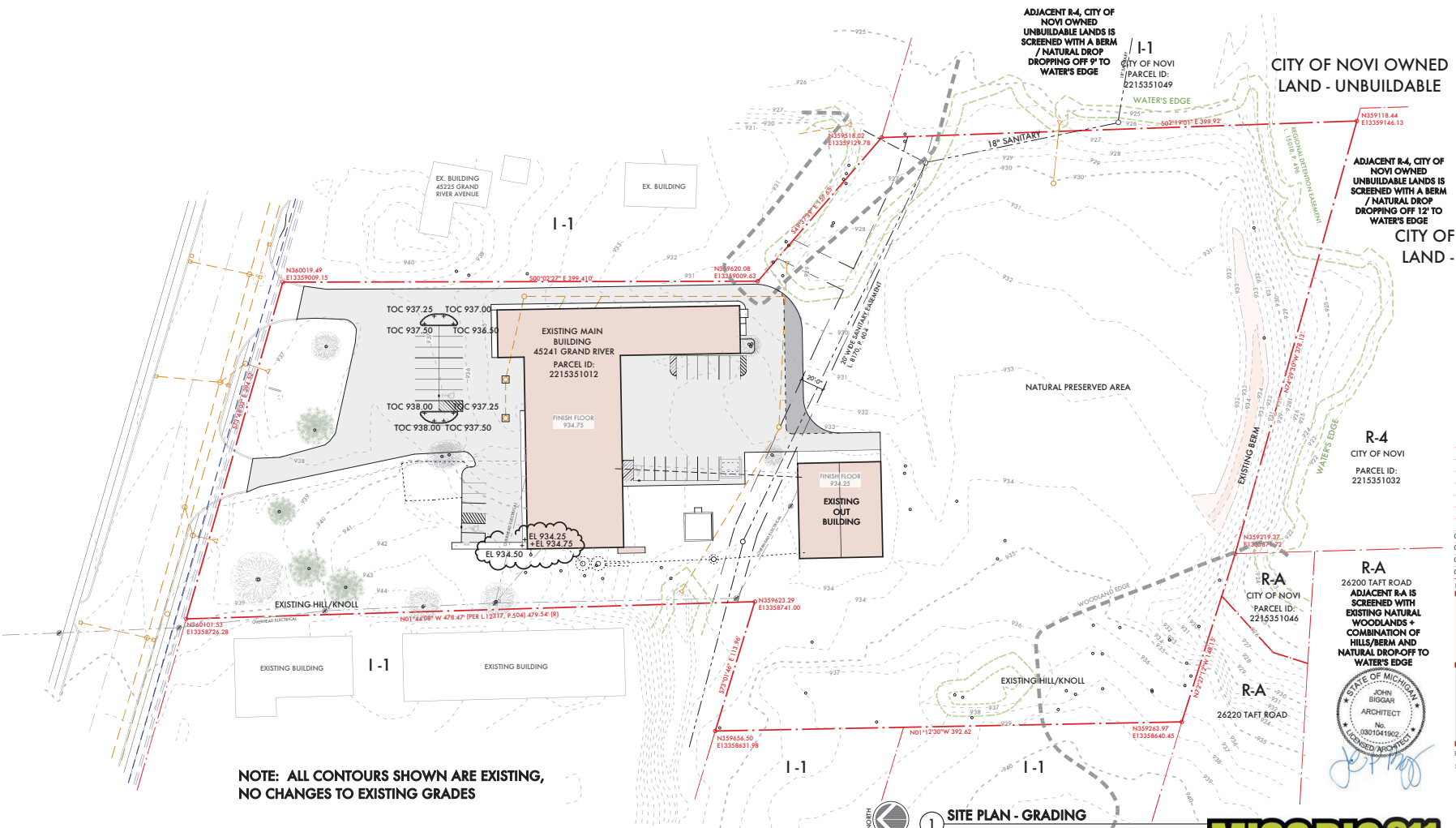
architectural
 interior
 DESIGN

350 Madison Avenue
 4th Floor
 Detroit, Michigan 48226
 313.549.2790 (j)
 j@studioone.com
 studioone.com

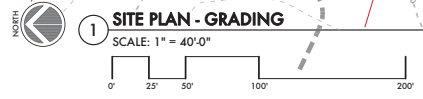
Project Number: 2021 - 16
 Sheet Title: SITE LAYOUT PLAN

Sheet Number:
C2.11
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**NOTE: ALL CONTOURS SHOWN ARE EXISTING,
NO CHANGES TO EXISTING GRADES**



ADJACENT R-4, CITY OF NOVI OWNED UNBUILDABLE LANDS IS SCREENED WITH A BERM / NATURAL DROP / NATURAL DROP OFF 9' TO WATER'S EDGE

CITY OF NOVI OWNED LAND - UNBUILDABLE

ADJACENT R-4, CITY OF NOVI OWNED UNBUILDABLE LANDS IS SCREENED WITH A BERM / NATURAL DROP / NATURAL DROP OFF 12' TO WATER'S EDGE

CITY OF NOVI OWNED LAND - UNBUILDABLE

R-4
CITY OF NOVI
PARCEL ID:
2215351032

R-A
26200 TAFT ROAD
ADJACENT R-A IS SCREENED WITH EXISTING NATURAL WOODLANDS + COMBINATION OF HILLS/BERM AND NATURAL DROP-OFF TO WATER'S EDGE



06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
Date:	Issued For:

Wade One @
Grand Novi Storage, LLC
45237 45241 Grand River
Novi, Michigan 48375
Meeting:
45241 Grand River
Novi, Michigan 48375

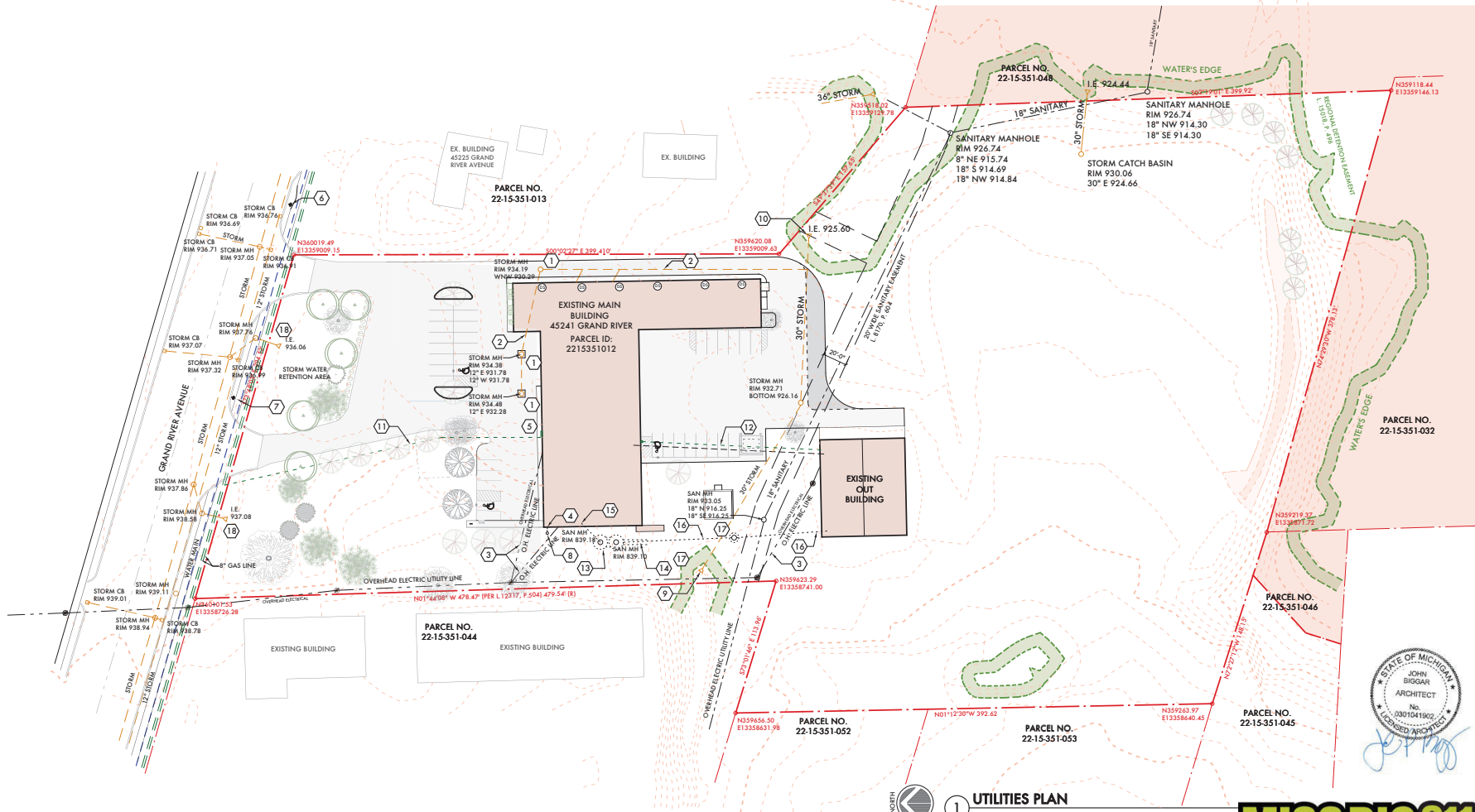
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architectural urban interior DESIGN
350 Madison Avenue 313 549 3790 [a]
4th Floor [a]@hudsonriver.com
Detroit, Michigan 48226 studioone@det.com

Project Number: 2021 - 16
Sheet Title:
SITE PLAN - GRADING

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KEYED NOTES

- (1) MAIN GAS FEED - EXISTING UNDERGROUND GAS LINE FROM GRAND RIVER TO EXISTING METER ON OUTSIDE OF BUILDING - CONTACT MISS DIG TO VERIFY LOCATION
- (2) GAS FEED TO OUT BUILDING - EXISTING UNDERGROUND GAS LINE FROM MAIN BUILDING TO OUT BUILDING
- (3) EXISTING SEPTIC TANK (2) 5,000 GALLON SEPTIC TANKS TIED TOGETHER
- (4) EXISTING SEPTIC FIELD
- (5) EXISTING SEPTIC LEAD FROM BUILDING
- (6) EXISTING SANITARY LEAD FROM OUT BUILDING TO PRE-TREAT TANK TO EXISTING SEPTIC TANKS
- (7) EXISTING PRE-TREAT SEPTIC TANK W/ MACERATOR PUMP
- (8) EXISTING ROADWAY CULVERT TO REMAIN
- (9) EXISTING STORM MANHOLE TO REMAIN
- (10) EXISTING UNDERGROUND STORM LINE TO REMAIN
- (11) EXISTING OVERHEAD ELECTRICAL POWER LINE
- (12) EXISTING WATER SERVICE LINE FROM WELL TO BUILDING
- (13) EXISTING GAS METER
- (14) EXISTING FIRE HYDRANT LOCATION
- (15) PROPOSED FIRE HYDRANT LOCATION IF REQUESTED BY NOVI FIRE DEPARTMENT
- (16) EXISTING DOMESTIC WATER WELL-HEAD
- (17) EXISTING STORM CULVERT ENTRY
- (18) EXISTING STORM CULVERT DISCHARGE



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03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
Date:	Issued For:

Wade One
 Grand Novi Storage, LLC
 45227 45241 Grand River
 Novi, Michigan 48375
 Mailing:
 45241 Grand River
 Novi, Michigan 48375

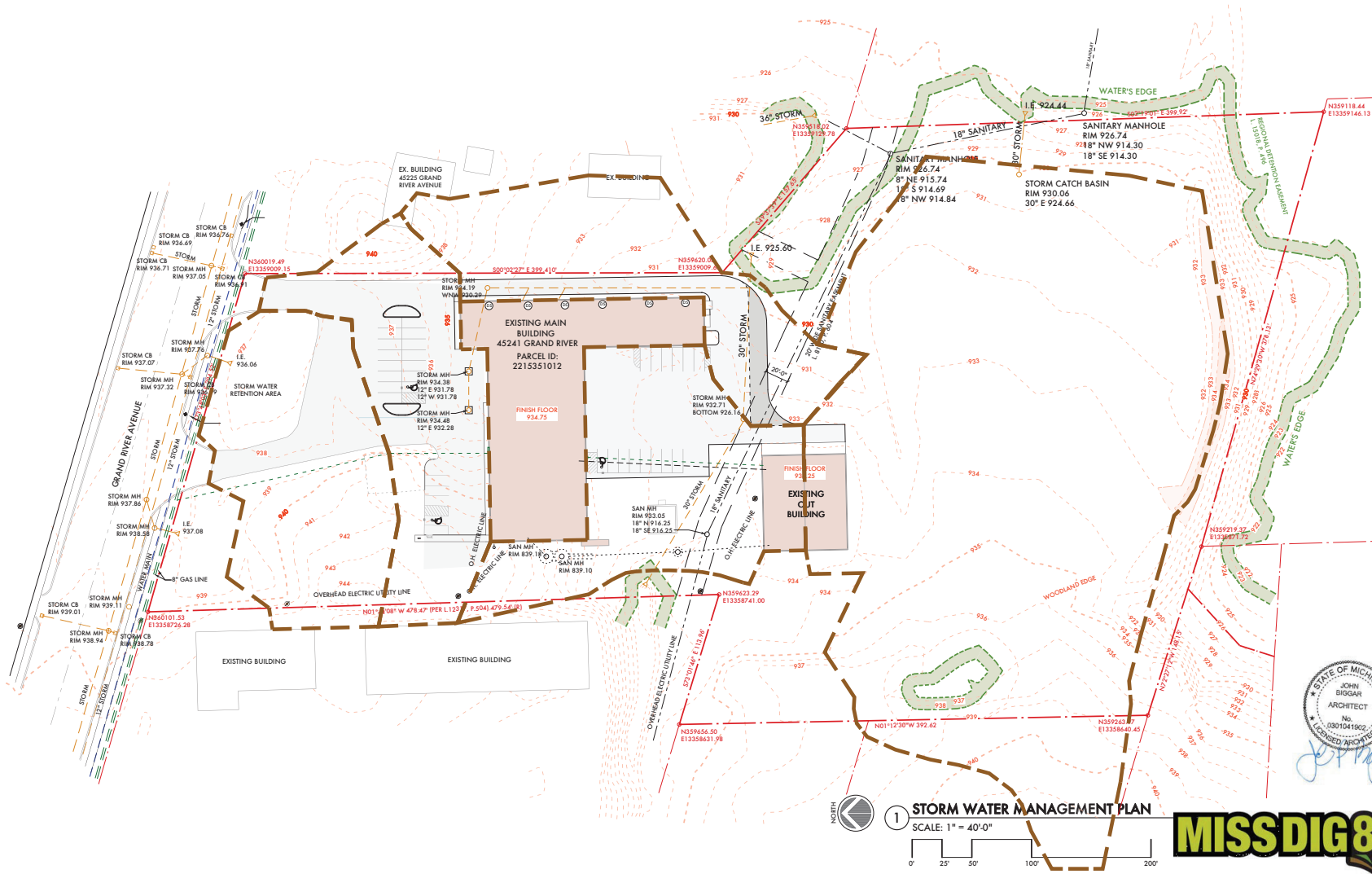
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 4th Floor 313.549.3790 (f)
 Detroit, Michigan 48226 313.549.3790 (e)
 Project Number: 2021 - 16



Sheet Title:
UTILITIES PLAN

UTILITIES PLAN
 SCALE: 1" = 40'-0"
 0' 25' 50' 100' 200'





1 STORM WATER MANAGEMENT PLAN

SCALE: 1" = 40'-0"



John Biggar

06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
Date:	Issued For:

Wade One
 Grand River Storage, LLC
 45237 45241 Grand River
 Novi, Michigan 48375
 Meeting
 45241 Grand River
 Novi, Michigan 48375

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 architectural urban DESIGN
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 4th Floor 313.549.3790 (f)
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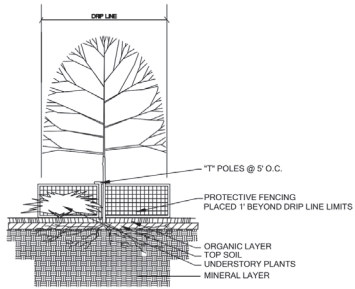
Project Number: 2021 - 16

Sheet Title:
STORM WATER MANAGEMENT PLAN

Sheet Number:
C2.14

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1. Either Plastic or Wood Orange Snow Fencing Shall be Installed at or Beyond the Drip Line, Unless Otherwise Specified by the Engineer.
2. Poles Shall be Made of 2\"/>

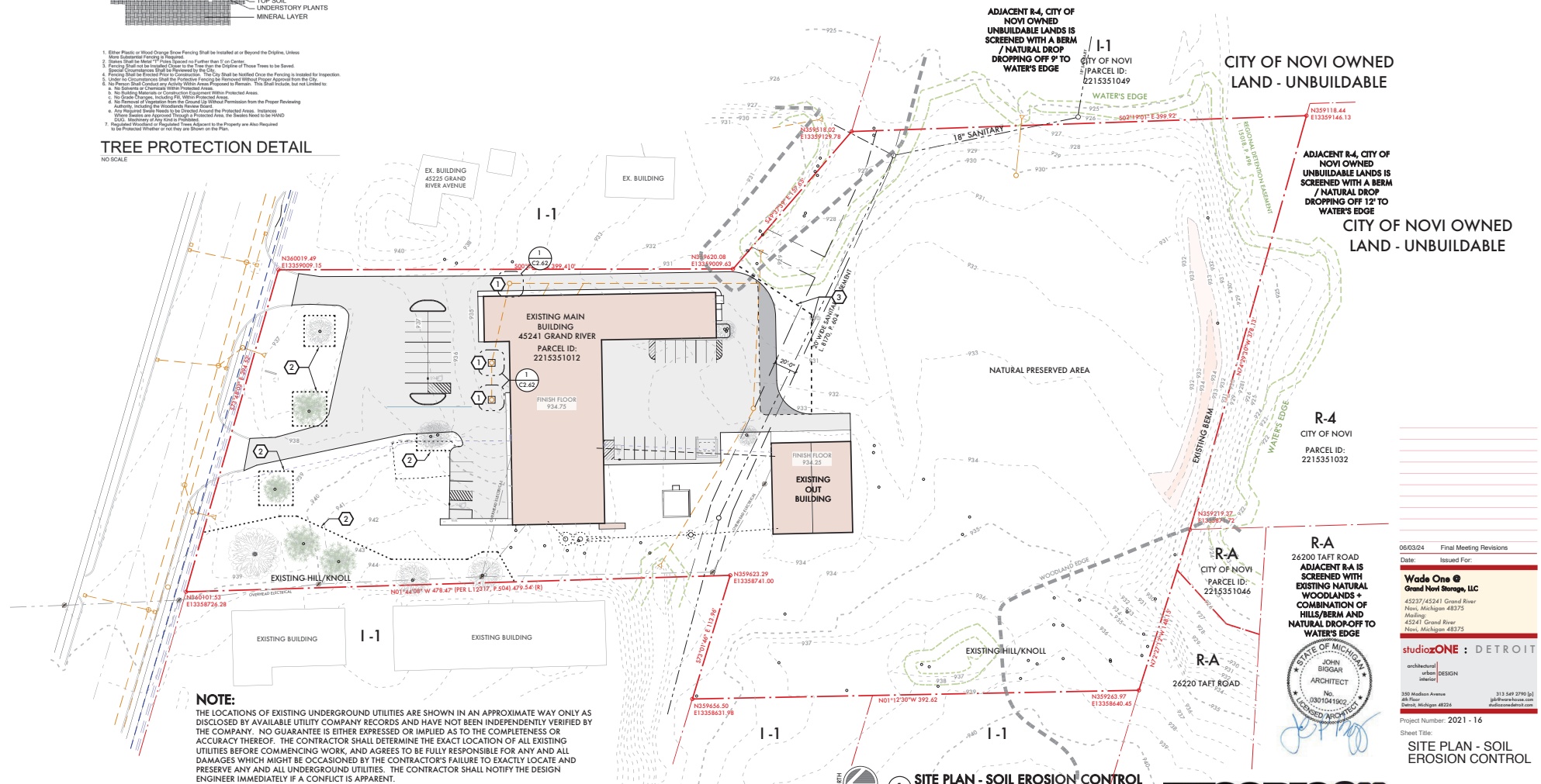
TREE PROTECTION DETAIL
NO SCALE

KEYED NOTES

1. EXISTING CATCH BASIN, OVERLAY W/ FILTER TO PREVENT DEBRIS FROM ENTERING, SEE DETAIL 2/C2.62
2. PROTECTIVE FENCE FOR TREE, PLACE OUTSIDE DRIP LINE, SEE DETAIL FOR CONSTRUCTION
3. SILT FENCE, SEE DETAIL 1/C2.62

SOIL TYPES

PER THE ONLINE WEB SURVEY SUPPLIED BY THE NATURAL RESOURCES CONSERVATION DEPARTMENT, THE PREDOMINANT SOILS FOUND AT THE SUBJECT SITE CONSISTS OF MARLETTE SANDY LOAM, 1% - 6% SLOPES. FOR ADDITIONAL INFORMATION, REFER TO THE GEOTECHNICAL INVESTIGATION PREPARED BY TESTING ENGINEERS & CONSULTANTS, INC (DATED JANUARY 22, 2019)



NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

TOTAL AREA OF DISTURBANCE = +/- 1,818 SF:
A SOIL EROSION PERMIT WILL BE REQUIRED BY THE CITY OF NOVI

1 SITE PLAN - SOIL EROSION CONTROL
SCALE: 1" = 40'-0"



R-A
CITY OF NOVI
PARCEL ID:
2215351046

R-4
CITY OF NOVI
PARCEL ID:
2215351032

R-A
26200 TAFT ROAD
ADJACENT R-A IS SCREENED WITH EXISTING NATURAL WOODLANDS + COMBINATION OF HILLS/BERM AND NATURAL DROP-OFF TO WATER'S EDGE

Wade One @ Grand Novi Storage, LLC
45227 45241 Grand River
Novi, Michigan 48375
45241 Grand River
Novi, Michigan 48375

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architectural urban interior DESIGN

STATE OF MICHIGAN
JOHN BIGGAR
ARCHITECT
No. 0307041002
LICENSED ARCHITECT

Project Number: 2021 - 16
Sheet Title: **SITE PLAN - SOIL EROSION CONTROL**

Sheet Number: **C2.15**

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Date:	Final Meeting Revisions
06/03/24	Issued For:

WETLANDS SURVEY

OWNERSHIP OF THE PROPERTY AND ITS CONSULTANTS HAVE CONTINUOUSLY MONITORED AND CONDUCTED SURVEYS OF THE ADJACENT WETLANDS AREAS SINCE THE BUILDING WAS PURCHASED. THE MONITORING AND SURVEYS HAVE BEEN CONDUCTED ON A QUARTERLY/SEASONAL BASIS.

THE INFORMATION SHOWN ON NOVI'S REGULATED WETLANDS MAP IS A FAIR ASSESSMENT OF AN EVER-CHANGING NATURAL CONDITION.

THERE HAVE BEEN TIMES WHERE ANY OF THE WATER FROM THE ADJACENT STORM WATER BASIN HAS RECEDED FROM THE PROPERTY. THERE HAVE BEEN OTHER TIMES WHERE A BEAVER FAMILY DAMNED A CORNER OF THE STORM BASIN ADJACENT TO THE PROPERTY CAUSING THE WATER TO BACK-UP AND FLOW BACK ONTO THE PROPERTY.

THE RECEDING AND GROWTH HAS ALSO BEEN AFFECTED BY LARGE RAIN STORMS OVER A MULTIPLE DAY PERIOD OR SNOWFALL ACCUMULATION AND RUN-OFF OR LACK OF SNOW.



Figure 1. City of Novi Regulated Wetlands Map
Approximate Site boundary is shown in Red.
(Approximate) City Regulated Wetlands are shown in turquoise.



06/03/24 Final Meeting Revisions
Date: Issued For:

Wade One @
Grand Novi Storage, LLC
45237 Grand River
Novi, Michigan 48375
Mailing:
45241 Grand River
Novi, Michigan 48375

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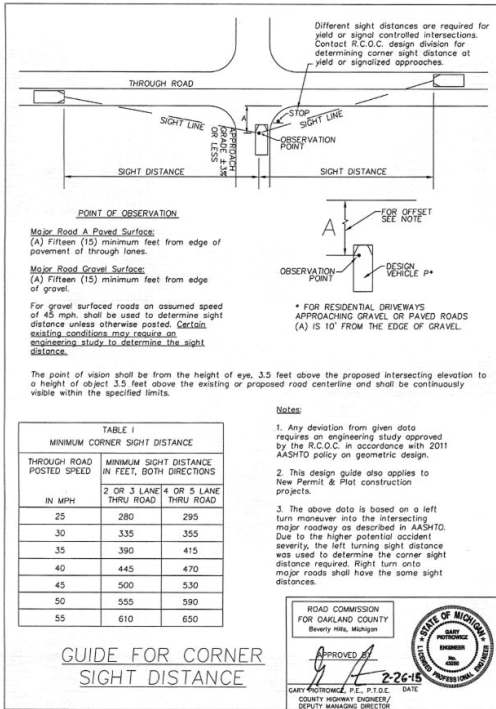
Project Number: 2021 - 16

Sheet Title:
**WETLANDS
SURVEY**

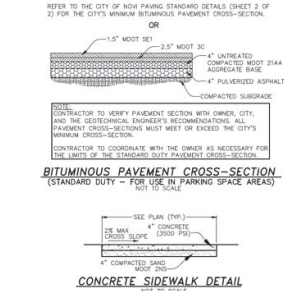
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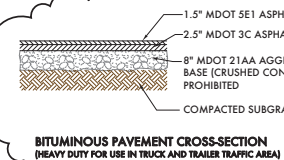
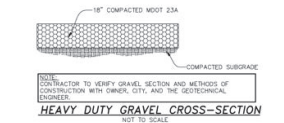
FIGURE 6-1



10 SITE LINE CLEARANCE REQUIREMENTS
 A2.60 SCALE: 1/2" = 1'-0"



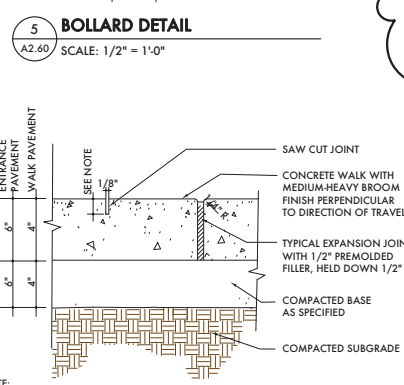
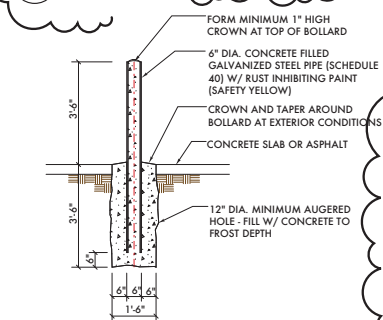
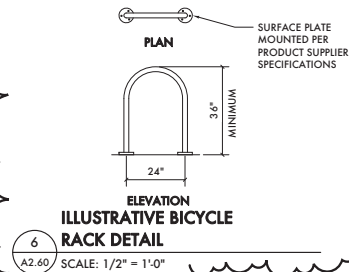
8 CONCRETE SIDEWALK DETAIL
 A2.60 NTS



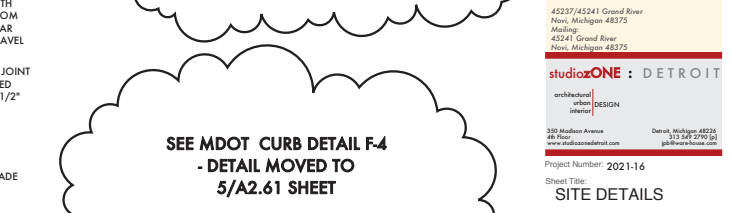
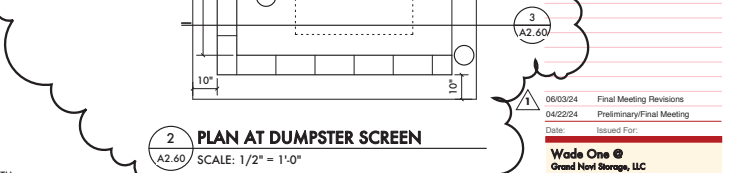
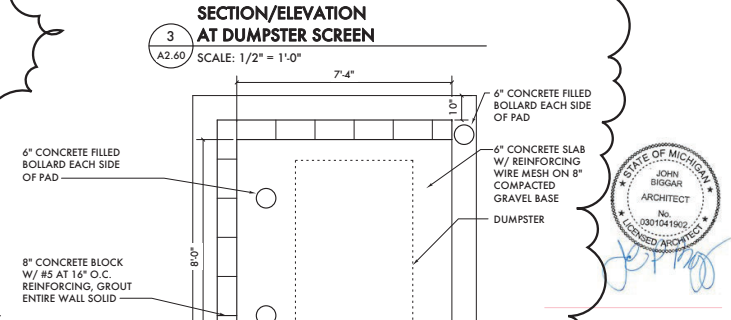
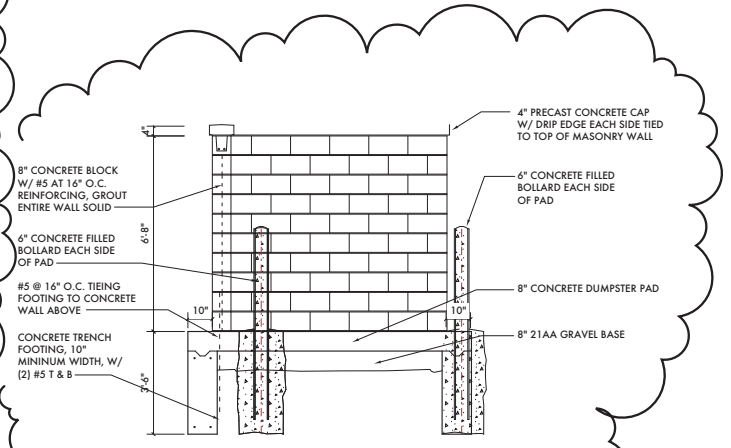
7 ASPHALT PAVEMENT DETAIL
 A2.60 NTS

BICYCLE PARKING NOTES:

1. ALL BICYCLE PARKING SPACES SHALL BE PAVED AND ADJACENT TO A BICYCLE RACK OF THE INVERTED "U" DESIGN, THAT IS SOLID, CANNOT BE EASILY REMOVED WITH COMMON TOOLS, PROVIDES AT LEAST TWO (2) CONTACT POINTS FOR A BICYCLE, IS AT LEAST THREE (3) FEET IN HEIGHT, AND PERMITS THE LOCKING OF A BICYCLE THROUGH THE FRAME AND ONE (1) WHEEL WITH A STANDARD UNLOCK OR CABLE IN AN UPRIGHT POSITION. THE RACK SHALL BE SECURELY ANCHORED IN CONCRETE OR ASPHALT. ALTERNATIVE INSTALLATIONS AND DESIGNS MAY BE CONSIDERED IF THE PROPOSED RACK DESIGN FUNCTIONS SIMILAR TO THE INVERTED "U" DESIGN.
2. ALL BICYCLE PARKING FACILITIES SHALL BE ACCESSIBLE FROM ADJACENT STREET(S) AND PATHWAY(S) VIA A PAVED ROUTE THAT HAS A MINIMUM WIDTH OF SIX (6) FEET.
3. ALL BICYCLE PARKING FACILITIES SHALL BE SEPARATED FROM AUTOMOBILE PARKING SPACES AND ACCESS AISLES BY A RAISED CURB, LANDSCAPE AREA, SIDEWALK, OR OTHER METHOD THAT COMPLIES WITH ALL CITY ORDINANCES.



4 CONCRETE PAVEMENT DETAIL
 A2.60 SCALE: 1/2" = 1'-0"



1 DETAIL AT CONCRETE CURB
 A2.60 SCALE: 1" = 1'-0"



06/03/24 Final Meeting Revisions
 04/22/24 Preliminary/Final Meeting

Date: Issued For:

Wade One @
Grand Not Storage, LLC
 43237/43241 Grand River
 Novi, Michigan 48375
 Meeting: 43241 Grand River
 Novi, Michigan 48375

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 architectural urban DESIGN interior

380 Madison Avenue Detroit, Michigan 48226
 4th Floor 313.448.2796 (x1)
 www.studioone.com gbl@studioone.com

Project Number: 2021-116

Sheet Title: SITE DETAILS

View our Full Selection of Detectable Warning Mats
Surface Mount & Cast in Place

Access Tile Cast in Place Detectable Warning Mat - 2' x 4'

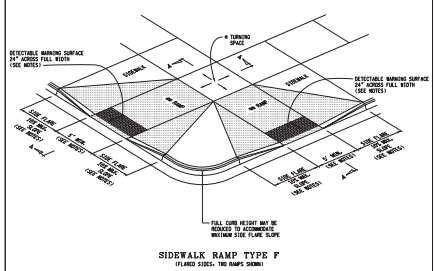
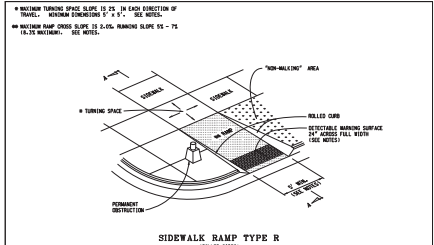
\$223.37 USD
FREE SHIPPING
\$80.00 (SEE 3-DRAWING)

Access Tile Cast in Place detectable warnings are the most widely used ADA tactile surfacing on the market. These underfoot panels are designed to provide tactile notification for visually impaired persons, notifying them of nearby traffic or obstacles.

The Cast in Place panels are installed while the concrete is still wet. These panels screw down into conical footings that are precast and set in the concrete. These are a durable ADA compliant walkway solution for walkways, crosswalks, stair decking, and any other place required to have compliant tactile dome surfacing.

Over time, if a mat becomes overly worn or damaged it can be easily replaced using a T 27 Torx Bit and unscrewing each panel, and installing a replacement in one minute.

2 ADA DETECTABLE WARNING MAT
SCALE: 1 1/2" = 1'-0"



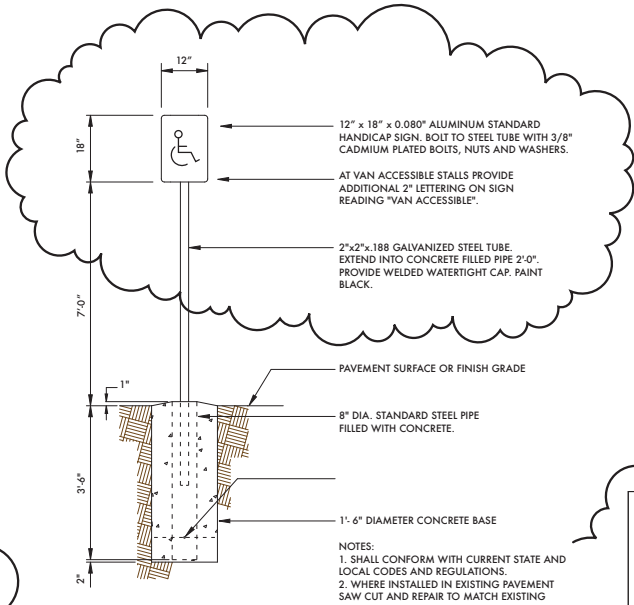
MDOT MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

PREPARED BY: [Signature]
CHECKED BY: [Signature]

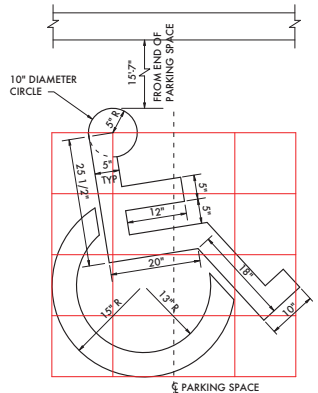
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS
1-25-2013 10-2-2013
TACAS, SPH/MLC SLP/MLC R-28-H SHEET 1 OF 1

1 ADA CONCRETE RAMP AT SIDEWALK
SCALE: 1 1/2" = 1'-0"



4 ADA PARKING SIGN
SCALE: 3/4" = 1'-0"



3 STANDARD ADA SYMBOL FOR PARKING SPACE
SCALE: 1/2" = 1'-0"

DETAIL AT CONCRETE CURB

CONCRETE CURB & GUTTER

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

R-30-G
1 OF 1

DETAIL	DESCRIPTION	CONCRETE OVER / LIFT	CONCRETE CURB / LIFT
B1	1" AS SHOWN	0.0902 (± 0.0013)	0.0710
B2	1" OMITTED	0.0902 (± 0.0013)	0.0710
B3	1" AS SHOWN	0.0902 (± 0.0013)	0.0710
C1	1" AS SHOWN	0.0902	0.0710
C2	1" OMITTED	0.0902	0.0710
C3	1" AS SHOWN	0.0902	0.0710
C4	1" OMITTED	0.0902	0.0710
C5	1" AS SHOWN	0.0902	0.0710
C6	1" OMITTED	0.0902	0.0710
D1	1" AS SHOWN	0.0902	0.0710
D2	1" OMITTED	0.0902	0.0710
D3	1" AS SHOWN	0.0902	0.0710
D4	1" OMITTED	0.0902	0.0710
E1	1" AS SHOWN	0.0902	0.0710
E2	1" OMITTED	0.0902	0.0710
E3	1" AS SHOWN	0.0902	0.0710
E4	1" OMITTED	0.0902	0.0710

5 DETAIL AT CONCRETE CURB
SCALE: 1" = 1'-0"



06/03/24 Final Meeting Revisions
04/22/24 Preliminary/Final Meeting
Date: Issued For:

Wade One @ Grand Not Storage, LLC
43237/43241 Grand River
Novi, Michigan 48375
Meeting:
43241 Grand River
Novi, Michigan 48375

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Project Number: 201482

Sheet Title:
SITE DETAILS

Sheet Number:
C2.61

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SEQUENCE OF CONSTRUCTION

1. INSTALL GRAVEL MUD TRACKING MAT, SILT FENCE AND INLET FILTERS (ON EXISTING STORM STRUCTURES) AS INDICATED ON THE PLANS. (1 DAY)
2. STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC FROM THE BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM 5' BUFFER OF EXISTING VEGETATION AROUND PERIMETER WHENEVER POSSIBLE. STOCKPILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES. SILT FENCE WILL BE INSTALLED SURROUNDING ANY STOCKPILED MATERIAL. (1 DAY)
3. INSTALL PAVEMENT/GRAVEL PARKING LOT ADDITION (1 WEEK)
4. SEED & MULCH OR SOD ALL DISTURBED AREAS. VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE. OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED. (1 WEEK)
5. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED. (1 DAY)

MAINTENANCE REQUIREMENTS

INSPECTION & MAINTENANCE OF SOIL EROSION CONTROL MEASURES TO BE CONDUCTED ON A WEEKLY BASIS OR AS INDICATED BELOW, WHICHEVER IS SOONER. RECORDS OF MAINTENANCE INSPECTIONS TO BE RECORDED IN A LOG BOOK. THE LOG BOOK SHALL BE KEPT ON SITE AT ALL TIMES. SILT FENCE SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.

SILT FENCE:

IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SPOIL PILE. IF THE FABRIC IS BEING UNDERCUT (I.E. IF THE WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE GIVEN PROCEDURES. FABRIC WHICH DECOMPOSES OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY. FILTER FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UPSLOPE IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

RIP RAP:

RIP-RAP INSPECTIONS SHOULD BE MADE OF ALL RIP-RAPPED SITES IMMEDIATELY AFTER THE FIRST RAINFALL FOLLOWING INSTALLATION. DISPLACED RIP-RAP SHOULD BE REPLACED AS NECESSARY FOR PROPER FUNCTION.

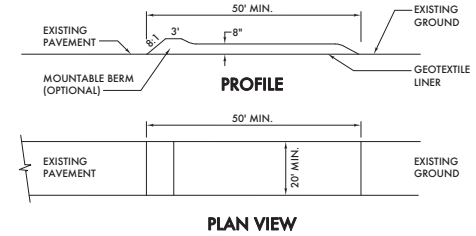
ACCESS ROADS (HAUL ROADS) : PROPER MAINTENANCE MAY INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. IT IS ALSO IMPORTANT TO CHECK AND MAINTAIN ANY BMP'S WHICH ARE USED IN CONJUNCTION WITH THIS BMP, ESPECIALLY THOSE FOR DRAINAGE. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAYS SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.

SEEDING, SODDING & MULCHING:

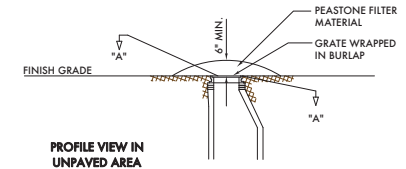
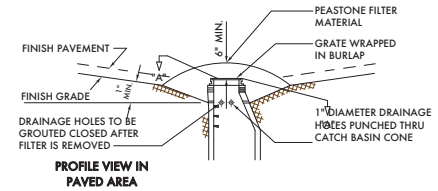
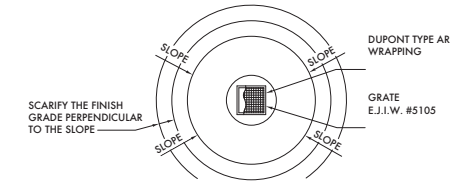
SEED, SODDED OR MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MATERIAL IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE AFOREMENTIONED MATERIALS IN PLACE. MAINTENANCE PROCEDURES SHOULD ALSO BE FOLLOWED FOR THE BMP'S WHICH WERE IMPLEMENTED TO KEEP ERODED SOIL OR CONCENTRATED RUNOFF AWAY FROM THESE TARGET AREAS.

SOIL EROSION CONTROL NOTES

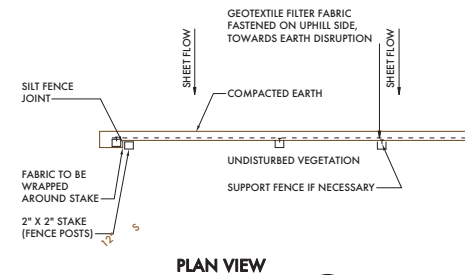
1. CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.
2. DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.
3. SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATER COURSES INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATER COURSES; WETLANDS OR ROADWAYS ON OR NEAR THE SITE.
4. SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.
5. TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.
6. TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.
7. IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORM WATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATER COURSE OR WETLAND.
8. VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
9. VEGETATED BUFFER STRIPS (25' WIDE WHEREVER POSSIBLE) SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL WATER BODIES, WATER COURSES OR WETLANDS.
10. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.
11. ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.
12. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED.
13. THE CITY OF NOVI OR ITS AGENT SHALL INSPECT ALL SOIL EROSION CONTROL MEASURES UPON THEIR DIRECTION. ADDITIONAL MEASURES SHALL BE CONSTRUCTED, OR MAINTENANCE WORK SHALL BE PERFORMED TO ASSURE EROSION AND SEDIMENTATION CONTROL.
14. DEWATER, OF ANY KIND, MUST BE DISCHARGED THROUGH A STONE FILTER, A FILTER BAG, MAINTENANCE VEGETATION OR INTO THE SEDIMENTATION BASIN.
15. IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO INSTALLATION OF PUBLIC UTILITIES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SWEEPING AND DUST CONTROL.
17. SLOPES STEEPER THAN 1:6 (16%) SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
18. ALL DRAINAGE DITCHES SHALL BE STABILIZED WITH EROSION CONTROL BLANKET AND SHALL UTILIZE CHECK DAMS AS NECESSARY. DRAINAGE DITCHES STEEPER THAN 3% SHALL BE SODDED.
19. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS. 20. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.



3 MUD MAT DETAIL
SCALE: 1" = 1'-0"

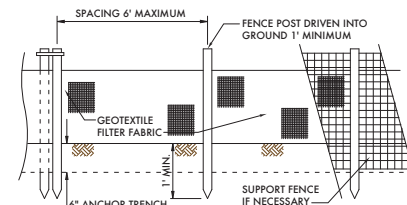


2 INLET FILTERS DETAILS
(FOR SOIL EROSION & SEDIMENTATION CONTROL)
SCALE: 1" = 1'-0"



PLAN VIEW

1 SILT FENCE DETAIL
SCALE: 1" = 1'-0"



FRONT VIEW



08/03/24 Final Meeting Revisions
Date: Issued For:
Wade One @
Grand Noct Storage, LLC
4337/43241 Grand River
Novi, Michigan 48375
Meeting: 43241 Grand River
Novi, Michigan 48375
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g@studioone.com

Project Number: 2021-16

Sheet Title:
SOIL EROSION CONTROL DETAILS

Sheet Number:

C2.62

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GRAND NOVI STORAGE

45237 (45241) Grand River Avenue
Novi, Michigan 48226

Project No. 2021-16

OWNER: GRAND NOVI STORAGE, LLC

45237 (45241) GRAND RIVER

LOCATION PLAN

PLANT AND MATERIAL LIST:

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	SPACING	ROOT	HEIGHT	PRICE	TOTAL	SPECIES	GENUS	NATIVE	TOTAL
PARKING LOT, PERIMETER AND BUFFER TREES													
CO	0	CELTIS OCCIDENTALIS	NORTHERN HACKBERRY	3.0"	AS SHOWN	B & B		\$400.00	\$0.00	0.0%	0.0%	1	1
LT	2	LIRODIODON THALICTRA	TULIP TREE	3.0"	AS SHOWN	B & B		\$400.00	\$800.00	7.1%	7.1%	1	1
PS	5	PIEA EAUCALCA	WHITE SPRUCE	AS SHOWN	B & B	8" - 10"		\$400.00	\$2,000.00	17.9%	17.9%	1	1
AS	6	ACER SACCHARUM	SUGAR MAPLE	2.5"	AS SHOWN	B & B		\$400.00	\$2,400.00	21.4%	21.4%	1	1
AR	4	ALER RUBRUM	RED MAPLE	2.5"	AS SHOWN	B & B		\$400.00	\$1,600.00	14.3%	14.3%	1	1
STREET LAWN & GREENBELT													
ACC	1	AMELANCHIER LAEVIS	SHADBLOW	2.5"	AS SHOWN	B & B		\$400.00	\$400.00	3.6%	3.6%	1	1
COG	4	CELTIS OCCIDENTALIS	NORTHERN HACKBERRY	3.0"	AS SHOWN	B & B		\$400.00	\$1,600.00	14.3%	14.3%	1	1
CKG	2	CORNUS KOHLA	JAPANESE DOGWOOD	2.5"	AS SHOWN	B & B		\$400.00	\$800.00	7.1%	7.1%	1	1
78	TOTAL PARKING LOT, PERIMETER, STREET LAWN, GREENBELT AND BUFFER TREES												
GENERAL PLANTINGS													
EA	37	EUONYMUS ALATA 'COMPACTA'	COMPACT BURNING BUSH	B & B	8"			\$68.00	\$2,496.00			1	1
RF	5	RUBROCOA FULGIDA S. 'GOLDSTURM'	BLACK EYED SUSAN	AS SHOWN	#2 CONTINUOUS			\$25.00	\$125.00			1	1
										TOTAL	7	7	
										% NATIVE	78%	78%	
MISCELLANEOUS LANDSCAPE ITEMS													
1	INSTALLATION LABOR							\$18,000.00	\$18,000.00				
4	4" DEEP SHREDED HARDWOOD BARK MULCH (5Y)							\$85.00	\$140.00				
1	SEED / FLOW GRASSES							\$1,900.00	\$1,900.00				
							770' -1'						
							TOTAL	\$39,255.67					

NOTE: NO EXISTING TREES ARE TO BE REMOVED
ALL TREES TO BE PLANTED IN FALL 2024
ALL GROUND COVER AND SHRUBS TO BE PLANTED IN SPRING 2025
ALL PLANT MATERIALS ARE TO BE PROVIDED A 2-YEAR WARRANTY ESTABLISHMENT PERIOD
NO SUBSTITUTIONS OF PLANT MATERIALS ARE PERMITTED W/O APPROVAL FROM NOVI
ALL PLANTS AND MATERIALS TO BE PURCHASED AT:

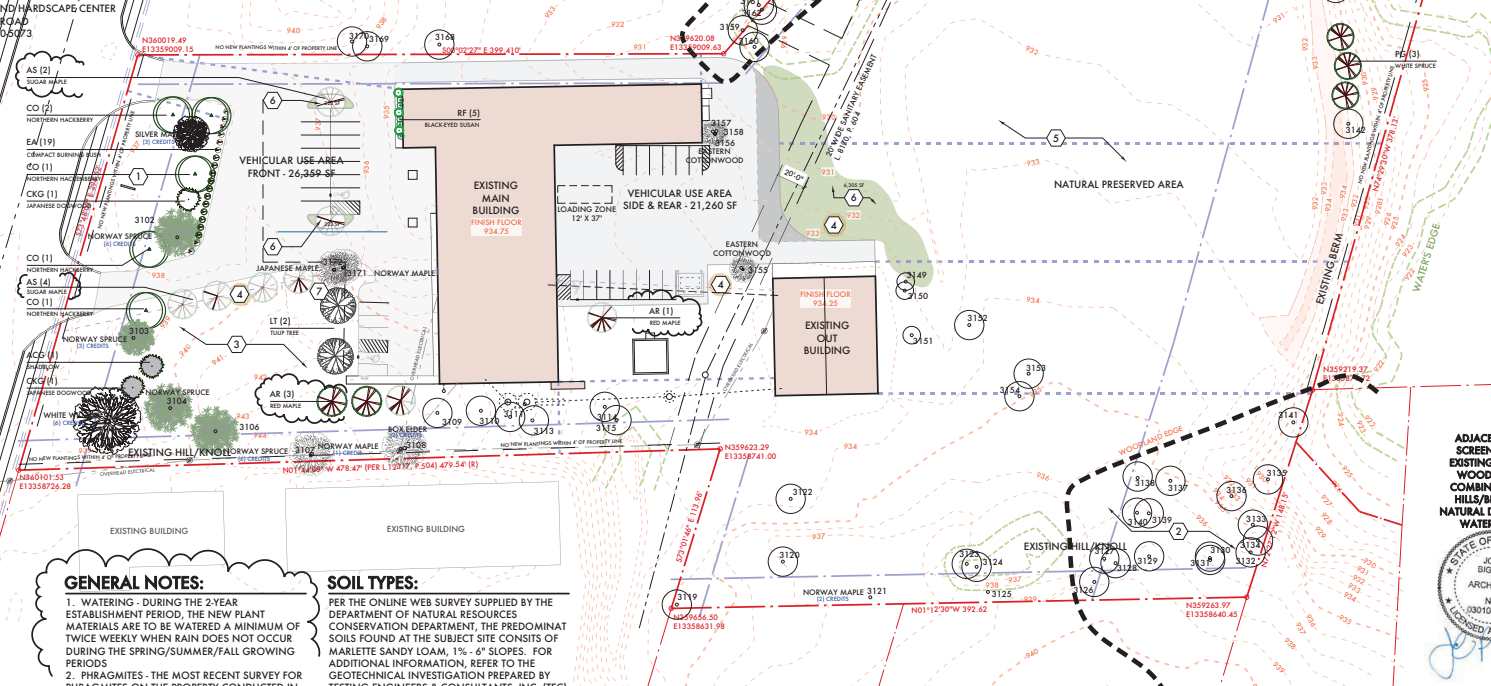
CHRISTEN'S PLANT AND HARDSCAPE CENTER
6282 GOTTFREDSON ROAD
PLYMOUTH, MI 48170-0793
888-454-8733 [P]
734-454-1400 [P]

LANDSCAPE SUMMARY:

EXISTING ZONING:	I-1	BUILDING FOUNDATION LANDSCAPING	PERIMETER OF MAIN BUILDING PERIMETER OF OUT BUILDING LANDSCAPE ARE REQUIRED LANDSCAPE AREA SHOWN	758 LF (830' LESS 72" OF DOORS) 252 LF (302' LESS 50" OF DOORS) 8,080 SF (1,010 X 8) 243 SF - WAIVER REQUESTED
PARKING LOT LANDSCAPING	47,619 SF	GREENBELT PLANTINGS	STREET FRONTAGE TREES REQUIRED	241 LF (294' - 53" DRIVE OPENINGS) (2) TREES (241 LF / 40')
VEHICULAR USE AREA	2,381 SF	TREES SHOWN	(8) TREES - (4) TREES ARE EXISTING (7) TREES (241 LF / 35') 7 TREES	
LANDSCAPE AREA REQUIRED	2,381 SF	PERIMETER REAR AREA	TREES REQUIRED	87 LF (294' - 107" DRIVE OPENINGS) (2) TREES (87 LF / 45') (8) TREES
TOTAL	47,619 S.F. X 5% = 2,381 SF 0 S.F. X 0.5% = 0 SF	STREET LAWN	TREES SHOWN	
FRONT AREA	26,359 S.F. X 5% = 1,318 SF	CANOPY TREES REQUIRED	(12) TREES - (2,381 SF / 200)	
REAR AREA	21,260 S.F. X 5% = 1,063 SF	CANOPY TREES SHOWN	(12) TREES	
LANDSCAPE AREA SHOWN	2,381 SF +	PARKING LOT PERIMETER	PERIMETER FRONT AREA TREES REQUIRED	455 LF (13) TREES - (455 / 35')
CANOPY TREES REQUIRED	(12) TREES	PERIMETER REAR AREA	TREES SHOWN	(13) TREES
CANOPY TREES SHOWN	(12) TREES	TREES REQUIRED	(10) TREES - (355/35')	
		TREES SHOWN	(3) TREES	

ADJACENT I-4, CITY OF NOVI OWNED UNBUILDABLE LANDS IS SCREENED WITH A BERM / NATURAL DROP DROPPING OFF 9" TO WATER'S EDGE

ADJACENT I-4, CITY OF NOVI OWNED UNBUILDABLE LANDS IS SCREENED WITH A BERM / NATURAL DROP DROPPING OFF 12" TO WATER'S EDGE



GENERAL NOTES:

1. WATERING - DURING THE 2-YEAR ESTABLISHMENT PERIOD, THE NEW PLANT MATERIALS ARE TO BE WATERED A MINIMUM OF TWICE WEEKLY WHEN RAIN DOES NOT OCCUR DURING THE SPRING/SUMMER/FALL GROWING PERIODS
2. PHRAGMITES - THE MOST RECENT SURVEY FOR PHRAGMITES ON THE PROPERTY CONDUCTED IN MAY 2024 FOUND NO PHRAGMITES ON THE PROPERTY.
3. ALL PLANTING IS TO BE INSTALLED BEFORE NOVEMBER 15, 2024
4. NO NEW PLANTINGS WITHIN 4' OF PROPERTY LINE

SOIL TYPES:

PER THE ONLINE WEB SURVEY SUPPLIED BY THE DEPARTMENT OF NATURAL RESOURCES CONSERVATION DEPARTMENT, THE PREDOMINANT SOILS FOUND AT THE SUBJECT SITE CONSISTS OF MARLETTE SANDY LOAM, 1% - 6" SLOPES. FOR ADDITIONAL INFORMATION, REFER TO THE GEOTECHNICAL INVESTIGATION PREPARED BY TESTING ENGINEERS & CONSULTANTS, INC. (TEC) [DATED JANUARY 22, 2019 AND SUBMITTED AS PART OF I-2 PRO SUBMISSION]

LANDSCAPE PLAN

SCALE: 1" = 40'-0"

KEYED NOTES

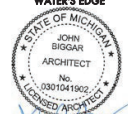
- 1) EXISTING WATER RETENTION AREA
- 2) EXISTING WOODLAND TO REMAIN AS IS
- 3) EXISTING LANDSCAPE TO REMAIN AS IS
- 4) SNOW PLOW DEPOSIT AREA
- 5) EXISTING PRAIRIE AREA TO REMAIN
- 6) SEED AREA W/ NEW PRAIRIE SEED MIX
- 7) REMOVE EXISTING WOOD ROAD TIES, REGRADE AREA AND RESEED

PRAIRIE SEED MIX:

SEE SITE DETAILS DRAWING L2.60 FOR SEED MIX DESIGN

06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
12/09/22	I-2 PRO Site Plan Approval
10/26/22	Site Plan Approval
08/18/22	Pre-Application Meeting
Date:	Issued For:

ADJACENT I-4 IS SCREENED WITH EXISTING NATURAL WOODLANDS + COMBINATION OF HILLS/BERM AND NATURAL DROP-OFF TO WATER'S EDGE



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Project Number: 2021 - 16
Sheet Title:
LANDSCAPE PLAN



Sheet Number:
L2.10

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EXISTING TREE INVENTORY:

TAG NO.	DHS	COMMON NAME	BOTANICAL NAME	CONDITION	REMARKS	REPLACEMENT	CREDITS
3101	19, 20	Silver Maple	Acer Spicatum	Good			1
3102	35	Norway Spruce	Picea Abies	Good	Credit		6
3103	34	Norway Spruce	Picea Abies	Good	Credit		2
3105	29	Norway Spruce	Picea Abies	Good	Credit		5
3105	32, 41	White Willow	Salix Alba	Good	Credit		6
3106	24	Norway Spruce	Picea Abies	Good	Credit		5
3107	7, 8	Norway Maple	Acer Platanoides	Good	Credit		1
3108	12	Box Elder	Acer Negundo	Good	Credit		2
3109	14, 15	Siberian Elm	Ulmus Parnita	Good	Exempt		
3110	7, 8	Box Elder	Acer Negundo	Good	Exempt		
3111	9	Box Elder	Acer Negundo	Good	Exempt		
3112	9, 11	Box Elder	Acer Negundo	Good	Exempt		
3113	8	Box Elder	Acer Negundo	Good	Exempt		
3114	13, 24	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3115	28	Eastern Cottonwood	Populus Deltoides	90% Dead	Exempt		
3116	Overhead				Exempt		
3117	Overhead				Exempt		
3118	Overhead				Exempt		
3119	Dead				Exempt		
3120	Dead				Exempt		
3121	10, 12	Norway Maple	Acer Platanoides	Good	Credit		2
3122	14	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3123	14	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3124	17	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3125	Overhead				Exempt		
3126	17	Siberian Elm	Ulmus Parnita	90% Dead	Remove		
3127	19	Eastern Cottonwood	Populus Deltoides	Good	Save		
3128	14	Eastern Cottonwood	Populus Deltoides	Good	Save		
3129	14	Eastern Cottonwood	Populus Deltoides	Good	Save		
3130	13	Black Cherry	Prunus Serotina	Good	Save		
3131	10	Mulberry	Morus Alba	Good	Save		
3132	15	Eastern Cottonwood	Populus Deltoides	Good	Save		
3133	11	Box Elder	Acer Negundo	Good	Save		
3134	11	Common Apple	Malus Sp.	Good	Save		
3135	6, 8, 9	Box Elder	Acer Negundo	Good	Save		
3136	18	Sugar Maple	Acer Saccharum	Good	Save		

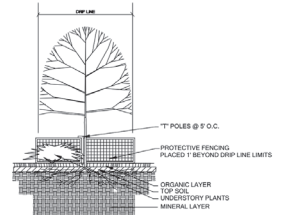
TAG NO.	DHS	COMMON NAME	BOTANICAL NAME	CONDITION	REMARKS	REPLACEMENT	CREDITS
3137	11	Black Cherry	Prunus Serotina	Good	Save		
3138	17	Sugar Maple	Acer Saccharum	Good	Save		
3139	22	Sugar Maple	Acer Saccharum	Good	Save		
3140	8	American Elm	Ulmus Americana	Good	Save		
3141	7	Eastern Cottonwood	Populus Deltoides	Good	Save		
3142	8	Siberian Elm	Ulmus Parnita	Good	Save		
3143	7, 8	Box Elder	Acer Negundo	Good	Save		
3144	8	Eastern Cottonwood	Populus Deltoides	Good	Save		
3145	21*	White Willow	Salix Alba	Good	Save		
3146	18	White Willow	Salix Alba	Good	Save		
3147	14*	White Willow	Salix Alba	Good	Save		
3148	14*	White Willow	Salix Alba	Good	Save		
3149	8, 9, 10	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3150	8, 9, 9	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3151	11, 11	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3152	11	Black Cherry	Prunus Serotina	Good	Exempt		
3153	6, 6, 6, 7, 8, 9	Box Elder	Acer Negundo	Good	Exempt		
3154	7, 7, 11	Box Elder	Acer Negundo	Good	Exempt		
3155	8, 8, 11	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3156	9	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3157	8	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3158	9	Eastern Cottonwood	Populus Deltoides	Good	Exempt		
3159	16	White Willow	Salix Alba	Good	Save		
3160	10	Siberian Elm	Ulmus Parnita	Good	Save		
3161	9	Box Elder	Acer Negundo	Good	Save		
3162	17, 19, 18*	White Willow	Salix Alba	Good	Save		
3163	19	White Willow	Salix Alba	Good	Save		
3164	8*	Box Elder	Acer Negundo	Good	Save		
3165	21*	White Willow	Salix Alba	Good	Save		
3166	11*	White Willow	Salix Alba	Good	Save		
3167	11*	White Willow	Salix Alba	Good	Save		
3168	8, 8, 13	Box Elder	Acer Negundo	Good	Save		
3169	6, 7, 8	Norway Maple	Acer Platanoides	Good	Exempt		
3170	10	Box Elder	Acer Negundo	Good	Save		
3171	7, 7, 9	Norway Maple	Acer Platanoides	Good	Exempt		
3172	6, 7, 8, 8	Japanese Maple	Acer Palmatum	Good	Exempt		

INVENTORY REMARKS KEY:

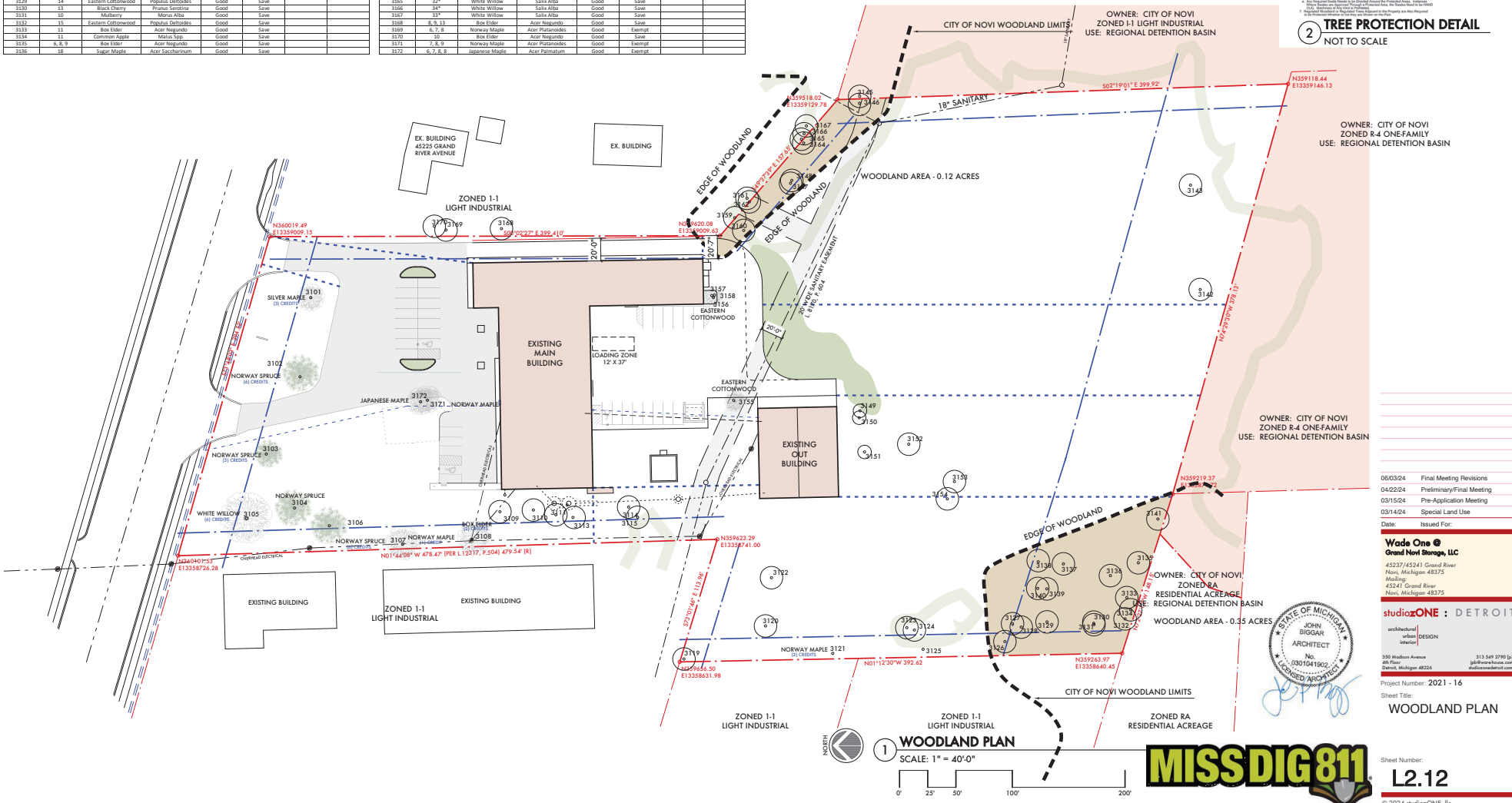
- SAVE** REGULATED TREE TO BE SAVED
- CREDIT** TREE IS LOCATED OUTSIDE OF WOODLAND AREA AND WILL BE SAVED
- REMOVE** TREE IS LOCATED IN A REGULATED WOODLAND AND WILL BE REMOVED
- EXEMPT** TREE IS DEAD OR LOCATED OUTSIDE OF A WOODLAND AREA AND WILL BE REMOVED.

WOODLAND SUMMARY:

TOTAL TREES (69) TREES
 LESS NON-REGULATED TREES: (37) TREES
 NON-REGULATED TREES (32) REGULATED TREES
 NET REGULATED TREES (0) TREES
 REGULATED TREES REMOVED (0) TREES
 REPLACEMENT TREES REQUIRED:
 TREES 8' - 11' 0 TREES X 1 = (0) TREES
 TREES 11' - 20' 0 TREES X 2 = (0) TREES
 TREES 20' - 30' 0 TREES X 3 = (0) TREES
 TREES 30' + 0 TREES X 4 = (0) TREES
 MULTI-STEMMED TREES (0) TREES
 NET REPLACEMENT REQUIRED (0) TREES
 AVAILABLE CREDITS (28) CREDITS
 REPLACEMENT REQUIRED (0) TREES
 NOTE: NO EXISTING TREES ARE TO BE REMOVED
 TOTAL WOODLAND ACRES = 0.47 ACRES



Notes: 1. All trees to be removed shall be removed within 90 days of the start of the project. 2. All trees to be saved shall be protected by a protective layer. 3. All trees to be saved shall be protected by a protective layer. 4. All trees to be saved shall be protected by a protective layer. 5. All trees to be saved shall be protected by a protective layer. 6. All trees to be saved shall be protected by a protective layer. 7. All trees to be saved shall be protected by a protective layer. 8. All trees to be saved shall be protected by a protective layer. 9. All trees to be saved shall be protected by a protective layer. 10. All trees to be saved shall be protected by a protective layer.



2 TREE PROTECTION DETAIL
 NOT TO SCALE

OWNER: CITY OF NOVI
 ZONED R-4 ONE-FAMILY
 USE: REGIONAL DETENTION BASIN

06/03/24	Final Meeting Revisions
04/22/24	Preliminary/Final Meeting
03/15/24	Pre-Application Meeting
03/14/24	Special Land Use
Date:	Issued For:

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Project Number: 2021 - 16
 Sheet Title: WOODLAND PLAN

Sheet Number: **L2.12**
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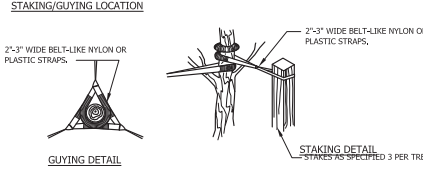
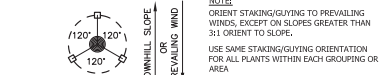


LOW PRAIRIE SEED MIX:

Botanical Name	Common Name	PLS Ounces/Acre
Permanent Grasses:		
Carex spp.	Prairie Carex Mix	4.00
Elymus canadensis	Canada Wild Rye	32.00
Elymus virginicus	Annual Blue Rye	10.00
Koeleria cristata	June Grass	1.00
Panicum virgatum	Switchgrass	1.00
Scirpus achlyum scoparium	Little Bluestem	32.00
Total		80.00
Temporary Cover:		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	300.00
Total		660.00
Forbs:		
Anemone cylindrica	Thimbleweed	0.50
Acteoplas tuberosa	Butterfly Milkweed	2.00
Aster ericoides	Heath Aster	0.25
Aster laevis	Smooth Blue Aster	0.75
Aster novae-angliae	New England Aster	0.25
Chamaecrista fasciculata	Partridge Pea	14.00
Coreopsis lanceolata	Sand Coreopsis	5.00
Coreopsis tristeris	Tall Coreopsis	3.00
Dalea candida	White Prairie Clover	1.50
Desmodium canadense	Showy Tick Taffel	1.50
Dryocallis arguta	Prairie Cinqufoil	8.00
Euthamia graminifolia	Grass-leaved Goldenrod	2.50
Lespedeza capitata	Round-head Bush Clover	2.00
Liatris aspera	Rough blazing Star	0.50
Lupinus gerensis	Wild Lupine	2.00
Monarda fistulosa	Wild Bergamot	0.75
Parthenium integrifolium	Wild Quinine	1.00
Penstemon digitalis	Fingelove Beard Tongue	0.50
Pycnanthemum virginianum	Common Mountain Mint	1.00
Ratibida pinnata	Yellow Coneflower	4.00
Rudbeckia hirta	Black-Eyed Susan	5.00
Silphium laciniatum	Compass Plant	0.50
Sorghum terebinthaceum	Prairie Dock	1.00
Solidago nemoralis	Old-Field Goldenrod	0.50
Solidago rigida	Stiff Goldenrod	1.00
Tridacena ohioensis	Common Spiderwort	0.75
Vernonia spp.	Ironweed (Various Mix)	1.75
Veronicastrum virginianum	Calves Kirt	0.75
Total		63.75

7.283 SF
37.3 LBS. PER ACRE APPLICATION RATE
6.24 LBS. OF LOW PROFILE PRAIRIE SEED MIX
3" - 6" OF TOPSOIL SHALL BE PLACED IN THIS AREA

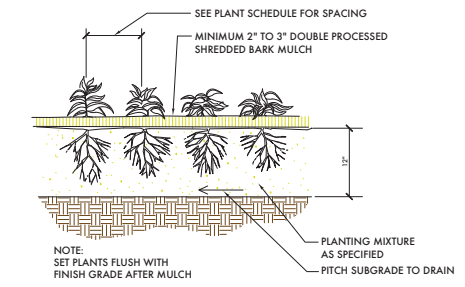
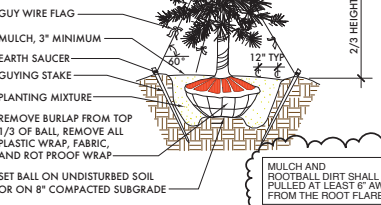
SEEDS AVAILABLE FROM CARDNO JFNEW
ALL SEED SHALL BE PROTECTED WITH MULCH BLANKET



NOTE: DO NOT PRUNE EVERGREENS. TOP OF BALL TO BE SET FLUSH WITH FINISH GRADE
CONTRACTOR SHALL VERIFY PERCOLATION OF PLANTING BED PRIOR TO INSTALLATION.

2 PLY REINFORCED RUBBER HOSE, POSITIONED DIRECTLY ABOVE FIRST BRANCH

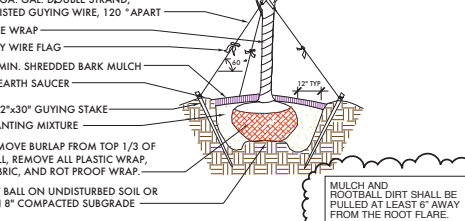
3 GUY'S PER TREE, GALVANIZED DOUBLE STRAND, TWISTED GUYING WIRE, 120° APART



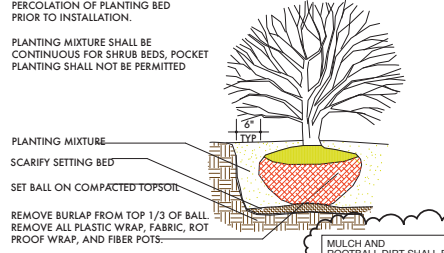
NOTE: SET PLANTS FLUSH WITH FINISH GRADE AFTER MULCH



NOTE: TOP OF BALL TO BE SET FLUSH WITH FINISH GRADE
CONTRACTOR SHALL VERIFY PERCOLATION OF PLANTING BED PRIOR TO INSTALLATION.



NOTES:
DO NOT TRIM EVERGREENS
CONTRACTOR SHALL VERIFY PERCOLATION OF PLANTING BED PRIOR TO INSTALLATION.



REMOVE BURLAP FROM TOP 1/3 OF BALL, REMOVE ALL PLASTIC WRAP, FABRIC, AND ROT PROOF WRAP

SET BALL ON UNDISTURBED SOIL OR ON 8" COMPACTED SUBGRADE

MULCH AND ROOTBALL DIRT SHALL BE PULLED AT LEAST 6" AWAY FROM THE ROOT FLARE

DO NOT CUT LEADER

NOTE: TOP OF BALL TO BE SET FLUSH WITH FINISH GRADE
CONTRACTOR SHALL VERIFY PERCOLATION OF PLANTING BED PRIOR TO INSTALLATION.

2 PLY REINFORCED RUBBER HOSE, POSITIONED DIRECTLY ABOVE FIRST BRANCH

3 GUY'S PER TREE
12 GA. GAL. DOUBLE STRAND, TWISTED GUYING WIRE, 120° APART

GUY WIRE FLAG
TREE WRAP
3" MIN. SHREDDED BARK MULCH
3" EARTH SAUCER

2"x2"x30" GUYING STAKE
PLANTING MIXTURE

REMOVE BURLAP FROM TOP 1/3 OF BALL, REMOVE ALL PLASTIC WRAP, FABRIC, AND ROT PROOF WRAP

SET BALL ON UNDISTURBED SOIL OR ON 8" COMPACTED SUBGRADE

MULCH AND ROOTBALL DIRT SHALL BE PULLED AT LEAST 6" AWAY FROM THE ROOT FLARE

LANDSCAPE GENERAL NOTES:

1. ALL PLANTS SHALL BE NORTH MIDWEST AMERICAN REGION GROWN, NO. 1 GRADE PLANT MATERIALS, AND SHALL BE TRUE TO NAME, FREE FROM PHYSICAL DAMAGE AND WIND BURN.
2. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
3. PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY, VIGOROUS GROWING CONDITION.
4. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST TWO (2) YEARS FOLLOWING CITY APPROVAL.
5. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.
6. PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON SITE. SOIL SHALL BE SCREENED AND FREE OF ANY DEBRIS, FOREIGN MATERIAL, AND STONE.
7. "AGRIFORM" TABS OR SIMILAR SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANTING PITS BEFORE BEING BACKFILLED.
8. AMENDED PLANTING MIX SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND AND 1/3 COMPOST, MIXED WELL AND SPREAD TO THE DEPTHS INDICATED IN PLANTING DETAILS.
9. ALL PLANTINGS SHALL BE MULCHED PER PLANTING DETAILS LOCATED ON THIS SHEET.
10. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN ON THE LANDSCAPE DRAWINGS AND SPECIFICATIONS.
11. NO SUBSTITUTIONS OR CHANGES OF LOCATIONS, OR PLANT TYPES SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
12. THE CITY OF NOVI'S LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
13. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
14. THE ARCHITECT SHALL HAVE THE RIGHT, AT ANY STAGE OF THE INSTALLATION, TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS, IF REQUESTED BY THE OWNER.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING PLANT QUANTITIES TO ENSURE QUANTITIES ON DRAWINGS AND PLANT LIST ARE THE SAME. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES ON THE PLANS SHALL PREVAIL.
16. THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SO (AS INDICATED ON THE PLANS) ALL AREAS DISTURBED DURING CONSTRUCTION, THROUGHOUT THE CONTRACT LIMITS.
17. A PRE-EMERGENT WEED CONTROL AGENT, "PREEM" OR EQUAL, SHALL BE APPLIED UNIFORMLY ON TOP OF ALL MULCHING IN ALL PLANTING BEDS.
18. ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN UNDERGROUND AUTOMATIC SPRINKLER SYSTEM
19. SOD SHALL BE TWO YEAR OLD "BROWN/CHERIEADPH" KENTUCKY BLUE GRASS GRASS IN A SOD NURSERY ON LOAM SOIL.

CITY OF NOVI NOTES:

1. ALL LANDSCAPED ISLANDS SHALL BE BACKFILLED WITH A SAND MIXTURE TO FACILITATE DRAINAGE.
2. ALL PROPOSED LANDSCAPE ISLANDS SHALL BE CURBED EXCEPT WHERE WAIVER IS GRANTED.
3. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AN APPROVED PLAN FOR WATERING.
4. ANY REQUIRED RELOCATING OF OVERHEAD UTILITY LINES AND ASSOCIATED POLES ARE TO BE RELOCATED AS DIRECTED BY DTE.
5. EVERGREEN AND CANOPY TREES SHALL BE PLANTED A MINIMUM OF 10' FROM A FIRE HYDRANT, AND MANHOLE, MINIMUM 15' FROM ALL OVERHEAD WIRES.
6. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEARS AFTER CITY APPROVAL AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO THE CITY OF NOVI STANDARDS. REPLACE FAILING MATERIAL WITHIN THREE (3) MONTHS OF DISCOVERING THE NEED OF REPLACEMENT. ONE CULTIVATION PER MONTH SHALL OCCUR IN JULY THROUGH AUGUST.
7. ALL PROPOSED STREET TREES SHALL BE PLANTED A MINIMUM OF 4' FROM BOTH THE BACK OF THE CURB AND PROPOSED WALKS.
8. ALL TREE AND SHRUB PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO MINIMUM DEPTH OF 4".
9. ALL LAWN AREA TREES SHALL HAVE A 4 FOOT DIAMETER CIRCLE OF SHREDDED HARDWOOD MULCH 3" AWAY FROM THE TRUNK.
10. ALL PERENNIAL, ANNUAL AND GROUND COVER BEDS SHALL RECEIVE 2" OF DARK, COLORED BARK MULCH AS INDICATED ON THE PLANT LIST.
11. ALL MULCH IS TO BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND SHALL CONTAIN NO PIECES OF INCONSISTENT SIZE.
12. ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO THE INSTALLATION.
13. THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPING WILL BE IN THE FALL OF 2024.
14. THE SITE WILL BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.
15. THE OWNER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.
16. PLANT MATERIALS SHALL BE GUARANTEED FOR TWO (2) YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY OF NOVI ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THE WARRANTY PERIOD.

06/03/24 Final Meeting Revisions
04/22/24 Preliminary/Final Meeting
Date: Issued For:

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Project Number: 2021 - 16
Sheet Title:
**LANDSCAPE
DETAILS**

Sheet Number:
L2.60

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NOTE:
1. ALL TREES ARE TO BE MULCHED TO A MINIMUM OF 3"
2. ALL SHRUBS AND GROUND COVERS TO BE MULCHED A MINIMUM OF 2"

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

WADE ONE / HELIOS

JSP 24-05

March 5, 2025

PETITIONER

Integrity Building Group

REVIEW TYPE

Revised Combined Preliminary and Final Site Plan and Special Land Use consideration

PROPERTY CHARACTERISTICS

Section	15	
Site Location	45241 Grand River Avenue; 50-22-15-351-012	
Site School	Novi Community School District	
Site Zoning	I-1 Light Industrial	
Adjoining Zoning	North	I-1 Light Industrial
	East	I-1 Light Industrial
	West	I-1 Light Industrial
	South	RA Residential Acreage and R-4 One Family Residential
Current Site Use	Vacant	
Adjoining Uses	North	Premier Locations
	East	Little Valley Homes
	West	Sherwin Williams
	South	Residential and City-owned property with wetland
Site Size	7.61 acres	
Plan Date	June 3, 2024	

PROJECT SUMMARY

The applicant had previously proposed operating two separate businesses out of an existing industrial building. The site plan and special land use request was presented at the Planning Commission meeting held on July 24, 2024. At that time, the applicant was not available to attend the meeting, so the matter was not discussed.

A new request for Special Land Use consideration is that a single operator will occupy the building. Helios is a company that manufactures stone-cutting equipment and assembly/shipping of purchased equipment. There is no change in the number of employees or persons using the building, and the back building will continue to remain vacant. The same parking improvements are proposed to provide easier access to the rear of the site for loading and unloading purposes.

RECOMMENDATION

Approval of the revised Special Land Use and combined Preliminary and Final Site Plan is recommended by Planning Staff. The plan mostly complies with the ordinance requirements. Fire now recommends approval of the PSP-FSP. Engineering, Landscape, and Façade recommended approval of the initial submittal. Traffic now recommends approval of both Preliminary and Final site plans. There is a remaining unsupported landscape waiver that needs to be addressed in a response letter and on the next submittal.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the City of Novi Zoning Ordinance and any other applicable provisions of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address any items in **bold** with the next review.

1. Noise Impact Statement (Sec. 4.45): When select I-1 uses abut residential, a Noise Impact Statement shall be provided subject to Section 5.4.10.B. The noise impact statement or noise analysis shall demonstrate that the completed structure and all activities associated with the structure and land use will comply with the standards set forth in Table 5.14.10.A.ii (below) at all times. Noise Impact Statement provided and the expected outdoor decibel is 47 db. *It may be beneficial to have a representative from Wade One attend the Planning Commission meeting in case there are questions from the Commissioners regarding the equipment.*

5.14.10.A.ii Weighted Sound Level Limit Decibels			
Receiving Zoning Districts			
R-1, R-2, R-3, R-4, RT, RA, RM-1, RM-2, MH		NCC, B-1, B-2, B-3, EXPO, EXO, OS-1, OSC, TC, TC-1, RC, FS, C, I-1, I-2, P-1, PSLR	
Night Time Hours Decibels	Day Time Hours Decibels	Night Time Hours Decibels	Day Time Hours Decibels
55	60	70	75

2. Planning Commission Findings (Sec. 3.14.3): As part of the Planning Commission review of the Preliminary Site Plan, they shall consider the scale, size, building design, façade materials, landscaping, lighting, noise, vibration, odor, truck delivery, and activity of the site. **This shall be a condition of Planning Commission approval.**
3. Landscape Waivers (5.5.3.C): There remains an unsupported landscape waiver from the previous Landscape review dated May 16, 2024:
 - a. The required interior area and trees are not provided in either the front or rear lots. This requires a landscape waiver.
 - b. *It is supported by staff for the upper parking lot because the existing condition is being improved with the addition of two interior islands and trees.*
 - c. *It would be supported for the lower parking lot if the required perimeter trees are added, but not if they are not*

Please add the requested perimeter trees around the lower lot.

4. End Islands (Sec. 5.3.12): End islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. They shall generally be at least eight feet wide, have an outside radius of 15 feet, and be constructed three feet shorter than the adjacent parking stall. *Raised end islands have been revised. Painted end islands behind the building will require a waiver from the Planning Commission, which has been acknowledged by the applicant.*

5. Special Land Use Considerations for I-1 Sites Adjacent to Residential Districts (Sec. 6.1.2.C):
 - a. Traffic Circulation and Safety: The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, etc. *Traffic recommends approval*
 - b. Public Services and Utilities: The proposed use will not cause any detrimental impact on the capabilities of public services and facilities. *Minimal changes to existing site layout*
 - c. Natural Features: the proposed use is compatible with the natural features and characteristics of the land. *No regulated woodlands or wetlands being impacted*
 - d. Impact on Surrounding Neighborhoods: the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property. *Building is a considerable distance away from abutting residential. Applicant provided Noise Impact Statement.*
 - e. Master Plan for Land Use: The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use. *Promotes the attraction of new businesses to the City.*
 - f. Social and Economic Impact: The proposed use will promote the use of land in a socially and economically desirable manner: *Promotes the attraction of new businesses to the City.*
 - g. Zoning Ordinance and Land Use: The proposed use is listed among the provision of uses requiring special land use review. *Warehousing, manufacturing, and industrial office and sales listed among the uses.*
6. Signage: For sign permit information please contact Ordinance Enforcement at 248-735-5678 or ordinanceenforcement@cityofnovi.org in the Code Compliance Division for more information.
7. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering recommended approval of the Preliminary Site Plan with comments to be addressed on the Electronic Stamping Set submittal. Although not conducting a formal review, the project Engineer had the following comments to address:
 - a. Only add proposed materials to the C2.11 table; include sidewalk, concrete pad, and end islands
 - b. Concrete pad plan view detail still shows 6" slab instead of 8"; section view is correct with the 8" on 8" though
 - c. Add note on C2.11 that end islands are proposed
Show top of pavement spot elevations alongside the toc elevations to ensure 6" curb around the end islands
 - d. Make a blow up of the proposed to existing sidewalk connection north of the building to ensure the grades/elevations match and are ADA compliant. Or add a note that proposed sidewalk shall meet existing elevations/grades and ADA standards where they meet.
 - e. Only include proposed signs in the C2.11 signing table
 - f. No NPDES permit needed
- b. Landscape Review: Landscape recommended approval of the combined Preliminary and Final Site Plan, contingent on the applicant making the necessary correction as stated in the Landscape review letter to remove the one unsupported waiver. **Please be sure to review the Landscape review letter and address the unsupported waiver in your response letter and on the Electronic Stamping Set.**
- c. Traffic Review: Traffic is recommending approval of the Preliminary Site Plan and Final Site Plan, with comments to be addressed on the Electronic Stamping Set.
- d. Facade Review: Façade recommended approval of the combined Preliminary and Final Site Plan, noting that the building has received prior Section 9 façade waivers.

- e. Fire Review: Fire is recommending approval the combined Preliminary and Final Site Plan.
- f. Woodland Review: Woodland recommended approval of the combined Preliminary and Final Site Plan, with comments to be addressed in the next submittal.

NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER

The Special Land Use and Preliminary Site Plan are required to go before the Planning Commission at a Public Hearing. The next available Planning Commission meeting is March 12, 2025 and the Public Hearing has been advertised for that meeting. Please submit the following by March 5, 2025 in order for staff to include this information with the Planning Commission's packet.

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.

FUTURE STEP: ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets. Please note that any off-site easements will need to be approved prior to Stamping Set approval.

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

FUTURE STEP: PRE-CONSTRUCTION MEETING

A Pre-Construction meeting may be required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or dcommer@cityofnovi.org.

Dan Commer

Dan Commer, AICP | Planner



PLANNING REVIEW CHART: I-1 Light Industrial Zoning District

Review Date: March 6, 2025

Review Type: Revised Combined Preliminary and Final Site Plan

Project Name: JSP24-05 Wade One - Helios

Location: 50-22-15-351-012

Plan Date: June 3, 2024

Prepared by: Dan Commer, Planner

email: dcommer@cityofnovi.org ; **Phone:** (248)-735-5607

Items in **Bold** need to be addressed by the applicant prior to the approval of the Planning Commission Meeting. Items underlined need to be addressed prior to the approval of the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Industrial Research Development and Technology	No change to existing zoning	Yes	
Area Study	The site does not fall under any special category		NA	
Zoning <i>(Effective Jan 8, 2015)</i>	I-1 Light Industrial Zoning District	No change to existing zoning	Yes	
Uses Permitted <i>(Sec 3.1.18.B & C)</i>	Sec 3.1.18.B Principal Uses Permitted. Sec 3.1.18.C Special Land Uses Section 4.45	The site is abutting residential to the south, so certain uses are Special Land Uses, including: <ul style="list-style-type: none"> • Manufacturing • Laboratory testing • Industrial office sales The following use is permitted if the site does not abut residential: <ul style="list-style-type: none"> • Storage of building material (e.g. stone) Industrial office sales called out as proposed use	Yes	
Administrative Approval <i>(Sec. 6.1.C.vii.b)</i>	A project qualifies for administrative approval if the site is already the subject of an existing and	previously approved site plan; no building changes	NA	<i>This project does not qualify for administrative approval since the use will require Special Land Use</i>

Item	Required Code	Proposed	Meets Code	Comments
	<p>previously approved site plan and proposes an addition between 1,000 square feet and 10,000 square feet when the proposed addition is less than 10% of the gross floor area of an existing non-residential building and when the building is located on a parcel more than 500 feet away from any residential zoning district</p>			<p><i>approval</i></p>
<p>Noise Impact Statement (Sec. 4.45 and Sec. 5.4.10.B)</p>	<p>Required for select I-1 uses when they abut residential. The noise impact statement or noise analysis shall demonstrate that the completed structure and all activities associated with the structure and land use will comply with the standards set forth in Table 5.14.10.A.ii at all times.</p> <p>Noise Impact Statement. The Noise Impact Statement shall be prepared by a design professional and include a description of the proposed use as well as a description of how the proposed noise emissions, if any, will comply with Section 5.14.10.A. The design professional shall be defined as the project architect or project engineer. All external and internal equipment that generates sound shall be noted and where available, manufacturer's specifications shall be provided. Hours of operation and any proposed soundproofing measures or other noise</p>	<p>Noise impact statement included – expected outdoor decibel level to be 47</p>	<p>Yes</p>	

Item	Required Code	Proposed	Meets Code	Comments
	attenuation features (i.e. walls, berms, etc.) shall be noted. Based on the results of the Noise Impact Statement, a noise analysis may be required.			
Height, bulk, density, and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Grand River Avenue	Yes	
Access to Major Thoroughfare (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Access to Grand River Avenue	Yes	
Minimum Zoning Lot Size and Lot width (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	NA	NA	
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)		Yes	
Building Height (Sec. 3.1.12.D)	30 ft.	Approximately 35 ft.	No	Existing condition
Building Setbacks (Sec 3.1.12.D)				
Front (north)	40 ft.	186 ft.	Yes	
Exterior Side (east)	20 ft.	20 ft. 7 in.	Yes	
Side (west)	20 ft.	49 ft. 1 in.	Yes	
Rear (south)	20 ft.	165 ft.	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (north)	20 ft.	75 ft	Yes	
Exterior Side (east)	10 ft.	0 ft		
Side (west)	10 ft.	Complies	Yes	
Rear (south)	10 ft.	323 ft.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.		NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking is allowed in the front yard if:			
	Minimum 2 acre site	Complies	Yes	
	Does not extend into minimum required front yard	Complies	Yes	
	Cannot occupy more than 50% of the area between min. front yard setback and bldg.. setback	Complies	Yes	
	Must be screened by brick wall or landscaped berm 2.5 ft. tall	Existing condition	Yes	
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking is allowed in side and rear yards if the site does not abut residential. If it does, additional conditions apply: i. Shall not occupy more than 50% of side yard area abutting residential ii. Parking setback no less than 100 feet from res district	Property abuts residential in the rear – complies with additional conditions	Yes	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No impact to wetland buffer	NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			
Parking, Loading, and Dumpster Requirements				

Item	Required Code	Proposed	Meets Code	Comments
Number of Parking Spaces (Sec. 5.2.12.E)	Industrial Establishments & Related Offices: 1 space per 700 sf usable floor area OR 5 spaces + 1 space for each 1.5 employees in the largest working shift, whichever is greater. 23,598 / 700 sf = 34 spaces required	34 spaces provided	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two-way drives	Rear parking area has sufficient maneuvering land	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than 25 feet from the street right-of-way line, street easement or sidewalk, whichever is closer	Existing	Yes	
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	New curbed end islands proposed in the front parking area Painted end islands and waiver requested for parking area in the rear	Yes	<i>Waiver requested for painted end islands</i>
Barrier Free Spaces Barrier Free Code (2012 Michigan Building Code)	- 2 standard spaces required	Provided; Applicant indicates that the building inspector requested the barrier free space on the west side of the site	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	Provided	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signage detail included	Partially	See Traffic review letter
Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i>	No expansion of use so not required per the Ordinance	Bicycle parking shown	Yes	
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	<p>Appears to be within 120 feet from the ADA entrance</p> <p>Accessible via 6 ft sidewalk, except for existing walk along building</p>	Yes	
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	<p>Parking space width: 6 ft.</p> <p>One tier width: 10 ft.</p> <p>Two tier width: 16 ft.</p> <p>Maneuvering lane width: 4 ft.</p> <p>Parking space depth: 2 ft. single, 2 ½ ft. double</p>	Appears to comply. Layout not provided	Yes	<p>See Traffic Review letter</p> <p>Administrative variance for deficient bicycle parking space would be granted since bicycle parking is not required but is being provided</p>
Loading Spaces <i>(Sec. 5.4.2)</i>	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Existing	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Dumpster details provided	Yes	
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Dumpster details provided	Yes	
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	No exterior lighting proposed	NA	
Roof top appurtenances Screening (Sec. 4.19.2.E.i)	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Existing rooftop appurtenances and screening	Yes	
Roof top appurtenances height (Sec. 4.19.2.E.ii)	Roof top appurtenances, including mechanical and electrical equipment, shall not exceed the maximum permitted building height limits, unless the following conditions are met. For	Existing rooftop appurtenances and screening	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	every one foot that a roof top appurtenance exceeds the maximum district building height, it shall be setback five feet from any and all building faces. No roof top appurtenance shall exceed five feet above the maximum district building height			
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No new equipment proposed	Yes	No rooftop equipment or wall mounted utility equipment proposed at this time; if new rooftop equipment is proposed, please indicate on future submittal and ensure compliance with screening requirements
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- 8-foot sidewalk required along Grand River - Internal sidewalks must be a minimum of 5 feet	Existing	Yes	
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	New 6' sidewalk proposed connecting barrier free parking and bicycle parking to entrance	Yes	
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Provided	Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	Provided	Yes	
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Ordinance Enforcement at 248-735-5678.</u>
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names does not require approval.	NA	
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	No exterior light changes proposed	NA	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall 		NA	

Item	Required Code	Proposed	Meets Code	Comments
	be permitted after a site's hours of operation			
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred		NA	
Average light levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1		NA	
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	Not provided	NA	
	Loading & unloading areas: 0.4 min		NA	
	Walkways: 0.2 min		NA	
	Building entrances, frequent use: 1.0 min		NA	
	Building entrances, infrequent use: 0.2 min		NA	
NOTES:				
<ol style="list-style-type: none"> This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals. 				

Additional Comments:

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

05/22/24

Engineering Review

Wade One/Noble Gas PSP/FSP
JSP24-0005

APPLICANT

Integrity Building Group

REVIEW TYPE

Preliminary/Final Site Plan

PROPERTY CHARACTERISTICS

- Site Location: East of Taft Rd. and south of Grand River Ave.
- Site Size: 7.61 acres
- Plan Date: 04/22/2024
- Design Engineer: StudiozONE

PROJECT SUMMARY

- Minor pavement work proposed.
- No changes proposed to existing drinking water well on-site.
- No changes proposed to existing sanitary sewer on-site.
- No changes proposed to existing stormwater management plan.

RECOMMENDATION

Approval of the Preliminary/Final Site Plan is recommended, with items to be addressed at Electronic Stamping Set submittal.

Comments:

The Preliminary/Final Site Plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Electronic Stamping Set submittal:

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
3. Clearly distinguish between proposed improvements and existing features of the site.
4. The [Non-Domestic User Survey Form](#) for sanitary sewer flow shall be submitted to the City so it can be forwarded to Oakland County.
5. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
6. At the pre-application meeting, it was discussed that the 6" sump was removed. Additionally, the checklist comments also mention its removal. However, it is still shown on C2.10/11/14. Please revise these sheets to reflect if the sump is still in place or not.

Storm Sewer

7. The checklist mentions that there is no manhole connecting the storm system north/east of the building and the 30" storm main. If this is true, please revise the utility plans with the correct location of the building's storm system connection to the storm main to the south.

Paving & Grading

8. The concrete quantities for the dumpster pad and proposed ADA sidewalk on the north side of the building are not listed in the cost estimate.
9. Verify if the sidewalk directly north of the existing building with the ADA sidewalk curb cut is proposed or existing. It does not currently have a "5" or "8" label on it like the sidewalk proposed to the west side of the building, so for now I assumed it is existing.
10. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
11. Revise Dumpster Pad details to meet city standards, 8" concrete on 8" 21 AA aggregate base. Note: Dumpster pad shall extend minimum 10' beyond dumpster enclosure.
12. Revise the pathway cross-section to indicate a maximum cross-slope of 2%. Add the maximum 2-percent cross-slope to the sidewalk detail.
13. Provide spot elevations at the intersection of the proposed pathway with the existing pathway.

14. Detectable warning plates are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for detectable surfaces.
15. Label specific ramp locations on the plans where the detectable warning surface is to be installed.
16. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.
17. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
18. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
19. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms. Numerous areas appear to exceed this standard.
20. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
21. Revise the on-site road cross-section to 1.5 inches of MDOT 5E1 on 2.5 inches of MDOT 3C on 8 inches of 21AA [limestone only if within 100 feet of a watercourse] aggregate base.
22. Provide spot grades along property lines adjacent to perimeter curb at 5-foot intervals to demonstrate site drainage is self-contained.
23. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 10' wide, 3' shorter than adjacent 19' stall).
24. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided.
25. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
26. Dimensions of parking stalls abutting a curb or sidewalk are to the face of curb or walk. All other dimensions are to back of curb unless otherwise indicated.

Soil Erosion and Sediment Control

27. An SEESC permit is required. A full review has not been completed at this time. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

The following must be submitted with the Electronic Stamping Set:

28. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
29. Due to the above comments, the itemized construction cost estimate should be revised and resubmitted to the Community Development Department for the determination of plan review and construction inspection fees.

The following must be addressed prior to construction:

30. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
31. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
32. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
33. Construction inspection fees in the amount of **\$3,850** must be paid to the Community Development Department. ****fees are subject to change.**
34. A street sign financial guarantee in the amount of **\$1,200** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
35. A traffic control inspection fee of **\$TBD** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
36. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
37. An NPDES permit must be obtained from EGLE since the site is over 5 acres in size. EGLE may require an approved SESC plan to be submitted with the Notice of Coverage.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

38. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
39. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.

Prior to preparing stamping sets, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval send revised sheets directly to Engineering for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Ben Nelson at (248)735-5643 or email at bnelson@cityofnovi.org with any questions.

Benjamin Nelson

Ben Nelson,
Project Engineer

cc: James Hill, Community Development
Angela Sosnowski, Community Development
Diana Shanahan, Planning Assistant
Tina Glenn, Treasurers
Kristin Pace, Treasurers
Humna Anjum, Engineering
Ben Croy, City Engineer
T. Meadows, H. Demers, T. Reynolds; Spalding DeDecker

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
March 6, 2025
Wade One and Noble Gas
Revised Preliminary/Final Site Plan - Landscaping

Review Type

Preliminary/Final Site Plan Landscape Review

Job #

JSP24-0005

Property Characteristics

- Site Location: 44241 Grand River Ave.
- Site Acreage: 7.61 ac.
- Site Zoning: I-1
- Adjacent Zoning: North, East, West: I-1; South: R-A/R-4
- Plan Date: 6/3/2024

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

RECOMMENDATION:

This project is **recommended for approval, contingent on the applicant correcting the plans per the comments below to remove or improve on the unsupported waiver.** The remaining changes required can be made on the revised final site plans.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Lack of greenbelt berm – *supported by staff*
- Deficiency in interior parking lot landscape areas and trees – *supported by staff*
- Deficiency in parking lot perimeter trees – *not supported by staff for the south lot*
- Lack of accessway perimeter trees along east side of building – *supported by staff*
- Deficiency in building foundation landscaping – *supported by staff*

Please add the required parking lot perimeter trees to remove the need for the unsupported waiver.

PLEASE ADD THE CITY PROJECT NUMBER, JSP24-0005, TO THE BOTTOM RIGHT CORNER OF THE SET COVER SHEET.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2)).

1. Tree survey is provided.
2. Wetland survey is not provided. **Please add a wetland survey to the plan set.**
3. No regulated trees are proposed for removal so no replacements are required.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residentially zoned property to the south.
2. The existing berm and landscaping along the south edge of the property is being enhanced with additional evergreen trees.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The site does not currently have the required berm, nor is one proposed. **This requires a landscape waiver.** As existing trees would need to be removed in order to add the berm, and a hedge is proposed to screen the parking lot from Grand River, this waiver is supported by staff.
2. The required greenbelt trees are provided.
3. No street trees are proposed because there isn't room for them in the right-of-way.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior area and trees are not provided in either the front or rear lots. This requires a landscape waiver.
2. *It is supported by staff for the upper parking lot because the existing condition is being improved with the addition of two interior islands and trees.*
3. *It would be supported for the lower parking lot if the required perimeter trees are added, but not if they are not.*
4. **The required perimeter trees are provided for the upper lot but not the lower lot. This requires a landscape waiver.** *If the applicant keeps the existing cottonwood at the southwest corner of the lot, adds another canopy tree south of the lot and moves the proposed maple south 10-15 feet to shade more of the lot, the waiver would be supported by staff.*
5. **A landscape waiver to not provide accessway perimeter trees or parking lot perimeter trees on the east side of the east access drive and parking lot is required.** *It is supported by staff because there is no room for trees there.*
6. Subcanopy trees serving as parking lot perimeter trees must be changed to canopy trees.

Foundation Landscaping (Zoning Sec 5.5.3.D)

1. The required landscaping is not provided in terms of area or percentage of frontage facing Grand River that is landscaped.
2. **This requires a landscape waiver.** *It is supported by staff because the building is not being enlarged or changed, and the existing conditions do not include significant landscaping.*
3. Additional plants are proposed for the only landscape area on the front of the building, which adds to the support.

Plant List (LDM 4, 10)

1. 8 of 10 species proposed (80%) are native to Michigan.
2. The tree diversity is satisfactory.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No above-ground detention is proposed.
2. If any above-ground detention is required, the required detention basin landscaping must be provided.

Irrigation (LDM 10)

1. If an irrigation system is used, a plan for it must be provided with Final Site Plans.

2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY/FINAL SITE PLAN

Review Date: March 6, 2025
Project Name: JSP24-0005: Wade One and Noble Gas
Project Location: 45241 Grand River
Plan Date: June 3, 2024
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Lack of greenbelt berm – *supported by staff*
- Deficiency in interior parking lot landscape areas and trees – *supported by staff*
- Deficiency in parking lot perimeter trees – *not supported by staff for south parking lot*
- Lack of accessway perimeter trees along east side of building – *supported by staff*
- Deficiency in building foundation landscaping – *supported by staff*

GENERAL NOTE:

Please add the city project number, **JSP24-0005**, to the bottom right corner of the cover sheet.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Landscape Plan: <ul style="list-style-type: none"> • Label says 1" = 40' • Bar says 1" = 50' Drawing appears to be done at 1"=40'	TBD	Please correct the scale to be correct and consistent.
Project Information <i>(LDM 2.d.)</i>	Name and Address	Business name and address are on the Cover Sheet and title block	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Business name and location map are on the Cover Sheet and title block	Yes	
Landscape Architect contact information <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Architect John Biggar created the landscape plan	Yes	

Item	Required	Proposed	Meets Code	Comments
Sealed by LA. <i>(LDM 2.g.)</i>	Requires original signature	Copy of John Biggar's seal and signature provided	Yes	<u>Signature required on final stamping sets</u>
Miss Dig Note <i>(800) 482-7171</i> <i>(LDM.3.a.(8))</i>	Show on all plan sheets	Yes	Yes	
Zoning <i>(LDM 2.f.)</i>	Include all adjacent zoning	Site: I-1 North, East and West: I-1 South: RA and R-4 Shown on L2.10	Yes	
Survey information <i>(LDM 2.c.)</i>	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	Sheet 2	Yes	
Existing plant material Existing woodlands or wetlands <i>(LDM 2.e.(2))</i>	<ul style="list-style-type: none"> • Show location type and size. Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Tree survey is provided on Sheet L-2.12 • Woodlands are indicated conceptually at the southeast corner of the project area and the southwest corner of the site, well outside of the project area. • Wetlands appear to be shown on several sheets but when the delineation was done is unclear. • No trees are shown as being removed 	<ul style="list-style-type: none"> • Yes • Yes • TBD • Yes 	Please clearly label the wetland and indicate when it was delineated and who did it
Soil types <i>(LDM.2.r.)</i>	<ul style="list-style-type: none"> • As determined by Soils survey of Oakland county • Show types, boundaries 	Sheet L2.10	Yes	
Existing and proposed improvements <i>(LDM 2.e.(4))</i>	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> • No external building changes are proposed. • Some expansion of the south accessway is proposed. • An additional ramp is proposed on the west end 	Yes	

Item	Required	Proposed	Meets Code	Comments
		of the front of the building is proposed		
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts 	<ul style="list-style-type: none"> Sheet C2.13 No new utilities are proposed 	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> Sheet C2.12 No grading changes are proposed 	Yes	
Snow deposit (LDM.2.g.)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site is adjacent to residential property on the south and southwest.	<ul style="list-style-type: none"> An existing berm with some landscaping is along the south edge of the property. Seven white spruces are proposed along the south berm to provide additional screening 	Yes	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No new walls are proposed.	NA	If any walls are proposed please include them on the landscape plan.
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	25 feet	40 feet	Yes	
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	3-foot-wide crest	<ul style="list-style-type: none"> No berm exists or 	No	1. A landscape waiver

Item	Required	Proposed	Meets Code	Comments
		is proposed <ul style="list-style-type: none"> A hedge is proposed to help screen the parking lot. 		is required for the deficiency. 2. It would be supported by staff as existing trees would need to be removed to add the berm.
Minimum berm height (9)	3-foot minimum height	See above	Yes	See above
3' wall	(4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> Adj to pkg: 1 tree per 40 lf Not adj to pkg: 1 tree per 60 lf Adj: 120lf/40 = 3 trees Not adj: 95lf/60 = 2 trees 	<ul style="list-style-type: none"> Adj: 2 existing trees + 1 new canopy tree Not adj: 3 existing trees 	<ul style="list-style-type: none"> Yes Yes 	
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> Adj to pkg: 1 tree per 35 lf Not adj to pkg: 1 tree per 40 lf Adj: 120lf/35 = 3 trees Not adj: 95lf/40 = 2 trees 	<ul style="list-style-type: none"> Adj: 3 existing trees Not adj: 1 existing tree + 2 new trees 	<ul style="list-style-type: none"> Yes Yes 	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	There is no available room for street trees in the Grand River ROW so these trees are not required.	0 trees	Yes	
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Constructed of loam 6" top layer of topsoil 	No berms are proposed		
Type of Ground Cover		NA		
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No landscaping is proposed	TBD	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Prairie seed mix is proposed	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per 	Two new islands are proposed	Yes	Please widen them to 10 feet wide measured at the back of curb, and

Item	Required	Proposed	Meets Code	Comments
	tree planted in island • 6" curbs • Islands minimum width 10' BOC to BOC			shorten each end of the islands by 3 feet per the city standard.
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 20 feet long	No	1. Spaces could be shortened to 19' if spaces have 2' of overhang available and 19' for the interior spaces. 2. Please show curbs for interior islands.
Contiguous space limit (i)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaced All endcap islands should also be at least 200sf with 1 tree planted in it. 	The longest bay is 9 spaces	Yes	
Plantings around Fire Hydrant (d)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants or utility structures (manholes, catch basins). Trees also need to have at least 5 feet between the trunk and underground utility lines. 	No plant/utility conflicts are noted	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	The Road Commission for Oakland County (RCOC) clear vision zone is required for Grand River as it is their jurisdiction.	No proposed plantings will hinder sight vision along Grand River	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA		

Item	Required	Proposed	Meets Code	Comments
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\% = A \text{ sf}$ Front area: 26,359sf * 6% = 1,582 sf Lower area: 21,260sf * 6% = 1,276 sf	Calculations are provided	Yes	
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\% = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	$C = A + B$ Front area: 1582 + 0 = 1582sf Lower area: 1276 + 0 = 1276sf	Upper area: 622sf Lower area: 0 sf	<ul style="list-style-type: none"> • No • No 	<ol style="list-style-type: none"> 1. A landscape waiver is required for the shortages. 2. <i>If the upper area's islands are widened as noted above, and the perimeter trees are provided as noted below for the lower area, the waiver would be supported by staff as in improvement to the existing conditions.</i>
D = D/200 Number of canopy trees required	D=C/200 = xx Trees Upper area: 1582/200 = 8 trees Lower area: 1276/200 = 6 trees	Upper area: 2 trees Lower area: 0 trees	<ul style="list-style-type: none"> • No • No 	<ol style="list-style-type: none"> 1. A waiver would be required for both parking areas. 2. <i>It would be supported as an improvement in the look of the site from Grand River over the existing condition.</i>
Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)	1 Canopy tree per 35 lf Upper area: 455/35 = 13 trees Lower area: 355/35 = 10 trees	Upper area: 12 trees <ul style="list-style-type: none"> • 1 existing canopy • 1 existing evergreen • 1 existing subcanopy • 6 new canopy • 3 new subcanopy Lower area: 1 existing tree	<ul style="list-style-type: none"> • No • No 	<ol style="list-style-type: none"> 1. Add calculations for perimeter of each of the parking areas. 2. Please provide the required trees within 15 feet of the curb for both parking areas. 3. Perimeter trees can also be double-counted as deciduous canopy greenbelt trees. 4. Except for the

Item	Required	Proposed	Meets Code	Comments
				<p>existing tree, subcanopy trees cannot be used to meet this requirement. Please change the subcanopy perimeter trees to deciduous canopy trees.</p> <p>5. A landscape waiver would be required for a deficiency in trees provided. <i>It would be supported by staff for the upper level as the eastern 115 lf of perimeter does not have room for the 3 required trees. Note, with the waiver, only 10 perimeter trees are required for the upper level.</i></p> <p>6. <i>It would not be supported for the lower level. If the existing cottonwood at the southwest corner of the lower level is kept, the proposed maple is kept on the west side is still provided but moved 10-15 feet southward, and an additional canopy tree is added south of the lot, the waiver would be supported by staff.</i></p>
<p>Accessway perimeter parking</p>	<p>1 canopy tree per 35 lf of drives apart from parking areas</p> <ul style="list-style-type: none"> • Entry drives: $143/35 = 4$ trees • Drive along building: $244/35 = 7$ trees 	<ul style="list-style-type: none"> • Entry drives: 3 all of them are subcanopy trees • Drive along building: 0 trees 	<ul style="list-style-type: none"> • No • No 	<p>1. A landscape waiver is required for the deficiency in trees provided trees along the drive east of the building.</p> <p>2. <i>It would be supported by staff for the 7 trees along the building and 1 tree along the east side</i></p>

Item	Required	Proposed	Meets Code	Comments
				of the entry drive as there is not room for the required trees in those areas. 3. Please change the shadblows used to deciduous canopy trees.
Parking land banked	NA	None		
Other Landscaping				
Other Screening				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		No loading area is indicated	TBD	If the loading area is in the rear of the building, no screening will be required.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	No utility boxes shown	TBD	1. Provide proper screening for any transformers. 2. Include city standard detail with other landscape details.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. A minimum of 75% of the building should have foundation landscaping. xx lf x 8ft = xx SF 	Only 40lf of the building has foundation landscaping	No	1. As the building is not changing, no additional foundation landscaping is required. 2. A landscape waiver will be required for the deficiency in landscaping. It will be supported as an existing condition.
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	40/200lf (20%) of the building facing Grand River is landscaped.	No	See above
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level 	None proposed	TBD	If above-ground detention is required, please provide the required detention basin landscaping.

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> or pond bottom if it's a dry pond. • Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix 			
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> • Any and all populations of <i>Phragmites australis</i> and/or Japanese knotweed on the site shall be included on tree survey. • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	None indicated	TBD	<ol style="list-style-type: none"> 1. Please survey the site for any populations of <i>Phragmites australis</i> and/or Japanese knotweed and add plans for its complete removal if any is found. 2. If none is found, please indicate that on the survey.

LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS

Landscape Notes – Utilize City of Novi Standard Notes

Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> • Provide intended dates • Should be between March 15 and November 15. 	Fall 2024	Yes	<u>Please put a limit of late November on the planting period.</u>
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Both notes are included	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A method for providing the water required for plant establishment and long-term survival must be provided.	A note indicates that an irrigation system will be provided	Yes	<u>Need to provide the irrigation system plan in the final site plans.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		

Item	Required	Proposed	Meets Code	Comments
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 8 of 10 species used are native to Michigan The tree diversity is acceptable 	<ul style="list-style-type: none"> Yes Yes 	
Type and amount of lawn		Prairie seed is indicated	Yes	<u>Include on Landscape Plan</u>
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	<u>Please add a callout stating the mulch and rootball dirt shall be pulled at least 6" away from the root flare.</u>
Evergreen Tree		Yes	Yes	<u>See above</u>
Multi-stem Tree		Yes	Yes	<u>See above</u>
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	<ol style="list-style-type: none"> <u>Please include detail showing fence one foot outside of dripline.</u> <u>Show tree protection fence lines for all trees to be saved in the areas of work on a demolition plan or Soil Erosion Control Plan</u>
Other Plant Material Requirements (LDM 3)				

Item	Required	Proposed	Meets Code	Comments
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	No	No	<u>Please add note</u>
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	No trees will be removed	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No	No	
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	On plant list	Yes	
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No prohibited plants are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No	No	<u>Please clearly show all existing or proposed utility lines on the landscape plan.</u>
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	On planting details and notes	Yes	

NOTES:

- This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP24-05 – Wade One and Noble Gas Systems
 Revised PSP/FSP Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 June 25, 2024

CC:
 Lindsay Bell, James Hill, Heather Zeigler, Humna
 Anjum, Diana Shanahan, Adam Yako, Dan Commer

Memo

Subject: JSP24-05 – Wade One and Noble Gas Systems Revised Preliminary/Final Traffic Review

The combined revised preliminary and final site plan was reviewed to the level of detail provided and AECOM recommends **approval** of the preliminary and final site plan as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Integrity Building Group, is proposing parking lot improvements to an existing site.
2. The development is located on the south side of Grand River Avenue, east of Taft Road. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned I-1 (Light Industrial).
4. The following traffic related waiver has been requested by the applicant:
 - a. Painted end islands in rear area.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as the building footprint and use are not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are

listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	Existing indicated	N/A	No changes proposed.
2	Driveway Width O Figure IX.3	Existing indicated	N/A	No changes proposed.
3	Driveway Taper O Figure IX.11	Not indicated	N/A	No changes proposed.
3a	Taper length			
3b	Tangent			
4	Emergency Access O 11-194.a.19	Not indicated	N/A	No changes proposed.
5	Driveway sight distance O Figure VIII-E	Not indicated	N/A	No changes proposed.
6	Driveway spacing	Not indicated	N/A	No changes proposed.
6a	Same-side O 11.216.d.1.d			
6b	Opposite side O 11.216.d.1.e			
7	External coordination (Road agency)	Not indicated	N/A	No changes proposed.
8	External Sidewalk Master Plan & EDM	Existing indicated	N/A	No changes proposed.
9	Sidewalk Ramps EDM 7.4 & R-28-K	Not indicated	N/A	No changes proposed.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	12' x 37'	Met	
12	Trash receptacle ZO 5.4.4	Dumpster located in rear yard	Met	
13	Emergency Vehicle Access	2 access points	Met	Turning movements provided.
14	Maneuvering Lane ZO 5.3.2	Varies, 24' minimum	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Curbed end islands in front of site, painted end islands in rear of site	Met	Applicant requested a waiver for painted end islands at the rear of the site.
15b	Internal to parking bays	None required	N/A	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
16	Parking spaces ZO 5.2.12	20 visitor, 14 employee		See Planning review letter.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<15 parking spaces in one bay without an island	Met	
18	Parking space length ZO 5.3.2	20'	Met	Could reduce to standard 19' length.
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	No curb proposed in front of parking space, 6" curb at proposed end islands	Met	
21	Accessible parking – number ADA	2 required, 3 proposed (1 in rear of site)	Met	Review location of space on the west side of the site, it appears the entrance at the west side of the building is not an accessible entrance - The applicant indicated the building inspector requested the accessible space on the west side of site.
22	Accessible parking – size ADA	20' x 9' with 9' aisle	Met	Could reduce to standard widths for van accessible space and aisle (8' space with 8' aisle or 11' space with 5' aisle).
23	Number of Van-accessible space ADA	1 required, 2 proposed	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	None required, 2 proposed	Met	
24b	Location ZO 5.16.1	Indicated	Met	
24c	Clear path from Street ZO 5.16.1	6' required	Met	
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Located on 6' wide sidewalk	Not Met	Layout of bicycle parking shown in Text Amendment 18.301 requires 48 inches on either side of rack, current design is 36 inches. Verify with City if they would prefer the rack be removed or if an administrative variance could be provided. Also provide width dimension (7' required).

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
25	Sidewalk – min 5' wide Master Plan	6'	Met	
26	Sidewalk ramps EDM 7.4 & R-28-K	1 labeled	Met	Update R-28-H ramp detail with latest R-28-K version.
27	Sidewalk – distance back of curb EDM 7.4	N/A	-	
28	Cul-De-Sac O Figure VIII-F	N/A	-	
29	EyeBrow O Figure VIII-G	N/A	-	
30	Turnaround ZO 5.10	N/A	-	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Provided	Partially Met	Detail 4 on sheet C2.61 should show a separate R7-8p sign to be added for van accessible space and not just adding 2" lettering to the R7-8 sign.
33	Signing table: quantities and sizes	3 R7-8p and 2 R7-8 signs listed	Partially Met	There should be both a R7-8 and a R7-8p sign only at the van accessible spaces, quantity should be 3 R7-8 signs and 2 R7-8p sign. Also mislabeled on the site plan.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Indicated	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Indicated	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Indicated	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Indicated	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Indicated	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Indicated	Met	
40	Parking space striping notes	Indicated	Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
41	The international symbol for accessibility pavement markings ADA	Indicated	Met	
42	Crosswalk pavement marking detail	N/A	-	
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



May 16, 2024

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE**
Wade One and Noble Gas, JSP24-05
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth;

The following Façade Review is based on the drawings prepared Studiozone Detroit, Architects dated 4/22/24. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule are highlighted in bold.

	North (Front)	West	East	South	Ordinance Maximum (Minimum)
Brick (Existing cired clay tile)	59.0%	53.0%	53.0%	NA	100% (30%)
Ribbed Metal Panels (Equip. Screens)	9.0%	7.0%	7.0%	NA	0%
Flat Metal (Canopy, Trim & Truss)	7.0%	40.0%	40.0%	NA	50%
Painted C.M.U.	25.0%	0.0%	0.0%	NA	0%

This building received Section 9 Waivers for the above deviations from the Façade Ordinance on two prior projects. It appears that the applicant is not proposing any changes to the façade materials or colors at this time. It should be noted that if repainting of previously painted façade materials is proposed, the colors must be submitted and approved for consistency with Section 5.15.2. of the Façade Ordinance. In that case the applicant should provide color samples prior to the Planning Commission meeting.

Sincerely,
 DRN & Associates, Architects PC

Douglas R. Necci, AIA

FIRE REVIEW



June 11, 2024

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
James Hill – Plan Review Center
Heather Zeigler – Plan Review Center
Dan Commer – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

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Assistant Chief of Police
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Assistant Fire Chief
Todd Seog

RE: Wade One & Noble Gas Systems

PRE-APP 24-04
PSP# 24-0029

Project Description:

Renovations to existing building and property for new tenant(s).

Comments:

- **All fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1****
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 5/1/24 KSP** - Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5))**
- Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane – no parking" signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- **Received 6/11/2024 KSP**- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.

Recommendation:

Approved

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.
cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

WOODLAND REVIEW

May 15, 2024

James Hill
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to jhill@cityofnovi.org

Re: Wade One and Noble Gas Systems Woodland Review (JSP24-05)

Dear Lindsay,

Merjent, Inc. (Merjent) has conducted a review of the site plan for the Wade One and Noble Gas Systems Project (also identified as Grand Novi Storage; Project), prepared by Integrity Building and studiozONE (Applicant; rev. date 4/22/2024). Merjent reviewed the plan for conformance with the City of Novi’s (City) Woodland Protection Ordinance, Chapter 37. The Project is located on parcel 50-22-15-351-012 in Section 15 of the City of Novi, southeast of the intersection of Taft Road and Grand River Avenue (site). The site contains City-regulated woodlands and trees (**Figure 1**).

Woodlands

Woodland Recommendation: Merjent **recommends conditional approval** of the Wade One and Noble Gas Systems site plan subject to edits requested in comment six listed below. Additional Woodland Review comments have been provided in the event any changes to the site plan are proposed. The following Woodland Regulations apply to this site (based on the site plan dated 4/22/2024):

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	NO
Tree Replacement (Chapter 37, Section 37-8)	NO
Tree Protection (Fence; Chapter 37, Section 37-9)	YES
Woodland Conservation Easement (Chapter 37-30[e])	NO

Woodland Review Comments

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (**Figure 1**). Select photos from the site visits are included in **Attachment A**.
2. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement

and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.

3. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH.
4. The plan has proposed the removal of only one tree. A **Woodland Use Permit** is typically required to perform construction on any site containing regulated woodlands. However, due to the minimal impact proposed for this Project, it is Merjent’s opinion that the proposed Project qualifies as a *De Minimis activity* as defined under Section 37-28 (i.e., less than three trees larger than eight inches DBH are proposed for removal). Therefore, a **Woodland Use Permit** and Planning Commission approval for Woodlands are not required for this Project.
5. **Woodland Replacement.** Based on review of the plan, the following woodland replacements are currently required:

Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11	0	1	0
12-20	1	2	0*
21-29	0	3	0
30+	0	4	0
Multi-stem	0	Sum of Stem DBH/8 (rounded up)*	0
Total	1	-	0*

**De Minimis activity* removal of a dying *Ulmus pumila* tree does not require compensatory replacement.

The applicant has proposed the removal of a dying Siberian elm (*Ulmus pumila*), which is identified as Tree 3126 on the site plans. Due to the removal of a dying and non-native tree, the applicant will not need to replace the tree.

6. Prior to submitting finalized plans, the applicant should add the cost to stake, install, and remove the tree protection fencing to the Woodland Plan. Additionally, the location of the proposed tree fence should be identified or clarified if the edge of the woodland will be used as the fence location. Specifically, if Tree 3126 is proposed for removal, the applicant should identify on the plans how nearby trees will be protected.
 - a. A woodland fence guarantee of \$6,000 (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to tree removal. The woodland fence inspection will be performed by Merjent at a rate of \$140/hour. The Applicant is responsible for requesting this inspection.

The following comments are for informational purposes and are not required for Preliminary/Final Site Plan Approval:

7. If any changes are made to the site plan and more than three trees are proposed for removal, a replacement plan and cost estimate for the tree replacement will be necessary prior to final site plan approval by the City. Woodland replacement credits can be provided by:

-
- a. Planting the woodland tree replacement credits on-site.
 - b. Payment to the City of Novi Tree Fund at a rate of \$400/woodland replacement credit.
 - c. Combination of on-site tree planting and payment into the City of Novi Tree Fund (\$400/woodland replacement credit).

For tree replacement credits that will be planted on site, a financial guarantee of \$400/tree replacement credit is required to ensure the planting of the on-site woodland replacement credits. The financial guarantee will be released after trees have been planted and approved by the City of Novi. The applicant must request a tree planting inspection.

Woodland replacements shall be guaranteed for two growing seasons after the applicant's installation and the City's acceptance. A two-year maintenance bond in the amount of 25% of the value of the trees, but in no case less than \$1,000, shall be required to ensure the continued health of the trees following acceptance. Based on a successful inspection two years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection. See Chapter 26.5, Section 26.5-37 for additional information.

8. Based on a site visit performed on May 10, 2024, the trees depicted in the site plan for the parcel boundary are generally accurate and the tree survey matches what is within the parcel boundary. **However**, per Section 37-28, all such trees shall be identified in the field by the painting of identifying numbers in nontoxic paint of a white, yellow, or orange color, or by a tree identification tag affixed loosely with a single nail and should accompany a tree survey with matching numbers. Many of the trees onsite were not marked via any of the aforementioned methods. If additional tree removals are proposed, trees equal to or larger than eight inches DBH should be tagged in the field and accurately identified on site plans (with matching tags).

Multiple trees were reviewed utilizing Forestry Suppliers, Inc. DBH tape and multiple trees were found to be larger in DBH on-site than listed in the site plans. Additionally, Section 37-28 states that the plans should be signed by either a registered Landscape Architect, Certified Arborist, or Registered Forester. Because development is not planned in a woodland, the aforementioned items are not required but they are recommended to be addressed prior to final site plan approval.

Photographs of the site visit are enclosed in **Attachment A**. Select photos are included that compare approximate trees with values listed in the site plans.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant



Kyle Luther, MI Registered Forester # 47070
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Woodlands Map

CC:

Barb McBeth, City of Novi, bmcbeth@cityofnovi.org

Rick Meader, City of Novi, rmeader@cityofnovi.org

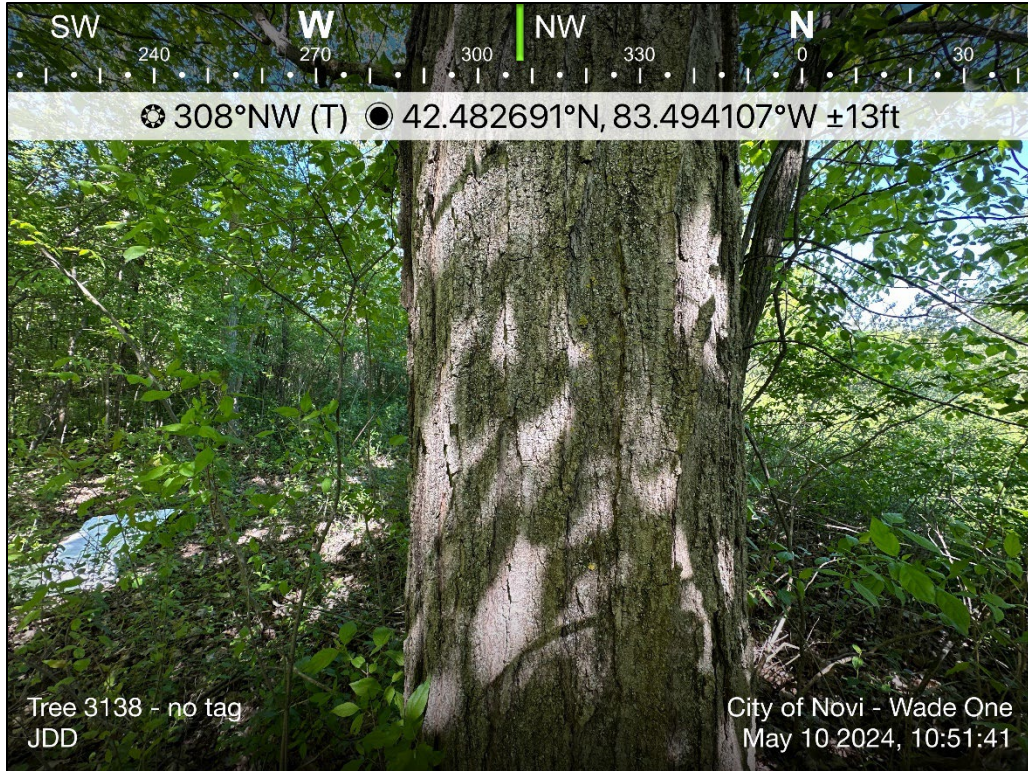
Diana Shanahan, City of Novi, dshanahan@cityofnovi.org

Robb Roos, Merjent, robb.roos@merjent.com



Figure 1. City of Novi Regulated Woodlands Map
Approximate Site boundary is shown in Red.
Regulated Woodland areas are shown in Green

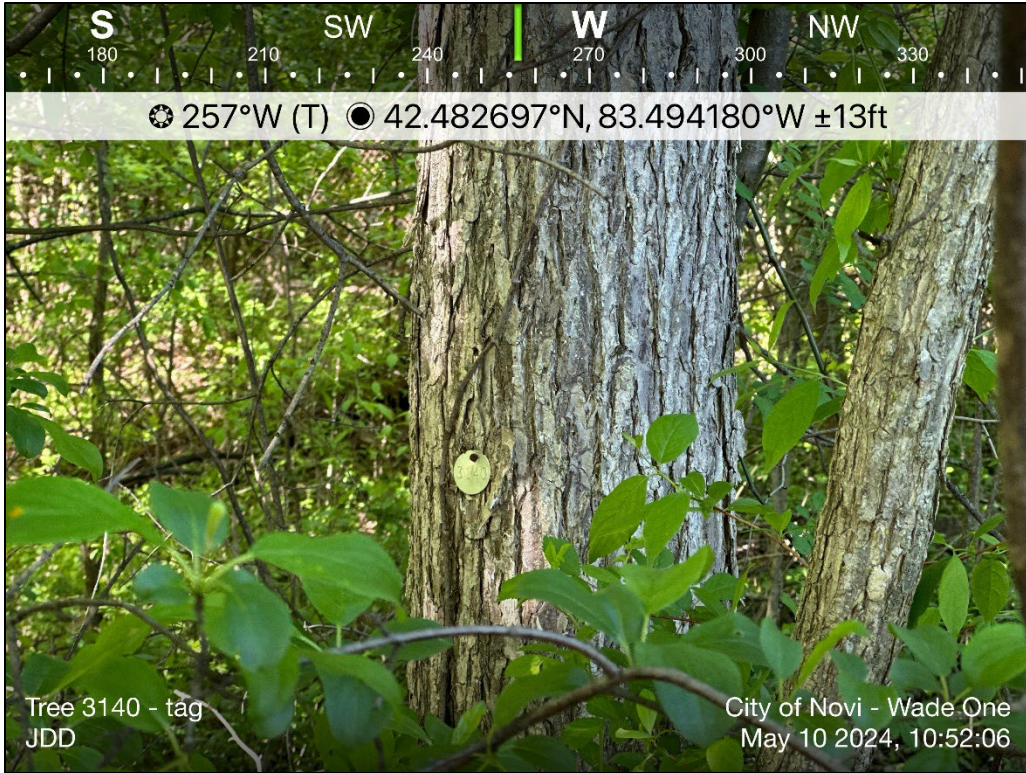
**Attachment A
Site Photographs**



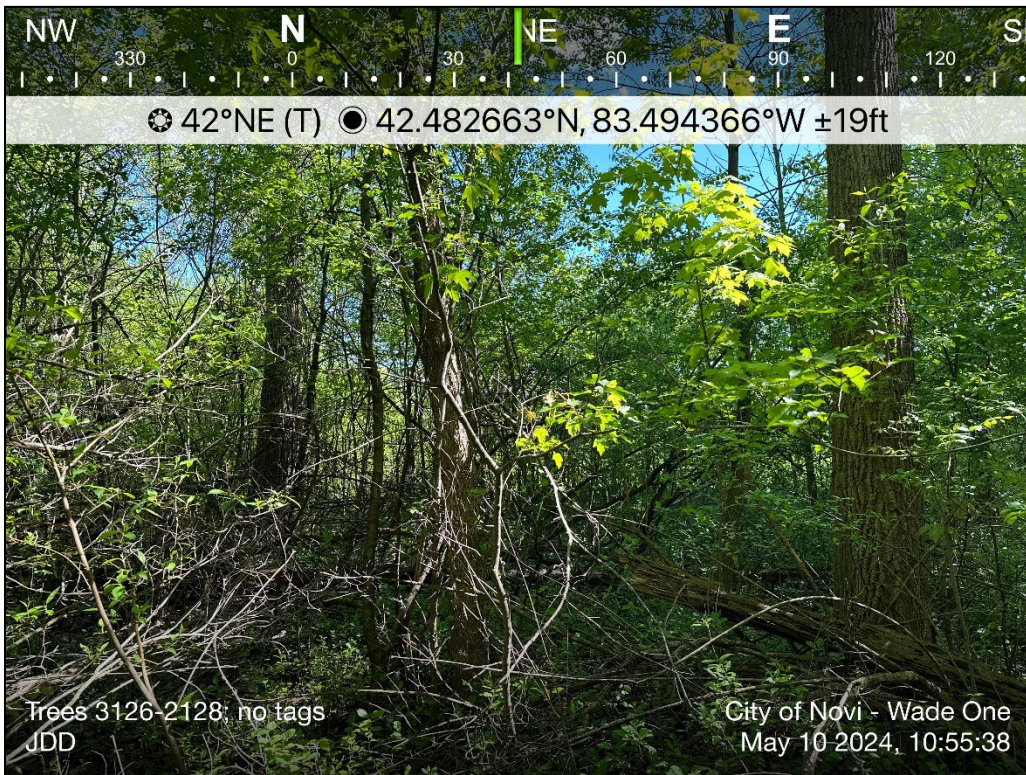
Approximate location of Tree 3138 with no tree tag identified on-site.



Approximate location of Tree 3138 with no tree tag identified on-site. Tree is identified as having a DBH of 17 in the site plans but was found to be closer to 21.7 inches DBH.



Tree 3140 was tagged accurately.



Trees 3126-3128 all contained no tree tags.



Tree 3137 contained no tree tag. Site plans identified tree as being 11 inches DBH but on-site inspection revealed tree is closer to 13 inches DBH.



Overview of woodland on-site.

RESPONSE LETTER



350 Madison Street, 4th Floor • Detroit, Michigan 48226 • (313) 549-2790

45241 /45237 Grand River JSP24-05

Novi Final Review Comments Response to Review Comments provided and dated June 14, 2024

The information and comments provided are referenced to the “Plan Review Center Report – Planning Review” comments dated June 14, 2024, provided by the City of Novi

P2, Item 3, Landscape Waivers

- We are requesting waiver for the required interior area and trees not provided in the “front” north parking area in front of the building.
- We are requesting waiver for the required interior area and trees not provided in the “rear” south parking area in back of the building.

Please note: We have added (4) additional red maple trees at the perimeter trees. From the original concept meeting we were told with the additional trees further south on the property that we are providing that no additional trees would be required around the rear parking area. We have added additional trees as requested by this Planning Review letter, see L2.11 Landscape Plan.

P2, Item 4, End Islands

- We are requesting waiver for the required raised curbs / landscape areas not provided in the “rear” south parking area in back of the building.

P3, a Engineering Review

- a. Proposed Materials – Added sidewalk, concrete pad and end islands
- b. Concrete Pad – Detail 2/A2.60 updated to 8” concrete pad
- c. End Islands – Note 16 adding indicating the curbs and end islands are new. The spot elevations are shown on the Grading Plan C2.12.
- d. ADA Sidewalk Elevations – Note “The proposed sidewalk shall meet existing elevations/grades and ADA standards where they meet” is added to drawing C2.11 Layout Plan and C2.12 Grading Plan.
- e. Signing Table – Only signs being used are in the table. Graphic symbols of the (3) signs added to drawing C2.11

P3, b. Landscape Review

- An additional (4) additional perimeter trees have been added, see L2.11 Landscape Plan



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P4, Site Plan and Response Letter

- The previous set without any changes made plus ALL previous response letters including this one are submitted electronically.

P10, Barrier Free Signs

- All proposed barrier free signs are shown on C2.11 Layout Plan and on the details on drawing C2.61.

P10, Bicycle Parking Lot Layout

- We are requesting an Administrative variance for the bicycle parking rack being provided.

P15, General Comments, 4.a. Painted End Island

- We are requesting waiver for the required raised curbs / landscape areas not provided in the “rear” south parking area in back of the building.

P17, Item 24e, Bicycle Parking Lot Layout

- We are requesting an Administrative variance for the bicycle parking rack being provided.

P18, Item 32-33, Signing Sizes, Table and Quantities

- Signing Table – Only signs being used are in the table. Graphic symbols of the (3) signs added to drawing C2.11. Only (2) R7-8A Van Accessible signs are being provided.

NOISE IMPACT STATEMENT



INTEGRITY
BUILDING GROUP

350 Madison Street, 4th Floor • Detroit, Michigan 48226 • (313) 549-2790

June 3, 2024

Charles Boulard
Community Development Director
45175 W Ten Mile Road
Novi, Michigan 48375

RE: 25237/25241 Grand River Noise Impact Statement

Dear Mr. Boulard:

The existing building, located next to unbuildable, City of Novi owned regional storm water detention basin, which is zoned I-1 and R4.

The stone cutting machines being demonstrated and sold at this location are the latest generation of low environmental impact including noise pollution.

The machinery typically operates in a 60 db range with a maximum of 75 db when cutting stone.

Using National Institutes of Health (NIH) data regarding sound level differences between indoors and outdoors, there is a 10 dB reduction for being inside when a window is left open and up to a 28 dB reduction if all windows are closed.

It should be noted this is a fully enclosed building without windows so using the NIH data for a minimum of dB for being indoors, the outdoor dB level will not be above 65 dB. Using the best case scenario of a 28 dB reduction, the expected outdoor dB level is 47 db.

Sincerely,

John P. Biggar, PA, AIA, NCARB

REQUEST TO PROCEED LETTER



350 Madison Street, 4th Floor • Detroit, Michigan 48226
jpb@ware-house.com • (313) 549-2790

January 15, 2025

Barbara McBeth
City Planner – Community Development – Planning Division
45175 W Ten Mile Road
Novi, Michigan 48375

RE: 45237/45241 Grand River Special Land Use

Dear Ms. McBeth:

Per your request in the email dated January 10, 2025, let this letter serve as our request to proceed with the Special Land Use process for an I-1 use at 45237/45241 Grand River.

Kindly use the information previously provided "Final Meeting Revisions" dated 06/03/2024.

Helios will occupy the entire building for the sales, demonstration related activities of their stone cutting equipment and assembly/shipping of purchased equipment. Noble Gas will not be a tenant. There is no change in the number of employees or persons using the building. The back building will continue to remain vacant.

Please feel free to contact me with any questions.

Respectfully,

John P. Biggar, PA, AIA, NCARB

Attachments

cc:
Gerry Vanacker, Grand Novi Storage, LLC
Brian Mooney, Grand Novi Storage, LLC
Mark Cooper, Taft Law