CITY OF NOVI

CITY of NOVI CITY COUNCIL

Agenda Item G March 24, 2014

SUBJECT: Approval of the request of Erickson Living for JSP 13-64 Fox Run Revised Preliminary Site Plan with PD-1 Option (and associated Third Amendment to the Development Agreement) and Revised Phasing Plan. The property is located in Section 1 of the City north of Thirteen Mile Road and west of M-5 in the RM-1, Low Density Low-Rise Multiple-Family Residential District and totals 102.8 acres. The applicant is proposing to slightly revise the approved landscaping and phasing of the remaining buildings in Phase II from what was approved by the City Council on January 11, 2014.

SUBMITTING DEPARTMENT: Community Development Department - Planning

CITY MANAGER APPROVAL:

BACKGROUND INFORMATION:

The applicant is proposing changes to portions of the recently approved revised second phase of the multi-phase Fox Run Village project. The first phase of the project and portions of Phases II and IV have been constructed. The City Council approved the Revised Special Land Use Permit, Revised Preliminary Site Plan with PD-1 Option and the Second Amendment to the Development Agreement, the Revised Phasing Plan, the Revised Woodland Permit and the Revised Stormwater Management Plan on January 11, 2014. (Relevant meeting minutes are attached.) The City Council's approval included several changes the applicant wished to make to the remaining portions of the second phase of the project that also impacted Phase III of the project. These changes included elimination of the building formally listed as Phase 3.1 as well as changes to the building footprints and surface parking lots in Phases 2.3, 2.4 and 2.5.

Following the City Council's approval in January, the applicant identified additional changes to the plan that will again require approval by the City Council. In the most recent submittal, the phase lines of the plans have been modified to move the parking lot south of Phase 2.5 into Phase 2.3 in order to address construction concerns with the underground utilities. The applicant (after working with the Lenox Park Homeowner's Association) has also added the suggested landscape screening near the emergency access drive to the adjacent Lenox Park development. The applicant has confirmed that the northern secondary emergency access to Lenox Park, will be constructed with Phase 2.3, as shown on the plans. The total number of units in all four phases (1,497 units) of the project remains unchanged. All staff and consultant review letters are recommending approval of revisions.

The originally approved plans and the updated plans have both utilized the Planned Development, PD-1 Option. There are several factors noted in the planning review letter the City Council should consider as part of their review. Although the PD-1 Option allows the City Council to grant deviations from the Zoning Ordinance standards, the applicant has not requested any.

<u>Planning Commission Recommendation</u>

The Planning Commission considered the request on March 12, 2014. At that meeting, the <u>Planning Commission recommended approval</u> of the revised Preliminary Site Plan with PD-1 Option and Revised Phasing Plan. Relevant draft minutes from the Planning Commission meeting are attached.

City Council Action

The City Council is asked to approve the following:

- 1. Revised Preliminary Site Plan with PD-1 Option (and associated Third Amendment to the Development Agreement), and
- 2. Revised Phasing Plan

RECOMMENDED ACTION:

The City Council is asked to consider the following 2-part motion:

Motion 1

Revised Preliminary Site Plan with PD-1 Option and Third Amendment to the Development Agreement

Approval of the request of Erickson Living for Fox Run for a Revised Preliminary Site Plan with a PD-1 Option and the Third Amendment to the Development Agreement, based on and subject to the following:

- a. City Council finding that the standards of Section 2404.4.A of the Zoning Ordinance are adequately addressed;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Motion 2

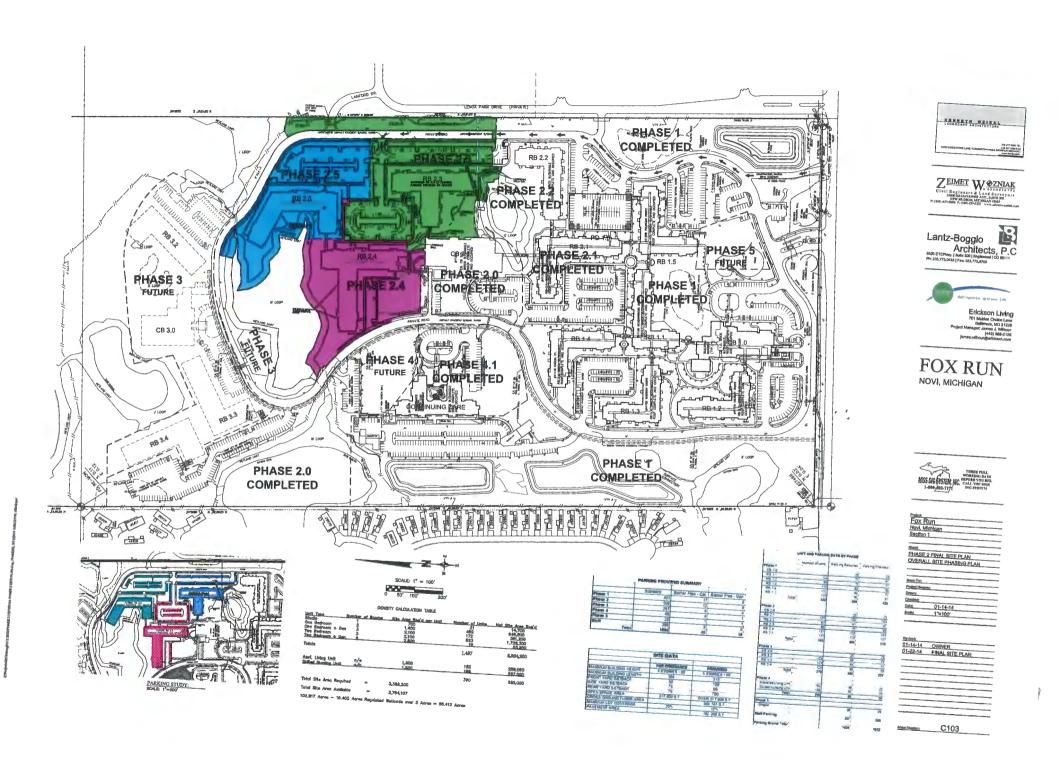
Revised Phasing Plan

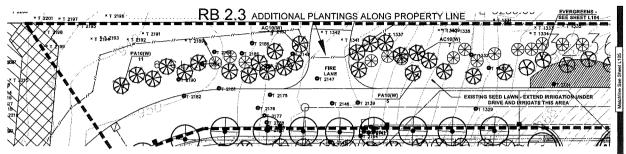
Approval of the request of Erickson Living for Fox Run for a Revised Phasing Plan, based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

	1 2 Y N	
Mayor Gatt		
Mayor Pro Tem Staudt		
Council Member Casey		
Council Member Fischer		

		4	0.4	IN.
Council Member Markham				
Council Member Mutch				
Council Member Wrobel				

SITE PLAN





RB 2.3 LANDSCAPE PLAN
SCALE 1" = 20'



RB 2.3 PLANT LIST

PLAN	T LIS	<u>T - PARKING (P)</u>			PLA
QUAN.	<u>KEY</u>	COMMON/ BOTANICAL NAME	SIZE	SPEC.	OUAI
20	GT3	Thornless Honeylocust Gleditsia 'Skyline'	3" Cal.	888	3
12	QR3	Northern Red Oak Quercus rubra	3" Cal.	8&8	18
9	UA3	Accolade Elm Ulmus parvillora 'Morton'	3" Cal	B&B	4
11	UP3	Princeton Eim Ulmus americana 'Princeton'	3" Cal	888	8
5	PD	Black Hills Spruce Pices g. Densats'	7" HL	888	11

PARKING LOT CANOPY TREES

187 PARKING SPACES = 28,260 S.F. X 105 = 2526 PARKING AISLES = 28560 S.F. X 3E = 1428 2024 ± 1428 = 4284/25 = 57 TRESS DECISION

57 REQUIRED 57 PROVIDED

COSTS - (P) PARKING

\$22,800 = 37 SHADE TREES X \$400 EACH

\$22,000 = TOTAL

PLANT LIST - WOODLAND (W)

OUAN.	<u>KEY</u>	COMMON/ BOTANICAL NAME	SIZE	SPEC.
3	CA	American Hombeam Carpinus Caroliniana	2.5" cal.	98B
18	PD	Black Hills Spruce Picea g. 'Densata'	7" HŁ	B&B
4	PS	White Pine Pinus strobus	7° Ht.	BEB
8	PP	Colorado Green Spruce Pices pungens	7" HL	888
11	PD10	Black Hills Spruce Picea g. 'Densata'	10' Ht.	888
19	PP10	Colorado Green Spruce Picea pungens	10" HŁ	B&B
16	PA10	Norway Spruce Picea ables	10° HL	888
10	AC10	Concolor Fir Ables concolor	10' HL	B&B

WOODLAND REPLACEMENT TREES

SEE TREE REPLACEMENT CHART SHEET LIGS 112 TREES REQUIRED

112 REQUIRED 89 PROVIDED

\$30,350 - TOTAL

COSTS - (W) WOODLAND

\$1,200 - 3 SHADE THEES X \$400 EACH

\$27,850 - 88 EVERGREEN TREES X \$325 EACH

\$25,150 - TOTAL-THEES PROVIDED

\$9,200 - 23 SHADE TREES TO TREE BANK X \$400 EACH

PLANT LIST - MULTI-FAMILY (M)

FLAN	I LIO	I * MOLTI-FAMILT (M)		
QUAN.	KEY	COMMON BOTANICAL NAME	SIZE	SPEC.
4	AS3	Sugar Maple Acer saccharum	3" Cal	888
3	GD3	Kentucky Coffee Tree Gymnodadus diolcus	3" Cal	B&B
14	LT3	Tulip Tree Liricdendron tulipifera	3" Cal	B&B
15	UAS	Accolade Elm Ulmus parvillora Morton'	3" Cal	B&B
7	PD	Black Hills Spruce Pices g. 'Densate'	7' HL	888
8	PP	Colorado Green Spruce Pices pungens	7" HL	848
17	AA	Red Chokeberry Aronia arbutifolois 'Brilliantissima'	36" H£	Cont.
22	AT	Butterfy Weed Asciepias tuberosa	1 Gai.	Cont
16	CAT	New Jersey Tea Ceanothus americanus	36" HŁ	B&B
8	СВ	Buttonbush Chephalacanthus occidentalis	36" HŁ	BAB
4	cs	Red-Osier Dogwood Cornus sericea	24" HL	
35	JNB	New Blue Tams Juniper Juniperus t, 'New Blue'	24" Spr.	Cont.
38	LA	Amur Privet Ligustrum amurense	36" H L Full	B&B
29	RA	Gro-low Fragrant Sumac Rhus aromatica 'Gro-low'	24" HL	ConL
38	SAW	Anthony Waterer Spirea Spirea 'Anthony Waterer'	24" HL	Cont

MULTI-FAMILY DWELLING UNIT

Arrowood Viburnum

Mariesi Doublefile Vibumum Vibumum p. L. Mariesii'

3 TREES PER FIRST FLOOR UNIT FIRST FLOOR UNITS = 19 X 3 = 57 TREES REQUIRED

57 REQUIRED 57 PROVIDED

COSTS - (M) MULTI-FAMILY

\$14,400 = 36 SMADE TREES X \$400 EACH \$4,375 = 15 EVERGEDO TREES X \$825 EACH \$9,800 = 198 SMEURS X \$50 EACH \$220 = 22 POREMHALS X \$10 EACH \$15,040 = 3,750 SY \$500 X \$4/SY

\$1,000 - 25 CT MULCH X \$40/CY \$45,535 - TOTAL

PLANT LIST - STREET TREES (S)

QUAN.	<u>KEY</u>	COMMON BOTANICAL NAME	<u> SIZE</u>	SPEC.	
12	CO3	Hackberry	3" Cal.	B&B	

INTERIOR ROADWAY STREET TREES

1 TREE PER 35 L.F. ROADWAY = 421 L.F./35 = 12 TREES REQUIRED

12 REQUIRED 12 PROVIDED

COSTS - (S) STREET TREES

\$4,800 = 12 SHADE TREES X \$400 EACH



ZEIMET WAZNIAK
CIVII Buginees & Land Surveyors
3900 CRAND RIVER AVE. SINTE 160





Erickson Living

FOX RUN

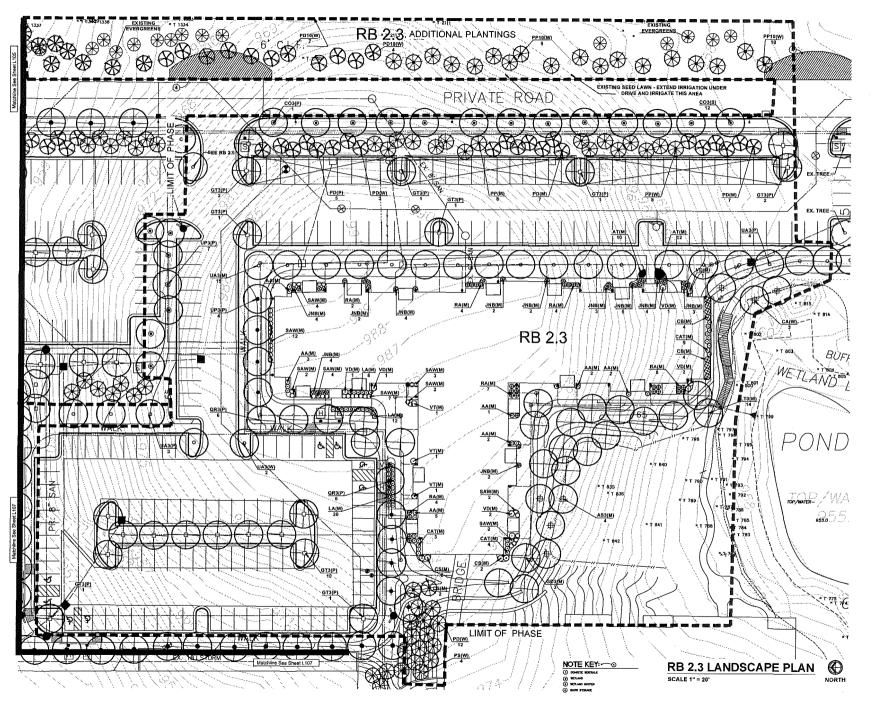


Fox Run	
Novi, Michigan	
Section 1	
Short:	
PHASE 2 PRELIMINARY SITE P	LAN
RB 2.3 CALCULATIONS	
case For;	
Project Number	

Revised	
10-17-13 PER CIT	Y REVIEW COMMENTS
02-14-2014	
	······

net Number: L105







ZEIMET WAZNIAK
Civit Engineers 4 Land Surveyors
SSEGGRAND RIVER AVE, SUITE 100
NEW HIDSON, REGIGNA WISS

Lantz-Boggio Architects, P.C.



Erickson Living

FOX RUN NOVI, MICHIGAN

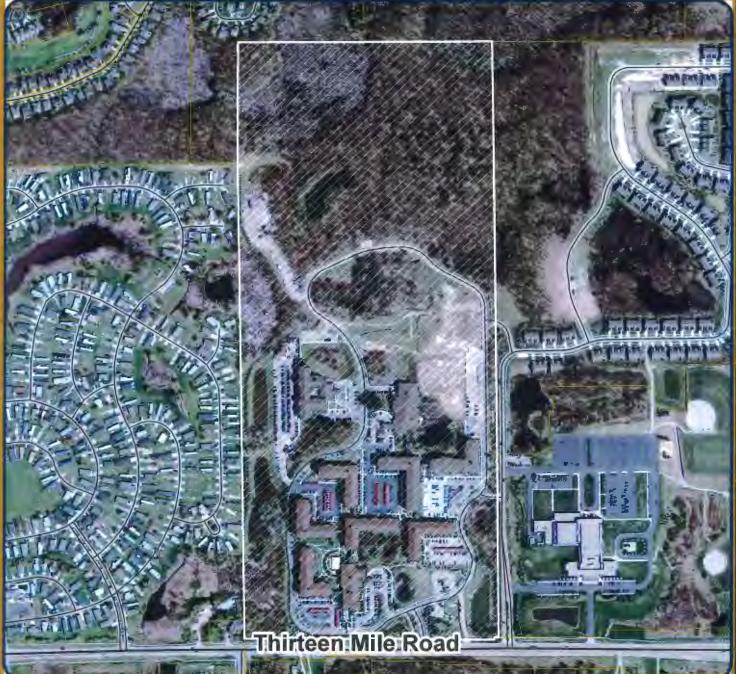


rox Run
Novi, Michigan
Section 1
Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2,3 LANDSCAPE PLAN
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Orange .
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Dale: 9-17-13



MAPS
Location
Zoning
Future Land Use
Natural Features

Fox Run JSP13-64



Map Legend **Subject Property**





City of Novi

Planning Division Community Development Dept. 45175 W Ten Mile Rd Novi. MI 48375 cityofnovi.org

Map Author: Kristen Kapelanski Date: 12-03-13 Project: Fox Run JSP13-64 Version #: 1.0

MAP INTERPRETATION NOTICE





Map Legend

Subject Property

Single Family

PUD

Multiple Family

PD1

Mobile Home Park

Private Park

Feet

127 6 276

550 8





City of Novi

Planning Division Community Development Dept. 45175 W Ten Mile Rd Novi. MI 48375 cityofnovi.org

Map Author: Kristen Kapelanski Date: 12-03-13 Project: Fox Run JSP13-64 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



Map Legend Subject Property



Woodlands

137.5 275 5

inch = 500 fee





City of Novi

Planning Division Community Development Dept. 45175 W Ten Mile Rd Novi, MI 48375 cityofnovi.org

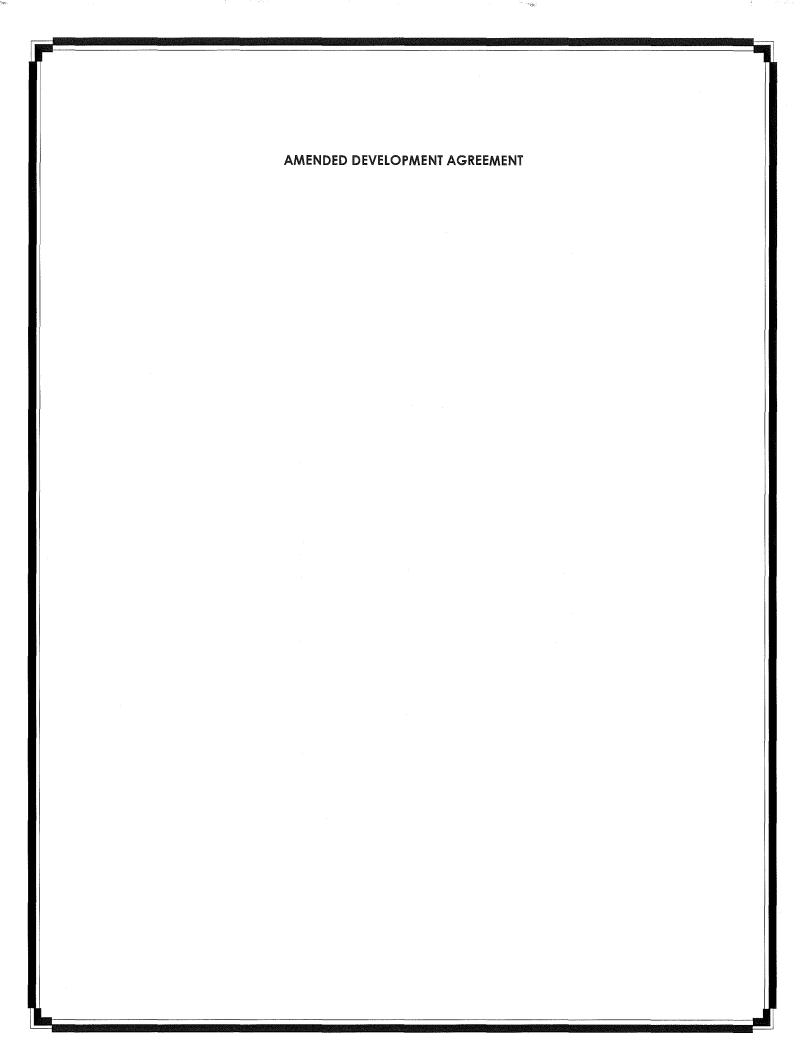
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9-28-2013





JOHNSON ROSATI SCHULTZ JOPPICH PC

34405 W. Twelve Mile Road, Suite 200 ~ Farmington Hills, Michigan 48331-5627 Phone: 248.489.4100 | Fax: 248.489.1726

Elizabeth Kudla Saarela esaarela@jrsjlaw.com

www.jrsjlaw.com

March 19, 2014

Barb McBeth Deputy Community Development Director City of Novi 45175 Ten Mile Road Novi, MI 48375-3024

RE: Fox Run

Proposed Amendments to Development Agreement

Dear Ms. McBeth:

We have received and reviewed the following proposed amendments to the Development Agreement for Fox Run, copies of which are enclosed:

- 1. First Amendment to Development Agreement
- 2. Second Amendment to Development Agreement
- 3. Third Amendment to Development Agreement

Each of the above, amendments acknowledges the approval of a revised preliminary site plan for the project. Though the First Amendment was approved in 2003, a final executed First Amendment could not be located by either party. The First Amendment is being provided at this time to acknowledge and document the 2003 amendment.

The Second Amendment to Development Agreement adopts and incorporates the revised preliminary site plan approved by the City on January 11, 2014.

Subsequent to the approval of the Second Amendment, the developer proposed additional minor revisions to the preliminary site plan. The Third Amendment to Development Agreement adopts and incorporates the revised preliminary site plan to be considered by the City on March 24, 2014. We note that the date currently noted in the Agreement references the Planning Commission's approval to make a positive recommendation to City Council. The date referenced in the Third Amendment should be updated to March 24, 2014 prior to execution. Additionally, it appears the preliminary site plan identified in the Third Amendment should be updated to reference the most recent revision of February 14, 2014.

Barb McBeth, Deputy Community Development Director March 19, 2014 Page 2

Subject to the above minor date modifications, the Amendments appear to be acceptable to amend the approved preliminary site plan for the development. No other terms of the Development Agreement are modified by the amendments.

Once executed, the original executed Agreements will remain on file with the City and our office will record the enclosed Affidavit acknowledging the Agreements for consistency with past recording practices for this project.

Should you have any questions or concerns relating to the issues set forth above, please feel free to contact me I that regard.

Sincerely,

JÓHNSÓN, ROSATI, SCHULTZ & JOPPICH, P.C.

Hizabeth K. Saarela

EKS

C:

Maryanne Cornelius, Clerk
Charles Boulard, Community Development Director
Kristen Kapelanski, Planner
Sheila Weber and Kristin Pace, Treasurer's Office
Sarah Marchioni, Building Permit Coordinator
Sue Troutman, City Clerk's Office
James Wilhour, Erickson Living
Matthew C. Quinn, Esquire
Thomas R. Schultz, Esquire

AFFIDAVIT DISCLOSING DEVELOPMENT AGREEMENT

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

Elizabeth K. Saarela, in her capacity as Assistant City Attorney for the City of Novi, being first duly sworn, deposes and states that First Amendment to Development Agreement dated March 24, 2014, between Redwood-ERC Novi, LLC and the City of Novi, the Second Amendment to Development Agreement, dated March 24, 2014, and the Third Amendment to Development Agreement, dated March 24, 2014 between Redwood-ERC Novi, LLC and the City of Novi (collectively the "Amendments"), were entered into relative to the property described on the attached and incorporated Zoning Map Amendment, and are on file with the City of Novi, City Clerk's Office. The Amendments affect rights and obligations with regard to the use and development of the described property.

Dated: March _____, 2014

CITY OF NOVI, a Michigan Municipal Corporation

34405 W. Twelve Mile Road, Suite 200

Farmington Hills, Michigan 48331-5627 (248) 489-4100

SUBSCRIBE	D AND SWORN TO before me
this	day of February, 2014.

Notary Public
Acting in Oakland County, Michigan
My Commission Expires:

Drafted By: Elizabeth K. Saarela JOHNSON ROSATI SCHULTZ & JOPPICH, P.C. 34405 W. Twelve Mile Road, Suite 200 Farmington Hills, Michigan 48331-5627 (248) 489-4100

When Recorded Return To: Maryanne Cornelius, City Clerk City of Novi 45175 Ten Mile Road Novi, Michiga 48375

FIRST AMENDMENT TO DEVELOPMENT AGREEMENT

THIS FIRST AMENDMENT TO DEVELOPMENT AGREEMENT, by and between Redwood-ERC Novi, LLC, a Maryland limited liability company, whose address is 701 Maiden Choice Lane, Baltimore, MD 21228 (the "Owner"), and the CITY OF NOVI, 45175 West Ten Mile Road, Novi, Michigan 48375-3024 ("City").

RECITATIONS:

- I. It is represented to the City by the Owner that the Owner owns all interest in the land described on the attached and incorporated Property Description Exhibit ("Property").
- II. On or about January 25, 2002, Owner's predecessor in title and the City entered into a certain "Development Agreement" with respect to the rezoning of the Property for improvement and use as a retirement community. The Development Agreement incorporated a Preliminary Site Plan in respect to the development of the Property.
- III. On August 11, 2003, City Council approved a revised Preliminary Site Plan with a PD-1 option in respect to the Property for the purposes of adding a walkway, consolidating certain parking, rotating a building thereby preserving high quality trees, and modifying facades to distinguish between Phase I and Phase II.
- IV. The Owner and the City wish to enter into this First Amendment to Development Agreement for the purposes of incorporating the revised Preliminary Site Plan into the Development Agreement.*

NOW. THEREFORE, IT IS AGREED AS FOLLOWS:

1. The Development Agreement is hereby amended to include the revised Preliminary Site Plan with a PD-1 option, attached and incorporated herein as Exhibit B. All previous Site Plans approved in respect to the Property, on file with the City, are hereby null and void in accordance with the action of City Council of August 11, 2003.

- 2. Except for the incorporation of the revised Preliminary Site Plan, the Development Agreement shall remain in full force and effect.
 - 3. This Agreement may be signed in counterparts.

	OWNER
	REDWOOD-ERC NOVI, LLC
	By:
STATE OF	
COUNTY OF)	
On this day of	, 2014, before me appeared representative of Owner, who states that
he/she has signed this document of his/	her own free will on behalf of Owner.
	Notary Public , County,,
	, County, My commission expires: Acting in, County,
	CITY OF NOVI
	By: Robert J. Gatt, Mayor
	Robert J. Gatt, Mayor
	By: Maryanne Cornelius, Clerk
	Maryanne Cornelius, Clerk
STATE OF MICHIGAN)	
COUNTY OF OAKLAND)	
On this day of appeared Robert J. Gatt, Mayor and Ma	, 2014, before me ryanne Cornelius, Clerk of the City of

Novi, authorized representatives of Owner, who state that they have signed this document of their own free will on behalf of Owner.

Notary Public
Oakland County, MI
My commission expires:
Acting in Oakland, County, MI

Drafted by: Matthew C. Quinn 28345 Beck Road, Suite 401 Wixom, MI 48393 When recorded return to: Maryanne Cornelius, Clerk City of Novi 45175 West Ten Mile Road Novi, MI 48375

^{*} Owner's predecessor sought the First Amendment to Development Agreement, which was approved by the City of October 20, 2003. It was discovered that Owner's predecessor did not execute the First Amendment but that the amended Preliminary Site Plan, approved on August 11, 2003, was acted upon and became effective. Owner hereby executes the First Amendment to Development Agreement to acknowledge and ratify the terms and conditions of the First Amendment of Development Agreement.

SECOND AMENDMENT TO DEVELOPMENT AGREEMENT

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THIS AGREEMENT, by and between Redwood-ERC Novi, LLC, a Maryland limited liability company, whose address is 701 Maiden Choice Lane, Baltimore, MD 21228 (the "Owner") and the City of Novi, a Michigan municipal corporation, 45175 West Ten Mile Road, Novi, MI 48375 (the "City").

RECITALS:

- The Owner owns all interest in the Land described on the attached and incorporated Property Description Exhibit A (Property").
- II. On or about January 25, 2002, the Owner's predecessors and
 City entered into a certain "Development Agreement" with respect
 to the rezoning of the Property for improvement and use as a
 retirement community. The Development Agreement incorporated
 a Preliminary Site Plan in respect to the development of the
 Property: The Development Agreement is on file with the Novi City Clerk,
 and an Affidavit Disclosing Development Agreement was recorded at Liber
 26325, page(s) 514-515, Oakland County Register of Deeds.
- III. On October 20, 2003, the Owner's predecessor sought, and the City approved, the First Amendment to the Development Agreement for purposes of incorporating a revised Preliminary Site Plan with a PD-1 option with respect to the Property for the purposes of adding a walkway, consolidating certain parking, rotating a building thereby preserving high quality trees, and modifying facades to distinguish between Phase I and Phase II. This First Amendment to the Development Agreement was executed on ______, 2014 and is on file with the Novi City Clerk.
- IV. On January 11, 2014, Owner sought, and the City approved, a revised Preliminary Site Plan with a PD-1 option in respect to the property for purposes of reconfiguring the building located within Phase II.3 and demonstrating its relationship with future Phases II.4, II.5, Phase III and Phase IV.
- V. The Owner and City wish to enter into this Second Amendment to Development Agreement to incorporate the revised Preliminary Site

Plan with PD-1 Option into the Development Agreement for the purpose of revising portions of Phase 2 and Phase 3 of the development with respect to the number, layout and footprint of buildings and associated parking lots.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

- 1. The Development Agreement is hereby amended to include the revised Preliminary Site Plan with a PD-1 option, dated September 17, 2013, attached hereto and incorporated as Exhibit B. The revised Preliminary Site Plan hereby supersedes all previous site plans on file with the City.
- 2. Except for the incorporation of the revised Preliminary Site Plan, the Development Agreement shall remain in full force and effect.
 - 3. This Agreement may be signed in counter-parts.

	OWNER
	REDWOOD-ERC NOVI, LLC
	Ву:
STATE OF	
COUNTY OF	
On this day of, authorized represent he/she has signed this document of his/he	ntative of Owner, who states that
	Notary Public
	County,
	My commission expires: Acting in County,
	Acting in County,

	CITY OF NOVI
	By
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	By: Maryanne Cornelius, Clerk
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COUNTY OF OAKLAND)	
	문학 문학교 전설에 가장 한 경험 문장 문제에 가장 그 보다는 것 같아요. 그는 가장 다양하는 것 요요요 보내는 사람들이 하는데 가장 가장 되었다. 그 것도 되었다는 것을 받는데 되었다.
On thisday of Robert J. Gatt, Mayor and Maryanne Co	, 2013, before me appeared
Robert J. Gatt, Mayor and Maryanne Co	ornelius, Clerk of the City of Novi,
authorized representatives of Owner, w	
document of their own free will on beha	If of Owner.
가 하는 것이 하는 수요 있다. 기계 전문 이용 유럽 위에 유럽한 가능한 하는 것이 되고 있는 것이 없는 것이 하는 것이 하는 것이 있다. 그런 것이 되는 것이 되는 것이 되는 것이 되었습니다. 그런 것이 되는 것이 없는 것이 되는 것이 되었습니다.	Notary Public
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	Acting in Oakland County, MI
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Drafted by: Matthew C. Quinn 28345 Beck Road, Suite 401 Wixom, MI 48393 When recorded return to: Maryanne Cornelius, Clerk City of Novi 45175 West Ten Mile Road Novi, MI 48375

THIRD AMENDMENT TO DEVELOPMENT AGREEMENT

THIS AGREEMENT, by and between Redwood-ERC Novi, LLC, a Maryland limited liability company, whose address is 701 Maiden Choice Lane, Baltimore, MD 21228 (the "Owner") and the City of Novi, a Michigan municipal corporation, 45175 West Ten Mile Road, Novi, MI 48375 (the "City").

RECITALS:

- I. The Owner owns all interest in the Land described on the attached and incorporated Property Description Exhibit A (Property").
- II. On or about January 25, 2002, the Owner's predecessors and City entered into a certain "Development Agreement" with respect to the rezoning of the Property for improvement and use as a retirement community. The Development Agreement incorporated a Preliminary Site Plan in respect to the development of the Property. The Development Agreement is on file with the Novi City Clerk, and an Affidavit Disclosing Development Agreement was recorded at Liber 26325, page(s) 514-515, Oakland County Register of Deeds.
- III. On October 20, 2003, the Owner's predecessor sought, and the City approved, the First Amendment to the Development Agreement for purposes of incorporating a revised Preliminary Site Plan with a PD-1 option with respect to the Property for the purposes of adding a walkway, consolidating certain parking, rotating a building thereby preserving high quality trees, and modifying facades to distinguish between Phase I and Phase II. This First Amendment to the Development Agreement was executed on ______, 2014 and is on file with the Novi City Clerk.
- IV. On January 11, 2014, Owner sought, and the City approved, a revised Preliminary Site Plan with a PD-1 option in respect to the property for purposes of reconfiguring the building located within Phase II.3 and demonstrating its relationship with future Phases II.4, II.5, Phase III and Phase IV. The Second Amendment to the Development Agreement was executed on _____ day of _____, 2014 and is on file with the Novi City Clerk.

- V. On the 24th day of March, 2014 the Owner sought, and the City approved, a revised Preliminary Site Plan with the PD-1 Option and a revised phasing plan as the Developer has adjusted the phasing lines of the plan to include the parking lot south of Phase 2.5 into Phase 2.3. This parking lot was previously a part of Phase 2.4. Additionally, additional landscape screening has been added along the property line bordering the Lenox Park Development.
- VI. The Owner and City wish to enter into this Third Amendment to the Development Agreement to incorporate the revised Preliminary Site Plan with PD-1 Option into the Development Agreement for the purpose of revising portions of the phasing plan.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

- 1. The Development Agreement is hereby amended to include the revised Preliminary Site Plan with a PD-1 option, dated 14th day of February, 2014 attached hereto and incorporated as Exhibit B. The revised Preliminary Site Plan hereby supersedes all previous site plans on file with the City.
- 2. Except for the incorporation of the revised Preliminary Site Plan, the Development Agreement, as amended, shall remain in full force and effect.
 - 3. This Agreement may be signed in counter-parts.

	OWNER
	REDWOOD-ERC NOVI, LLC
	Ву:
STATE OF) COUNTY OF)	
	, 2014, before me appeared entative of Owner, who states that ner own free will on behalf of Owner.
	Notary PublicCounty, My commission expires: Acting in County.

	CITY OF NOVI
	By: Robert J. Gatt, Mayor
	By: Maryanne Cornelius, Clerk
STATE OF MICHIGAN)	
) COUNTY OF OAKLAND)	
On this day of Robert J. Gatt, Mayor and Maryanne Cornelius authorized representatives of Owner, who stat document of their own free will on behalf of Ov	s, Clerk of the City of Novi, e that they have signed this
	Notary Public Oakland County, MI My commission expires: Acting in Oakland County, MI

Drafted by: Matthew C. Quinn 28345 Beck Road, Suite 401 Wixom, MI 48393 When recorded return to: Maryanne Cornelius, Clerk City of Novi 45175 West Ten Mile Road Novi, MI 48375

PLANNING COMMISSION DRAFT MINUTES – EXCERPT March 12, 2014



PLANNING COMMISSION MINUTES

CITY OF NOVI

Regular Meeting

March 12, 2014 7:00 PM

Council Chambers | Novi Civic Center | 45175 W. Ten Mile (248) 347-0475

CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

ROLL CALL

Present: Member Anthony, Member Baratta, Member Giacopetti, Member Greco, Member Lynch, Chair Pehrson

Absent: Member Zuchlewski (excused)

Also Present: Barbara McBeth, Deputy Director of Community Development; Sara Roediger, Planner; Kristen Kapelanski, Planner; Adam Wayne, Engineer; David Beschke, Landscape Architect; Gary Dovre, City Attorney; Doug Necci, City's Façade Consultant; Victor Cardenas, Interim City Manager; Brian Coburn, Engineering Manager.

PLEDGE OF ALLEGIANCE

Member Greco led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Lynch, seconded by Member Baratta:

VOICE VOTE ON THE AGENDA APPROVAL MOTION MADE BY MEMBER LYNCH AND SECONDED BY MEMBER BARATTA:

Motion to approve the March 12, 2014 Planning Commission Agenda. Motion carried 6-0.

CONSENT AGENDA - REMOVALS AND APPROVAL

1. **FOX RUN JSP13-64**

Approval of the request of Erickson Living for Planning Commission's recommendation to the City Council of a Revised Preliminary Site Plan with a PD-1 Option and Revised Phasing Plan. The subject property is 102.8 acres in Section 1 of the City of Novi and located north of Thirteen Mile Road and west of M-5 in the RM-1, Low Density Low-Rise Multiple-Family District. The applicant has made minor adjustments to the phasing plan and landscape plan for the remaining buildings in Phase 2.

Motion to approve the Consent Agenda. Motion carried 6-0.





PLAN REVIEW CENTER REPORT

February 28, 2014

Planning Review

Fox Run – Revised Preliminary Site Plan

JSP13-64

<u>Petitioner</u> Erickson Living

Review Type

Revised Preliminary Site Plan with PD-1 Option

Property Characteristics

Site Location:

North of Thirteen Mile Road, West of M-5 (Section 1)

Site Zoning:

RM-1, Low Density, Low-Rise Multiple-Family Residential

Adjoining Zoning:

North: RA, Residential Acreage, R-2, One-Family Residential; East: MH,

Mobile Home; South and West: RA, Residential Acreage;

Adjoining Uses:

North: Haverhill Farms, The Maples of Novi; East: Brightmoor Tabernacle;

West: Hometown Novi; South: Single-family homes, Vacant

School District:

Walled Lake School District

• Site Size:

102.8 acres

Plan Date:

02-14-14

Project Summary

The applicant is proposing changes to portions of the second and third phase of the multi-phase Fox Run Village project. The first phase of the project and portions of Phases II and IV have been constructed. In working on the site, the applicant realized there were several changes they wished to make to the remaining portions of the second phase of the project that also impact Phase III of the project. These changes include elimination of the building formally listed as Phase 3.1 as well as changes to the building footprints and surface parking lots in Phases 2.3, 2.4 and 2.5. The most recent update to the previously approved plan was approved by the City Council on August 11, 2003. The total number of units in all four phases of the project has not changed, rather some of the units have been shifted from one building to another as part of this submittal.

The applicant has now adjusted the phase lines of the plan to include the parking lot south of Phase 2.5 in Phase 2.3. This parking lot was previously a part of Phase 2.4. Additionally, per the conditions of the revised Preliminary Site Plan approval motion, additional landscape screening has been added along the property line bordering the Lenox Park development.

Planning Commission and City Council Actions

The Planning Commission recommended approval of the Preliminary Site Plan with PD-1 Option, Special Land Use Permit, Woodland Permit, Phasing Plan and Stormwater Management Plan on December 11, 2013.

The City Council approved the site plan with PD-1 Option, Special Land Use Permit, Woodland Permit, Phasing Plan and Stormwater Management Plan on January 11, 2013 with the following motions:

Motion to approve the request of Erickson Living for Fox Run for a Revised Special Land Use Permit for JSP 13-64 based on the following findings: Relative to other feasible uses of the site:

- •The proposed use will not cause any detrimental impact on existing thoroughfares (as indicated in the traffic review letter);
- •Subject to satisfying the requirements in the Engineering Review the proposed use will not cause any detrimental impact on the capabilities of public services and facilities

JSP13-64

February 28, 2014 Page 2 of 4

(because the plan adequately addresses and provides for water and sanitary sewer service and management of stormwater volumes);

- •The proposed use is compatible with the natural features and characteristics of the land (as no new impacts to natural features are proposed);
- •The proposed use is compatible with adjacent uses of land (as indicated in the staff and consultant review letters);
- •The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
- •The proposed use will promote the use of land in a socially and economically desirable manner; and
- •The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Motion to approve the request of Erickson Living for Fox Run for a Revised Preliminary Site Plan with a PD-1 Option and the Second Amendment to the Development Agreement based on and subject to the following:

- a. City Council finding that the standards of Section 2404.4.A of the Zoning Ordinance are adequately addressed;
- b. Applicant providing a material sample board that demonstrates that the proposed colors will be harmonious with the existing buildings;
- c. Applicant working with staff and the adjacent Lenox Park development representatives to explore eliminating the existing emergency access connection and providing additional landscape screening as discussed at the December 11, 2013 Planning Commission meeting;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.
- This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

To approve the request of Erickson Living for Fox Run for a Revised Phasing Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

To approve the request of Erickson Living for Fox Run for a Revised Woodland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

To approve the request of Erickson Living for Fox Run for a Revised Stormwater Management, based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

Recommendation

Staff recommends approval of the revised Preliminary Site Plan. City Council approval of the revised Preliminary Site Plan and amended Development Agreement is required following a recommendation from the Planning Commission.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 6 (RM-1 Low Density Low-Rise Multiple-Family Residential District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant or the Planning Commission/City Council.

- 1. <u>Photometric Plan:</u> There are several minor items noted in the lighting review chart that should be addressed on the Final Site Plan submittal.
- 2. <u>Signage:</u> Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.
- 3. Outstanding Construction and Site Close-Out Issues: There are several outstanding issues related to site work and construction of the phases that have been started or completed. These issues must be addressed. The applicant should work with Sarah Marchioni (248.347.430) in the Building Division regarding these items and should provide documentation they are working toward resolution prior to the Planning Commission meeting.

Special Land Use Considerations

When the PD-1 Option is utilized, all uses fall under the Special Land Use requirements (Section 1903.11). Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review and recommendation to City Council of the Special Land Use Permit request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental
 impact on the capabilities of public services and facilities, including water service, sanitary
 sewer service, storm water disposal and police and fire protection to service existing and
 planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Planning Review

Fox Run JSP13-64 February 28, 2014 Page 4 of 4

Planned Development Option

Section 2404.4 of the ordinance outlines the review procedures for Site Plans using the PD Option. This requires the Preliminary Site Plan to receive a recommendation for approval or denial from the Planning Commission with City Council ultimately approving or denying the proposed plan. A revised Planned Development Option Agreement is also required for this project and has been submitted.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to the Planning Commission meeting and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.

Kristen Kapelanski, AICP, Planner

Gish Gur.

Planning Review Summary Chart Fox Run JSP13-64

2nd Revised Preliminary Site Plan- Phase II Plan Dated: 02-14-14

Bolded items must be addressed by the applicant.

		Meets			
ltem	Proposed	Required?	Comments		
Property is Master Planned residential, with a PD-1 option	No change	Yes	PD-1 option was approved with initial approval. Revised approval of PD Agreement and Concept Plan required.		
Zoning is currently RM-1	No change	Yes			
Uses allowed include elderly care facilities	All inclusive elderly care campus	Yes, subject to special conditions	Minimum land ratio (1,500 sq. ft. per bed)- N/A (Only for assisted living portion in Phase III) No building closer than 40 ft. to property line- OK		
General Regulations					
Minimum Lot Requirements (Se	ec. 2400(d))				
Total number of rooms may not exceed the net site area/2000	See PD-1 section for superseding requirement	N/A			
All public utilities should be available at the site	Public utilities are already onsite	Yes			
Up to 30% of the units in an assisted living facility may be efficiency type apartments.	See PD-1 section for superseding requirement	N/A			
For assisted living facilities, 1,500 square feet of land area shall be provided for each bed.	There is no assisted living proposed in this portion of the development	N/A			
Building shall not exceed 180 feet in length without additional setbacks; maximum length is 360 feet	Maximum length of buildings is 305'	Yes			
Setback Requirements (Sec. 2400)					
Yard Setbacks: Front-75 feet Side- 75 feet Rear- 75 feet	Phase II: Front: 100'+ Sides: 100 ft.+ Rear: 100'+	Yes	All buildings appear to be setback to allow for additional height		
Parking Setbacks (Sec. 2400(b)) Front- 75 feet	Phase II: Front: 100'+ Sides: 100 ft.+ Rear: 100'+	Yes			
Both Sides- 20 feet					

		Meets		
ltem	Proposed	Required?	Comments	
Rear- 20 feet				
Parking Area Requirements (S	ection 2505 and 2506)			
34 space per each 1 unit in	1,642 spaces	Yes		
the congregate care	provided			
portion –and–	throughout the site			
1/4 space per each bed in the assisted living portion –				
and-				
1 space for each employee				
Total required for entire site:	'			
spaces: 1,634	9'x19' and 9'x17'	Vas		
Parking Space Dimensions and Maneuvering Lanes	(with 2' overhang)	Yes		
and Marieovering Laries	shown with 26'			
	maneuvering lane			
Barrier Free Spaces-	58 spaces provided	Yes		
26 spaces required	throughout site			
Van accessible spaces- 1	18 van accessible	Yes		
per 6 barrier free spaces (10	spaces throughout			
required) Barrier Free Signage-	site Signage shown	Yes		
1 sign per space	signage shown	163		
1 31917 por space				
Up to 30% of the required	This requirement	Yes		
setbacks may be used for	appears to have			
parking spaces,	been met			
maneuvering lanes, service				
drives, or loading areas.				
(Sec. 2400(d)(5)) Off street parking and drives	This requirement	Yes		
must be a minimum of:	has been met	163		
- 25 feet from any wall with	Tigo 2001111101			
windows.				
- 8 feet from any wall				
without windows				
- 20 feet from any Right of]		
Way or property line				
(Sec. 2400(d)(6)) General Building Requirements (Section 2400(d))				
The maximum building	See PD-1 section for	N/A		
height is 2 stories or 35 feet	superseding			
-	requirement	hall sold and a second		

.....

		Meets	
Item	Proposed	Required?	Comments
All buildings should be aligned at a 45 degree angle to the property lines	Some of the buildings in the complex are not oriented at a 45 degree angle	Yes, with previous waiver	Planning Commission waiver of this requirement was previously granted.
5 foot sidewalks are required throughout the site	5 to 7 foot sidewalks are provided throughout the site	Yes	
Maximum lot coverage by all buildings cannot exceed 25%	Maximum lot coverage on site is 12%	Yes	
Minimum floor area per unit: Efficiency- 400 sq. ft. 1 BR- 500 sq. ft. 2 BR- 750 sq. ft.	All units over 750 sq. ft. in provided floor plan	Yes	
The minimum amount of usable open space per unit shall be 200 sq. ft. 1,497 units * 200 sq ft= 299,400 square feet required	Many of the units in the project have direct access to balconies and there is over 30 acres of open space on the site. Over 317,600 sq. ft. of open space has been provided.	Yes	
A photometric plan is required at Preliminary Site Plan submittal, due to adjacent residential developments	Plan provided		See lighting review chart
PD-1 Requirements (Section 2	406)		
If exceeding the height limitations of the RM-1 District, the building must be between 3 and 5 stories	Remaining buildings in Phase II are all 5 stories	Yes	
Total number of rooms on site shall not be more than the total area of the parcel/700. 585,000 sf/ 700= 836 rooms congregate care rooms	390 congregate care rooms provided	Yes	
permitted A maximum of 10% of the units on site can be of the efficiency type	1.4% of all units on site will be efficiency.	Yes	

ltem	Proposed	Meets Required?	Comments
Additional 1 foot of building setback required for each foot of height over the maximum allowed under RM-1	All buildings setback appropriately to allow for additional height	Yes	
A Community Impact Statement is required for the PD-1 option	N/A	Yes	The CIS was submitted with the overall site. Since the changes proposed do not change the overall impact of the project, an update is not required.
A Traffic Impact Statement is required for the PD-1 option	N/A	Yes	The TIS was submitted with the overall site. Since the changes proposed do not change the overall impact of the project, an update is not required.

Review Prepared by Kristen Kapelanski, AICP

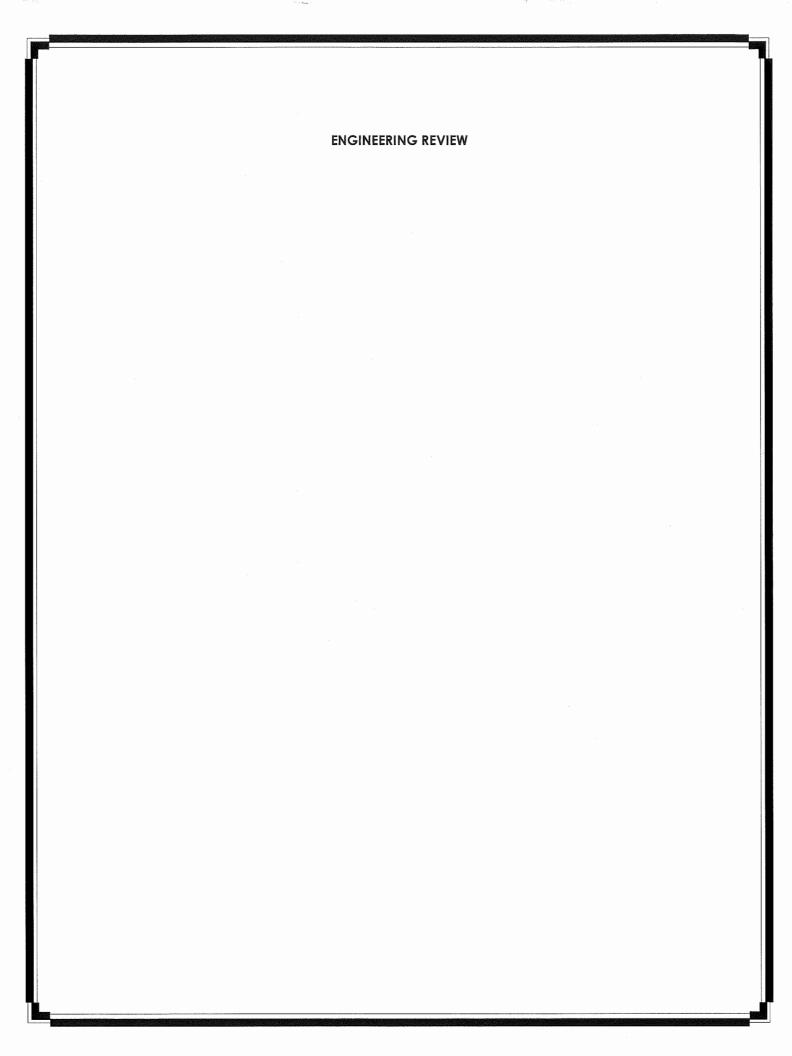
Lighting Review Summary Chart Fox Run JSP13-64 Revised Preliminary Site Plan Review Plan Date: 10-17-13

Plan Date: 10-17-13		Mode	
Itam	Poguirod	Meets	Camamanta
Item Intent (Section 2511.1)	Required Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	Comments
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data Fixture height Mounting & design Glare control devices Type and color rendition of lamps Hours of operation Photometric plan	No	Hours of operation not included.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district (30 feet) or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes	- Electrical service to	No	Required notes must be

		Meets	
Item	Required	Requirements?	Comments
(Section 2511.3.b)	light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.		added to the plan.
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	- Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min	Yes	
Maximum Illumination adjacent to Non- Residential (Section 2511.3.k)	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

Prepared by Kristen Kapelanski, AICP kkapelanski@cityofnovi.org

(248) 347-0586





PLAN REVIEW CENTER REPORT

February 28, 2014

Engineering Review

Fox Run Phase 2 JSP13-0064

Petitioner

Erickson Living, applicant

Review Type

Revised Preliminary Site Plan

Property Characteristics

Site Location:

N. of Thirteen Mile Rd. and E. of M-5

Site Size:

12.34 acres

Plan Date:

February 14, 2014

Project Summary

- Construction of three multi-story buildings totaling in 369 units and associated parking. Site access would be provided access points off of Fox Run Rd.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main Fox Run Rd. A 6-inch domestic lead and a 6-inch fire lead would be provided to serve each building, along with three additional hydrants.
- Sanitary sewer service would be provided by re-aligning the existing 8-inch sanitary sewer. A 6-inch sanitary sewer lead is provided for each building.
- Storm water would be collected by connecting to the existing storm sewer network for the development.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

- 2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
- 3. Revise the plan set to specifically identify any bridges or constructed walkways which connect the proposed buildings.
- 4. Provide a note stating that it is the Contractor's responsibility to televise and verify that the existing utilities are fully functional. Any defective or broken material must be replaced as part of this site plan.
- 5. Revise the plan set to thoroughly detail any and all utility work that does not fall completely within phase lines. All utilities must be clearly delineated by phase via differing line types, weights, and/or callouts.
- 6. Please note that all paving will be limited to the extents as depicted by the proposed phase lines.
- 7. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on cityofnovi.org.
- 8. Provide a minimum of two ties to established section or quarter section corners. The associated section or quarter section corners must clearly be labeled on the plan set.
- 9. Please note that each phase requires individual final site plan approval.

Water Main

10. Provide a profile for all proposed water main with a note stating that a minimum cover of five and one-half (5½) feet shall be maintained at all times.

Sanitary Sewer

- 11. Provide a profile for all proposed sanitary sewer with a note stating that a minimum cover of four (4) feet shall be maintained at all times.
- 12. Revise the plan set to provide a sanitary sewer monitoring manhole for each proposed building lead. This manhole must be located in a public sanitary sewer easement or separate sanitary sewer monitoring manhole access easement. Currently there is no monitoring manhole shown for unit 2.4.
- 13. Consider enclosing the sanitary sewer within a casing wherever the proposed sanitary sewer passes under an elevated bridge between buildings.

Storm Sewer

- 14. Provide a separate plan sheet for the proposed storm sewer. This plan sheet must contain the diameter, material type, and inverts for all storm sewer related work in Phase 2.
- 15. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps.

Paving & Grading

16. Provide top of wall and bottom of wall elevations for all proposed boulder retaining walls at intervals no greater than 50 feet along the face of wall.

- 17. Provide detailed grading for the ramps adjacent to the proposed barrier-free parking stalls with elevations to demonstrate a level landing adjacent to each ramp and general ADA compliance. 4-inch wheel stops at the sidewalk edge line or sign posts off-set two feet from the sidewalk edge line are required where barrier-free parking stalls do not abut a raised sidewalk/curb.
- 18. Provide a pathway cross-section indicating a <u>maximum</u> cross-slope of 2%.

The following must be submitted at the time of Final Site Plan submittal:

- 19. A letter from either the applicant or the applicant's engineer <u>must</u> be submitted with the revised PSP highlighting the changes made to the plans addressing each of the comments listed above <u>and indicating the revised</u> sheets involved.
- 20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. The cost estimate must be itemized for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

21. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring to be constructed on the site must be submitted to the Community Development Department.

The following must be addressed prior to construction:

- 22. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
- 23. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
- 24. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
- 25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
- 26. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.

- 27. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
- 28. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
- 29. An incomplete site work performance guarantee, equal to 1.5 times the amount required to complete the site improvements (excluding the storm water detention facilities) as specified in the Performance Guarantee Ordinance, must be posted at the Treasurer's Office.
- 30. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
- 31. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.

cc:

Brian Coburn, Engineering

Kristen Kapelanski, Community Development Department

Michael Andrews, Water & Sewer Dept.

TRAFFIC REVIEW

February 25, 2014

Barbara McBeth, AICP Deputy Director of Community Development City of Novi 45175 W. Ten Mile Rd. Novi, MI 48375

SUBJECT: Fox Run Phases 2.3-2.5, JSP13-0064, Traffic Review of Second Revised Preliminary Site Plan, PSP14-0019

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the second revised preliminary site plan, subject to the issues shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing?

- 1. The applicant is proposing to construct several parking lots, containing a total of 280 parking spaces, to serve Buildings RB 2.3, RB 2.4, and RB 2.5.
- 2. The only significant change we are able to identify relative to the first revised preliminary site plan is that the central parking lot formerly part of Phase 2.4 would now be part of Phase 2.3 (as can be seen by comparing sheet CE 100 of the current plan to the corresponding sheet in the plan reviewed last October). This change does not affect our previous design-related review comments.
- 3. None of the bolded comments in our last traffic review, dated 10-28-13, have been addressed and are repeated below for the applicant's convenience.

Traffic Study and Trip Generation

Was a traffic study submitted and was it acceptable? How much new traffic would be generated?

4. A traffic study is unwarranted, and a trip generation forecast is inappropriate and unnecessary.

Vehicular Access Locations

Do the proposed "driveway" locations meet City spacing standards?

5. The three proposed parking lot access drives are all separated from other existing or proposed drives by more than the City-minimum for 25-mph Fox Run Drive (105 ft).

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

6. No.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

- 7. The east parking lot access drive has been appropriately dimensioned as 24 ft wide. Per the City's Design and Construction Standards and typical engineering practice, this width is from back-of-curb to back-of-curb. However, a note in the lower right corner of sheet CE 101 now reads "All dimensions are from face of curb." This note should be reworded to indicate that "All driveway widths and curb radii are referenced to back of curb. Unless otherwise specified, dimensions of parking spaces, drive aisles, sidewalks, and other elements are to face of curb or walk."
- 8. A STOP sign of unspecified size is now proposed at each parking lot egress point. The size of the octagon containing the word STOP should be specified, and if overall Fox Run traffic signing standards call for an alternative background panel for the octagon, a facsimile of the total sign installation should be detailed on the plans.

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

9. It appears that the proposed locations and types of sidewalk ramps will result in the eight barrier-free parking spaces in the lot northwest of Building RB 2.3 not abutting raised sections of sidewalk. The City's ADA Compliance Officer should indicate whether or not this is acceptable. If wheel stops are called for, they should be limited to 4 inches in height and have their parking face positioned 17 ft from the aisle ends of the parking stripes.

Circulation

Do the parking lots meet City design standards? Can vehicles safely and conveniently maneuver through the site?

- 10. The plan now shows a total of three van-accessible parking spaces, not two as indicated in the engineer's transmittal letter. Regardless of the number of van-accessible spaces required by ADA regulations, every space adjacent to an 8-ft-wide access aisle qualifies as van accessible and should be signed as such. As now configured, six of the twelve barrier-free spaces should be signed as van-accessible.
- 11. The Barrier Free Parking Sign Detail (on sheet CE 101) must show the correct conceptual sign design and MMUTCD sign codes:
 - a. The R7-8 must include the word ONLY below in the white space below the wheelchair.
 - b. According to the 2011 MMUTCD, the VAN ACCESSIBLE sign is now a R7-8P.

- 12. The Sign Legend should be converted to a Sign Quantities Table, and said table should list each sign type by verbal description, MMUTCD sign code, and quantity required.
- 13. Overall, the revised parking lot dimensions better comply with City standards and will provide for satisfactory circulation by all anticipated vehicle types.

Sincerely,

CLEARZONING, INC.

Rodney L. Arroyo, AICP

President

William A. Stimpson, P.E.

William a Stimpson

Director of Traffic Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

February 28, 2014

Revised Landscape Review Fox Run JSP13-64

<u>Petitioner</u>

Erickson Living

Review Type

Revised Preliminary Site Plan with PD-1 Option

Property Characteristics

• Site Location: North of Thirteen Mile Road, West of M-5 (Section 1)

• Site Zoning: RM-1, Low Density, Low-Rise Multiple-Family Residential

• Adjoining Zoning: North: RA, Residential Acreage, R-2, One-Family Residential; East:

MH, Mobile Home; South and West: RA, Residential Acreage;

Adjoining Uses: North: Haverhill Farms, The Maples of Novi; East: Brightmoor

Tabernacle; West: Hometown Novi; South: Single-family homes,

Vacant

School District: Walled Lake School District

Site Size: 102.8 acresPlan Date: 2-14-14

Recommendation

Approval of the Revised Preliminary Site Plan for Fox Run Phase 2 - JSP13-64 is recommended.

Ordinance Considerations

Adjacent to Residential - Buffer (Sec. 2509.3.a.)

1. The existing vegetative buffer will remain undisturbed.

Adjacent to Public Rights-of-Way - Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. No berm is required for this phase of the project.

Street Tree Requirements (Sec. 2509.3.b.)

1. Street trees are required at one per 35 l.f. along the internal roadways. This requirement has been met along access routes as well.

Parking Landscape (Sec. 2509.3.c.)

- 1. Parking lot landscape islands have been provided. This requirement has been met.
- 2. Parking lot canopy trees have been provided as required.
- 3. Perimeter Parking Lot Canopy Trees are required at one per 35 LF. This requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

- 1. A 4' wide landscape bed is required at the building foundation with the exception of access points. This requirement has been met.
- 2. Adequate building foundation landscape area has been provided as required.

3. Three (3) canopy trees are required for each residential unit. This requirement has been met.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

Planting Details & Notations (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

Storm Basin Landscape (Sec. 2509.3.e.(4)) & LDM)

1. No above ground storm basin is proposed.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated. It is noted that irrigation will be provided to all landscape areas. Please provide an irrigation plan with the stamping set submittal.

General

- 1. Please note that the phase lines have been appropriately revised to include extensive buffer landscape and the fire safety access drive located between Fox Run and the Lenox Park project. These plantings are not required under the ordinance, but were added as an aesthetic improvement.
- 2. Please see woodland and wetland reviews for additional comments.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.

Reviewed by: David R. Beschke, RLA

FIRE REVIEW



February 20 2014

CITY COUNCIL

Mayor Bob Gatt

Mayor Pro Tem

Dave Staudt

Gwen Markham

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager

Clay J. Pearson

Director of Public Safety Chief of Police

David E. Molloy

Director of EMS/Fire Operations

Jeffery R. Johnson

Assistant Chief of Police

Victor C.M. Lauria

Assistant Chief of Police

Jerrod S. Hart

TO: Barbara McBeth, Deputy Director of Community Development

Kristen Kapelanski

Sara Roediger

RE: Fox Run Concept Plan

SP#: PSP13-0153

SP# PSP13-0170

SP# PSP14-0019

Project Description:

Additional building to the Fox Run complex (RB 2.3)

Comments:

Site Plan Meets Fire Department Standard

Recommendation:

02/20/2014---Recommended for Approval

Sincerely,

Joseph Shelton- Fire Marshal City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration 45125 W. Ten Mile Road Novi, Michigan 48375 248.348.7100 248.347.0590 fax APPLICANT RESPONSE LETTER

55800 Grand River Avenue, Suite 100 New Hudson, Michigan 48165-9318 248.437.5099 · 248.437.5222 fax www.zeimetwozniak.com

March 3, 2014

Ms. Kristen Kapelanski, AICP City of Novi Community Development Department 45175 W. Ten Mile Road Novi, MI 48375

Re:

Revised Phasing for Fox Run Phase 2

JSP13-0064, JSP14-0019

Dear Ms. Kapelanski:

Thank you for recommending approval of the revised Preliminary Site Plan showing the revised phasing for this project on February 28, 2014.

The minor comments regarding the site lighting shall be addressed on the Final Site Plan submittal.

We look forward to working with you as we move forward with the Final Site Plan documents.

Thank you for assistance with this project. Please contact us if you have any questions or comments.

Very truly yours,

Julian J. Wargo, Jr., PE

Encl.

PC:

James Wilhour, Erikson Living Christian Fussy, Lantz-Boggio

Ken Weikal, KWLA

Z:00144.Letter71

55800 Grand River Avenue, Suite 100 New Hudson, Michigan 48165-9318 248,437.5099 · 248.437.5222 fax www.zeimetwozniak.com

March 3, 2014

Mr. Adam Wayne, Staff Engineer City of Novi Public Services Department - Engineering Division 45175 W. ten Mile Road Novi, MI 48375

Re:

Fox Run - Revised Preliminary Site Plan - File No. JSP13-64, JSP14-19

Dear Mr. Wayne:

Thank you for recommending approval of the revised Preliminary Site Plan and Preliminary Stormwater Management Plan showing the revised phasing for this project on February 28, 2014.

We look forward to working with you as we move forward with the Final Site Plan.

Very truly yours,

Julian J. Wargo, Jr., PE Senior Project Engineer

PC:

Mr. James Wilhour, Erikson

Mr. Christian Fussy, Lantz Boggio Architects

Mr. Ken Weikal

Z:00144.Letter68



March 3, 2014

Mr. David Beschke, RLA City of Novi Community Development Department 45175 W. Ten Mile Road Novi, MI 48375

Re:

Revised Phasing for Fox Run Phase 2

JSP13-0064, JSP14-0019

Dear Mr. Beschke:

Thank you for recommending approval of the revised Preliminary Site Plan showing the revised phasing for this project on February 28, 2014.

We look forward to working with you as we move forward with the Final Site Plan documents.

Sincerely,

KENNETH WEIKAL LANDSCAPE ARCHITECTURE

Kenneth S. Weikal - Principal

PC: James Wilhour, Erikson Living

Christian Fussy, Lantz-Boggio Julian Wargo, Zeimet Wozniak Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100 New Hudson, Michigan 48165-9318 248.437.5099 · 248.437.5222 fax www.zeimetwozniak.com

March 3, 2014

Mr. Rodney L. Arroyo, AICP Clearzoning, Inc. 28021 Southfield Road Lathrup Village, MI 48076

Re:

Fox Run Phases 2.4 - 2.5, JSP13-0064,

Traffic Review of Revised Preliminary Site Plan, PSP14-0019

Dear Mr. Arroyo:

Thank you for recommending approval of the revised Preliminary Site Plan showing the revised phasing for this project on February 25, 2014.

We understand that your approval is subject to addressing your comments from your last traffic review on the Final Site Plan.

Thank you for assistance. We look forward to working with you as the Final Site Plan moves forward.

Very truly yours,

Julian J. Wargo, Jr., PE Senior Project Engineer

PC:

Mr. James Wilhour, Erikson

Mr. Christian Fussy, Lantz Boggio Architects

Mr. Ken Weikal

Z:00144.Letter70



55800 Grand River Avenue, Suite 100 New Hudson, Michigan 48165-9318 248.437.5099 · 248.437.5222 fax www.zeimetwozniak.com

March 3, 2014

Mr. Joseph Shelton, Fire Marshal City of Novi Public Safety Administration - Fire Department 45125 W. Ten Mile Road Novi, MI 48375

Re:

Fox Run - Revised Preliminary Site Plan File No. PSP13-0153, PSP13-0170, PSP14-009

Dear Mr. Shelton:

Thank you for recommending approval of the revised Preliminary Site Plan for this project showing the revised phasing on February 20, 2014.

We look forward to working with you as we move forward with the Final Site Plan.

Very truly yours,

Julian J. Wargo, Jr., PE Senior Project Engineer

PC:

Mr. James Wilhour, Erikson

Mr. Christian Fussy, Lantz Boggio Architects

Mr. Ken Weikal

Z:00144.Letter69

CITY COUNCIL MINUTES – EXCERPT January 11, 2014

Page 1

REGULAR MEETING OF THE COUNCIL OF THE CITY OF NOVI SATURDAY, JANUARY 11, 2014 AT 8:00 A.M. COUNCIL CHAMBERS – NOVI CIVIC CENTER – 45175 W. TEN MILE ROAD

Mayor Gatt called the meeting to order at 8:00 A.M.

PLEDGE OF ALLEGIANCE

ROLL CALL:

Mayor Gatt, Mayor Pro Tem Staudt, Council Members Casey,

Fischer, Markham, Mutch, Wrobel

ALSO PRESENT:

Clay Pearson, City Manager

Victor Cardenas, Assistant City Manager

Thomas Schultz, City Attorney

APPROVAL OF AGENDA:

CM 14-01-001

Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY: To

approve the Agenda as presented.

Roll call vote on CM 14-01-001

Yeas: Staudt,

Casey,

Fischer,

Markham,

Mutch, Wrobel, Gatt

Nays: None

MATTERS FOR COUNCIL ACTION

1. Approval of the request of Erickson Living for JSP 13-64 Fox Run Revised Preliminary Site Plan with PD-1 Option (and associated Second Amendment to the Development Agreement), Revised Special Land Use Permit, Revised Phasing Plan, Revised Woodland Permit and Revised Stormwater Management Plan. The property is located in Section 1 of the City north of Thirteen Mile Road and west of M-5 in the RM-1, Low Density Low-Rise Multiple-Family Residential District and totals 102.8 acres. The applicant is proposing to revise the original approval and layout of the remaining buildings in Phase II.

City Manager Pearson said the next phase has already been approved but through experience from the first phase they are making some changes to the building layouts and configurations. The changes have a favorable recommendation from the Planning Commission and staff.

Matthew Quinn, representing Erickson Fox Run, said they are expanding and are combining four buildings into three that results in a revised phasing plan. The only thing brought up from the Planning Commission was some adjacent neighbors from Lenox Park asked if Fox Run would consider putting in additional buffering at the border. It was agreed upon by both parties. There have been positive approvals from staff and consultants on the project.

Member Markham asked about the elimination of the emergency access. Mr. Quinn said they found out after the Planning Commission meeting that the gate was on Lenox Park property. They are still discussing it. Lenox Park will be repaving one of their roads in that area and then it will be addressed if they need an easement for any construction.

Member Mutch was not comfortable with the secondary access point being eliminated. He knew that Fox Run does have a secondary access closer to Thirteen Mile off the entrance drive

that goes to Lenox Park. In light of the size of the development, he feels there may be a need for emergency vehicles to access the development. He recommended being very cautious about eliminating the access. The other concern of the Lenox Park residents was the storm water runoff. City of Novi ordinances don't allow storm water flow going onto the adjacent property and asked how that was being handled by the Fox Run development. Julian Wargo, Zeimet, Woniak & Associates, 41637 Steinbeck Glen, said he is the civil engineer for Fox Run and Lennox Park developments. He said Fox Run's storm water management program does not affect Lenox Park in any way. There is a divide that runs along the property line between the two developments. He was involved with the design of Fox Run in the beginning and with the close out of Lenox Park; he said one does not impact the other. Member Mutch said he wanted to make sure those concerns were properly addressed and thanked Mr. Wargo.

CM 14-01-003

Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY: To

approve the request of Erickson Living for Fox Run for a Revised Special Land Use Permit for JSP 13-64 based on the following findings:

Relative to other feasible uses of the site:

- The proposed use will not cause any detrimental impact on existing thoroughfares (as indicated in the traffic review letter);
 - Subject to satisfying the requirements in the Engineering Review the proposed use will not cause any detrimental impact on the capabilities of public services and facilities (because the plan adequately addresses and provides for water and sanitary sewer service and management of stormwater volumes):
- The proposed use is compatible with the natural features and characteristics of the land (as no new impacts to natural features are proposed);
 - The proposed use is compatible with adjacent uses of land (as indicated in the staff and consultant review letters);
- The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
- The proposed use will promote the use of land in a socially and economically desirable manner; and
- The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-003

Yeas: Fischer, Markham, Mutch, Wrobel, Gatt,

Staudt, Casey

Nays: None

CM 14-01-004

Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY:

To approve the request of Erickson Living for Fox Run for a Revised Preliminary Site Plan with a PD-1 Option and the Second Amendment to the Development Agreement based on and subject to the following:

Page 3

- a. City Council finding that the standards of Section 2404.4.A of the Zoning Ordinance are adequately addressed;
- b. Applicant providing a material sample board that demonstrates that the proposed colors will be harmonious with the existing buildings;
- Applicant working with staff and the adjacent Lenox Park development representatives to explore eliminating the existing emergencyaccess connection and providing additional landscape screening as discussed at the December 11, 2013 Planning Commission meeting;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-004

Yeas: Markham, Mutch, Wrobel, Gatt, Staudt,

Casey, Fischer

Nays: None

CM 14-01-005

Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY:

To approve the request of Erickson Living for Fox Run for a Revised Phasing Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-005

Yeas: Mutch, Wrobel, Gatt, Staudt, Casey,

Fischer, Markham

Nays: None

CM 14-01-006

Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY:

To approve the request of Erickson Living for Fox Run for a Revised Woodland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-006

Yeas: Wrobel, Gatt, Staudt, Casey, Fischer,

Markham, Mutch

Nays: None

Regular Meeting of the Council of the City of Novi Saturday, January 11, 2014

To approve the request of Erickson Living for Fox Run for a Revised Stormwater Management, based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

Roll call vote on CM 01-14-007

Yeas: Gatt, Staudt, Casey, Fischer, Markham,

Page 4

Mutch, Wrobel

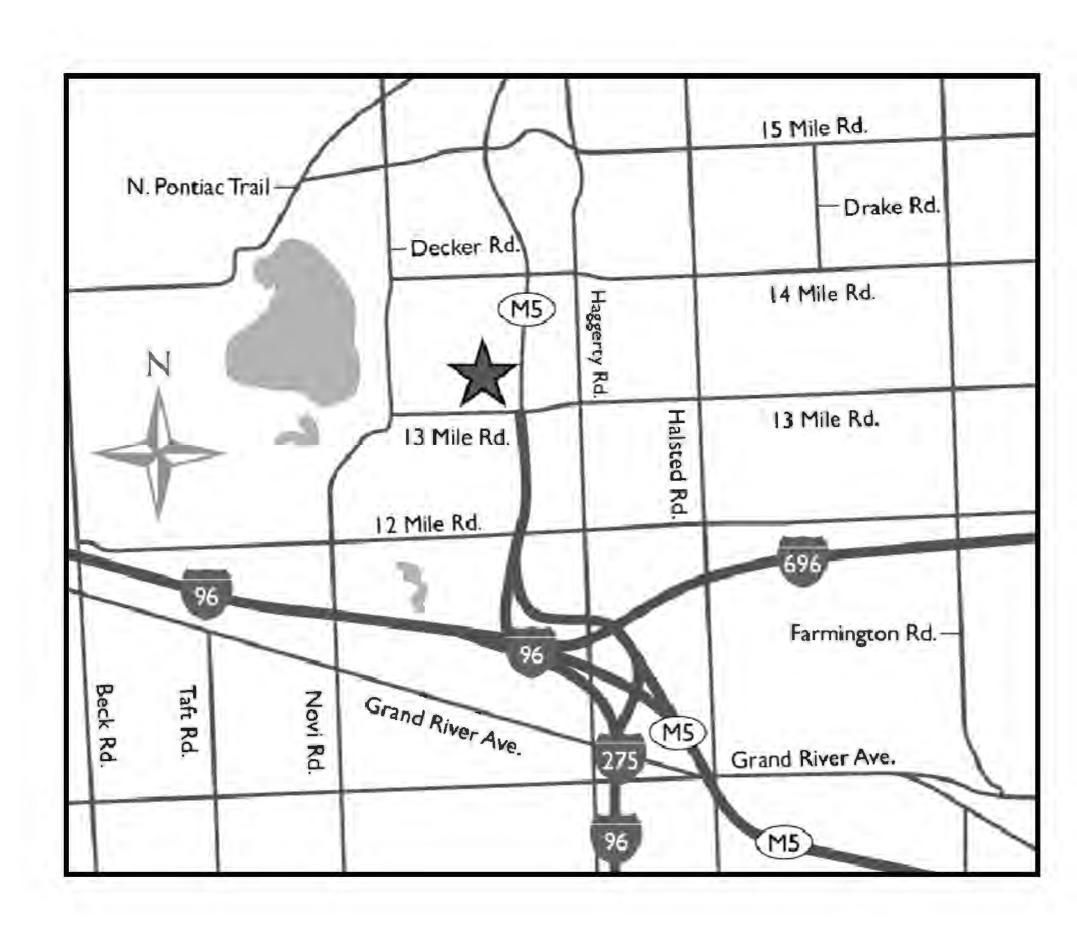
Nays: None

FOXRUN

PHASE 2 PRELIMINARY SITE PLAN

41000 THIRTEEN MILE ROAD

NOVI, MICHIGAN



Sheet Index

Surveying and Engineering

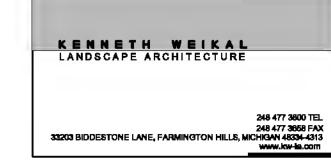
CE 100	Overall Site Phasing Plan
CE 101	Site Dimension Plan
CE 102	Site Grading & Drainage Plan
CE 102.1	Erosion Control Plan
CE 103	Utility Plan
CE 104	Boundary Survey
CE 105	Topographic Survey
CE 106	Tree Location Survey
CE 107	Storm Area Plan
CE 108	Storm Water Management Analysis

Landscape Architecture

L100 Overall Plan/ Key Plan L101 Natural Features Plan L102 Tree Removal Plan L103 RB 2.3 Tree Removal Chart L104 RB 2.3 Landscape Plan L105 RB 2.3 Calculations L106 RB 2.4 Tree Removal Chart L107 RB 2.4 Landscape Plan L108 RB 2.4 Landscape Plan L109 RB 2.4 Calculations L110 RB 2.5 Tree Removal Chart L111 RB 2.5 Landscape Plan L112 RB 2.5 Landscape Plan L113 RB 2.5 Calculations L114 Planting Details

Architectural

A 100 RB 2.3 North & West Elevations
A 101 RB 2.3 South & East Elevations
A 102 Phase Preliminary Material Board
A 103 RB 2.3 Level 1 Plan
A 104 RB 2.3 Level 2 Plan
A 105 RB 2.3 Level 3-5 Plan
A 106 RB 2.4 North & West Elevations
A 107 RB 2.4 South & East Elevations
A 108 RB 2.5 North & East Elevations
A 109 RB 2.5 South & West Elevations
SL1 Site Photometric Plan
SL2 Luminaire Submittals



Ph: 303.773.0436 | Fax: 303.773.8709



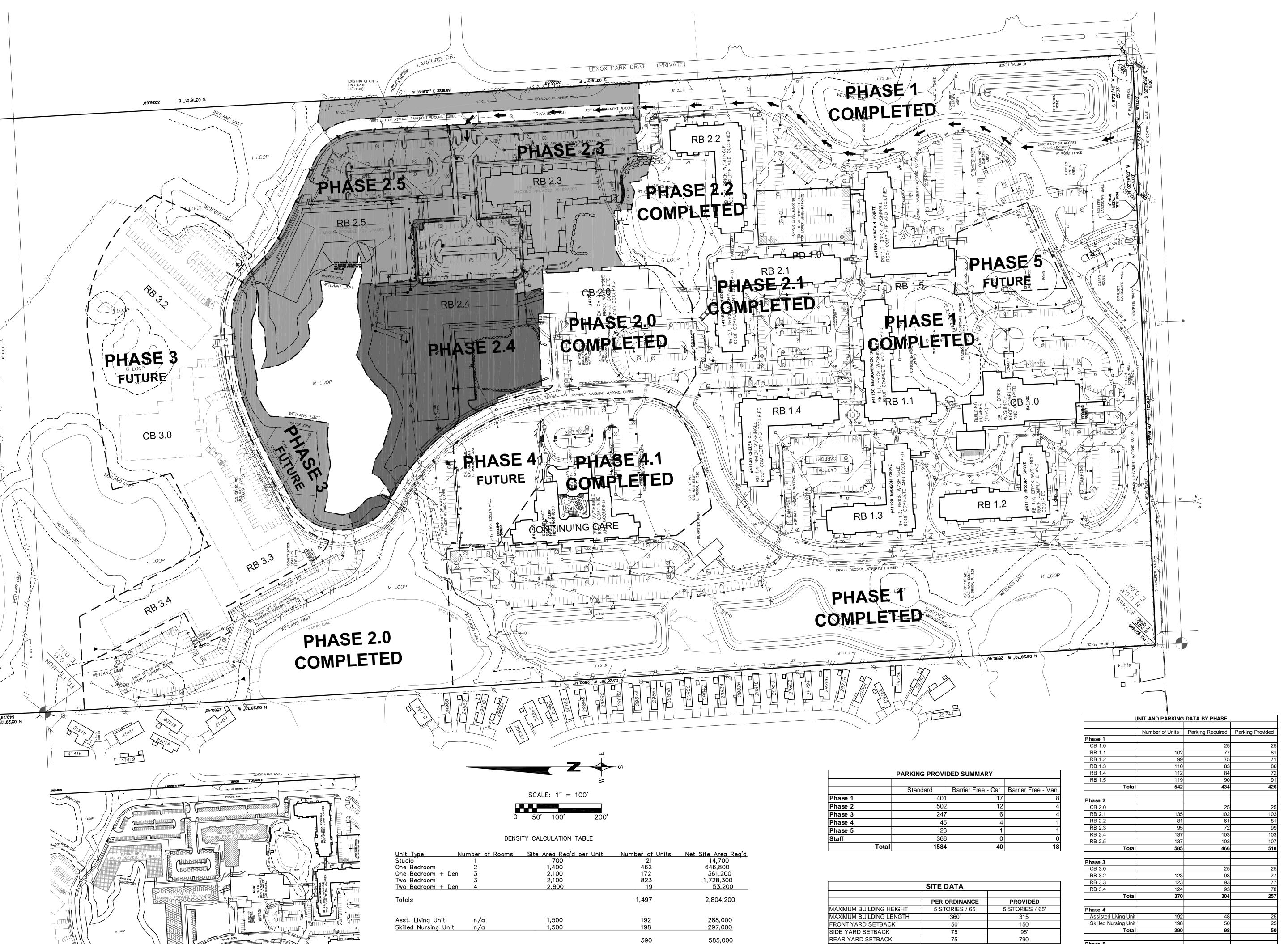
FOX RUN **NOVI, MICHIGAN**



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Section	1
Sheet:	
PHASE	2 PRELIMINARY SITE PLAN
COVER	
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10-09-13	CITY REVIEW
<u>10-17-13</u>	PER CITY REVIEW COMM
02-14-14	REVISED PHASING

COVER



3,389,200

3,764,107

102.817 Acres - 16.405 Acres Regulated Wetlands over 2 Acres = 86.412 Acres

Total Site Area Required

Total Site Area Available

PARKING STUDY: SCALE: 1"=200'

KENNETH WEIKAL LANDSCAPE ARCHITECTURE 248 477 3658 FAX 33203 BIDDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313 www.kw-la.com

ZEIMET WEZNIAK
ASSOCIATES Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE., SUITE 100

NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Lantz-Boggio Architects, P.C

5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111

Ph: 303.773.0436 | Fax: 303.773.8709



Erickson Living 701 Maiden Choice Lane Baltimore, MD 21228 Project Manager: James J. Wilhour (443) 388-2156 james.wilhour@erickson.com

FOX RUN NOVI, MICHIGAN

WORKING DAYS BEFORE YOU DIG, MISS DIG SYSTEM, INC. CALL THE MISS

Fox Run Novi, Michigan Section 1

PHASE 2 PRELIMINARY SITE PLAN **OVERALL SITE PHASING PLAN**

Issue For: 9-17-13

1"=100'

Phase 5 Chapel

Staff Parking

OVER 317,600 S.F.

544,741 S.F.

12%

102,368 S.F.

317,600 S.F.

OPEN SPACE AREA

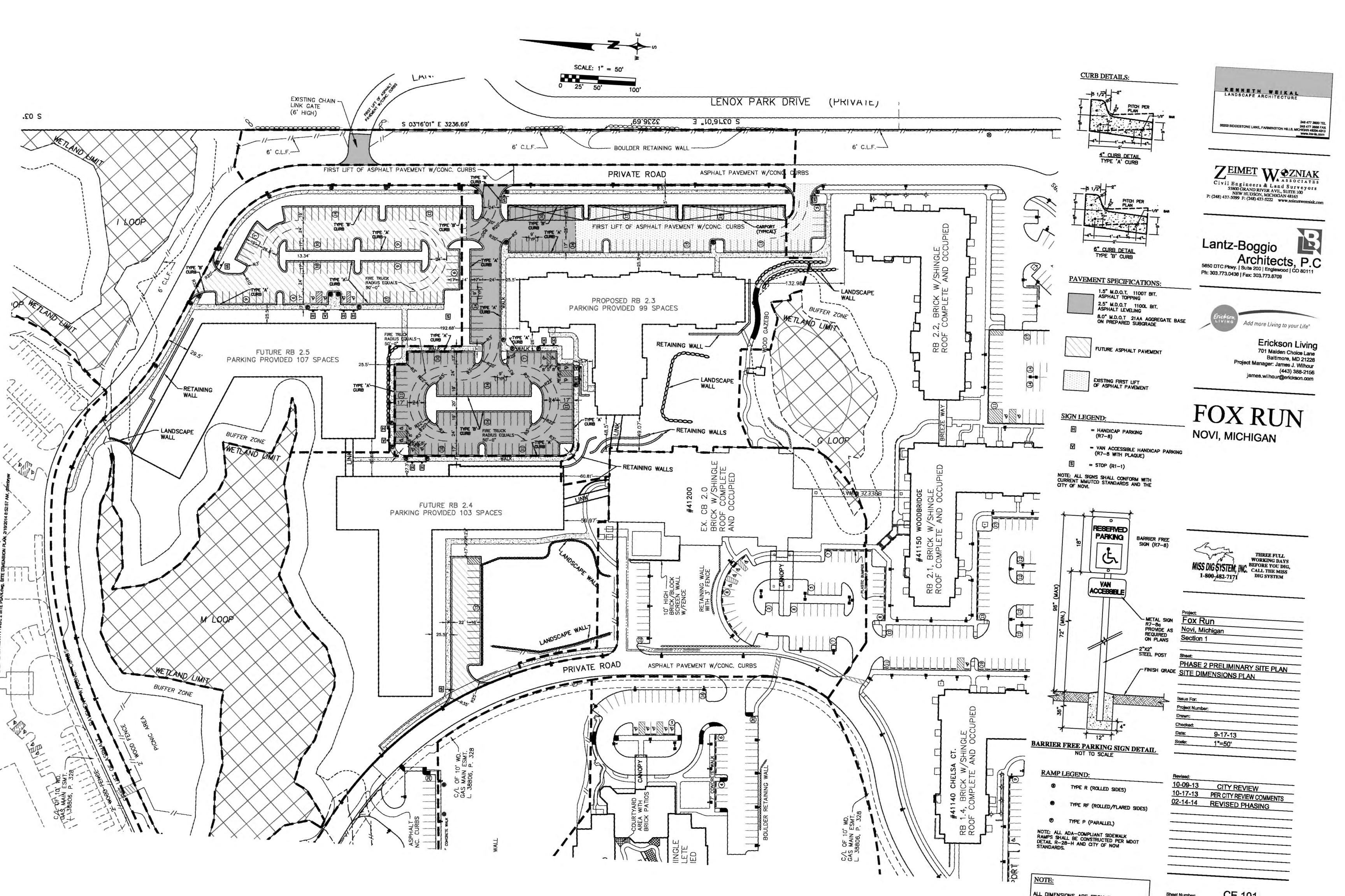
PAVEMENT AREA

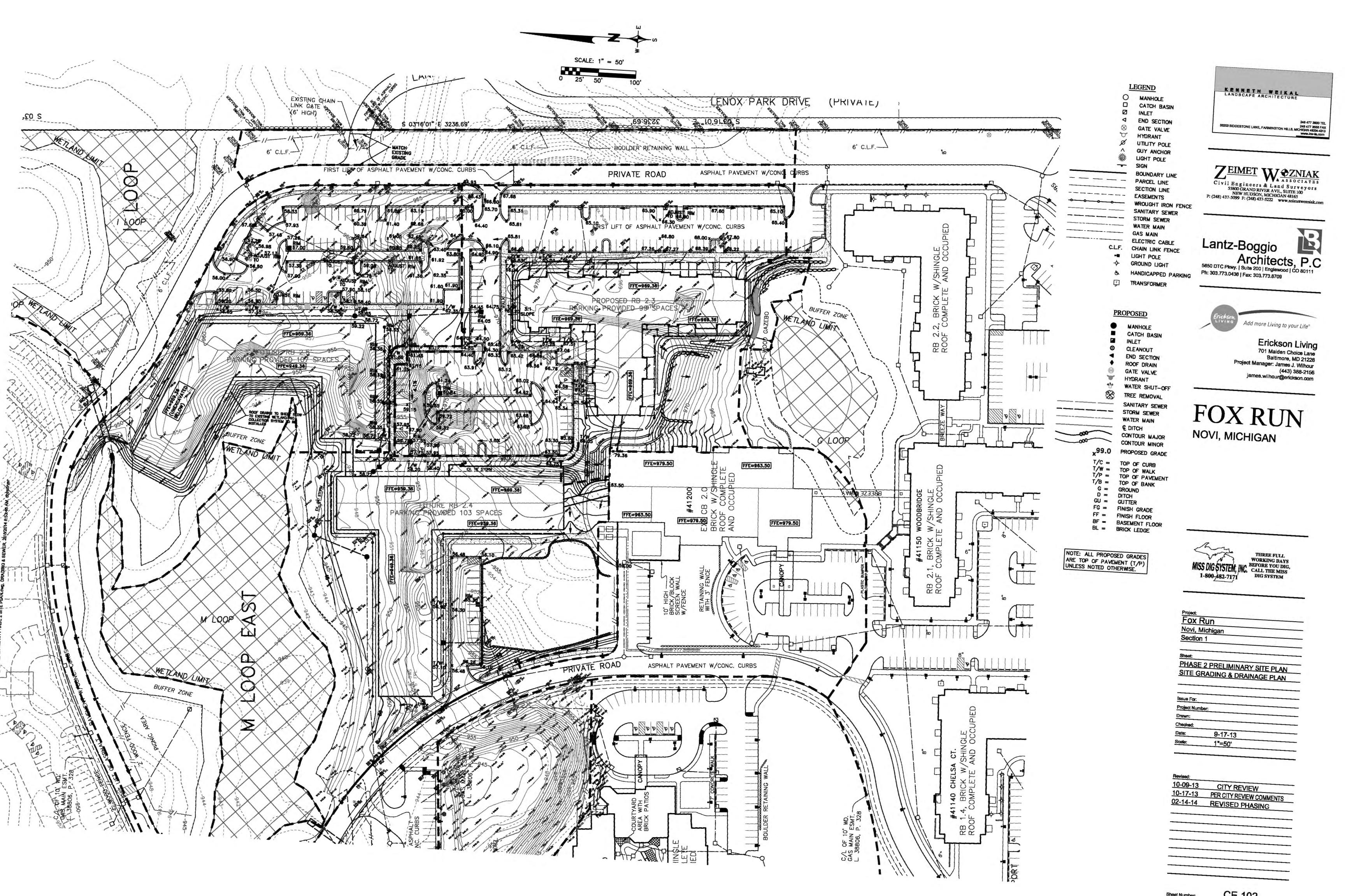
GROSS GROUND FLOOR AREA

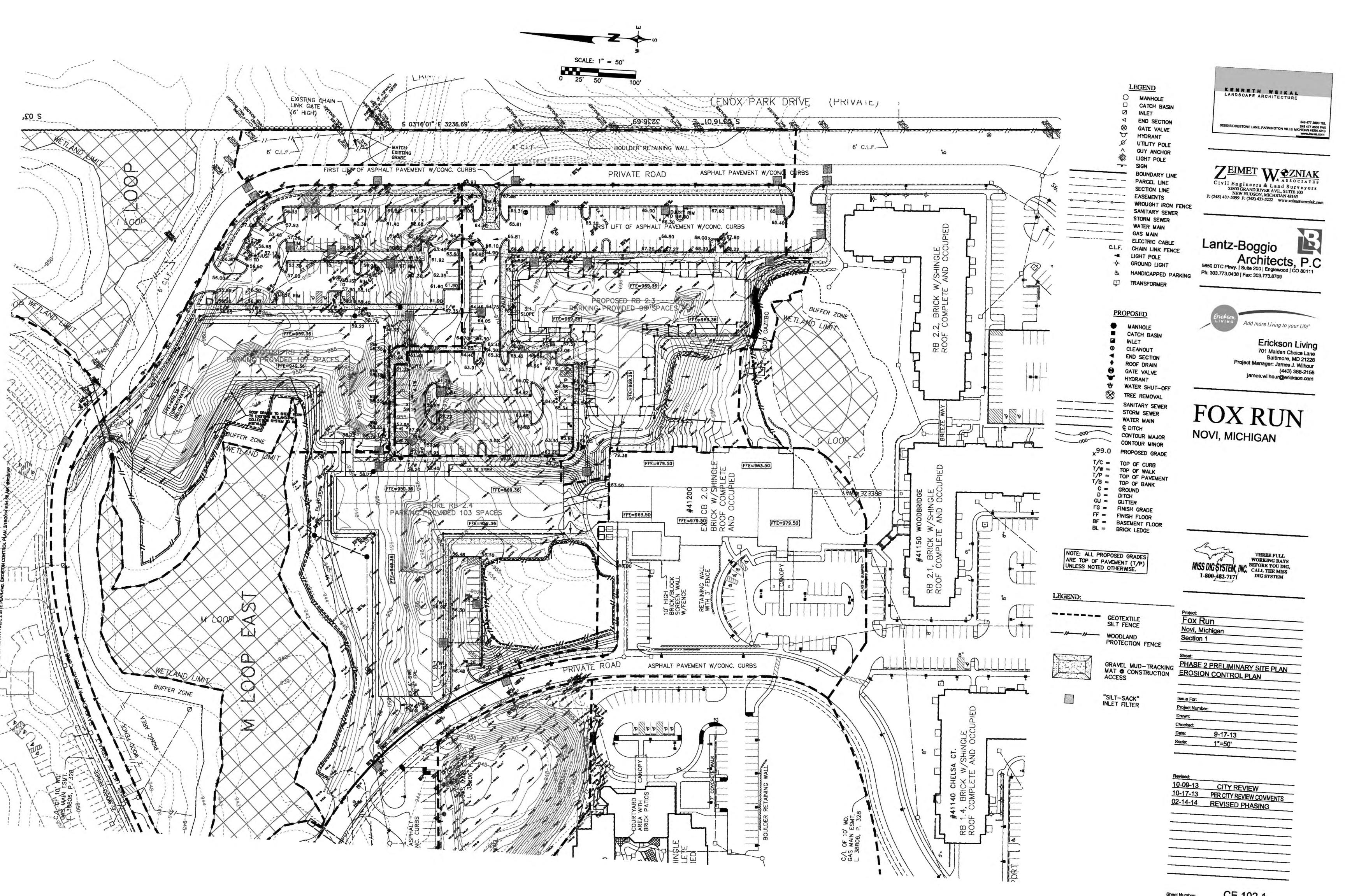
MAXIMUM LOT COVERAGE

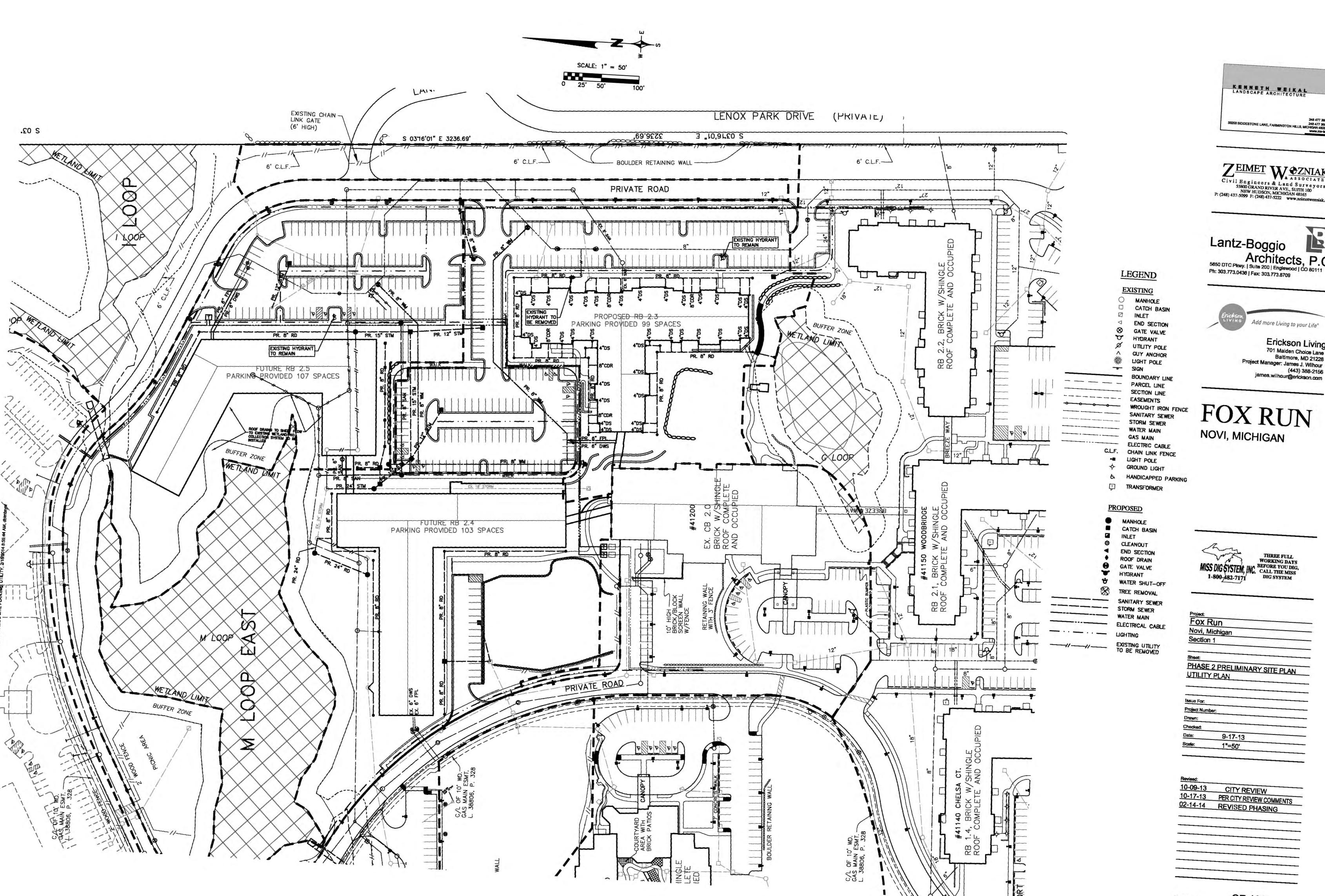
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CE 100









KENNETH WEIKAL LANDSCAPE ARCHITECTURE

ZEIMET WAS OCIATES

Civil Engineers & Land Surveyors

55800 GRAND RIVER AVE., SUITE 100

NEW HUDSON, MICHIGAN 48165

P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Architects, P.C

Add more Living to your Life*

james.wilhour@erickson.com

701 Maiden Choice Lane
Baltimore, MD 21228

(443) 388-2156

PHASE 2 PRELIMINARY SITE PLAN

9-17-13

10-17-13 PER CITY REVIEW COMMENTS 02-14-14 REVISED PHASING

10-09-13 CITY REVIEW

Z Wa ZNIAK ASSOCIATES

Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE., SUITE 100

NEW HUDSON, MICHIGAN 48165

P: (248) 437-5099 F: (248) 437-5222 www,zeimetwozniak,com

HAVERHILL FARMS OAKLAND COUNTY CONDOMINIUM PLAN No. 912

REVISIONS

11-23-09 PTG

UPDATE SURVEY

NORTHWEST CORNER

REVISIONS

DATE BY

REVISIONS

DATE BY

REVISIONS

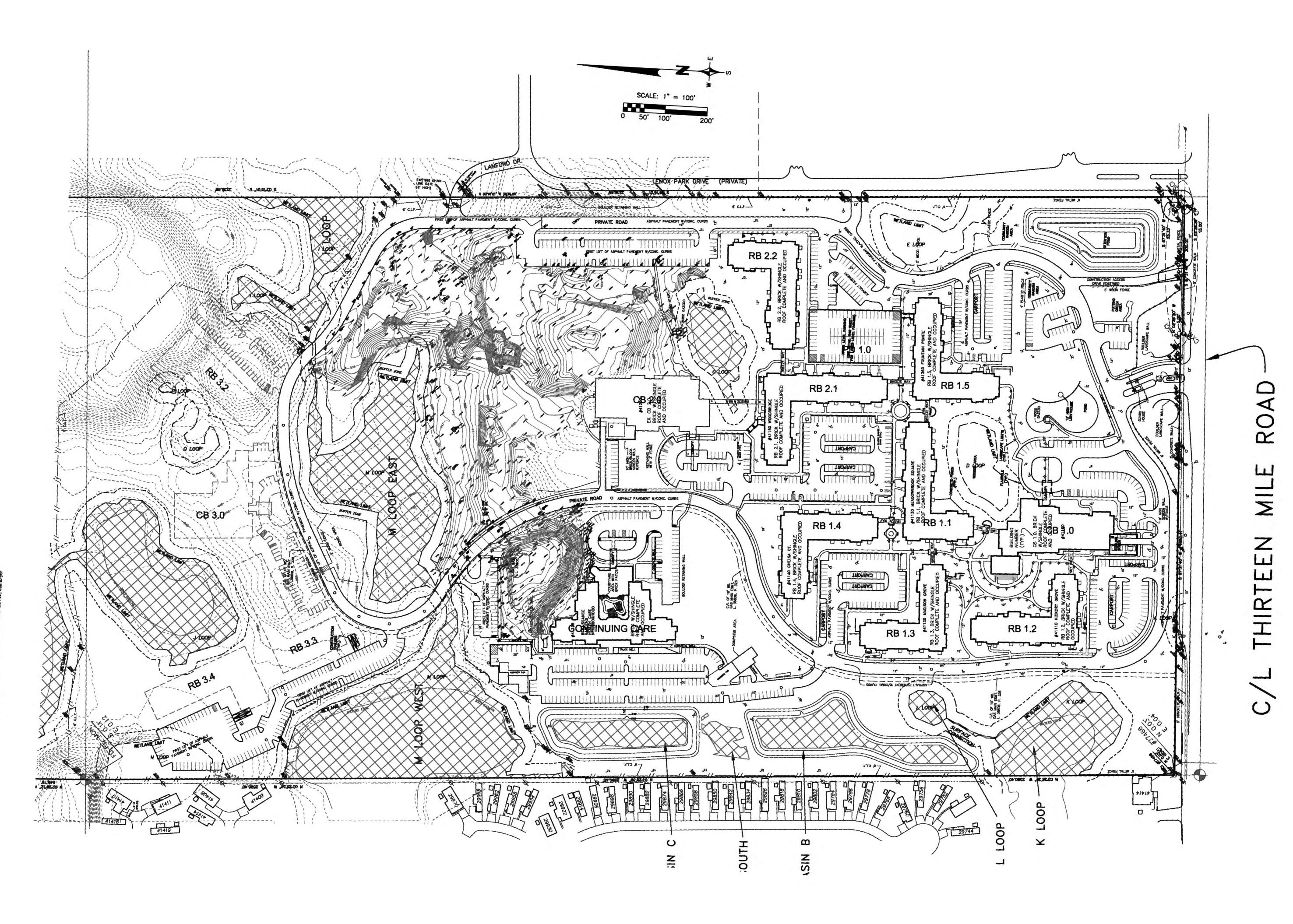
BOUNDARY SURVEY CLIENT: THREE FULL WORKING DAYS ERICKSON LIVING FOX RUN MISS DIG SYSTEM, INC. CALL THE MISS 701 MAIDEN CHOICE LANE BALTIMORE, MARYLAND 21228 1-800-482-7171 CITY OF NOVI MICHIGAN DATE 8-29-08 | SCALE | HOR: 1" = 200' | VER: 1" =

SHEET

DRAWN BY

PTG

JOB NO. 00144



KENNETH WEIKAL LANDSCAPE ARCHITECTURE

ZEIMET WEZNIAK

Civil Engineers & Land Surveyors

55800 GRAND RIVER AVE., SUITE 100

NEW HUDSON, MICHIGAN 48165

P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Architects, P.C 5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111 Ph: 303.773.0436 | Fax: 303.773.8709



Erickson Living
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Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2156
james.wilhour@erickson.com

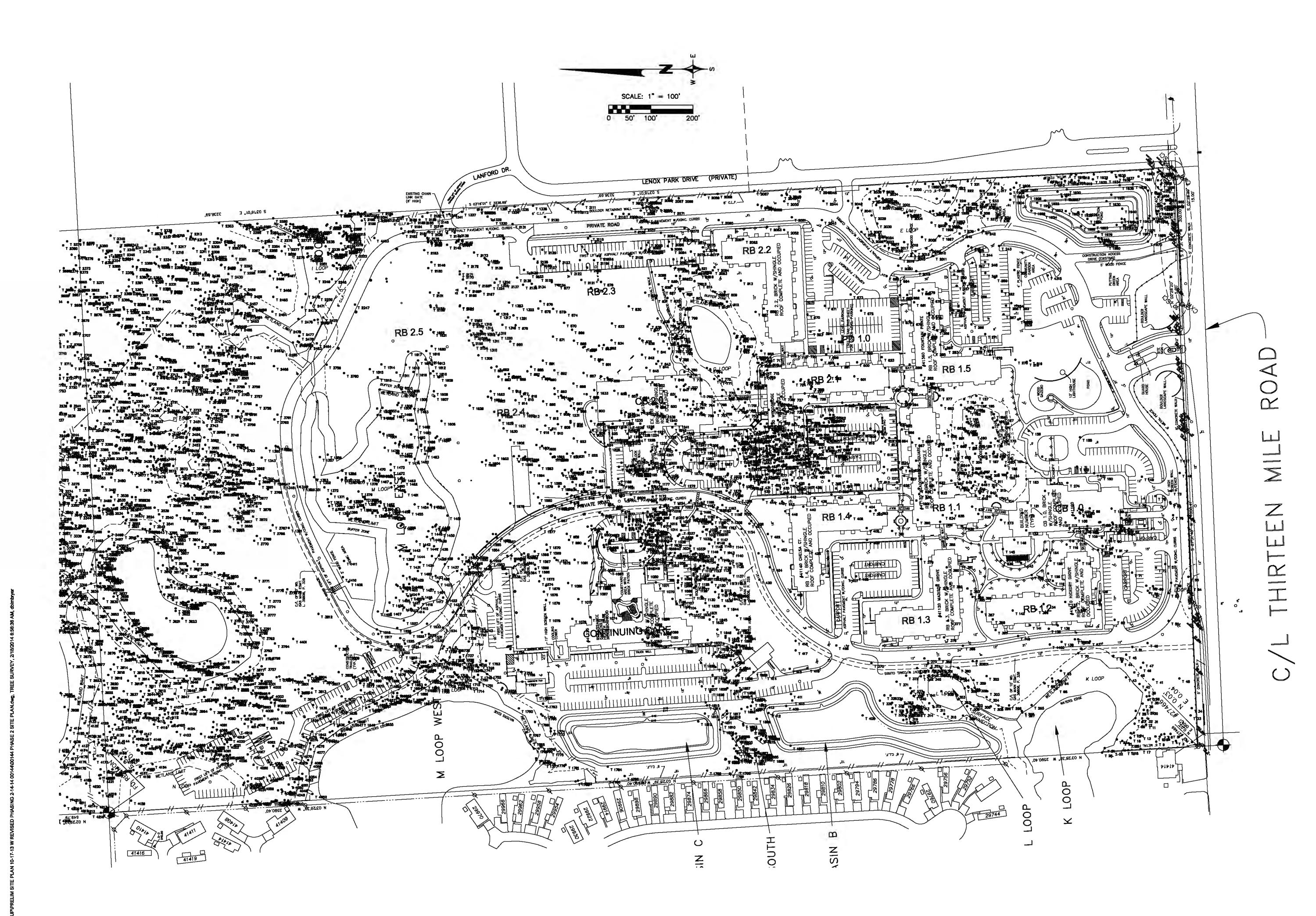
FOX RUN
NOVI, MICHIGAN

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Market	THREE FULL
MISS DIG SYSTEM, INC.	WORKING DAYS BEFORE YOU DIG
1-800-482-7171	CALL THE MISS
1-000-482-7171	DIG SYSTEM

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10-09-13	CITY REVIEW
10-17-13	PER CITY REVIEW COMMENTS
02-14-14	REVISED PHASING

9-17-13



KENNETH WEIKAL

LANDSCAPE ARCHITECTURE

248 477 3800 TEL
248 477 3898 FAX

ZEIMET WAAS SOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
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Lantz-Boggio
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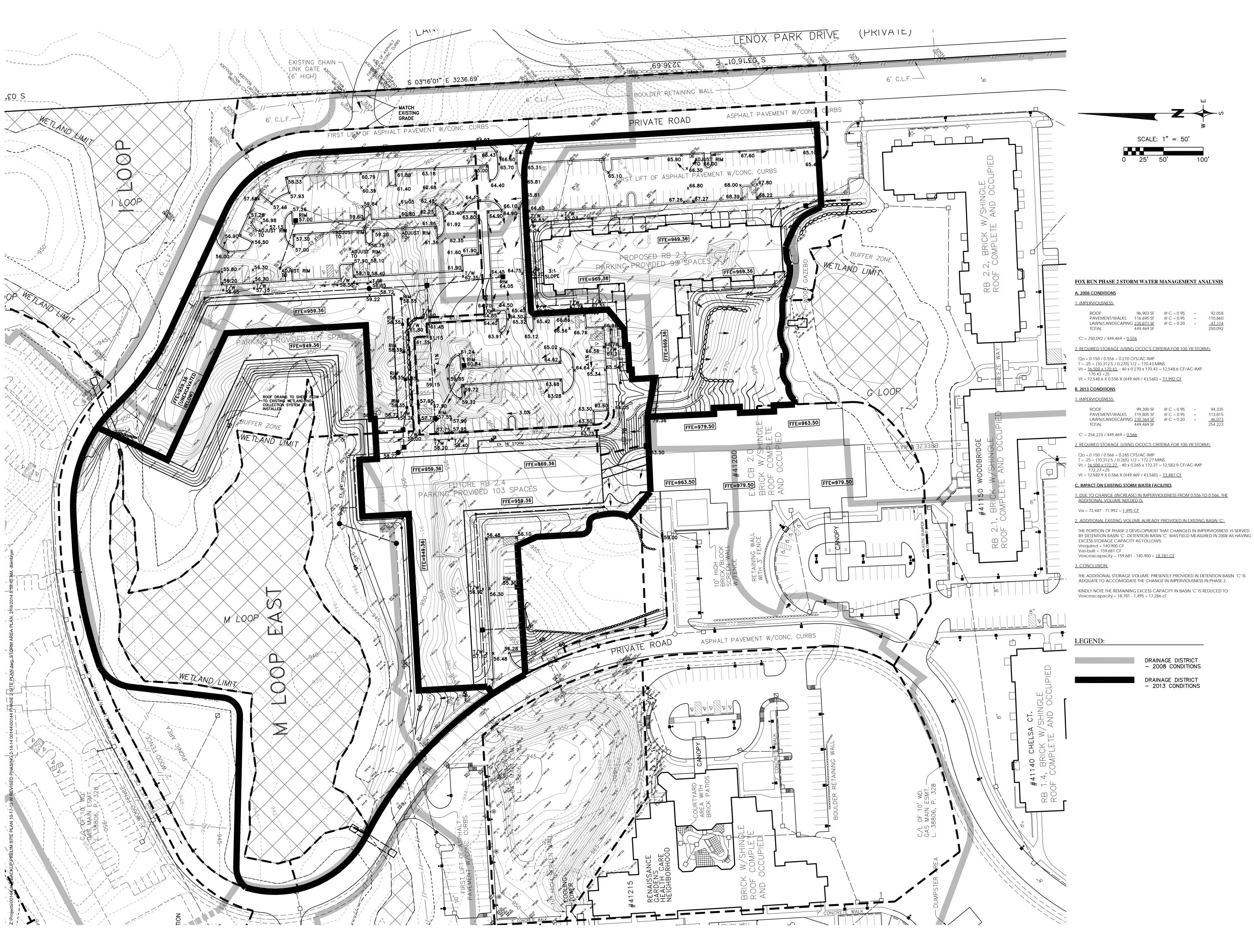
FOX RUN
NOVI, MICHIGAN

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Fox Ru	<u>Jn</u>	
Novi, Mi	chigan	
Section '	1	
Sheet:		1.72
PHASE :	2 PRELIMINARY S	ITE PLAN
TREE LO	OCATION SURVEY	1.227
		_
Issue For:		
Project Numl	ber:	
Drawn:		
Checked:		
Date:	9-17-13	
Scale:	1"=100'	

10-09-13	CITY REVIEW
10-17-13	PER CITY REVIEW COMMENTS
02-14-14	REVISED PHASING

______ CE 106



KENNETH WEIKAL
LANDSCAPE ARCHITECTURE 248 477 3600 TEL 248 477 3658 FAX 33203 BIDDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313 www.kw-la.com

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Lantz-Boggio

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Erickson Living 701 Maiden Choice Lane Baltimore, MD 21228 Project Manager: James J. Wilhour (443) 388-2156 james.wilhour@erickson.com

FOX RUN NOVI, MICHIGAN

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THREE FULL WORKING DAYS DIG SYSTEM

Fox Run

PHASE 2 PRELIMINARY SITE PLAN STORM AREA PLAN

Issue For

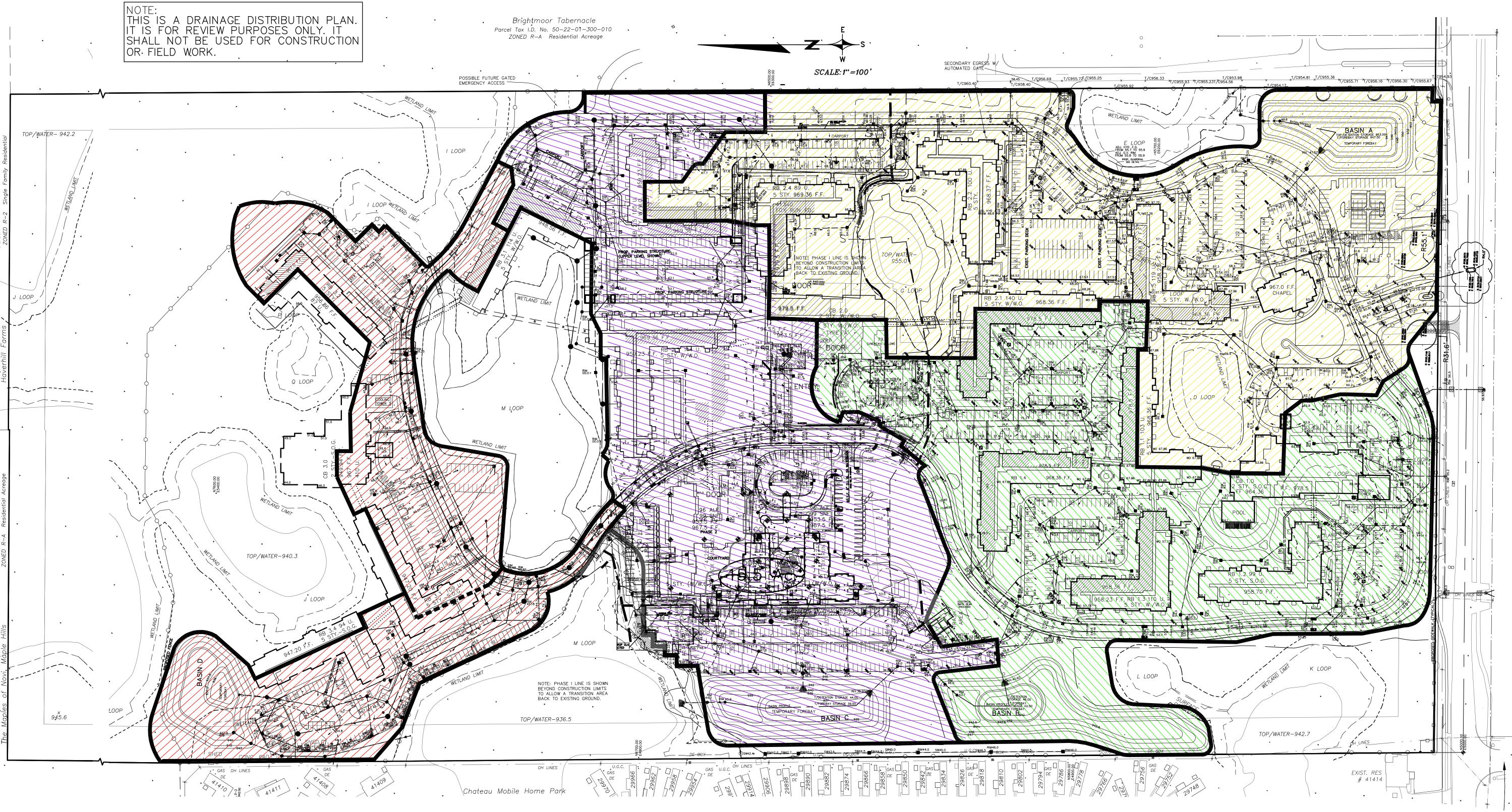
Novi, Michigan

Section 1

<u>10-09-13</u> CITY REVIEW

10-17-13 PER CITY REVIEW COMMENTS 02-14-14 REVISED PHASING

CE 107



PRE-DEVELOPMENT STORMWATER MANAGEMENT SUMMARY (BASED UPON FIELD MEASUREMENTS PERFORMED ON 5/12/08)

Basin	Drainage District			100-Yr Design			Restriction Design		
	Area (Ac)	C Factor	CA	Req. (cf)	Prop. (cf)	Prov. (cf)	Req. (cfs)	Prop. (cfs)	Prov. (cfs)
A	17.8	0.52	9.256	115,006	126,507	146,556	2.67	2.35	2.39
В	15.7	0.54	8.478	105,941	116,535	133,415	2.36	1.97	2.14
С	15.5	0.55	8.525	106,818	117,500	159,868	4.68	4.05	4.24
D	9.0	0.57	5.130	64,617	71,079	97,750	1.35	0.92	0.92

DRAINAGE DISTRICT LEGEND



DRAINAGE DISTRICT SERVED BY BASIN "A"



DRAINAGE DISTRICT SERVED BY BASIN "B"



DRAINAGE DISTRICT SERVED BY BASIN "C"



DRAINAGE DISTRICT SERVED BY BASIN "D" KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

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FOX RUN
NOVI, MICHIGAN

THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM DIG SYSTEM

Project:
Fox Run
Novi, Michigan
Section 1

PHASE 2 PRELIMINARY SITE PLAN
STORM WATER MANAGEMENT ANALYSIS

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 1"=100'

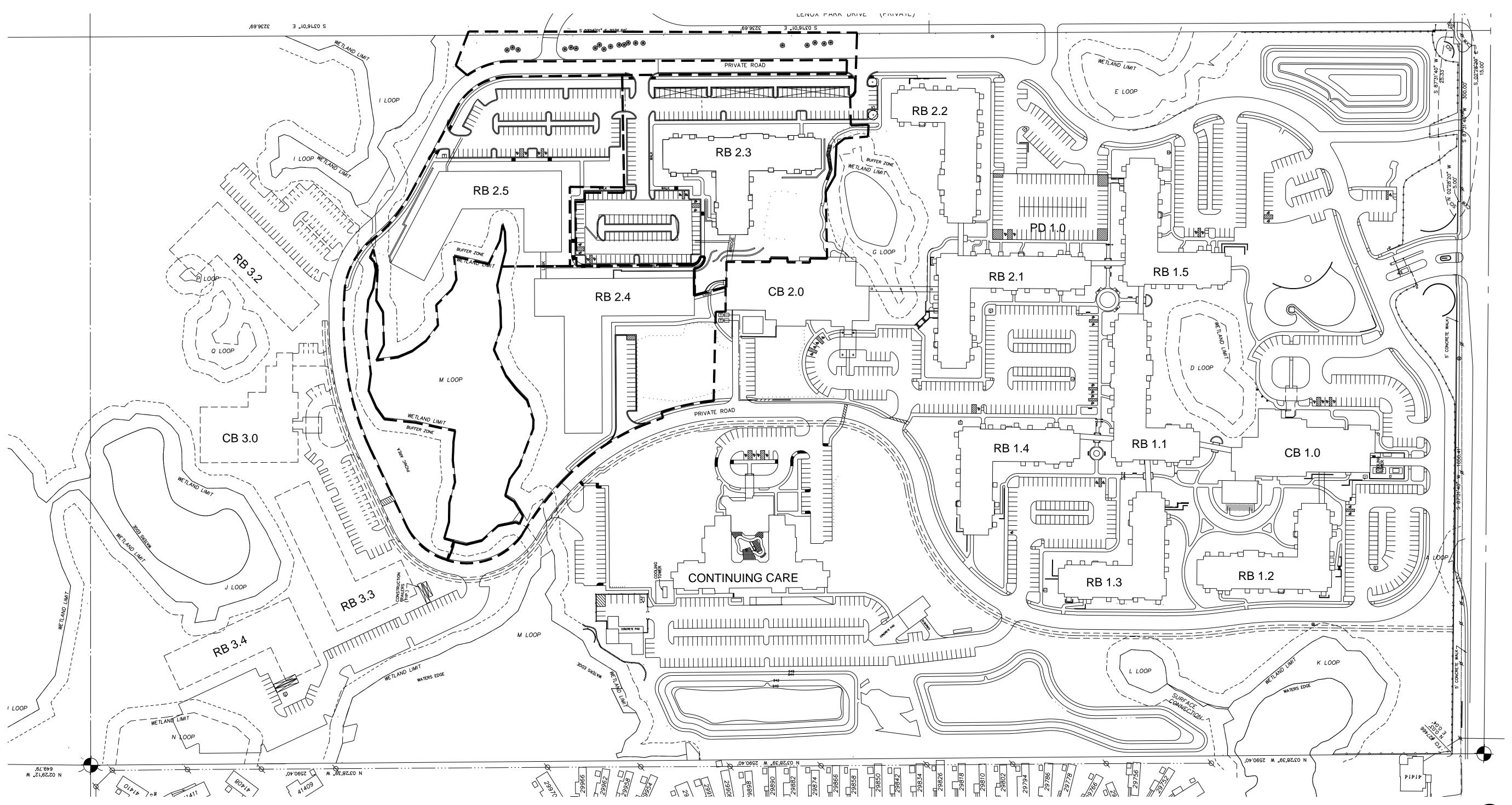
 Revised:

 10-09-13
 CITY REVIEW

 10-17-13
 PER CITY REVIEW COMMENTS

 02-14-14
 REVISED PHASING

Sheet Number: CE 108



PHASE 2 PRELIMINARY PLAN - OVERALL **SCALE 1" = 100'**



PHASE 2 SHEET INDEX

- L100 OVERALL PLAN/ KEY PLAN L101 NATURAL FEATÚRES PLAN
- L102 TREE REMOVAL PLAN
- L103 RB2.3 TREE REMOVAL CHART
- L104 RB2.3 LANDSCAPE PLAN
- L105 RB2.3 CALCULATIOINS L106 RB2.4 TREE REMOVAL CHART
- L107 RB2.4 LANDSCAPE PLAN
- L108 RB2.4 LANDSCAPE PLAN L109 RB2.4 CALCULATIOINS
- L110 RB2.5 TREE REMOVAL CHART L111 RB2.5 LANDSCAPE PLAN
- L112 RB2.5 LANDSCAPE PLAN
 L113 RB2.5 CALCULATIONS
 L114 PLANTING DETAILS





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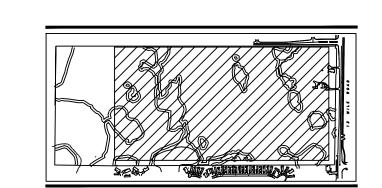
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FOX RUN NOVI, MICHIGAN



Novi, Mi	chigan			
Section	1			
Sheet:				
PHASE	2 PRELII	MINARY	SITE	PLAN
PLAN -	OVERAL	L		

Fox Run

Issue For: Checked: 9-17-13 1" = 100'-0"

10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

SOILS

45B—Arkport loamy fine sand, 2 to 6 percent slopes. This nearly level and undulating, well drained soil is on foot slopes, knolls, and ridges. Slopes are smooth or convex and are less than 100 feet long. Areas are irregular in shape and are 2 to 200 acres in size.

Typically, the surface layer is very dark grayish brown loamy fine sand about 9 inches thick. The subsurface layer is yellowish brown, very friable loamy fine sand about 12 inches thick. The next layer consists of light yellowish brown, very friable loamy fine sand and thin strata of brown, friable very fine sandy loam, and it is about 23 inches thick. The next layer to a depth of about 60 inches consists of very pale brown and brownish yellow, very friable loamy very fine sand and thin strata of yellowish brown, friable very fine sandy loam. In a few places the subsoil has a higher clay content or the substratum is gravelly sand. In some areas the soil is

moderately well drained.
Included in mapping are small areas of the somewhat poorly drained Dixboro soils and the well drained Spinks soils. The Spinks soils are more droughty than the Arkport soil and generally are at higher elevations. The Dixboro soils are on low knolls and ridges and in drainageways. Also included are small areas of very poorly drained Gilford, Houghton, and Thomas soils. These soils are in depressions. The included soils make

up 5 to 15 percent of the map unit.

Permeability is moderately rapid in this Arkport soil, and the available water capacity is moderate. Runoff is

In most areas this soil is used as pasture or woodland or is idle land. This soil is well suited to use as pasture and woodland. It is fairly suited to cropland use and to recreation uses. This soil is well suited to building site development and to use as septic tank absorption fields. If this soil is used as cropland, the major management concerns are controlling soil blowing, overcoming droughtiness, and maintaining organic matter content. Cover crops, such as rye, protect fields from soil blowing. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, can help to maintain the content of organic matter and overcome droughtiness.

If this soil is used as woodland, the major management concern is seedling mortality. Special site preparation, such as furrowing, helps to overcome this problem.

45C—Arkport loamy fine sand, 6 to 12 percent slopes. This moderately sloping or gently rolling, well drained soil is on knolls and ridgetops. Most areas of this soil are dissected by shallow drainageways. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 150 acres

Typically, the surface layer is dark grayish brown loamy fine sand about 8 inches thick. The subsurface layer is yellowish brown loamy fine sand about 11 inches thick. The next layer consists of light yellowish brown, very friable loamy fine sand and thin strata of dark brown very fine sandy loam, and it is about 20 inches thick. The next layer to a depth of about 60 inches consists of very pale brown and brownish yellow, very friable loamy very fine sand and thin strata of yellowish brown very fine sandy loam. In places the subsoil has a higher clay content, and in places there is gravelly sand below 50 inches.

Included in mapping are small areas of the somewhat poorly drained Dixboro soils and the well drained Spinks soils. The Spinks soils are more droughty than the Arkport soil and generally are on landscape positions similar to those of the Arkport soil. The Dixboro soils are in narrow drainageways and on foot slopes. Also included are small areas of the very poorly drained Gilford and Thomas soils that are in small depressions. The included soils make up 3 to 10 percent of the map

Permeability is moderately rapid in this Arkport soil. The available water capacity is moderate. Runoff is

In most areas this soil is used as pasture or woodland or is idle land. In a few areas it is used as cropland. This soil is well suited to use as pasture and woodland. It is

fairly suited to cropland use and to recreation uses.

This soil is suited to building site development and to use as septic tank absorption fields, but slope is a limitation. For buildings, land shaping and installing retaining walls help to overcome the slope limitation. For septic tank absorption fields, installing the absorption field on the contour can overcome this limitation.

If this soil is used as cropland, the major management concerns are controlling soil blowing, overcoming droughtiness, and maintaining organic matter content. Cover crops, such as rye, protect fields from soil blowing. Contour tillage helps to slow runoff. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, can help to maintain the content of organic matter and overcome droughtiness.

If this soil is used as woodland, the major management concern is seedling mortality. Special site preparation, such as furrowing, helps to overcome this problem in some areas.

This soil is in capability subclass IIIe and Michigan soil management group 3a-s.

27—Houghton and Adrian mucks. These nearly level, very poorly drained soils are in bogs or upland depressions. They are subject to ponding. Areas are irregular in shape and are 2 to 200 acres in size. Many areas of this map unit are predominantly Houghton soil; other areas are predominantly Adrian soil. Both soils are

present in some areas.

Typically, the surface layer of the Houghton soil is black muck about 8 inches thick. The material below that, to a depth of about 60 inches, is black muck also.

Typically, the surface layer of the Adrian soil is black muck about 10 inches thick. The subsurface layer is black, friable muck about 20 inches thick. The substratum, to a depth of about 60 inches, is gray, calcareous gravelly sand. In some places mart or loamy material is at a depth of 16 to 50 inches. In some places there is a soil similar to the Houghton soil except it has thicker layers of mucky peat or sedimentary peat.

Included in mapping are small areas of Brookston and Granby soils that are on narrow areas along the outer edges of the map unit. The Brookston soils have slower permeability and Granby soils are more droughty than the Houghton soil. The included soils make up 3 to 8 percent of the map unit.

Permeability is moderately slow to moderately rapid in the muck and rapid in the underlying material. The available water capacity is high. Runoff is very slow. These soils have a high water table at or above the surface from November to May.

In most areas these soils are used as woodland or are idle land. In a few areas they are used for unimproved pasture, crops, or sod production. They are poorly suited to use as woodland and pasture and to recreation uses. These soils are not suited to building site development or to use as septic tank absorption fields because of

or ing.

If suitable drainage outlets are available and these soils are drained and protected from soil blowing, they are suited to corn or to specialty crops, such as potatoes, carrots, onlons, and mint.

If these soils are used as woodland, the major management concerns are seedling mortality, equipmen limitations, and windthrow. The use of heavy equipment for planting, tending, and harvesting trees is restricted during wet periods. Woodland operations can be timed to seasons of the year when the soils are relatively dry or freese.

10C—Marlette sandy loam, 6 to 12 percent slopes. This moderately sloping and gently rolling, well drained soil is on low knolls and ridges and on short, uneven side slopes. Most areas are dissected by shallow drainageways. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 140 acres in size.

Typically, the surface layer is dark grayish brown sandy loam about 8 inches thick. The subsoil is firm and is about 23 inches thick. In the upper part it is dark yellowish brown clay loam, and in the lower part it is yellowish brown clay loam. The substratum to a depth of about 60 inches is yellowish brown and pale brown, mottled, calcareous loam. In some places the depth to calcareous loam is less than 30 inches.

Included in mapping are small areas of the well

drained Fox and Oshtemo soils that are on landscape positions similar to those of the Marlette soil. These soils are more droughty than the Marlette soil. Also included are the somewhat poorly drained Blount, Capac, and Metamora soils that are on lower landscape positions. The included soils make up 5 to 15 percent of the map

Permeability is moderately slow in this Marlette soil, and the available water capacity is high. Runoff is

In most areas this soil is used as woodland or pasture or is idle land. In a few areas it is used for crops. It is well suited to use as woodland and pasture and to recreation uses. It is fairly suited to cropland use.

This soil is suited to building site development. Slope is a limitation to this use. Land shaping and installing retaining walls help to overcome this limitation. This soil is poorly suited to use as septic tank absorption fields because of moderately slow permeability and slope. Special construction measures, such as enlarging or alternating the absorption fields, are needed to overcome the permeability limitation. Installing the absorption field across the slope helps to overcome the

If this soil is used as cropland, the major management concerns are controlling runoff and erosion, maintaining organic matter content, and keeping the soil in good titht. Practices that help prevent erosion and control runoff are the use of a crop rotation that includes hay or cover crops, the use of grassed waterways, and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface. Crop residue or green manure helps to maintain the organic matter content and improve tilth.

15E—Spinks loamy sand, 12 to 35 percent slopes. This strongly sloping or rolling to steep, well drained soil is on knolls and ridgetops. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 250 acres in size.

Typically, the surface layer is dark brown loamy sand about 7 inches thick. The subsurface layer is pale brown

sand about 17 inches thick. The next layer to a depth of about 60 inches consists of brown, loose sand and thin strata of reddish brown, very friable loamy sand. In some areas gravelly sand is below a depth of 30 inches. Also, in some areas slopes are as much as 55 percent.

Included in mapping are small areas of Arkport soils that are on landscape positions similar to those of the Spinks soil. These soils are not as droughty as the Spinks soil. Also included are small areas of the

are on foot slopes and in drainageways and the very poorly drained Gilford soils and the poorly drained Granby soils that are in short drainageways. The included soils make up 2 to 10 percent of the map unit. Permeability is moderately rapid in the Spinks soil, and the available water capacity is low. Runoff is medium.

somewhat poorly drained Tedrow and Thetford soils that

the available water capacity is low. Runoff is medium. In most areas this soil is used as woodland or pasture. It is fairly suited to use as woodland. It is poorly suited to use as pasture and to recreation uses. This soil is generally not suitable for building sites or

for use as septic tank absorption fields because of slope. If this soil is used as woodland, the major management concerns are seedling mortality, equipment limitations, and erosion. Some seedling loss can be expected during dry summer months. Special site preparation, such as furrowing, helps to overcome this problem. Normal planting and logging equipment can be used with care, but the erosion hazard and slope limitation necessitate locating roads, skid trails, and landings on gentle grades and providing for water removal with water bars, out-sloping road surfaces, culverts, and drop structures.

WOODLANDS

COVER CONSISTS OF TREES MOSTLY 3 - 20"
CALIPER, 30 -M50' IN HEIGHT, WITH A
COMBINATION OF MEDIUM / HIGH OR AN OPEN/
SCATTERED CANOPY. TREES PRESENT INCLUDE
MOSTLY ELM, ASH, MAPLE, CHERRY AND
COTTONWOOD

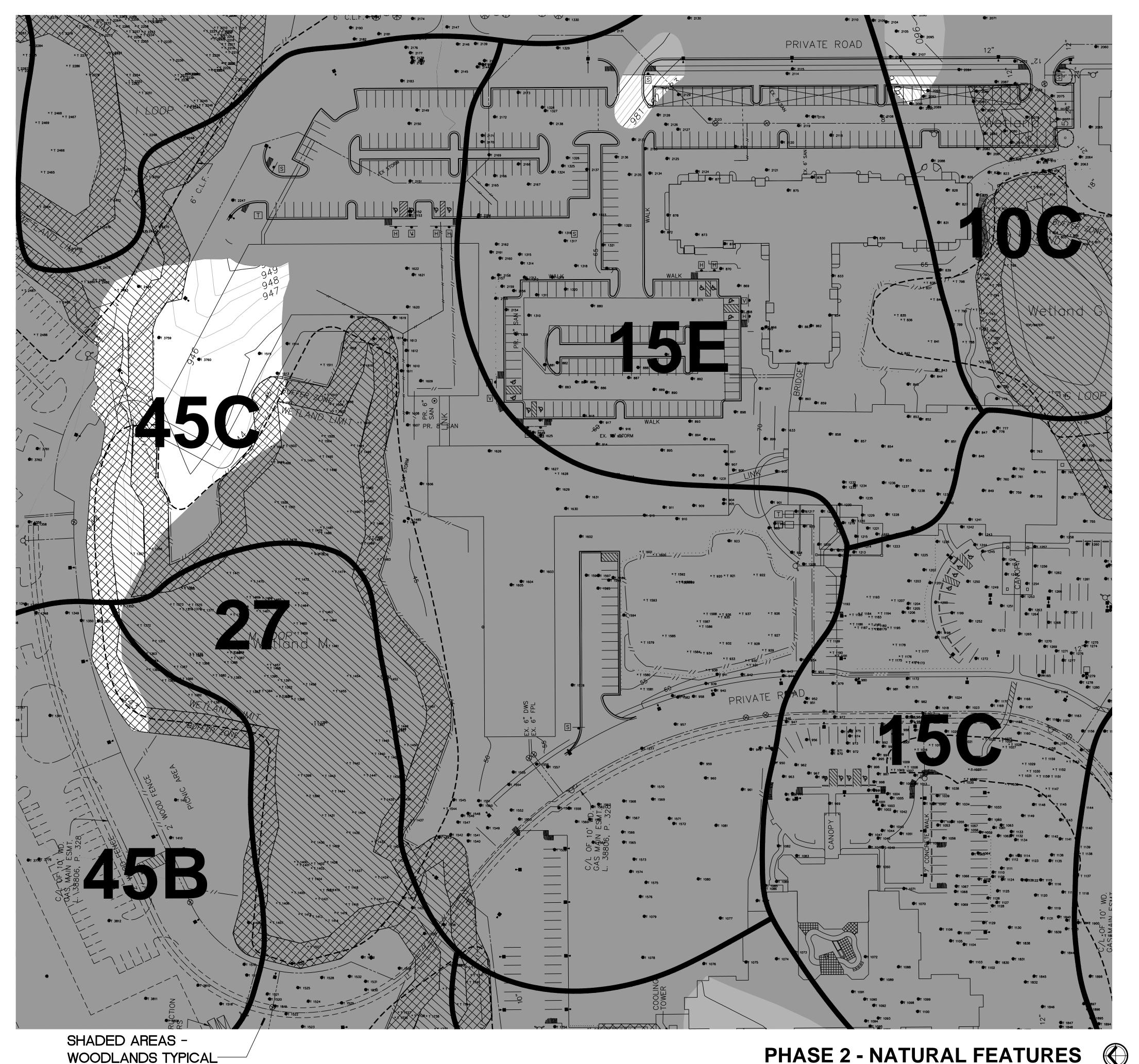
THERE ARE A MODERATE NUMBER OF MEDIUM HEIGHT UNDER-STORY TREES INCLUDING SAPLINGS AND BUCKTHORN IN SOME AREAS, AND WILD ROSE AND RED/ GRAY DOGWOOD IN

THE WOODLAND FLOOR VARIES FROM A
SEASONAL WET FOREST (LEAF LITTER AND OPEN
WET GROUND); TO SHADE TOLERANT LOW /
MEDIUM HEIGHT WOODLAND SHRUBS AND LOW
SEASONAL HERBACEOUS GROUND COVERS; TO
DENSE SUN/ SHADE SHRUB COVER; TO OPEN
SMALL MEADOW AREAS INCLUDING WILD ROSES,
GRAY DOGWOOD AND MEADOW GRASSES WITH

WETLANDS

ALL WETLAND DISTURBANCES WERE MITIGATED IN PHASE ONE

WILD FLOWERS RANGING FROM 3-6' IN HEIGHT



SCALE 1" = 50'

KENNETH WEIKAL

LANDSCAPE ARCHITECTURE

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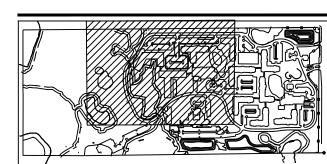
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701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



Froject:
Fox Run
Novi, Michigan
Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
PLAN - NATURAL FEATURES

Issue For:

Project Number:

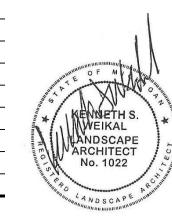
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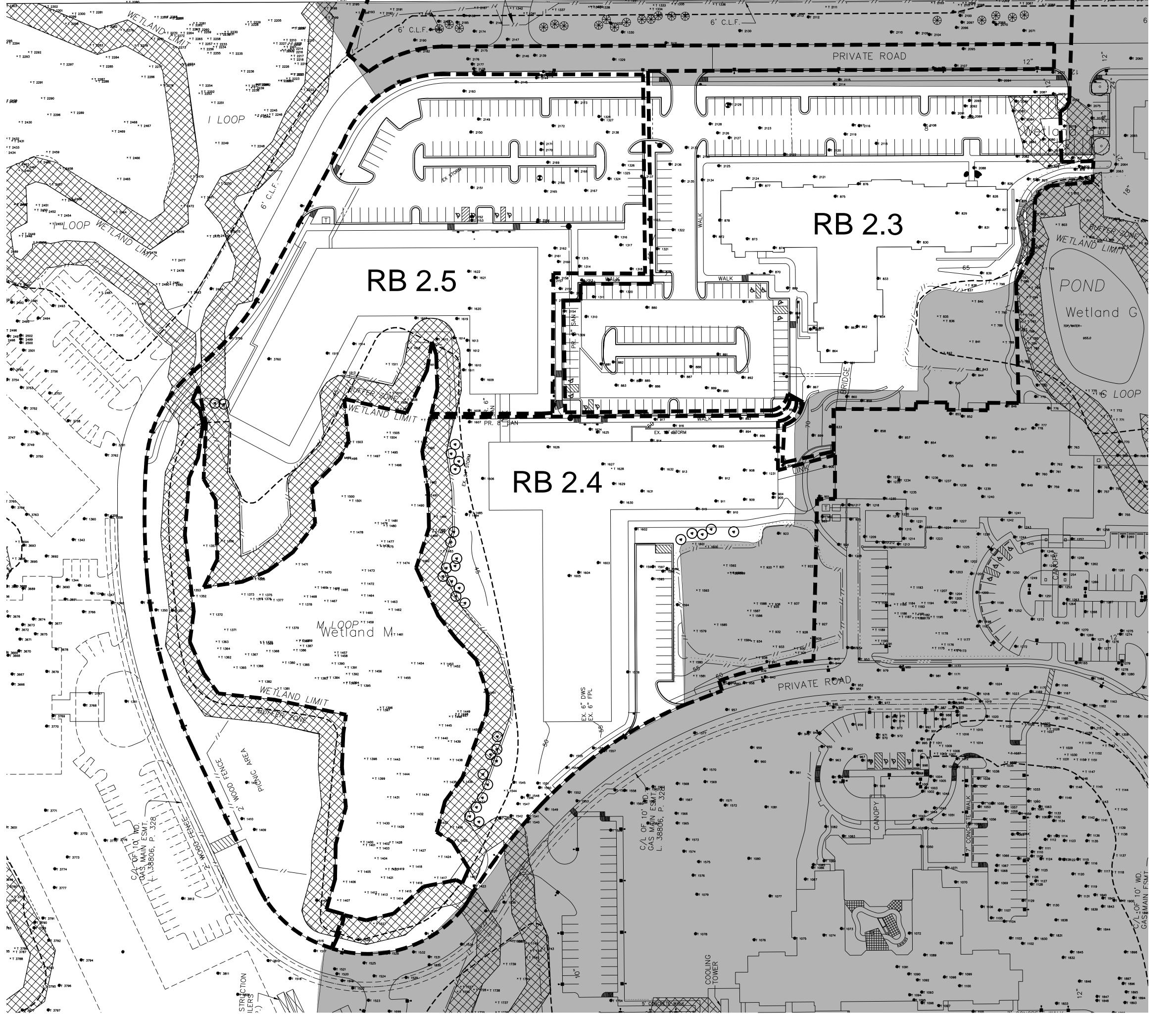
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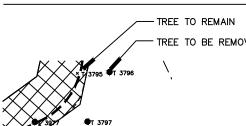
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

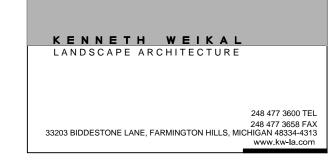


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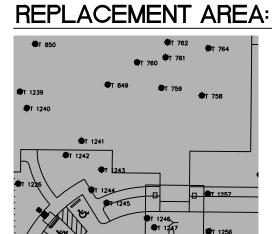


TREE NOTE KEY:





PHASE ONE TREE



TREE REPLACEMENTS IN THE SHADED PHASE ONE AREA HAVE BEEN **COMPLETED UNDER** PREVIOUS WORK AND NOT INCLUDED IN PHASE TWO CALCULATIONS

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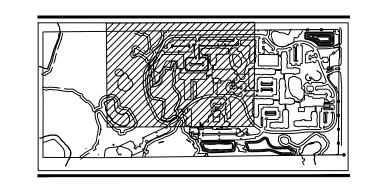


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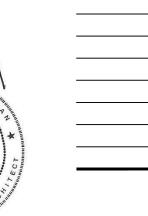
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701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN NOVI, MICHIGAN



Project:
Fox Run
Novi, Michigan
Section 1
Sheet:
PHASE 2 PRELIMINARY SITE PLAN
PLAN - TREE REMOVAL
Issue For:

Issue For:		
Project Number:		
Drawn:		
Checked:		
Date:	9-17-13	
Scale:	1" = 50'-0"	



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PHASE 2 - TREE REMOVAL

NORTH

SCALE 1" = 50'

	TREE#	COMMON	SPECIES	DBH	CONDITION	SURVEY	Quantity of 2.5" caliper replacement trees required
XX	816 817	Eastern cottonwood Red maple Eastern cottonwood	Populus deltoides Acer rubrum	14.3 8 9.1	Good	956.77 956.62 956.35	2 1
X	818 819 820	Eastern cottonwood Eastern cottonwood Eastern cottonwood	Populus deltoides Populus deltoides Populus deltoides	17.8 8.4	Good Good Good	956.52 956.32	2
X	821 822	Eastern cottonwood Green ash	Populus deltoides Fraxinus pennsylvanica	17.9	Good	956.10 957.06	2 0
XX	823 824	Black cherry American elm	Prunus serotina Ulmus americana	15.2 8.4	Fair Fair	959.57 960.21	2
\times	825 826	Sugar maple Black cherry	Acer saccharum Prunus serotina	11.1 10.6	Good Good	962.22 963.90	1
X	827 828 829	American elm American elm American elm	Ulmus americana Ulmus americana Ulmus americana	8.9 9.5 9.2	Good Good Fair	966.61 968.28 974.83	1
XX	830 831	Black cherry Black cherry	Prunus serotina Prunus serotina	9.5 8.9	Good Good	982.03 969.25	
XX	832 833	Sugar maple Sugar maple	Acer saccharum Acer saccharum	10.9 9	Good Good	964.57 983.41	4
	834 839	Amenoan elm	Ulmus americana Acer saccharum	8.5 9.7	Fair Good	981.59 965.29	1
X	861	Sugar maple Sugar maple	Acer saccharum	11.2	Good	981.65	2
X	862 863	Sugar maple American elm	Acer sacoharum Ulmus americana		Good Good	981.90 982.62	1
X	864 865 866	American elm Sugar maple American elm	Ulmus americana Aper sapoharum Ulmus americana	8.9 8.9 8.3	Good Good Poor	983.11 983.86 983.67	
	867 868	Sugar maple American elm	Acer saccharum Ulmus americana	8.6 11.3	Good	980.91 984.79	1
XX	870 871	American elm Sugar maple	Ulmus americana Acer saccharum	11.6 10.2	Good	986.15 985.26	2
X	872 873	American elm Black cherry	Ulmus americana Prunus serotina	9 8.9	Good Good	988.20 987.65	1
XX	874 875	Amencan elm Amencan elm	Ulmus americana Ulmus americana	8 9	Good Good	986.88 987.37	
X	876 877	American elm American elm	Ulmus americana Ulmus americana	9.7 10.6	Good Good	987.66 990.45	1
X	878 879	American elm Sugar maple	Ulmus americana Acer saccharum	8.1 8	Good Good	989.13 982.70	4
	880 881	Sugar maple American elm	Acer saccharum Ulmus americana	9.7 8.2	Good	977.40 960.80	
	882 883 884	Black cherry Sugar maple Sugar maple	Prunus serotina Acer saccharum Acer saccharum	8 11.4 8.1	Good Good Good	963.98 961.23 965.32	1 2 1
	885 886	Sugar maple Sugar maple	Acer saccharum Acer saccharum Acer saccharum	12.3 8.7	Good Good	966.71 968.36	2
X	887 888	Sugar maple American elm	Acer saccharum Ulmus americana	8.9 9.5	Good Good	972.08 975.11	1
X	889 890	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8.4 8.5	Good Good	972.25 972.17	1
1	891 892	American elm American elm	Ulmus americana Ulmus americana	10.8 9	Good Good	979:07 976:61	1
	893 894	Sugar maple American elm	Acer saccharum Ulmus americana	10.8 9.8	Good Good	970.06 969.00	1
	895 896	American elm Sugar maple	Ulmus americana Acer saccharum	9.6	Dying Good	964.84 969.94	1
	897 898	Sugar maple American elm	Acer saccharum Ulmus americana	9.5 8.6	Good Good	969.82 976.27	1
	904 905	Sugar maple Sugar maple	Acer saccharum Acer saccharum	14.3	Good Good	966.50 966.29	2
	906 907	Sugar maple Sugar maple	Acer saccharum Acer saccharum	12.4	Good Good	969.61 968.99	2
	908 909	Sugar maple American elm	Acer saccharum Ulmus americana	8.8 15.3	Good Good	965.85 963.12	1 2
	910 911	Sugar maple Black cherry	Acer saccharum Prunus serotina	10.9 8.1	Good Good	960.25 960.04	1
	912 913	Sugar maple American elm	Acer saccharum Ulmus americana	13.7 8.2	Good Good	962.28 958.58	2 1
	914 915	American elm American elm	Ulmus americana Ulmus americana	8.6 9.5	Good	960.07 963.79	1
	916 917 918	Sugar maple Sugar maple Sugar maple	Acer saccharum Acer saccharum Acer saccharum	9.9 9.8 9.5	Good Good Good	966.43 964.93 962.35	1
	919	Sugar maple	Acer saccharum	8.3	Good	957.38	1
	923	Sugar maple	Acer saccharum	11.3	Good	964.27	2
V	1309 1310	Sugar maple Black cherry	Acer saccharum Prunus serotina	8.1 9.6	Good Good	959.01 963.13	4
V	1311 1312	Red maple Sugar maple	Acer rubrum Acer saccharum	8.5 12.7	Good Good	965.97 963.97	1 2
	1313 1314	Sugar maple Black cherry	Acer saccharum Prunus serotina	9.5 9.2	Good Good	963.16 962.38	1
	1315 1316	Sugar maple Sugar maple	Acer saccharum Acer saccharum	10.1	Good Good	961.82 973.61	1 2
	1317 1318	Black cherry Sugar maple	Prunus serotina Acer saccharum	9.5 8.8	Good Good	973.80 975.38	1
X	1319 1320	Sugar maple Sugar maple	Acer saccharum Acer saccharum	9.7 13.9	Good Good	970.30 972.29 982.32	1 2
X	1321 1322 1323	American elm American elm Sugar maple	Ulmus americana Ulmus americana Acer saccharum	8.2 11.9 8.6	Good Good Good	986.83 986.83 980.37	2
	1324 1325	American elm White ash	Ulmus americana Fraxinus americana	8.7 9.8	Good Good	971.27 972.99	1 0
	1326 1327	Black cherry Black cherry	Prunus serotina Prunus serotina	9.1 9.5	Good Good	973.04 963.18	
	1328	White ash	Fraxinus americana	9.7	Good	962.22	0
	1350 1351	Silver maple Silver maple	Acer saccharinum Acer saccharinum	15.6	Good Good	944.88 944.13	2
	1352 1353	Silver maple American elm	Acer saccharinum Ulmus americana	16.6 9.5	Good Fair	943.17 943.15	
	1354 1355	Eastern cottonwood Eastern cottonwood	Populus deltoides Populus deltoides	26.1 33.8	Good Good	942.59 942.40	
- 1	1356	Silver maple	Acer saccharinum	13.5	Good	943.76	

9.1 Good 941.26 11.2 Good 940.84

BUILDING RB2.3 TREE CHART KEY:

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EXISTING TREE TO REMAIN	861	Sugar maple	Acer saccharum	11.2	Cood	981.65	2
EXISTING TREE TO BE REMOVED >	< 862	Sugar maple	tΔcar.cacebarum	9./	l()nnd	uga an	1:
EXISTING TREE OUTSIDE RB2.3 AREA	863	American elm	Ulmus americana	8.4	Good	982.62	1

1367	Silver maple	Acer saccharinum	8.4	Fair	940.79	
1368 1369	Willow Willow	Salix spp. Salix spp.	17.9 10	Fair Fair	940.40 940.91	
1369	Willow	Salix spp. Salix spp.	9.9	Fair Fair	940.91	
1371	Silver maple	Acer saccharinum	8	Good	941.07	
1372 1373	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9.9 26.7	Good Good	941.87 942.12	
1374	Silver maple	Acer saccharinum	17.1	Fair	942.12	
1375	Eastern cottonwood	Populus deltoides	23.2	Good	941.91	
1376 1377	Silver maple Silver maple	Acer saccharinum Acer saccharinum	8.9 16.9	Good Good	941.84 941.43	
1378	Silver maple	Acer saccharinum	8.6	Good	941.80	
1379	Silver maple	Acer saccharinum	32.5	Good	941.37	
1380 1381	Eastern cottonwood Silver maple	Populus deltoides Acer saccharinum	28.1 9	Good Good	941.16 941.50	
1382	Silver maple	Acer saccharinum	9.2	Good	941.41	
1383	Silver maple	Acer saccharinum	9.9	Good	941.44	
1384 1385	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.1 13.2	Good Good	941.25 941.01	
1386	American elm	Ulmus americana	8.7	Good	940.82	
1387	Silver maple	Acer saccharinum	10.1	Good	941.02	
1388 1389	American elm American elm	Ulmus americana Ulmus americana	9 8.4	Fair Fair	941.09 941.13	
1390	Silver maple	Acer saccharinum	11.1	Good	941.34	
1391	Silver maple	Acer saccharinum	11.1	Good	941.12	
1392 1393	Silver maple Silver maple	Acer saccharinum Acer saccharinum	15.8 8.5	Good Good	941.21 941.26	
1394	American elm	Ulmus americana	8.6	Good	941.14	
1395	Silver maple	Acer saccharinum	10	Good	941.16	
1396 1397	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	17.2 28.9	Fair Good	940.78 940.84	
1398	Eastern cottonwood	Populus deltoides	26.8	Good	942.34	
1399	Silver maple	Acer saccharinum	11.1	Good	941.54	
1400	Silver maple	Acer saccharinum	11.3	Good	941.99	
1401	Silver maple	Acer saccharinum	11	Good	941.95	
1402	Silver maple	Acer saccharinum	11.7	Good	941.79	
1403 1404	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9.3 8.6	Good Good	941.72 941.75	
1405	Silver maple	Acer saccharinum	16.6	Good	942.27	
1406	Green ash	Fraxinus pennsylvanica	18.1	Good	943.24	
1407	Red oak	Quercus rubra	8.9	Good	943.28	
1412	Eastern cottonwood	Populus deltoides	27.7	Good	942.44	
1413	Silver maple	Acer saccharinum	13.3	Fair	942.08	
1414 1415	Silver maple Silver maple	Acer saccharinum Acer saccharinum	15.5 8.8	Good Good	941.86 942.03	
1416	Eastern cottonwood	Populus deltoides	25.8	Good	942.34	
1417	Silver maple	Acer saccharinum	14.5	Good	942.44	
1418 1419	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.4 8.6	Good Good	941.43 941.55	
1420	Eastern cottonwood	Populus deltoides	26.2	Fair	941.55	
1421	Silver maple	Acer saccharinum	10.3	Good	941.82	
1422 1423	Eastern cottonwood American elm	Populus deltoides Ulmus americana	28.5 10.5	Good Fair	942.16 941.96	
1424	Eastern cottonwood	Populus deltoides	21.8	Good	942.02	
1425	American elm	Ulmus americana	9.4	Good	942.83	
1426 1427	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	9.8 27.9	Good Good	943.41 942.40	
1428	Silver maple	Acer saccharinum	8.9	Good	941.71	
1429	American elm	Ulmus americana	9	Good	941.91	
1430 1431	Silver maple American elm	Acer saccharinum Ulmus americana	17.8 11.6	Good Good	941.76 941.31	
1432	Silver maple	Acer saccharinum	10.3	Good	941.89	
1433	Silver maple	Acer saccharinum	11.5	Good	942.33	
1434 1435	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	12.6 28.2	Good Good	941.43 941.99	
1436	Silver maple	Acer saccharinum	11.9	Good	942.96	
1437	Silver maple	Acer saccharinum	12.9	Good	942.83	
1438 1439	Eastern cottonwood Silver maple	Populus deltoides Acer saccharinum	26.2 10.5	Good Good	941.97 941.18	
1440	Silver maple	Acer saccharinum	12.4	Good	940.54	
1441	Silver maple	Acer saccharinum	10.5	Poor	940.97	
1442 1443	Silver maple Green ash	Acer saccharinum Fraxinus pennsylvanica	10.6 11.6	Good Good	940.73 941.46	
1444	Silver maple	Acer saccharinum	10	Good	941.02	
1445	Eastern cottonwood	Populus deltoides	11.1	Good	940.10	
1446 1447	Willow Willow	Salix spp. Salix spp.	13.9 15.9	Fair Fair	940.16 941.13	
1448	Willow	Salix spp.	16.1	Fair	941.30	
1449	Silver maple	Acer saccharinum	16.2	Good	940.97	
1450 1451	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	21.9 42.2	Good Good	942.05 941.85	
1452	Silver maple	Acer saccharinum	16.3	Good	940.21	
1453 1454	Silver maple Eastern cottonwood	Acer saccharinum	13.4 28.4	Good Good	940.31 941.10	
1454	Silver maple	Populus deltoides Acer saccharinum	35.2	Good	941.10	
1456	American elm	Ulmus americana	8.9	Good	941.28	
1457 1458	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.3 8.7	Good Good	941.24 941.32	
1459	Silver maple	Acer saccharinum	15	Good	941.50	
1460	American elm	Ulmus americana	9.5	Good	941.47	
1461 1462	Silver maple Green ash	Acer saccharinum Fraxinus pennsylvanica	14.7 18.2	Good Good	942.14 942.28	
1463	Silver maple	Acer saccharinum	9.4	Good	941.85	
1464	American elm	Ulmus americana	12.6	Good	941.85	
1465 1466	Silver maple Silver maple	Acer saccharinum Acer saccharinum	15 13.6	Good Good	941.87 942.00	
1467	American elm	Ulmus americana	11.6	Good	941.80	
1468	Silver maple	Acer saccharinum	16.5	Good	941.89	
1469 1470	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	14.8 20.1	Good Good	942.24 942.25	
1471	Silver maple	Acer saccharinum	9.7	Good	942.38	
1472	Silver maple	Acer saccharinum	9.7	Good	941.88	
1473 1474	Silver maple Silver maple	Acer saccharinum Acer saccharinum	8.3 8.6	Good Good	941.62 941.72	
1475	Eastern cottonwood	Populus deltoides	19.6	Good	941.77	
1476	American elm	Ulmus americana	11.7	Poor	941.47	
1477 1478	Eastern cottonwood Silver maple	Populus deltoides Acer saccharinum	29 9.7	Good Good	941.90 941.93	
1479	American elm	Ulmus americana	8	Good	942.15	
1480	Silver maple	Acer saccharinum	9.4	Good	941.49	
1481	Silver maple	Acer saccharinum Acer negundo	11.7 16.8	Good Good	941.83 942.44	
1482	IR() x -blubt		10.0	JUUU	UT4.77	
1482 1483	Box-elder Silver maple	Acer saccharinum	12.1	Good	942.84	

863	American elm	Ulmus americana	8.4	Good	982.62	
1485 1486	Black cherry Eastern cottonwood	Prunus serotina Populus deltoides	8.4 20.6	Good Good	945.39 942.19	
1487	Eastern cottonwood	Populus deltoides Populus deltoides	22.2	Good	942.19	
1488	Eastern cottonwood	Populus deltoides	15.8	Good	942.53	
1489	American elm	Ulmus americana	9	Good	942.15	
1490 1491	Silver maple Silver maple	Acer saccharinum Acer saccharinum	11.2 8.6	Good Good	942.30 942.29	
1492	Silver maple	Acer saccharinum	8.6	Good	941.91	
1493	Silver maple	Acer saccharinum	8.6	Good	942.29	
1494	Silver maple	Acer saccharinum	8.4	Good	942.09	
1495 1496	Silver maple Green ash	Acer saccharinum Fraxinus pennsylvanica	11.2 14	Good Good	942.21 942.16	
1497	Silver maple	Acer saccharinum	8.6	Good	941.81	
1498	Silver maple	Acer saccharinum	10.4	Good	941.60	
1499 1500	Silver maple	Acer saccharinum	9.7	Good	941.82	
1500	Silver maple Silver maple	Acer saccharinum Acer saccharinum	14.1 10.4	Good Good	941.92 941.99	
1502	Silver maple	Acer saccharinum	11.7	Good	942.70	
1503	Silver maple	Acer saccharinum	10.3	Good	942.39	
1504 1505	Silver maple Silver maple	Acer saccharinum Acer saccharinum	12 8.3	Good Good	942.33 942.32	
1506	Green ash	Fraxinus pennsylvanica	16.2	Poor	942.32	
1507	Silver maple	Acer saccharinum	11.4	Good	942.76	
1508	American elm	Ulmus americana	8	Good	942.32	
1509 1510	Silver maple Silver maple	Acer saccharinum Acer saccharinum	8.2 11.5	Good Good	942.40 942.31	
1511	Silver maple	Acer saccharinum	9.3	Good	942.42	
1512	Silver maple	Acer saccharinum	15.7	Good	942.88	
1513	Silver maple	Acer saccharinum	8.2	Good	943.11	
1514 1515	Silver maple Silver maple	Acer saccharinum Acer saccharinum	12.6 9.6	Good Good	943.90 944.70	
1010	Oliver mapie	Acci saccilaminam	0.0	3000	344.70	
1533	Red oak	Quercus rubra	8.5	Good	944.52	
4544	Ai	I Harris and and a	0.7	F-:-	0.40.00	
1541 1542	American elm American elm	Ulmus americana Ulmus americana	8.7 9.1	Fair Fair	943.63 942.65	
1543	American elm	Ulmus americana	9.7	Good	942.03	
1544	Silver maple	Acer saccharinum	11.8	Good	942.89	
1545	Silver maple	Acer saccharinum	9.7	Good	943.39	
1546 1547	American elm American elm	Ulmus americana Ulmus americana	8.3 8.3	Good Good	942.90 942.88	
1548	American elm American elm	Ulmus americana	8.6	Good	942.88	
1550	American elm	Ulmus americana	8.2	Good	943.14	
1551	American elm	Ulmus americana	12.8	Fair	943.63	
1554	American elm	Ulmus americana	9.9	Fair	944.13	
1555	American elm	Ulmus americana	8.3	Good	944.03	
1556	American elm	Ulmus americana	9.1	Good	943.83	
1578	American elm	Ulmus americana	11.4	Good	944.39	
1581	Black cherry	Prunus serotina	8.7	Good	947.90	
1594	Sugar maple	Acer saccharum	8.9	Good	950.95	
1595 1596	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8 8.7	Good Good	950.60 950.87	
1597	American elm	Ulmus americana	13.3	Good	951.29	
1598	Black cherry	Prunus serotina	8	Good	951.02	
1599	Silver maple	Acer saccharinum	19.7	Good	952.64	
1600	Sugar maple	Acer saccharum	8.5	Good	957.44	
1601 1602	Black cherry Sugar maple	Prunus serotina Acer saccharum	8.9 10.8	Good Good	956.18 951.52	
1603	Red maple	Acer rubrum	8.1	Good	949.31	
1604	Black cherry	Prunus serotina	10	Poor	947.74	
1605	Willow	Salix spp.	14.9	Good	947.44	
1606 1607	Sugar maple Green ash	Acer saccharum Fraxinus pennsylvanica	8.7 19.4	Good Good	946.32 945.31	
1608	Black walnut	Juglans nigra	12.3	Good	944.87	
1609	Sugar maple	Acer saccharum	13.1	Good	946.41	
1610	Black walnut	Juglans nigra	10.8	Good	944.27	
1611 1612	White ash	Fraxinus americana Acer saccharum	13.3 12.3	Good Good	943.61 945.27	
1613	Sugar maple Black walnut	Juglans nigra	9.1	Good	943.27	
1614	Black walnut	Juglans nigra	10.7	Good	943.53	
1615	Black walnut	Juglans nigra	15	Poor	942.88	
1616	White ash	Fraxinus americana	13.4	Good	942.78	
1617 1618	American elm Box-elder	Ulmus americana Acer negundo	10.6 11.8	Good Poor	943.70 942.73	
1619	Black walnut	Juglans nigra	11.8	Good	942.73	
1620	Black walnut	Juglans nigra	15.9	Good	946.23	
1621	White ash	Fraxinus americana	11.3	Good	947.23	
1622 1623	White ash Norway spruce	Fraxinus americana Picea abies	9.1 8.3	Fair Good	946.78 954.05	
1624	Eastern cottonwood	Populus deltoides	24.8	Good	954.05	
1625	Eastern cottonwood	Populus deltoides	20.4	Good	952.96	
1626	Sugar maple	Acer saccharum	8	Good	949.38	
1627	Sugar maple	Acer saccharum	8.3	Good	951.30	
1628 1629	Eastern cottonwood Sugar maple	Populus deltoides Acer saccharum	16.2 8.4	Good Good	952.31 951.36	
1630	Sugar maple	Acer saccharum Acer saccharum	10.5	Fair	951.75	
1631	Eastern cottonwood	Populus deltoides	16.5	Fair	953.02	
1632	Red oak	Quercus rubra	11.6	Good	957.59	
2073	American elm	Ulmus americana	11.4	Fair	956.65	
2073 2074	American elm	Ulmus americana	10.5	Good	956.52	
2075	American elm	Ulmus americana	9.6	Fair	957.11	
2076	American elm	Ulmus americana	8.1	Fair	956.43	
2077 2078	Sugar maple American elm	Acer saccharum Ulmus americana	9.5 10.6	Good Good	956.65 956.88	
2078 2079	Silver maple	Acer sacchannum	9.5	Good	956.98	
2080	American elm	Ulmus americana	10.8	Fair	957.31	
2081	Sugar maple	Acer saccharum	11	Good	959.87	
2082	Sugar maple	Acer saccharum	11.5	Good	960.71	
2083 2084	American elm	Ulmus americana	9.6 8.7	Good	959.47 958.71	
2084 2085	American elm American elm	Ulmus americana Ulmus americana	8.7 8.6	Fair Good	958.71 959.31	
2086	Black walnut	Juglans nigra	8.7	Good	958.62	
2087	Box-elder	Acer negundo	10.8	Good	957.14	
2088	Black cherry	Prunus serotina	8 1	Good	969.10	
2089	Sugar maple	Acer saccharum	13.6	Good	965.79 967.20	
2090 2091	Black cherry Black cherry	Prunus serotina Prunus serotina	9.5 9	Good Good	967.30 969.20	
2092	Sugar maple	Acer saccharum	8.3	Good	965.55	
2093	Black cherry	Prunus serotina	8	Good	964.19	······
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k cherry k cherry moan elm moan elm moan elm moan elm moan elm k cherry k cherry k cherry k cherry k cherry maple moan elm k cherry k cherry k cherry maple moan elm moan elm k cherry maple moan elm moan elm k cherry e ash	Prunus serofina Dimus americana Ulmus americana Ulmus americana Ulmus americana Ulmus americana Prunus serofina Acer saccharum Ulmus americana Prunus americana Prunus americana Prunus serofina Acer saccharum Prunus serofina Prunus serofina Ulmus americana Prunus serofina Prunus serofina Prunus serofina Prunus serofina Prunus serofina Prunus americana Ulmus americana Ulmus americana Ulmus americana Fraxinus americana Prunus serofina Fraxinus americana	99.7 115 29.4 10.5 9.3 10.9 9.2 111.7 8 10.0 9.9 111.7 9.9 8.4 8.1 11.7 9.9 8.5 8.5 8.9 9.5	Good Fall Good Good Good Good Good Good Good Go	988.71 989.99 980.09 988.67 990.68 991.30 990.92 991.33 987.16 989.66 984.25 985.05 988.61 987.82 990.26 986.90 981.72 975.94 965.73	
ncan elm ncan elm ncan elm ncan elm ncan elm ncan elm e ash k cheny ar maple ncan elm ar maple e ash k cheny ncan elm hcan elm ar maple e ash k cheny ncan elm k cheny ncan elm hcan elm ncan elm e ash	Ulmus americana Ulmus americana Ulmus americana Ulmus americana Ulmus americana Prunus americana Prunus serotina Acer saccharum Ulmus americana Prunus americana Prunus americana Prunus serotina Ulmus americana Ulmus americana Prunus serotina Prunus serotina Prunus americana Prunus americana Prunus americana Ulmus americana Ulmus americana	8.1 10.5 9.4 8.7 10.9 9.3 10.1 9.2 11.7 8 8.1 10.1 9.9 8.4 8.1 11.7 9.9 8.5 8.5	Gaed Geed Geed Geed Peer Fair Geed Geed Geed Geed Geed Geed Geed Gee	989-99 990-09 988-67 998-68 991-30 990-92 991-33 987-18 988-66 984-25 985-06 983-61 987-82 990-26 986-90 981-72 975-94 965-73	
ncan etm ncan etm ncan etm ncan etm ncan etm e ash k cheny ir maple ncan etm ar maple e ash k cheny ncan etm k cheny ncan etm k cheny ncan etm k cheny k cheny ncan etm k cheny ncan etm hcan etm ncan etm erican etm erican etm	Ulmus americana Ulmus americana Ulmus americana Ulmus americana Fraxinus americana Prunus serotina Acer saccharum Ulmus americana Acer saccharum Fraxinus americana Ulmus americana Prunus serotina Prunus serotina Prunus serotina Ulmus americana Ulmus americana Ulmus americana Ulmus americana Ulmus americana	10.5 9.4 8.7 10.9 8.3 10.1 9.2 11.7 8 8 10.1 10.1 10.1 9.9 8.4 8.1 11.7 9.9 8.5 8.5	Grood Good Proor Fair Grood Good Good Good Good Good Good Go	990.09 988.67 990.68 991.30 990.92 991.33 987.18 989.66 964.25 985.05 985.05 985.05 987.82 990.26 986.90 981.72 975.94 965.73	
ncan elm ncan elm ncan elm e ash k cheny ir maple ncan elm ar maple e ash k cheny ican elm k cheny ican elm k cheny k cheny k cheny ican elm	Ulmus americana Ulmus americana Ulmus americana Fraxinus americana Prunus serotina Acer saccharum Ulmus americana Acer saccharum Fraxinus americana Prunus serotina Ulmus americana Prunus serotina Ulmus americana Prunus serotina Fraxinus americana Ulmus americana	9.4 8.7 10.9 8.3 10.1 9.2 11.7 8 8.1 10.1 9.9 8.5 8.5 8	Good Good Food Good Good Good Good Good	988.67 990.68 991.30 990.92 981.33 987.18 989.66 984.25 985.05 985.05 985.05 985.05 987.82 990.26 986.90 981.72 975.94 965.73	
nican elm nican elm e ash k cheny nican elm nican elm k cheny nican elm k cheny nican elm k cheny maple nican elm	Ulmus americana Ulmus americana Fraxinus americana Prunus serotina Acer saccharum Ulmus americana Acer saccharum Fraxinus americana Ulmus americana Prunus serotina Prunus serotina Prunus serotina Prunus americana Ulmus americana Ulmus americana Urmus americana Fraxinus americana	8.7 10.9 9.2 11.7 8 10 10 9.9 8.4 8.1 11.7 9.9 8.5 8.8	Good Good Foor Fair Good Good Good Good Good Good Good Goo	990.68 991.30 990.92 991.33 987.18 989.66 984.25 985.05 987.82 990.26 986.90 981.72 975.94 965.73	
ncan elm e ash k cherry ar maple ncan elm er maple e ash k cherry ncan elm k cherry maple rican elm rican elm rican elm k cherry	Elimus americana Fraxinus americana Prunus serotina Acer saccharum Ulmus americana Acer saccharum Fraxinus americana Prunus serotina Ulmus americana Prunus serotina Fraxinus americana Ulmus americana Prunus americana	10.9 8.3 10.1 9.2 11.7 8 10.1 10.1 8.4 8.4 8.4 9.9 9.9 8.5 8.5 8	Good Poor Fair Good Good Good Good Good Good Good Goo	991.30 990.92 991.33 987.18 989.66 984.25 985.05 987.82 990.26 986.90 981.72 975.94 965.73	
e ash k cheny ir maple ncan elm ar maple e ash k cheny ncan elm k cheny k cherry maple ncan elm rican elm k cherry	Fraxinus americana Prunus serotina Acer saccharum Ulmus americana Acer saccharum Fraxinus americana Ulmus americana Prunus serotina Prunus serotina Ulmus americana Ulmus americana Ulmus americana Ulmus americana	8.3 10.1 9.2 11.7 8 10.1 9.9 8.4 8.1 11.7 9.9 8.5 8	Poor Fair Good Good Good Good Good Good Good Goo	990.92 981.33 987.18 989.66 984.25 985.05 987.82 990.26 986.90 981.72 975.94 965.73	
k cheny or maple ncan elm or maple e ash k cheny ncan elm k cheny maple ncan elm rican elm k cheny e ash	Prunus serotina Acer saccharum Ulmus americana Acer saccharum Fraxinus americana Prunus serotina Ulmus americana Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana Fraxinus americana	10.1 9.2 11.7 8 10.1 9.9 8.1 11.7 9.9 8.5 8	Fair Good Good Good Good Good Good Good Goo	991.33 987.18 989.66 984.25 985.05 983.61 987.82 990.26 986.90 981.72 975.94 965.73	
ir maple ircan elm ir maple e ash k cherry ircan elm k cherry maple irican elm irican elm irican elm k cherry	Acer saccharum Ulmus americana Acer saccharum Fraxinus americana Prunus serotina Ulmus americana Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	9.2 11.7 8 10 9.9 8.4 8.1 11.7 9.9 8.5 8	Groot Good Good Good Good Good Good Good G	987.18 989.66 984.25 985.05 983.61 987.62 990.26 986.90 981.72 975.94 965.73	
nican elm ar maple e ash k cheny nican elm k cheny k cheny maple nican elm rican elm k cheny e ash	Climus americana Ager sacoharum Fraxinus americana Prunus serotina Climus americana Prunus serotina Prunus serotina Ulmus americana Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	8.9 9.9 8.4 8.1 11.7 9.9 8.5 8.8	Good Good Good Good Good Good Good Good	989.66 984.25 985.05 987.82 990.26 986.90 981.72 975.94 965.73	
k cherry ncan elm k cherry k cherry maple ncan elm ncan elm crican elm k cherry	Acer sacoherum Fraxinus americana Prunus americana Prunus americana Prunus serofina Acer rubrum Ulmus americana Ulmus americana Prunus serofina Fraxinus americana	8.9 8.4 8.1 11.7 9.9 8.5 8.8	Good Good Good Good Good Good Good Good	984.25 985.05 987.82 990.26 986.90 981.72 975.94 965.73	
k cheny ncan elm k cheny k cheny maple ncan elm ncan elm k cheny e ash	Fraxinus americana Prunus serotina Ulmus americana Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	9.9 6.4 8.1 11.7 9.9 8.5 8	Good Good Good Good Good Good Good	985.05 983.61 987.82 990.26 986.90 981.72 975.94 965.73	
k cheny rican elm k cheny k cheny maple rican elm rican elm k cheny e ash	Prunus serotina Ulmus americana Prunus serotina Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Prunus serotina Fraxinus americana	8.9 8.4 8.1 11.7 9.9 8.5 8.9	Good Good Good Good Good Good Good	983.61 987.82 990.26 986.90 981.72 975.94 965.73	
ncan elm k cherry k cherry maple rican elm rican elm k cherry e ash	Ulmus americana Prunus serotina Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	8.4 8.1 9.9 8.5 8.9	Good Good Good Good Good Good	987.82 990.26 986.90 981.72 975.94 965.73	
ncan elm k cherry k cherry maple rican elm rican elm k cherry e ash	Ulmus americana Prunus serotina Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	8.4 8.1 9.9 8.5 8.9	Good Good Good Good Good Good	987.82 990.26 986.90 981.72 975.94 965.73	
k cherry k cherry maple rican elm rican elm k cherry e ash	Prunus serotina Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	8.1 11.7 9.9 8.5 8	Good Good Good Good Good Good	990.26 986.90 981.72 975.94 965.73	
k cherry maple rican elm rican elm k cherry re ash	Prunus serotina Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	11.7 9.9 8.5 8	Good Good Good Good Good	986.90 981.72 975.94 965.73	
maple rican elm rican elm k cherry re ash	Acer rubrum Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	9.9 8.5 8	Good Good Good Good	981.72 975.94 965.73	
k cherry e ash	Ulmus americana Ulmus americana Prunus serotina Fraxinus americana	8.5 8 8.9	Good Good Good	975.94 965.73	
k cherry e ash	Ulmus americana Prunus serotina Fraxinus americana	8.9	Good	965.73	
e ash e ash	Fraxinus americana			954.52	
e ash e ash	Fraxinus americana			304.02	
e ash		9.5	1-000	953.74	
	Fravinus americana	and the second second second	Good	955.74	
	Traxinas amendana	9.1	Good	952.49	
e ash	Fraxinus americana	12	Good	952.51	
k cherry	Prunus serotina	10.9	Fair	951.78	
e ash	Fraxinus americana	9.3	Good	950.83	
e ash	Fraxinus americana	12.5	Good	950.88	
ar maple	Acer saccharum	13	Good	957.83	
ar maple	Acer saccharum	10	Good	955.20	
e ash	Fraxinus americana	10.1	Good	959.59	
ar maple	Acer saccharum	10.2	Good	954.38	
e ash	Fraxinus americana	9,1	Good	955,79	
ar maple	Acer saccharum	8.5	Dying	956.41	
e ash	Fraxinus americana	9.1	Good	955.76	
ar maple	Acer saccharum	11	Good	954.44	
ar maple	Acer saccharum	14.7	Good	955.64	
maple	Acer rubrum	9.7	Good	954.27	
e ash	Fraxinus americana	9.1	Good	954.29	
maple	Acer rubrum	9.6	Good	957.36	
ar maple	Acer saccharum	9.3	Good	958.89	
k cherry	Prunus serotina	11.3	Good	964.75	
e ash	Fraxinus americana	9.3	Good	962.21	
maple					
	Prunus serotina				
e ash	Fraxinus americana				
e ash	Fraxinus americana	8.1	Good	959.53	
	Fraxinus americana	9.8	Good	951.44	
e ash	Ulmus americana	8.8	Fair	946 13	
Time		_			
1	maple e ash c cherry e ash e ash	maple Acer rubrum e ash Fraxinus americana c cherry Prunus serotina e ash Fraxinus americana e ash Fraxinus americana	maple Acer rubrum 8.4 e ash Fraxinus americana 8.9 c cherry Prunus serotina 8.1 e ash Fraxinus americana 10.1 e ash Fraxinus americana 8.1 e ash Fraxinus americana 9.8 eican elm Ulmus americana 8.8	maple Acer rubrum 8.4 Good e ash Fraxinus americana 8.9 Good c cherry Prunus serotina 8.1 Fair e ash Fraxinus americana 10.1 Good e ash Fraxinus americana 8.1 Good e ash Fraxinus americana 9.8 Good e ash Ulmus americana 8.8 Fair	maple Acer rubrum 8.4 Good 958.37 e ash Fraxinus americana 8.9 Good 957.08 c cherry Prunus serotina 8.1 Fair 957.39 e ash Fraxinus americana 10.1 Good 958.64 e ash Fraxinus americana 8.1 Good 959.53 e ash Fraxinus americana 9.8 Good 951.44 rican elm Ulmus americana 8.8 Fair 946.13

TOTAL WOODLAND REPLACEMENT TREES REQUIRED = 112

FOR REVISED RB2.3



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& ASSOCIATES

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Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN

Fox Run		
Novi, Michigan		
Section 1		

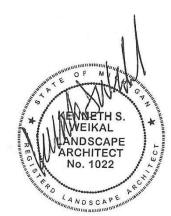
PHASE 2 PRELIMINARY SITE PLAN RB2.3 TREE REPLACEMENT CHART

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale:

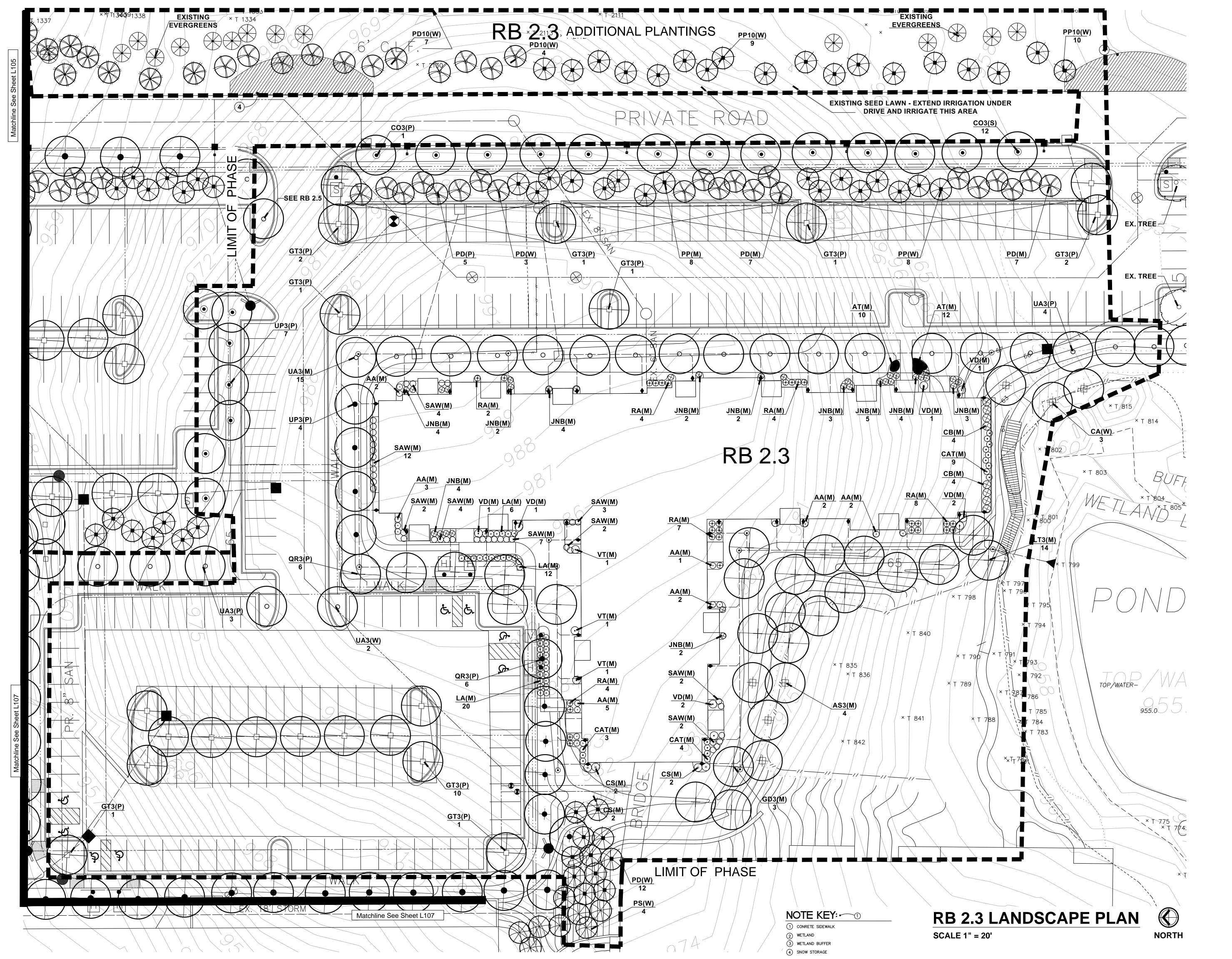
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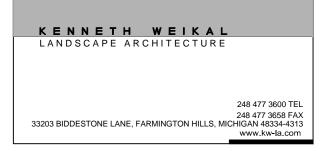
10-17-13 PER CITY REVIEW COMMENTS

02-14-2014 REVISED PHASING



t Number:	_1	03





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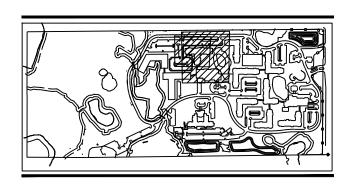
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Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



Froject:
Fox Run
Novi, Michigan
Section 1

PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LANDSCAPE PLAN

Issue For:

Project Number:

Drawn:

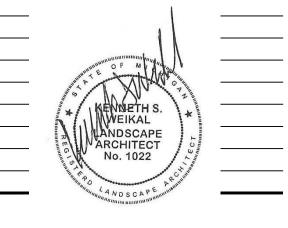
Checked:

Date: 9-17-13

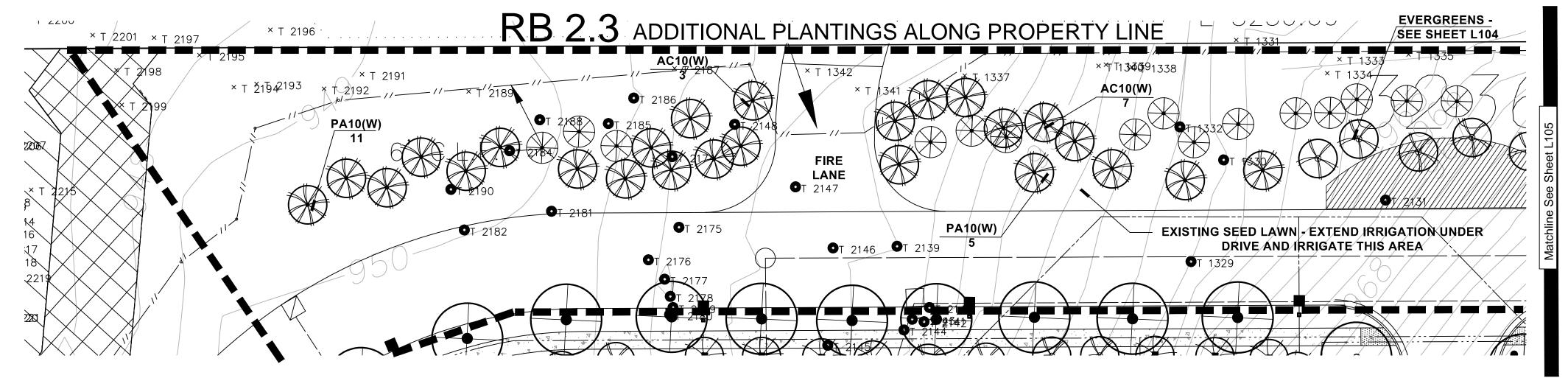
Scale: 1" = 20'-0"

Revised:

10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



eet Number: L104



PLANT LIST - MULTI-FAMILY (M)

Sugar Maple Acer saccharum

Accolade Elm

Black Hills Spruce

Picea g. 'Densata'

Picea pungens

Red Chokeberry

Asclepias tuberosa

Ceanothus americanus

New Jersey Tea

Buttonbush

LT3 Tulip Tree

Kentucky Coffee Tree

Gymnocladus dioicus

Liriodendron tulipifera

Ulmus parviflora 'Morton'

Colorado Green Spruce

Aronia arbutifoloia 'Brilliantissima'

COMMON/ BOTANICAL NAME

RB 2.3 LANDSCAPE PLAN



SCALE 1" = 20'

SIZE SPEC.

3" Cal B&B

3" Cal B&B

3" Cal B&B

3" Cal B&B

7' Ht. B&B

36" Ht. Cont.

1 Gal. Cont.

36" Ht. B&B

36" Ht. B&B



RB 2.3 PLANT LIST

PLAN	T LIS	T - PARKING (P)		
QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
20	GT3	Thornless Honeylocust Gleditsia 'Skyline'	3" Cal.	B&B
12	QR3	Northern Red Oak Quercus rubra	3" Cal.	B&B
9	UA3	Accolade Elm Ulmus parviflora 'Morton'	3" Cal	B&B
11	UP3	Princeton Elm Ulmus americana 'Princeton'	3" Cal	B&B
5	PD	Black Hills Spruce Picea g. 'Densata'	7' Ht.	B&B

PARKING LOT CANOPY TREES

187 PARKING SPACES = 28,260 S.F. X 10% = 2826 PARKING AISLES = 28560 S.F. X 5% = 1428 2826 + 1428 = 4254/75 = 57 TREES REQUIRED

57 REQUIRED **57 PROVIDED**

\$22,800 = TOTAL

COSTS - (P) PARKING

\$22,800 = 57 SHADE TREES X \$400 EACH

PLANT LIST - WOODLAND (W)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC
3	CA	American Hornbeam Carpinus Caroliniana	2.5" cal.	В&В
18	PD	Black Hills Spruce Picea g. 'Densata'	7' Ht.	B&B
4	PS	White Pine Pinus strobus	7' Ht.	B&B
8	PP	Colorado Green Spruce Picea pungens	7' Ht.	B&B
11	PD10	Black Hills Spruce Picea g. 'Densata'	10' Ht.	B&B
19	PP10	Colorado Green Spruce Picea pungens	10' Ht.	B&B
16	PA10	Norway Spruce Picea abies	10' Ht.	B&B
10	AC10	Concolor Fir Abies concolor	10' Ht.	B&B
WOOD	LAND	REPLACEMENT TREES		

SEE TREE REPLACEMENT CHART SHEET L103 112 TREES REQUIRED

112 REQUIRED 89 PROVIDED

\$33,350 = TOTAL

COSTS - (W) WOODLAND

\$1,200 = 3 SHADE TREES X \$400 EACH \$27,950 = 86 EVERGREEN TREES X \$325 EACH \$29,150 = TOTAL - TREES PROVIDED

\$9,200 = 23 SHADE TREES TO TREE BANK X \$400 EACH

Chephalacanthus occidentalis **Red-Osier Dogwood** 24" Ht. Cornus sericea New Blue Tams Juniper 24" Spr. Cont. Juniperus t. 'New Blue' **Amur Privet** 36" Ht. B&B Full Ligustrum amurense **Gro-low Fragrant Sumac** 24" Ht. Cont. Rhus aromatica 'Gro-low' Anthony Waterer Spirea 24" Ht. Cont. Spirea 'Anthony Waterer' Arrowood Viburnum 36" Ht. Cont. Viburnum dentatum Mariesi Doublefile Viburnum 36" Ht. Cont. VT Viburnum p. t. 'Mariesii'

MULTI-FAMILY DWELLING UNIT

3 TREES PER FIRST FLOOR UNIT FIRST FLOOR UNITS = 19 X 3 = 57 TREES REQUIRED

57 REQUIRED 57 PROVIDED

COSTS - (M) MULTI-FAMILY

\$14,400 = 36 SHADE TREES X \$400 EACH \$4,875 = 15 EVERGREEN TREES X \$325 EACH \$9,800 = 196 SHRUBS X \$50 EACH \$220 = 22 PERENNIALS X \$10 EACH \$15,040 = 3,760 SY SOD X 4/SY\$1,000 = 25 CY MULCH X \$40/CY\$45,335 = TOTAL

PLANT LIST - STREET TREES (S)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPE
12	CO3	Hackberry Celtis occidentalis	3" Cal.	B&B

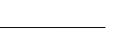
INTERIOR ROADWAY STREET TREES

1 TREE PER 35 L.F. ROADWAY = 421 L.F./35 = 12 TREES REQUIRED

12 REQUIRED 12 PROVIDED

COSTS - (S) STREET TREES

\$4,800 = 12 SHADE TREES X \$400 EACH \$4,800 = TOTAL





Ph: 303.773.0436 | Fax: 303.773.8709

KENNETH WEIKAL LANDSCAPE ARCHITECTURE

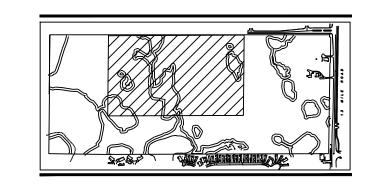
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FOX RUN NOVI, MICHIGAN



Novi, Michigan			
Section 1			
Sheet:			
PHASE 2 PREI	<u> IMINARY</u>	SITE	PLA
RB 2.3 CALCU	LATIONS		

Fox Run

Issue For:		
Project Number:		
Drawn:		
Checked:		
Date:	9-17-13	
Scale:		

L105 Sheet Number:



TREE #		COMMON	SPECIES	ОВН	CONDITION	SURVEY ELEVATION	Quantity of 2.5" caliper replacement trees required
816		Eastern cottonwood	Populus deltoides	14.3	Fair	956.77	2
817 818		Red maple Eastern cottonwood	Acer rubrum Populus deltoides	8 9.1	Good Good	956.62 956.35	1
819 820		Eastern cottonwood Eastern cottonwood	Populus deltoides Populus deltoides	17.8 8.4	Good Good	956.52 956.32	2
821 822		Eastern cottonwood Green ash	Populus deltoides Fraxinus pennsylvanica	17.9 10.7	Good Poor	956.10 957.06	2
823 824		Black cherry American elm	Prunus serotina Ulmus americana	15.2 8.4	Fair Fair	959.57 960.21	2
825 826		Sugar maple Black cherry	Acer saccharum Prunus serotina	11.1	Good	962.22 963.90	1
827	A)	American elm	Ulmus americana	8.9	Good	966.61	1
828 829		American elm American elm	Ulmus americana Ulmus americana	9.5 9.2	Good Fair	968.28 974.83	1
830 831		Black cherry Black cherry	Prunus serotina Prunus serotina	9.5 8.9	Good Good	982.03 969.25	1
832 833		Sugar maple Sugar maple	Acer saccharum Acer saccharum	10.9 9	Good Good	964.57 983.41	1
834		American elm	Ulmus americana	8.5	Fair	981.59	1
839		Sugar maple	Acer saccharum	9.7	Good	965.29	1
861		Sugar maple	Acer saccharum	11.2	Good	981.65	2
862 863		Sugar maple American elm	Acer saccharum Ulmus americana	8.7 8.4	Good Good	981.90 982.62	1
864 865		American elm Sugar maple	Ulmus americana Acer saccharum	8.9 8.9	Good Good	983.11 983.86	1
866 867		American elm Sugar maple	Ulmus americana Acer saccharum	8.3 8.6	Poor Good	983.87 980.91	1
868 870		American elm American elm	Ulmus americana Ulmus americana	11.3	Good Good	984.79 986.15	2
871		Sugar maple	Acer saccharum	10.2	Good	985.26	
872 873	(American elm Black cherry	Ulmus americana Prunus serotina	9 8.9	Good Good	988.20 987.65	1
874 875		American elm American elm	Ulmus americana Ulmus americana	8 9	Good Good	986.88 987.37	1
876 877		American elm American elm	Ulmus americana Ulmus americana	9.7 10.6	Good Good	987.66 990.45	1
878 879		American elm	Ulmus americana Acer saccharum	8.1	Good Good	989.13 982.70	1
880		Sugar maple Sugar maple	Acer saccharum	9.7	Good	977.40	1
881 882		American elm Black cherry	Ulmus americana Prunus serotina	8.2 8	Good Good	960.80 963.98	1
883 884		Sugar maple Sugar maple	Acer saccharum Acer saccharum	11.4 8.1	Good Good	961.23 965.32	2
885 886		Sugar maple Sugar maple	Acer saccharum Acer saccharum	12.3 8.7	Good Good	966.71 968.36	2
887		Sugar maple	Acer saccharum	8.9	Good	972.08	1
888 889		American elm Sugar maple	Ulmus americana Acer saccharum	9.5 8.4	Good Good	975.11 972.25	1
890 891		Sugar maple American elm	Acer saccharum Ulmus americana	8.5 10.8	Good Good	972.17 979.07	1
892 893		American elm Sugar maple	Ulmus americana Acer saccharum	9 10.8	Good Good	976.61 970.06	1
894 895		American elm American elm	Ulmus americana Ulmus americana	9.8 9.6	Good Dying	969.00 964.84	
896 897 898		Sugar maple Sugar maple American elm	Aper saccharum Acer saccharum Ulmus americana	9.5 9.5 8.6	Good Good Good	969.94 969.82 976.27	2
			Acer saccharum				
905 906		Sugar maple Sugar maple	Acer saccharum Acer saccharum	9.7 12.4	Good Good	966.29 969.61	2
907 908		Sugar maple Sugar maple	Acer saccharum Acer saccharum	11 8.8	Good Good	968.99 965.85	
909 910		American elm Sugar maple	Ulmus americana Acer saccharum	15.3 10.9	Good Good	963.12 960.25	2
911 912		Black cherry Sugar maple	Prunus serotina Acer saccharum	8.1 13.7	Good Good	960.04 962.28	
913		American elm	Ulmus americana	8.2	Good	958.58	
914 915		American elm American elm	Ulmus americana Ulmus americana	8.6 9.5	Good Good	960 07 963 79	
916 917		Sugar maple Sugar maple	Acer saccharum Acer saccharum	9.9 9.8	Good Good	966.43 964.93	
918 919		Sugar maple Sugar maple	Acer saccharum Acer saccharum	9.5 8.3	Good Good	962.35 957.38	
923		Sugar maple	Acer saccharum	11.3	Good	964.27	
130		Sugar maple	Acer saccharum	8.1	Good	959.01	1
131	0	Black cherry	Prunus serotina	9.6	Good	963.13	1
131 131	2	Red maple Sugar maple	Acer rubrum Acer saccharum	8.5 12.7	Good Good	965.97 963.97	1
131 131	4	Sugar maple Black cherry	Aper saccharum Prunus serotina	9.5 9.2	Good Good	963.16 962.38	
131 131		Sugar maple Sugar maple	Acer saccharum Acer saccharum	10.1 12.9	Good Good	961.82 973.61	1
131 131	7	Black cherry Sugar maple	Prunus serotina Acer saccharum	9.5	Good Good	973.80 975.38	1
131	9	Sugar maple	Acer saccharum	9.7	Good	970.30	
132 132	1	Sugar maple American elm	Acer saccharum Ulmus americana	13.9 8.2	Good	972.29 982.32	1
132 132	3	American elm Sugar maple	Ulmus americana Acer saccharum	11.9 8.6	Good Good	986.83 980.37	1
132 132		American elm White ash	Ulmus americana Fraxinus americana	8.7 9.8	Good Good	971.27 972.99	1
132 132	6	Black cherry Black cherry	Prunus serotina Prunus serotina	9.1 9.5	Good Good	973.04 963.18	
132 135	0	White ash Silver maple	Fraxinus americana Acer saccharinum	9.5	Good	962.22 944.88	2
135 135	1	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9	Good Good	944.13 943.17	
135	3	American elm	Ulmus americana	9.5	Fair	943.15	
40-	5	Eastern cottonwood Eastern cottonwood	Populus deltoides Populus deltoides	26.1 33.8	Good Good	942.59 942.40	
135 135	6	Silver maple Silver maple	Acer saccharinum Acer saccharinum	13.5 11.4	Good Good	943.76 943.02	
135 135 135		•		26.5	Good	0/1 /0	
135 135	2	Eastern cottonwood Silver maple Silver maple	Populus deltoides Acer saccharinum Acer saccharinum	26.5 12.7 8.6	Good Fair Fair	941.42 941.39 941.16	

BUILDING RB2.4 TREE CHART KEY:

EXISTING TREE TO REMAIN	861	Sugar maple	Acer saccharum	11.2	Good	981.65	2
EXISTING TREE TO BE REMOVED 🗲	862	Sugar maple	Acer saccharum	8.7	Good	981.90	1
EXISTING TREE OUTSIDE RB2.4 AREA	863	American elm	Ulmus americana	8.4	Good	982.62	1

1367 1368	Silver maple Willow	Acer saccharinum Salix spp.	8.4 17.9	Fair Fair	940.79 940.40	
1369	Willow	Salix spp.	10	Fair	940.91	
1370 1371	Willow Silver maple	Salix spp. Acer saccharinum	9.9 8	Fair Good	940.92 941.07	
1372	Silver maple	Acer saccharinum	9.9	Good	941.87	
1373 1374	Silver maple Silver maple	Acer saccharinum Acer saccharinum	26.7 17.1	Good Fair	942.12 941.56	
1375	Eastern cottonwood	Populus deltoides	23.2	Good	941.91	
1376 1377	Silver maple Silver maple	Acer saccharinum Acer saccharinum	8.9 16.9	Good Good	941.84 941.43	
1378	Silver maple	Acer saccharinum	8.6	Good	941.80	
1379 1380	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	32.5 28.1	Good Good	941.37 941.16	
1381	Silver maple	Acer saccharinum	9	Good	941.50	
1382 1383	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9.2 9.9	Good Good	941.41 941.44	
1384	Silver maple	Acer saccharinum	10.1	Good	941.25	
1385 1386	Silver maple American elm	Acer saccharinum Ulmus americana	13.2 8.7	Good Good	941.01 940.82	
1387 1388	Silver maple American elm	Acer saccharinum Ulmus americana	10.1	Good Fair	941.02 941.09	
1389	American elm	Ulmus americana	9 8.4	Fair	941.13	
1390 1391	Silver maple Silver maple	Acer saccharinum Acer saccharinum	11.1 11.1	Good Good	941.34 941.12	
1392	Silver maple	Acer saccharinum	15.8	Good	941.12	
1393 1394	Silver maple American elm	Acer saccharinum Ulmus americana	8.5 8.6	Good Good	941.26 941.14	
1395	Silver maple	Acer saccharinum	10	Good	941.14	
1396	Silver maple	Acer saccharinum	17.2	Fair	940.78	
1397 1398	Eastern cottonwood Eastern cottonwood	Populus deltoides Populus deltoides	28.9 26.8	Good Good	940.84 942.34	
1399	Silver maple	Acer saccharinum	11.1	Good	941.54	_
1400	Silver maple	Acer saccharinum	11.3	Good	941.99	
1401	Silver maple	Acer saccharinum	11	Good	941.95	
1402 1403	Silver maple Silver maple	Acer saccharinum Acer saccharinum	11.7 9.3	Good Good	941.79 941.72	
1404	Silver maple	Acer saccharinum	8.6	Good	941.75	
1405 1406	Silver maple Green ash	Acer saccharinum Fraxinus pennsylvanica	16.6 18.1	Good Good	942.27 943.24	
1407	Red oak	Quercus rubra	8.9	Good	943.28	
1412 1413	Eastern cottonwood Silver maple	Populus deltoides Acer saccharinum	27.7 13.3	Good Fair	942.44 942.08	
1414	Silver maple	Acer saccharinum	15.5	Good	941.86	
1415 1416	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	8.8 25.8	Good Good	942.03 942.34	
1417	Silver maple	Acer saccharinum	14.5	Good	942.44	
1418 1419	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.4 8.6	Good Good	941.43 941.55	
1420	Eastern cottonwood	Populus deltoides	26.2	Fair	941.55	
1421 1422	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	10.3 28.5	Good Good	941.82 942.16	
1423	American elm	Ulmus americana	10.5	Fair	941.96	
1424	Eastern cottonwood					
1425		Populus deltoides Ulmus americana	21.8 9.4	Good Good	942.02 942.83	
1425 1426	American elm Silver maple	Ulmus americana Acer saccharinum	9.4 9.8	Good Good	942.83 943.41	
1426 1427	American elm Silver maple Eastern cottonwood	Ulmus americana	9.4 9.8 27.9	Good Good Good	942.83	
1426 1427 1428 1429	American elm Silver maple Eastern cottonwood Silver maple American elm	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana	9.4 9.8 27.9 8.9 9	Good Good Good Good	942.83 943.41 942.40 941.71 941.91	
1426 1427 1428	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum	9.4 9.8 27.9 8.9 9	Good Good Good Good Good	942.83 943.41 942.40 941.71	
1426 1427 1428 1429 1430 1431 1432	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3	Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89	
1426 1427 1428 1429 1430 1431	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana	9.4 9.8 27.9 8.9 9 17.8 11.6	Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple Eastern cottonwood	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99	
1426 1427 1428 1429 1430 1431 1432 1433	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Silver maple Eastern cottonwood	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple Eastern cottonwood Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.97	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1449 1440 1441 1442 1443	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Silver maple Silver maple Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Fraxinus pennsylvanica Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5 10.6 11.6	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.97 940.73 941.46 941.02	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440 1441 1442	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Silver maple Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5 10.6 11.6	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.73 941.46	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440 1441 1442 1443 1444 1445 1446 1447	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Eastern cottonwood Willow Willow	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Fopulus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Salix spp. Salix spp.	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5 10.6 11.6 11.6 10.3	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.97 940.73 941.46 941.02 940.10 940.16 941.13	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1440 1441 1442 1443 1444 1445 1446	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Eastern cottonwood Willow	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Fopulus deltoides Acer saccharinum Fraxinus pennsylvanica Acer saccharinum Populus deltoides Salix spp.	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5 10.6 11.6 10.3	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.54 940.73 941.46 941.02 940.10 940.16	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440 1441 1442 1443 1444 1445 1446 1447 1448 1449 1450	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Silver maple Green ash Silver maple Eastern cottonwood Willow Willow Willow Silver maple Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Fraxinus pennsylvanica Acer saccharinum Populus deltoides Salix spp. Salix spp. Salix spp. Salix spp. Salix spp. Salix spp. Acer saccharinum Acer saccharinum Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 26.2 10.5 12.4 10.5 10.6 11.6 10 11.1 13.9 15.9 16.1 16.2 21.9	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.73 941.46 941.02 940.10 940.16 941.33 941.30 940.97 942.05	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1449 1440 1441 1442 1443 1444 1445 1446 1447 1448 1449	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Eastern cottonwood Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Salix spennsylvanica Acer saccharinum Populus deltoides Salix spp. Salix spp. Salix spp. Salix spp.	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5 10.6 11.6 10 11.1 13.9 15.9 16.1 16.2	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.97 940.73 941.46 941.02 940.10 940.16 941.30 940.97	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440 1441 1442 1443 1444 1445 1446 1447 1448 1449 1450 1452 1453	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple American elm Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Eastern cottonwood Silver maple Eastern cottonwood Willow Willow Willow Silver maple	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Salix spensylvanica Acer saccharinum Populus deltoides Salix spp. Salix spp. Salix spp. Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5 10.6 11.6 10 11.1 13.9 15.9 16.1 16.2 21.9 42.2 16.3 13.4	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.97 940.73 941.46 941.02 940.10 940.16 941.13 941.30 940.97 942.05 941.85 940.21 940.31	
1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440 1441 1442 1443 1444 1445 1446 1447 1448 1449 1450 1451 1452	American elm Silver maple Eastern cottonwood Silver maple American elm Silver maple American elm Silver maple American elm Silver maple Silver maple Eastern cottonwood Silver maple Silver maple Silver maple Silver maple Silver maple Silver maple Eastern cottonwood Willow Willow Willow Silver maple Eastern cottonwood Silver maple Eastern cottonwood	Ulmus americana Acer saccharinum Populus deltoides Acer saccharinum Ulmus americana Acer saccharinum Ulmus americana Acer saccharinum Acer saccharinum Acer saccharinum Populus deltoides Acer saccharinum Fraxinus pennsylvanica Acer saccharinum Populus deltoides Salix spp. Salix spp. Salix spp. Acer saccharinum Populus deltoides Acer saccharinum	9.4 9.8 27.9 8.9 9 17.8 11.6 10.3 11.5 12.6 28.2 11.9 12.9 26.2 10.5 12.4 10.5 10.6 11.6 10 11.1 13.9 15.9 16.1 16.2 21.9 42.2 16.3	Good Good Good Good Good Good Good Good	942.83 943.41 942.40 941.71 941.91 941.76 941.31 941.89 942.33 941.43 941.99 942.96 942.83 941.97 941.18 940.54 940.97 940.73 941.46 941.02 940.10 940.16 941.13 941.30 940.97 942.05 941.85 940.21	
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	1485	Black cherry	Prunus serotina	8.4	Good	945.39	
	1486	Eastern cottonwood	Populus deltoides	20.6	Good	942.19	
	1487 1488	Eastern cottonwood Eastern cottonwood	Populus deltoides Populus deltoides	22.2 15.8	Good Good	942.57 942.53	
	1489	American elm	Ulmus americana	9	Good	942.15	
	1490 1491	Silver maple Silver maple	Acer saccharinum Acer saccharinum	11.2 8.6	Good Good	942.30 942.29	
	1492	Silver maple	Acer saccharinum	8.6	Good	941.91	
	1493 1494	Silver maple Silver maple	Acer saccharinum Acer saccharinum	8.6 8.4	Good Good	942.29 942.09	
	1495 1496	Silver maple Green ash	Acer saccharinum Fraxinus pennsylvanica	11.2 14	Good Good	942.21 942.16	
	1497	Silver maple	Acer saccharinum	8.6	Good	941.81	
	1498 1499	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.4 9.7	Good Good	941.60 941.82	
	1500	Silver maple	Acer saccharinum	14.1	Good	941.92	
	1501 1502	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.4 11.7	Good Good	941.99 942.70	
	1503 1504	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.3 12	Good Good	942.39 942.33	
	1505	Silver maple	Acer saccharinum	8.3	Good	942.32	
	1506 1507	Green ash Silver maple	Fraxinus pennsylvanica Acer saccharinum	16.2 11.4	Poor Good	942.27 942.76	
	1508	American elm	Ulmus americana	8	Good	942.32	
	1509 1510	Silver maple Silver maple	Acer saccharinum Acer saccharinum	8.2 11.5	Good Good	942.40 942.31	
	1511 1512	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9.3 15.7	Good Good	942.42 942.88	
	1513	Silver maple	Acer saccharinum	8.2	Good	943.11	
	1514 1515	Silver maple Silver maple	Acer saccharinum Acer saccharinum	12.6 9.6	Good Good	943.90 944.70	
X	1533	Red oak	Querous rubra	8.5	Good	944.52	
×	1541 1542	American elm American elm	Ulmus americana Ulmus americana	8.7 9.1	Fair Fair	943.63 942.65	
×	1543	Amencan elm	Ulmus americana	9.7	Good	942.71	
×	1544 1545	Silver maple Silver maple	Acer saccharinum Acer saccharinum	11.8 9.7	Good Good	942.89 943.39	
×	1546 1547	American elm American elm	Ulmus americana Ulmus americana	8.3 8.3	Good Good	942.90 942.88	
×	· ; · <u></u> · ; · <u></u> · · · · · · · · ·	American elm	Ulmus americana	8.6	Good	942.52	
×	1550	American elm	Ulmus americana	8.2	Good	943,14	
X		American elm	Ulmus americana	12.8	Fair	943.63	
×	1554	American elm	Ulmus americana	9.9	Fair	944.13	
X	1555 1556	Amencan elm Amencan elm	Ulmus americana Ulmus americana	8.3 9.1	Good Good	944.03 943.83	
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X	1578 1581	American elm Black cherry	Ulmus americana Prunus serotina	11.4 8.7	Good	944.39 947.90	
						950:95	
×	1594 1595	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8.9 8	Gaed Gaed	950.60	
×	1596 1597	Sugar maple American elm	Acer saccharum Ulmus americana	8.7 13.3	Good Good	950.87 951.29	
Ŷ	1598	Black cherry	Prunus serotina	8	Good	951.02	
×	1599 1600	Silver maple Sugar maple	Acer saccharinum Acer saccharum	19.7 8.5	Good Good	952.64 957.44	
×	1601 4602	Black cherry Sugar maple	Prunus serotina Acer saccharum	8.9 10.8	Good Good	956.18 951.52	
×	1602 1603	Red maple	Acer rubrum	8.1	Good	949.31	
×	1604 1605	Black cherry Willow	Prunus serotina Salix spp.	10 14.9	Poor Good	947.74 947.44	
Ŝ	1606	Sugar maple	Acer saccharum	8.7	Good	946.32	
X	1607 1608	Green ash Black walnut	Fraxinus pennsylvanica: Juglans nigra	19.4 12.3	Good Good	945.31 944.87	
	1609 1610	Sugar maple Black walnut	Acer saccharum Juglans nigra	13.1 10.8	Good Good	946.41 944.27	
	1611	White ash	Fraxinus americana	13.3	Good	943.61	
	1612 1613	Sugar maple Black walnut	Acer saccharum Juglans nigra	12.3 9.1	Good Good	945.27 944.29	
	1614	Black walnut	Juglans nigra	10.7	Good	943.53	
	1615 1616	Black walnut White ash	Juglans nigra Fraxinus americana	15 13.4	Poor Good	942.88 942.78	
	1617 1618	American elm Box-elder	Ulmus americana Acer negundo	10.6 11.8	Good Poor	943.70 942.73	
	1619	Black walnut	Juglans nigra	11.8	Good	944.90	
	1620 1621	Black walnut White ash	Juglans nigra Fraxinus americana	15.9 11.3	Good Good	946.23 947.23	
	1622	White ash	Fraxinus americana	9.1 8.3	Fair Good	946.78 954.05	
×	1623 1624	Norway spruce Eastern cottonwood	Picea ables Populus deltoides	о.з 24.8	Good	953.27	
×	1625 1626	Eastern cottonwood Sugar maple	Populus deltoides Ager saccharum	20.4 8	Good Good	952.96 949.38	
×	1627	Sugar maple	Acer saccharum	8.3	Good	951.30	
×	1628 1629	Eastern cottonwood Sugar maple	Populus delfoides Acer saccharum	16.2 8.4	Good Good	952.31 951.36	
X	1630 1631		Acer saccharum	10.5 16.5	Fair	951.75 953.02	
×	1632	Red oak	Populus deltoides Quercus rubra	11.6	Fair Good	957.59	
	2073	American elm	Ulmus americana	11.4	Fair	956.65	
	2074	American elm	Ulmus americana	10.5	Good	956.52	
	2075 2076	American elm American elm	Ulmus americana Ulmus americana	9.6 8.1	Fair Fair	957.11 956.43	
	2077	Sugar maple	Acer saccharum	9.5	Good	956.65	
	2078 2079	American elm Silver maple	Ulmus americana Acer saccharinum	10.6 9.5	Good Good	956.88 956.98	
	2080 2081	American elm Sugar maple	Ulmus americana Acer saccharum	10.8 11	Fair Good	957.31 959.87	
	2082	Sugar maple	Acer saccharum	11.5	Good	960.71	
	2083 2084	American elm American elm	Ulmus americana Ulmus americana	9.6 8.7	Good Fair	959.47 958.71	
	2085	American elm	Ulmus americana	8.6	Good	959.31	
	2086 2087	Black walnut Box-elder	Juglans nigra Acer negundo	8.7 10.8	Good Good	958.62 957.14	
	2088 2089	Black cherry Sugar maple	Prunus serotina Acer saccharum	8.1 13.6	Good Good	969.10 965.79	
	2090	Black cherry	Prunus serotina	9.5	Good	967.30	
	2091 2092	Black cherry Sugar maple	Prunus serotina Acer saccharum	9 8.3	Good Good	969.20 965.55	
	2093	Black cherry	Prunus serotina	8	Good	964 19	

2116	American elm	Ulmus americana	8.3	Good	988.10	
2117	Black cherry	Prunus serotina	9.7	Good	988.71	
2118	Black cherry	Prunus serotina	15	Fair	988.45	
2119	American elm	Ulmus americana	8.1	Good	989.99	
2120	American elm	Ulmus americana	10.5	Good	990.09	
2121	American elm	Ulmus americana	9.4	Good	988.67	
2122	American elm	Ulmus americana	8.7	Good	990.68	
2123	American elm	Ulmus americana	10.9	Good	991.30	
2124	White ash	Fraxinus americana	8.3	Poor	990.92	
2125	Black cherry	Prunus serotina	10.1	Fair	991.33	
2126	Sugar maple	Acer saccharum	9.2	Good	987.18	
2127	American elm	Ulmus americana	11.7	Good	989.66	
2128	Sugar maple	Acer saccharum	8	Good	984.25	
2129	White ash	Fraxinus americana	10.1	Good	985.05	
2132	Black cherry	Prunus serotina	9.9	Good	983.61	
2133	American elm	Ulmus americana	8.4	Good	987.82	
2134	Black cherry	Prunus serotina	8.1	Good	990.26	
2135	Black cherry	Prunus serotina	11.7	Good	986.90	
2136	Red maple	Acer rubrum	9.9	Good	981.72	
2137	American elm	Ulmus americana	8.5	Good	975.94	
2138	American elm	Ulmus americana	8	Good	965.73	
2130	American cim	Office afficilitatia	-	0000	303.73	
2144	Black cherry	Prunus serotina	8.9	Good	954.52	
2145	White ash	Fraxinus americana	9.5	Good	953.74	
2145	vviite asii	Traxinus americana	3.5	Good	933.74	
2149	White ash	Fraxinus americana	9.1	Good	952.49	
2150	White ash	Fraxinus americana	12	Good	952.51	
2151	Black cherry	Prunus serotina	10.9	Fair	951.78	
2152	White ash	Fraxinus americana	9.3	Good	950.83	
2153	White ash	Fraxinus americana	12.5	Good	950.88	
2154	Sugar maple	Acer saccharum	13	Good	957.83	
2155	Sugar maple	Acer saccharum	10	Good	955.20	
2156	White ash	Fraxinus americana	10.1	Good	959.59	
2157	Sugar maple	Acer saccharum	10.2	Good	954.38	
2158	White ash	Fraxinus americana	9.1	Good	955.79	
2159	Sugar maple	Acer saccharum	8,5	Dying	956,41	
2160	White ash	Fraxinus americana	9.1	Good	955.76	
2161	Sugar maple	Acer saccharum	11	Good	954.44	
2162	Sugar maple	Acer saccharum	14.7	Good	955.64	
2163	Red maple	Acer rubrum	9.7	Good	954.27	
2164	White ash	Fraxinus americana	9.1	Good	954.29	
2165	Red maple	Acer rubrum	9.6	Good	957.36	
2166	Sugar maple	Acer saccharum	9.3	Good	958.89	
2167	Black cherry	Prunus serotina	11.3	Good	964.75	
2168	White ash	Fraxinus americana	9.3	Good	962.21	
2169	Red maple	Acer rubrum	8.4	Good	958.37	
2170	White ash	Fraxinus americana	8.9	Good	957.08	
2171	Black cherry	Prunus serotina	8.1	Fair	957.39	
2172	White ash		10.1	Good	958.64	
		Fraxinus americana				
2173	White ash	Fraxinus americana	8.1	Good	959.53	
2183	White ash	Fraxinus americana	9.8	Good	951.44	
		Ulmus americana	8.8	Fair	946.13	
3759	American elm	It illimite amendana	74 74	-2417	946 131	

TOTAL WOODLAND REPLACEMENT TREES REQUIRED = 91 FOR REVISED RB2.4



EIMET W& ENIAK

Civil Engineers & Land Surveyors

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Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN

Project:	
Fox Run	
Novi, Michigan	
Section 1	

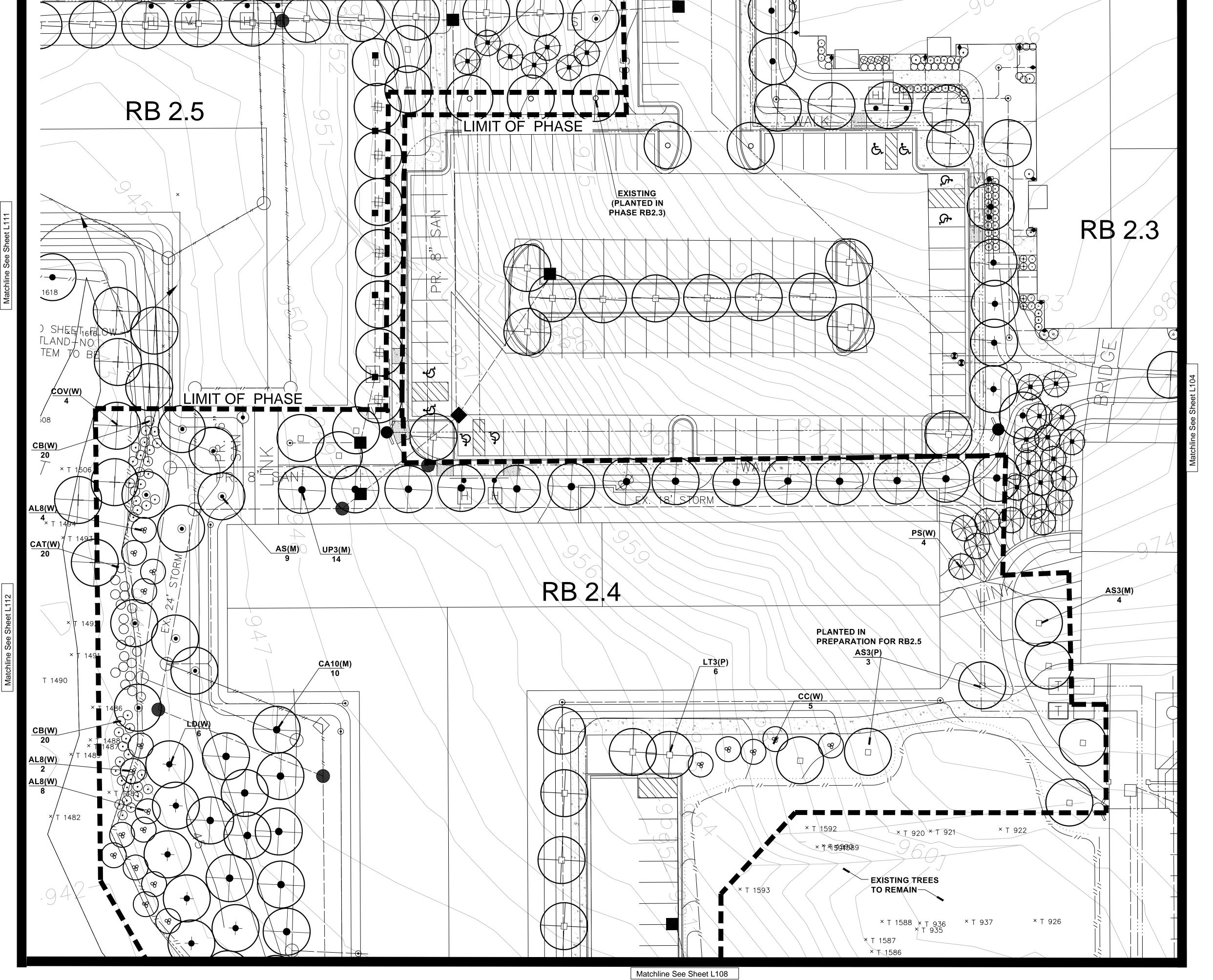
PHASE 2 PRELIMINARY SITE PLAN
RB 2.4 TREE REPLACEMENT CHART

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale:

10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

WEIKAL ANDSCAPE ARCHITECT No. 1022

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NOTE KEY:

1 CONRETE SIDEWALK

(2) WETLAND

3 WETLAND BUFFER 4 SNOW STORAGE



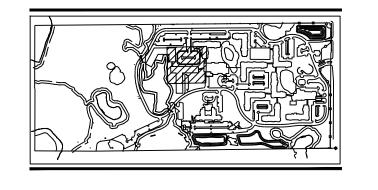
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FOX RUN NOVI, MICHIGAN



Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.4 LANDSCAPE PLAN

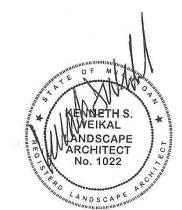
9-17-13 1" = 20'-0"

Fox Run

Novi, Michigan

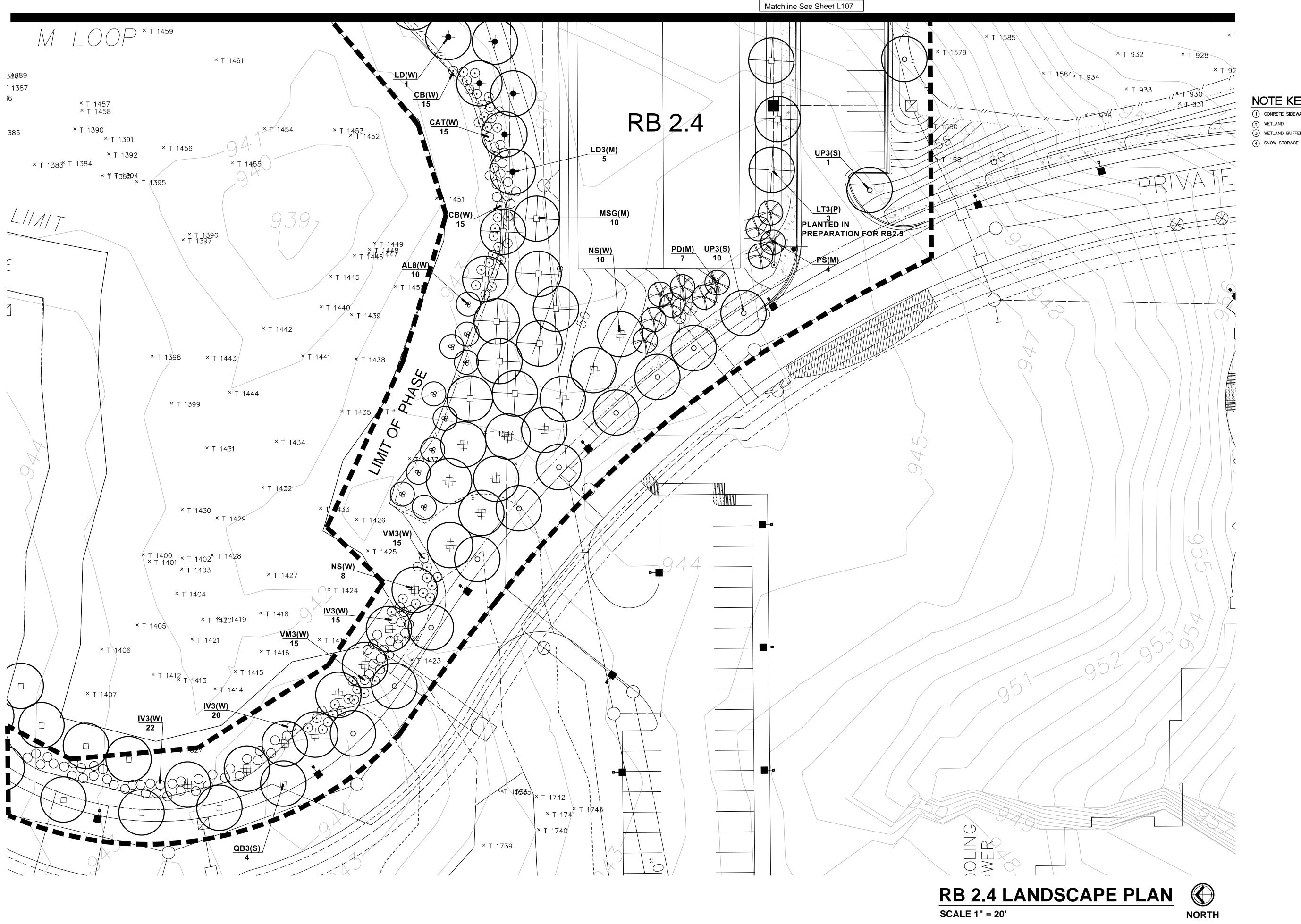
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

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WEIKAL ***	WEIKAL LANDSCAPE ARCHITECT No. 1022		MINIMA C V Z	474	X	Marin C. A. T.	
	No. 1022	Tommenoum.	À.	HS. APE	WEIK	*	

NORTH



KENNETH WEIKAL LANDSCAPE ARCHITECTURE 248 477 3600 TEL 248 477 3658 FAX 33203 BIDDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313 www.kw-la.com

NOTE KEY:

1 CONRETE SIDEWALK WETLAND WETLAND BUFFER

ZEIMET W& ZNIAK
ASSOCIATES

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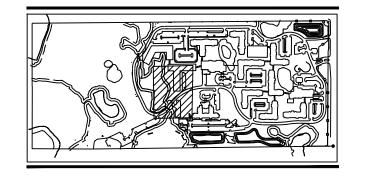
Lantz-Boggio
Architects, P.C

5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111 Ph: 303.773.0436 | Fax: 303.773.8709



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FOX RUN NOVI, MICHIGAN



Project:	
Fox Run	
Novi, Michigan	
Section 1	

PHASE 2 PRELIMINARY SITE PLAN RB 2.4 LANDSCAPE PLAN

9-17-13 1" = 20'-0"

10-17-13 PER CITY REVIEW COMMENTS

Sheet Number:



RB 2.4 PLANT LIST

<u>PLAN</u>	T LIS	T - PARKING (P)			F
QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.	<u>c</u>
6	LT3	Tulip Tree Liriodendron tulipifera	3" cal.	B&B	
PARKING A	ISLES = 43	2295 S.F. X 10% = 229 20 S.F. X 5% = 216 = 6 TREES REQUIRED			
6 REC					
COSTS	3 - (P)	PARKING			
\$2,400 =	6 SHADE TE	REES X \$400 EACH			
\$2,400 =	TOTAL				

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
24	AL8	Serviceberry Amelanchier laevis	8' Ht. multi	В&В
9	AS	Sugar Maple Acer saccharum	2.5" cal.	в&в
10	CA	American Hornbeam Carpinus Caroliniana	2.5" cal.	B&B
5	cc	Eastern Redbud Cercis canadensis	8' Ht. 4 stem m	B&B in.
4	cov	Shagbark Hickory Carya ovata	2.5" cal.	B&B
7	LD	Larch <i>Larix decidua</i>	2.5" cal.	В&В
18	NS	Sour Gum Nyssa sylvatica	2.5" Cal.	В&В
5	PD	Black Hills Spruce Picea g. 'Densata'	7' Ht.	В&В
8	PP	Colorado Green Spruce Picea pungens	7' Ht.	В&В
4	PS	White Pine Pinus strobus	7' Ht.	В&В
35	CAT	New Jersey Tea Ceanothus americanus	36" Ht.	B&B
70	СВ	Buttonbush Chephalacanthus occidentalis	36" Ht.	B&B
57	IV3	Michigan Holly Ilex verticillata	36" Ht.	B&B
30	VM	Mohican Viburnum Viburnum lantana 'Mohican'	36" Ht.	B&B

WOODLAND REPLACEMENT TREES

SEE TREE REPLACEMENT CHART SHEET L106 91 TREES REQUIRED

91 REQUIRED

129 PROVIDED (97 TREES + 192 SHRUBS)

COSTS - (W) WOODLAND

\$17,600 = 44 SHADE TREES X \$400 EACH

11,050 = 34 EVERGREEN TREES X \$325 EACH

\$7,250 = 29 ORNAMENTAL TREES X \$250 EACH

\$9,600 = 192 SHRUBS X \$50 EACH

\$45,500 = TOTAL

(W) PLANT LIST - MULTI-FAMILY (M)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC
3	AB3	Autumn Blaze Maple Acer x. fremanii 'Autumn Blaze'	3" Cal.	B&B
15	AS3	Sugar Maple Acer saccharum	3" cal.	B&B
10	CA10	American Hornbeam Carpinus Caroliniana	10' Ht.	B&B
5	LD3	Larch Larix decidua	3" Cal	B&B
10	MSG	Dawn Redwood Metasequoia glyptostroboides	2.5" Cal.	B&B
14	UP3	Princeton Elm Ulmus americana 'Princeton'	3" Cal	B&B
7	PD	Black Hills Spruce Picea g. 'Densata'	7' Ht.	B&B
4	PS	White pine Pinus strobus	7'Ht.	B&B

3 TREES PER FIRST FLOOR UNIT FIRST FLOOR UNITS = 22 X 3 = 66 TREES REQUIRED

66 REQUIRED 68 PROVIDED

COSTS - (M) MULTI-FAMILY

\$22,800 = 57 SHADE TREES X \$400 EACH \$4,125 = 11 EVERGREEN TREES X \$325 EACH

\$9,800 = 196 SHRUBS X \$50 EACH \$23,840 = 5,960 SY SOD X \$4/SY

1,000 = 25 CY MULCH X \$40/CY

\$61,565 = TOTAL

PLANT LIST - STREET TREES (S)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
4	QB3	Swamp White Oak <i>Quercus bicolor</i>	3" Cal.	B&B
11	UP3	Princeton Elm Ulmus americana 'Princeton'	3" Cal	B&B

INTERIOR ROADWAY STREET TREES

1 TREE PER 35 L.F. ROADWAY = 524 L.F./35 = 15 TREES REQUIRED

15 REQUIRED 15 PROVIDED

COSTS - (S) STREET TREES

\$6,000 = 15 SHADE TREES X \$400 EACH

\$6,000 = TOTAL

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

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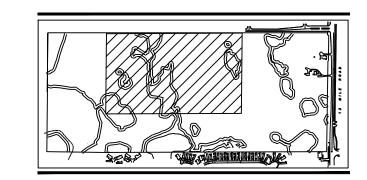
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Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



Sheet				
PHA	SE 2 PR	<u>ELIMINA</u>	RY SITE	PLAN
RB :	2.4 CALC	ULATIO	NS	

Fox Run

Novi, Michigan

Drawn:	
Checked:	
Date:	9-17-13
Scale:	

10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



Sheet Number: L109

TREE#	COMMON	SPECIES	ОВН	CONDITION	SURVEY ELEVATION	Quantity of 2.5" caliper replacement trees required
816 817	Eastern cottonwood Red maple	Populus deltoides Acer rubrum	14.3	Fair Good	956.77 956.62	<u>2</u> 1
818 819	Eastern cottonwood Eastern cottonwood	Populus deltoides Populus deltoides	9.1 17.8	Good Good	956.35 956.52	1 2
820	Eastern cottonwood	Populus deltoides	8.4	Good	956.32	1
821 822	Eastern cottonwood Green ash	Populus deltoides Fraxinus pennsylvanica	17.9 10.7	Good Poor	956.10 957.06	2 0
823 824	Black cherry American elm	Prunus serotina Ulmus americana	15.2 8.4	Fair Fair	959.57 960.21	2 1
825	Sugar maple	Acer saccharum	11.1	Good	962.22	1
826 827	Black cherry American elm	Prunus serotina Ulmus americana	10.6 8.9	Good Good	963.90 966.61	1
828 829	American elm American elm	Ulmus americana Ulmus americana	9.5 9.2	Good Fair	968.28 974.83	1 1
830 831	Black cherry	Prunus serotina Prunus serotina	9.5 8.9	Good	982.03 969.25	1
832	Black cherry Sugar maple	Acer saccharum	10.9	Good Good	964.57	1
833 834	Sugar maple American elm	Acer saccharum Ulmus americana	9 8.5	Good Fair	983.41 981.59	1 1
839	Sugar maple	Acer saccharum	9.7	Good	965.29	1
						'
861 862	Sugar maple Sugar maple	Acer saccharum Acer saccharum	11.2 8.7	Good Good	981.65 981.90	2 1
863 864	American elm American elm	Ulmus americana Ulmus americana	8.4 8.9	Good Good	982.62 983.11	1
865	Sugar maple	Acer saccharum	8.9	Good	983.86	1
866 867	American elm Sugar maple	Ulmus americana Acer saccharum	8.3 8.6	Poor Good	983.87 980.91	1
868 870	American elm American elm	Ulmus americana Ulmus americana	11.3 11.6	Good Good	984.79 986.15	2 2
871	Sugar maple	Acer saccharum	10.2	Good	985.26	1
872 873	American elm Black cherry	Ulmus americana Prunus serotina	9 8.9	Good Good	988.20 987.65	1 1
874 875	American elm American elm	Ulmus americana Ulmus americana	8	Good Good	986.88 987.37	1 1
876 877	American elm American elm	Ulmus americana Ulmus americana	9.7	Good	987.66 990.45	1
878	American elm American elm	Ulmus americana	8.1	Good Good	989.13	1
879 880	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8 9.7	Good Good	982.70 977.40	1 1
881	American elm	Ulmus americana	8.2	Good	960.80	1
882 883	Black cherry Sugar maple	Prunus serotina Acer saccharum	8 11.4	Good Good	963.98 961.23	2
884 885	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8.1 12.3	Good Good	965.32 966.71	1 2
886	Sugar maple	Acer saccharum	8.7	Good	968.36	1
887 888	Sugar maple American elm	Acer saccharum Ulmus americana	8.9 9.5	Good Good	972.08 975.11	1
889 890	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8.4 8.5	Good Good	972.25 972.17	1 1
891 892	American elm American elm	Ulmus americana Ulmus americana	10.8	Good	979.07 976.61	1
893	Sugar maple	Acer saccharum	10.8	Good Good	970.06	1
894 895	American elm American elm	Ulmus americana Ulmus americana	9.8 9.6	Good Dying	969.00 964.84	1 1
896 897	Sugar maple Sugar maple	Acer saccharum Acer saccharum	12.1 9.5	Good Good	969.94 969.82	2
898	American elm	Ulmus americana	8.6	Good	976.27	1
904	Sugar maple	Acer saccharum	14.3	Good	966.50	2
905 906	Sugar maple Sugar maple	Acer saccharum Acer saccharum	9.7 12.4	Good Good	966.29 969.61	1 2
907	Sugar maple	Acer saccharum	11	Good	968.99	1
908 909	Sugar maple American elm	Acer saccharum Ulmus americana	8.8 15.3	Good Good	965.85 963.12	1 2
910 911	Sugar maple Black cherry	Acer saccharum Prunus serotina	10.9 8.1	Good Good	960.25 960.04	1 1
912	Sugar maple	Acer saccharum	13.7	Good	962.28	2
913 914	American elm American elm	Ulmus americana Ulmus americana	8.2 8.6	Good Good	958.58 960.07	1
915 916	American elm Sugar maple	Ulmus americana Acer saccharum	9.5 9.9	Good Good	963.79 966.43	1 1
917 918	Sugar maple Sugar maple	Acer saccharum Acer saccharum	9.8 9.5	Good Good	964.93 962.35	1
919	Sugar maple	Acer saccharum	8.3	Good	957.38	1
923	Sugar maple	Acer saccharum	11.3	Good	964.27	2
1309	Sugar maple	Acer saccharum	8.1	Good	959.01	1
1310	Black cherry	Prunus serotina	9.6	Good	963.13	1
1311 1312	Red maple Sugar maple	Acer rubrum Acer saccharum	8.5 12.7	Good Good	965.97 963.97	2
1313 1314	Sugar maple Black cherry	Acer saccharum Prunus serotina	9.5 9.2	Good Good	963.16 962.38	1
1315 1316	Sugar maple	Acer saccharum	10.1 12.9	Good Good	961.82 973.61	4
1317	Sugar maple Black cherry	Acer saccharum Prunus serotina	9.5	Good	973.80	1
1318 1319	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8.8 9.7	Good Good	975.38 970.30	1
1320 1321	Sugar maple American elm	Acer saccharum Ulmus americana	13.9 8.2	Good Good	972.29 982.32	2
1322	American elm	Ulmus americana	11.9	Good	986.83	2
1323 1324	Sugar maple American elm	Acer saccharum Ulmus americana	8.6 8.7	Good Good	980.37 971.27	1 ***
1325 1326	White ash Black cherry	Fraxinus americana Prunus serotina	9.8 9.1	Good Good	972.99 973.04	0
1327	Black cherry	Prunus serotina	9.5	Good	963.18	×
1328	White ash	Fraxinus americana	9.7	Good	962.22	0
1350 1351	Silver maple Silver maple	Acer saccharinum Acer saccharinum	15.6 9	Good Good	944.88 944.13	2
1352	Silver maple	Acer saccharinum	16.6 9.5	Good	943.17 943.15	
1353 1354	American elm Eastern cottonwood	Ulmus americana Populus delfoides	26.1	Fair Good	942.59	
1355 1356	Eastem cottonwood Silver maple	Populus deltoides Acer saccharinum	33.8 13.5	Good Good	942.40 943.76	
1357	Silver maple	Acer saccharinum	11.4	Good	943.02	
1362	Eastern cottonwood	Populus deltoides	26.5	Good	941.42	
1363 1364	Silver maple Silver maple	Acer saccharinum Acer saccharinum	12.7 8.6	Fair Fair	941.39 941.16	
1365	Silver maple	Acer saccharinum	9.1	Good	941.26	

BUILDING RB2.5 TREE CHART KEY:

EXISTING TREE TO REMAIN	861	Sugar maple	Acer saccharum	11.2	Good	981.65	2
EXISTING TREE TO BE REMOVED	≺862	Sugar maple	Acer saccharum	8.7	Good	981.90	1
EXISTING TREE OUTSIDE RB2.5 AREA	863	American elm	Ulmus americana	8.4	Good	982.62	1

1367 1368	Silver maple Willow	Acer saccharinum Salix spp.	8.4 17.9	Fair Fair	940.79 940.40	
1369	Willow	Salix spp.	10	Fair	940.91	
1370 1371	Willow Silver maple	Salix spp. Acer seccharinum	9.9 8	Fair Good	940.92 941.07	
1372 1373	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9.9 26.7	Good Good	941.87 942.12	
1374	Silver maple	Acer sacchannum	17.1	Fair	941.56	
1375 1376	Eastern cottonwood Silver maple	Populus delfoides Acer sacchannum	23.2 8.9	Good Good	941.91 941.84	
1377	Silver maple	Acer saccharinum	16.9	Good	941.43	
1378 1379	Silver maple Silver maple	Acer saccharinum Acer saccharinum	8.6 32.5	Good Good	941.80 941.37	
1380	Eastern cottonwood	Populus deltaides	28.1	Good	941.16	
1381 1382	Silver maple Silver maple	Acer sacchannum Acer saccharinum	9 9.2	Good	941.50 941.41	
1383	Silver maple	Acer saccharinum	9.9	Good	941.44	
1384 1385	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.1 13.2	Good Good	941.25 941.01	
1386 1387	American elm Silver maple	Ulmus americana Acer sacchannum	8.7 10.1	Good Good	940.82 941.02	
1388	American elm	Ulmus americana	9	Falr	941.09	
1389 1390	American etm Silver maple	Ulmus americana Acer saccharinum	8.4 11.1	Fair Good	941.13 941.34	
1391	Silver maple	Acer saccharinum	11.1	Good	941.12	
1392 1393	Silver maple Silver maple	Acer sacchannum Acer sacchannum	15.8 8.5	Good Good	941.21 941.26	
1394	American elm	Ulmus americana	8.6	Good	941.14	
1395 1396	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10 17.2	Good	941.16 940.78	
1397	Eastern cottonwood	Populus deltoides	28.9	Good	940:84	
1398 1399	Eastern cottonwood Silver maple	Populus delfoides Acer saccharinum	26.8 11.1	•	942.34 941.54	
1400	Silver maple	Aper sapphannum	11.3	Go.ad	941.99	
1401	Silver maple	Acer saccharinum	11	Good	941.95	
1402 1403	Silver maple Silver maple	Acer sacchannum Acer sacchannum	11.7 9.3	Good Good	941.79 941.72	
1404	Silver maple	Acer saccharinum	8.6	Good	941.75	
1405 1406	Silver maple Green ash	Acer saccharinum Fraxinus pennsylvanica	16.6 18.1	Good Good	942.27 943.24	
1407	Red oak	Quercus rubra	8.9	Good	943.28	
1412	Eastern cottonwood	Populus deltoides	27.7	Good	942.44	
1413	Silver maple	Acer saccharinum	13.3	Fair	942.08	
1414 1415	Silver maple Silver maple	Acer saccharinum Acer saccharinum	15.5 8.8	Good Good	941.86 942.03	
1416	Eastern cottonwood	Populus deltoides	25.8	Good	942:34	
1417 1418	Silver maple Silver maple	Acer saccharinum Acer saccharinum	14.5 10.4	Good Good	942.44 941.43	
1419 1420	Silver maple	Acer saccharinum	8.6	Good	941.55 941.55	
1420 1421	Eastern:cottonwood Silver:maple	Populus delfoides Acer saccharinum	26.2 10.3	Fair Good	941.82	
1422 1423	Eastern cottonwood American elm	Populus deltoides Ulmus americana	28.5 10.5	Good Fair	942.16 941.96	
1424	Eastern cottonwood	Populus deltoides	21.8	Good	942.02	
1425 1426	American elm Silver maple	Ulmus americana Acer sacchannum	9.4 9.8	Good Good	942.83 943.41	
1427	Eastern cottonwood	Populus delfoides	27.9	Good	942:40	
1428 1429	Silver maple American etm	Acer saccharinum Ulmus americana	8.9 9	Good	941.71 941.91	
1430	Silver maple	Acer saccharmum	17.8	Good	941.76	
1431 1432	American elm Silver maple	Ulmus americana Acer sacchannum	11.6 10.3	Good Good	941.31 941.89	
1433	Silver maple	Acer saccharinum	14.5	Good	942.33 941.43	
1434 1435	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	12.6 28.2	Good Good	941.43	
1436 1437	Silver maple Silver maple	Acer saccharinum Acer saccharinum	11.9 12.9	Good Good	942.96 942.83	
1438	Eastern cottonwood	Populus deltoides	26.2	Good	942.03 941.97	
1439 1440	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.5 12.4	Good Good	941.18 940.54	
1441	Silver maple	Acer saccharmum	10.5	Paor	940.97	
1442 1443	Silver maple Green ash	Acer saccharinum Fraxinus pennsylvanica	10.6 11.6	Good Good	940.73 941.46	
1444	Silver maple	Acer sacchannum	10	Good	941.02	
1445 1446	Eastern cottonwood Willow	Populus deltoides Salix spp	11.1 13.9	Good Fair	940.10 940.16	
1447	Willow	Saix spp.	15.9	Fair	941.13	
1448 1449	Willow Silver maple	Salix spp. Acer saccharinum	16.1 16.2	Fair Good	941.30 940.97	
1450	Silver maple	Acer sacchannum	21.9	Good	942.05	
1451 1452	Eastem cottonwood Silver maple	Populus deltoides Acer saccharinum	42.2 16.3	Good Good	941.85 940.21	
1453 1454	Silver maple Eastern cottonwood	Acer saccharinum	13.4	Good Good	940:31 941:10	
1455	Silver maple:	Populus deltoides Acer saccharinum	28.4 35.2	Good	940.84	
1456 1457	American elm Silver maple	Ulmus americana Acer saccharinum	8.9 10.3	Good Good	941.28 941.24	
1458	Silver mapte	Acer saccharmum	8.7	Good	941.32	
1459 1460	Silver maple American elm	Acer saccharinum Ulmus americana	15 9.5	Good Good	941.50 941.47	
1461	Silver maple	Acer sacchannum	14.7	Good	942:14	
1462 1463	Green ash Silver maple	Fraxinus pennsylvanica Acer saccharinum	18.2 9.4	Good Good	942.28 941.85	
1464	American elm	Ulmus americana	12.6	Good	941.85	
1465 1466	Silver maple Silver maple	Acer saccharinum Acer saccharinum	15 13.6	Good	941.87 942.00	
1467	American elm	Ulmus americana	11.6	Good	941.80	
1468 1469	Silver maple Silver maple	Acer saccharinum Acer saccharinum	16.5 14.8	Good Good	941.89 942.24	
1470	Eastern cottonwood	Populus deltoides	20.1	Good	942.25	
1471 1472	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9.7 9.7	Good Good	942.38 941.88	
1473	Silver maple	Acer sacchannum	8.3 8.6	Good	941.62	
1474 1475	Silver maple Eastern cottonwood	Acer saccharinum Populus deltoides	8.6 19.6	Good Good	941.72 941.77	
1476 1477	American elm	Ulmus americana	41.7	Poor	941.47 941.90	
1477 1478	Eastern cottonwood Silver maple	Populus deltoides Acer saccharinum	29 9.7	Good Good	941.93	
1479 1480	American elm	Ulmus americana	8 9.4	Good	942.15 941.49	
148U 1481	Silver maple Silver maple	Acer saccharinum Acer saccharinum	9.4 11.7	Good	941.49	/
1482	Box-elder	Acer negundo	16.8	Good	942.44	
1483	Silver maple	Acer saccharinum	12.1	Good	942.84	

EA	863	American elm	Ulmus americana	8.4	Good	982.62	
;	×1485	Black cherry Eastern cottonwood	Prunus serofina Populus deltoides	8.4 20.6	Good	945.39 942.19	
	1487	Eastern cottonwood	Populus deltoides	22.2	Good	942.57	
	1488 1489	Eastern cottonwood American elm	Populus deltoides Ulmus americana	15.8 9	Good Good	942.53 942.15	
	1490	Silver maple	Acer saccharinum	11.2	Good	942,30	
	1491 1492	Silver maple Silver maple	Acer sacchannum Acer sacchannum	8.6 8.6	Good Good	942.29 941.91	
	1493 1494	Silver maple Silver maple	Acer sacchannum Aper sacchannum	8.6 8.4	Good Good	942.29 942.09	
	1495	Silver maple	Acer sacchannum	11.2	Good	942.21	
	1496 1497	Green ash Silver maple	Fraxinus pennsylvanica Acer sacchannum	14 8.6	Good Good	942.16 941.81	
	1498	Silver maple	Acer sacchannum	10.4	Good	941.60	
	1499 1500	Silver maple Silver maple	Acer sacchannum Acer sacchannum	9.7 14.1	Good	941.82 941.92	
	1501 1502	Silver maple Silver maple	Acer saccharinum Acer saccharinum	10.4 11.7	Good Good	941.99 942.70	
	1503	Silver maple	Acer sacchannum	10:3	Good	942.39	
	1504 1505	Silver maple Silver maple	Acer saccharinum Acer saccharinum	12 8.3	Good	942.33 942.32	
	1:506	Green ash	Fraxinus pennsylvanica	16.2	Poor	942.27	
	4507 4508	Silver maple American elm	Acer sacchannum Ulmus americana	11.4 8	Good Good	942.76 942.32	
	1509 1510	Silver maple Silver maple	Acer sacchannum Acer sacchannum	8.2 11.5	Good Good	942 40 942 31	
	1511	Silver maple	Acer saccharinum	9.3	Good	942.42	
;	1512 ≺ 1513	Silver maple Silver maple	Acer sacchannum Acer sacchannum	15.7 8.2	Good Good	942.88 943.11	
	<1514 <1515	Silver maple Silver maple	Acer saccharinum Acer saccharinum	12.6 9.6	Good Good	943.90 944.70	
•							
	1533	Red oak	Quercus rubra	8.5	Good	944.52	
	1541 1542	American elm American elm	Ulmus americana Ulmus americana	8.7 9.1	Fair Fair	943.63 942.65	
	1543	American elm	Ulmus americana	9.7	Good	942.71	
	1544 1545	Silver maple Silver maple	Acer saccharinum Acer saccharinum	11.8 9.7	Good Good	942.89 943.39	
	1546 1547	American elm American elm	Ulmus americana Ulmus americana	8.3 8.3	Good Good	942.90 942.88	
	1548	American elm	Ulmus americana	8.6	Good	942.52	
	1550	American elm	Ulmus americana	8.2	Good	943.14	
	1551	American elm	Ulmus americana	12.8	Fair	943.63	
	1554	American elm	Ulmus americana	9.9	Fair	944.13	
	1555 1556	American elm American elm	Ulmus americana Ulmus americana	8.3 9.1	Good Good	944.03 943.83	
	1578	American elm	Ulmus americana	11.4	Good	944.39	
	1581	Black cherry	Prunus serotina	8.7	Good	947.90	
	1594	Sugar maple	Acer saccharum	8.9	Good	950.95	
	1595 1596	Sugar maple	Acer saccharum	8 8.7	Good	950.60	
	1597	Sugar maple American elm	Acer saccharum Ulmus americana	13.3	Good Good	950.87 951.29	
	1598 1599	Black cherry Silver maple	Prunus serotina Acer saccharinum	8 19.7	Good Good	951.02 952.64	
	1600	Sugar maple	Acer saccharum	8.5	Good	957.44	
	1601 1602	Black cherry Sugar maple	Prunus serotina Acer saccharum	8.9 10.8	Good Good	956.18 951.52	
	1603 1604	Red maple Black cherry	Acer rubrum Prunus serotina	8.1 10	Good Poor	949.31 947.74	
	1605	Willow	Salix spp.	14.9	Good	947.44	
	1606 1607	Sugar maple Green ash	Acer saccharum Fraxinus pennsylvanica	8.7 19.4	Good Good	946.32 945.31	
	≺ 1608 ≺ 1609	Black walnut Sugar maple	Juglans nigra Aber sabcharum	12.3 13.1	Good Good	944.87 946.41	
	× 1610	Black walnut	Juglans nigra	10-8	Good	944.27	
	≺ 1611 ≺ 1612	White ash Sugar maple	Fraxinus americana Acer saccharum	13.3 12.3	Good Good	943.61 945.27	
	≺ 1613 ≺ 1614	Black walnut Black walnut	Juglans nigra Juglans nigra	9.1 10.7	Good Good	944. <u>29</u> 943.53	
	× 1615	Błack watnut	Juglans nigra	15	Poor	942.88	
	≺ 1616 ≺ 1617	White ash American elm	Fraxinus americana Ulmus americana	13.4 10.6	Good Good	942.78 943.70	
	≺ 1618 ≺ 1619	Box-elder Black walnut	Acer negundo Juglans nigra	11.8 11.8	Poor Good	942.73 944.90	
	≺ 1620	Black watnut	Juglans nigra	15.9	Good	946.23	•
	≺ 1621 ≺ 1622	White ash White ash	Fraxinus americana Fraxinus americana	11.3 9.1	Good Fair	947.23 946.78	
	1623 1624	Norway spruce Eastern cottonwood	Picea abies Populus deltoides	8.3 24.8	Good Good	954.05 953.27	
	1625	Eastern cottonwood	Populus deltoides	20.4	Good	952.96	
	1626 1627	Sugar maple Sugar maple	Acer saccharum Acer saccharum	8.3	Good Good	949.38 951.30	
	1628 1629	Eastern cottonwood Sugar maple	Populus deltoides Acer saccharum	16.2 8.4	Good Good	952.31 951.36	
	1630	Sugar maple	Acer saccharum	10.5	Fair	951.75	
	1631 1632	Eastern cottonwood Red oak	Populus deltoides Quercus rubra	16.5 11.6	Fair Good	953.02 957.59	
	2073	American elm	I Ilmus amoricana	11 /	Fair	956 65	
	2073 2074	American elm American elm	Ulmus americana Ulmus americana	11.4	Fair Good	956.65 956.52	
	2075 2076	American elm American elm	Ulmus americana Ulmus americana	9.6 8.1	Fair Fair	957.11 956.43	
	2077 2078	Sugar maple	Acer saccharum Ulmus americana	9.5	Good	956.65 956.88	
	2079	American elm Silver maple	Acer saccharinum	10.6 9.5	Good	956.98	
	2080 2081	American elm Sugar maple	Ulmus americana Acer saccharum	10.8 11	Fair Good	957.31 959.87	
	2082	Sugar maple	Acer saccharum	11.5	Good	960.71	
	2083 2084	American elm American elm	Ulmus americana Ulmus americana	9.6 8.7	Good Fair	959.47 958.71	
	2085 2086	American elm Black walnut	Ulmus americana Juglans nigra	8.6 8.7	Good Good	959.31 958.62	
	2087	Box-elder	Acer negundo	10.8	Good	957.14	
	2088 2089	Black cherry Sugar maple	Prunus serotina Acer saccharum	8.1 13.6	Good Good	969.10 965.79	
	2090 2091	Black cherry Black cherry	Prunus serotina Prunus serotina	9.5 9	Good Good	967.30 969.20	
	2092	Sugar maple	Acer saccharum	8.3	Good	965.55	
	2093	Black cherry	Prunus serotina	8	Good	964.19	
	and the second second				1000	AND ADDRESS OF THE PARTY OF	_

3759	American elm	Ulmus americana	8.8 11.3	Fair Gnod	946.13	••••••••••
2183	White ash	Fraxinus americana	9.8	Good	951.44	
2173	White ash	Fraxinus americana	8.1	Good	959.53	
2172	White ash	Fraxinus americana	10.1	Good	958.64	
<u> </u>	Black chemy	Prunus serotina	8.1	Fair	957,39	
2170	White ash	Fraxinus americana	8.9	Good	957.08	
2169	Red maple	Acer rubrum	8.4	Good	958.37	
2168	White ash	Fraxinus americana	9.3	Good	962.21	
2167	Black cherry	Prunus serotina	11.3	Good	964.75	
2166	Sugar maple	Acer saccharum	9.3	Good	958.89	
2165	Red maple	Acer rubrum	9.6	Good	957.36	
2164	White ash	Fraxinus americana	9.1	Good	954.29	
2163	Red maple	Acer rubrum	9.7	Good	954.27	
2162	Sugar maple	Acer saccharum	14.7	Good	955.64	
2161	Sugar maple	Acer saccharum	11	Good	954.44	
2160	White ash	Fraxinus americana	9.1	Good	955.76	
2159	Sugar maple	Acer saccharum	8.5	Dying	956.41	
2158	White ash	Fraxinus americana	9.1	Good	955.79	
2157	Sugar maple	Acer saccharum	10.2	Good	954.38	
2156	White ash	Fraxinus americana		Good		
2155	Sugar maple	Acer saccharum	10.1	Good	955.20 959.59	
2154	Sugar maple	Acer saccharum	13	Good	957.83	
2153	White ash	Fraxinus americana	12.5	Good	950.88	
2152		Fraxinus americana		Good		
2151	Black cherry White ash	Prunus serotina	9.3	Fair	951.78 950.83	
		Fraxinus americana	10.9			
2150	White ash		12	Good	952.51	
2149	White ash	Fraxinus americana	9.1	Good	952:49	
2145	White ash	Fraxinus americana	9.5	Good	953.74	
2144	Black cherry	Prunus serotina	8.9	Good	954.52	
				<u>.</u>		
2138	American etm	Ulmus americana	8	Good	965.73	
<u> </u>	American elm	Ulmus americana	8.5	Good	975.94	
2136	Red maple	Acer rubrum	9.9	Good	981.72	
2135	Black cherry	Prunus serotina	11.7	Good	986.90	
2134	Black cherry	Prunus serotina	8.1	Good	990.26	
2133	American elm	Ulmus americana	8.4	Good	987.82	
2132	Black cherry	Prunus serotina	9.9	Good	983.61	
****					220.2	
2129	White ash	Fraxinus amencana	10.1	Good	985.05	
2128	Sugar maple	Ager saccharum	- 8	Good	984.25	
2127	American elm	Ulmus americana	11.7	Good	989.66	
2126	Sugar maple	Acer saccharum	9.2	Good	987.18	
2125	Black cherry	Prunus serotina	10.1	Fair	991.33	
2124	White ash	Fraxinus americana	8.3	Poor	990.92	
2123	American elm	Ulmus americana	10.9	Good	991.30	•
2122	American elm	Ulmus americana	8.7	Good	990,68	
2121	American elm	ulmus americana	9,4	Good	988.67	
2120	American elm	Ulmus amencana	10.5	Good	990.09	
2119	American etm	Ulmos americana	8.1	Good	989.99	
						••••
4 2118	Black cherry	Prunus serotina	15	Fair	988.45	•

TOTAL WOODLAND REPLACEMENT TREES REQUIRED = 57
FOR REVISED RB2.5



EIMET W& ENIAK
ASSOCIATES

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NEW HUDSON, MICHIGAN 48165
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Baltimore, MD 21228

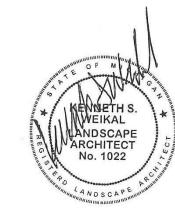
FOX RUN
NOVI, MICHIGAN

Fox Run	
Novi, Michigan	
Section 1	

PHASE 2 PRELIMINARY SITE PLAN
RB 2.5 TREE REPLACEMENT CHAR

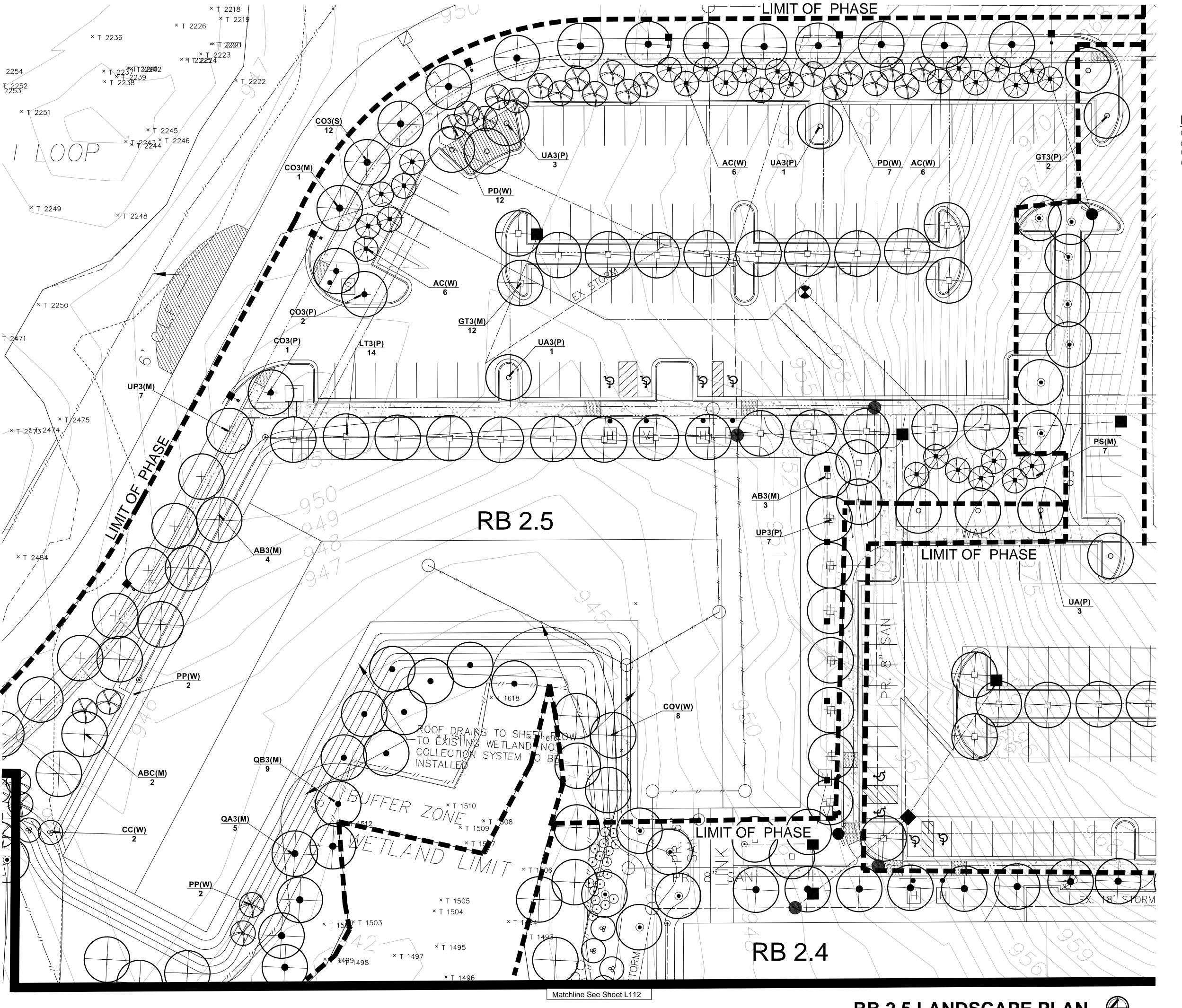
Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale:

10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



RB2.5 - TREE REPLACEMENT CHART

et Number: L110



KENNETH WEIKAL LANDSCAPE ARCHITECTURE 248 477 3600 TEL 248 477 3658 FAX 33203 BIDDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313 www.kw-la.com

NOTE KEY:

1) CONRETE SIDEWALK (2) WETLAND 3 WETLAND BUFFER 4 SNOW STORAGE

Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE., SUITE 100 NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

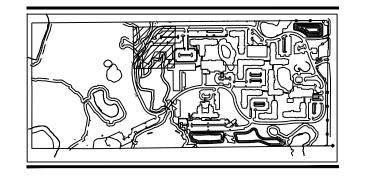
Lantz-Boggio
Architects, P.C

5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111 Ph: 303.773.0436 | Fax: 303.773.8709



Erickson Living 701 Maiden Choice Lane Baltimore, MD 21228

FOX RUN NOVI, MICHIGAN



Novi, Michigan

Fox Run

PHASE 2 PRELIMINARY SITE PLAN RB 2.5 LANDSCAPE PLAN

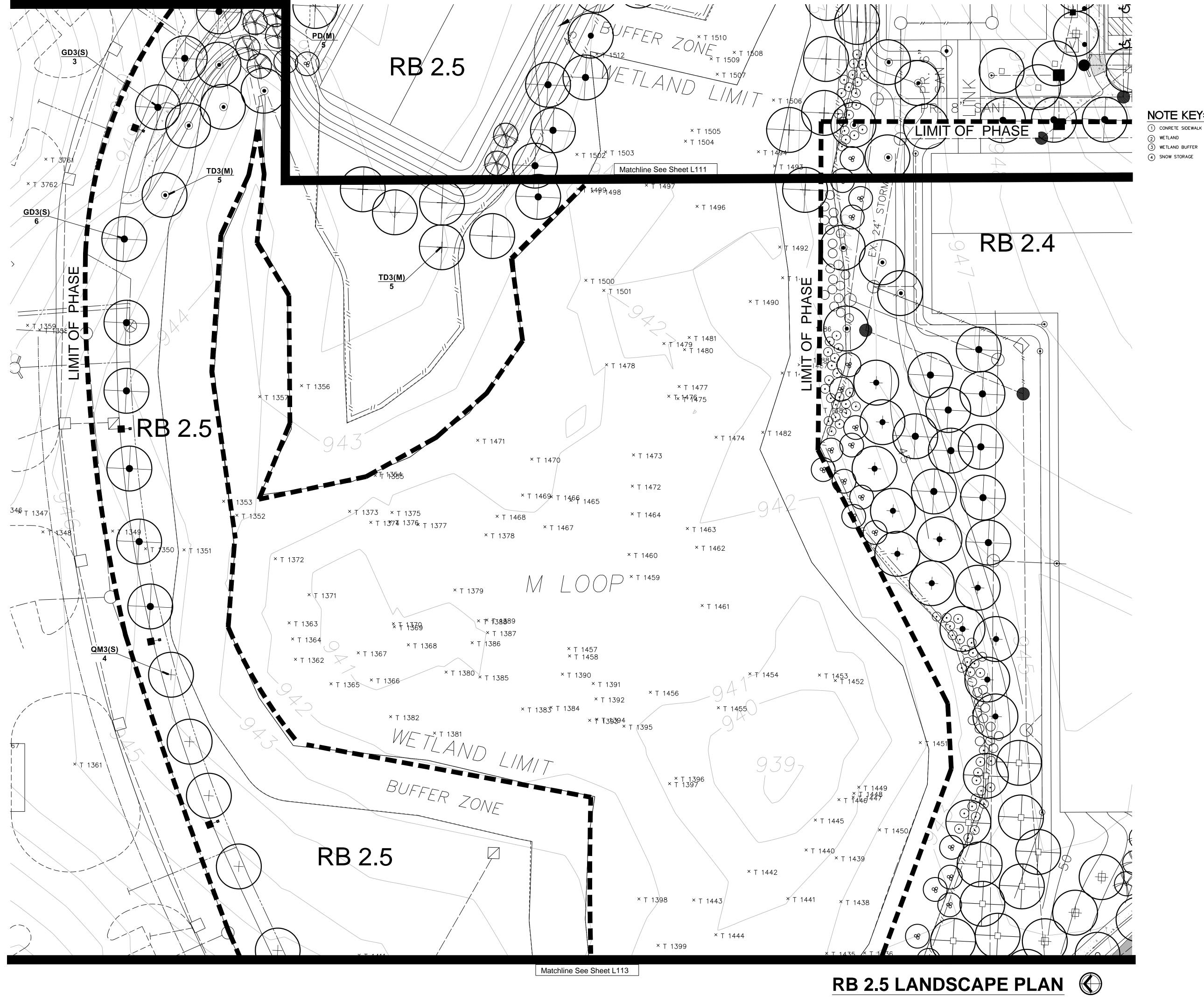
9-17-13 1" = 20'-0"

10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

L111 Sheet Number:

RB 2.5 LANDSCAPE PLAN SCALE 1" = 20'

NORTH



SCALE 1" = 20'

KENNETH WEIKAL LANDSCAPE ARCHITECTURE 248 477 3600 TEL 248 477 3658 FAX 33203 BIDDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313

NOTE KEY:

(2) WETLAND

3 WETLAND BUFFER

ZEIMET W. EZNIAK

Civil Engineers & Land Surveyors 55800 GRAND RIVER AVE., SUITE 100 NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Lantz-Boggio
Architects, P.C

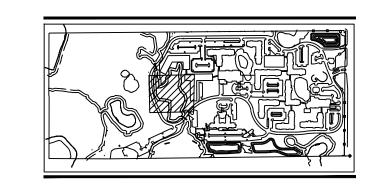
5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111

Ph: 303.773.0436 | Fax: 303.773.8709



Erickson Living 701 Maiden Choice Lane Baltimore, MD 21228

FOX RUN NOVI, MICHIGAN



Fox Run Novi, Michigan

PHASE 2 PRELIMINARY SITE PLAN RB 2.5 LANDSCAPE PLAN

9-17-13 1" = 20'-0"

Revised:

10-17-13 PER CITY REVIEW COMMENTS

02-14-2014 REVISED PHASING

NORTH

L112 Sheet Number:

RB 2.5 PLANT LIST

PLAN	T LIS	T - PARKING (P)		
QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
3	AS3	Sugar Maple Acer saccharum	3" Cal.	B&B
2	GT3	Thornless Honeylocust Gleditsia 'Skyline'	3" Cal.	B&B
15	LT3	Tulip Tree Liriodendron tulipifera	3" Cal.	B&B
5	UA3	Accolade Elm Ulmus parviflora 'Morton'	3" Cal	B&B
7	UP3	Princeton Elm Ulmus americana 'Princeton'	3" Cal	B&B
3	CO3	Hackberry Celtis occidentalis	3" Cal.	B&B

PARKING LOT CANOPY TREES

Matchline See Sheet L112

107 PARKING SPACES = 16,965 S.F. X 10% = 1696 PARKING AISLES = 16,320 S.F. X 5% = 816 16961 + 816 = 2,512/75 = 35 TREES REQUIRED

35 REQUIRED 35 PROVIDED

COSTS - (P) PARKING

\$14,000 = 35 SHADE TREES X \$400 EACH \$14,000 = TOTAL

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
2	CC	Eastern Redbud Cercis canadensis	8' Ht. 4 stem m	B&B in.
4	COV	Shagbark Hickory Carya ovata	2.5" cal.	B&B
5	QB	Swamp White Oak Quercus bicolor	2.5" Cal.	B&B
5	QM	Bur Oak Quercus macrocarpa	2.5" Cal.	B&B
18	AC	Concolor Fir Abies concolor	7'Ht.	B&B
19	PD	Black Hills Spruce Picea g. 'Densata'	7' Ht.	B&B
4	PP	Colorado Green Spruce Picea pungens	7' Ht.	B&B

WOODLAND REPLACEMENT TREES

SEE TREE REPLACEMENT CHART SHEET L110 57 TREES REQUIRED

57 REQUIRED 57 PROVIDED

\$19,425 = TOTAL

COSTS - (W) WOODLAND

\$5,600 = 14 SHADE TREES X \$400 EACH \$13,325 = 41 EVERGREEN TREES X \$325 EACH \$500 = 2 ORNAMENTAL TREES X \$250 EACH

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC
2	ABC	Autumn Blaze Maple - Clump Acer x. fremanii 'Autumn Blaze'	12' Ht. 4-stem m	B&B nin.
7	AB3	Autumn Blaze Maple Acer x. fremanii 'Autumn Blaze'	3" Cal.	B&B
1	CO3	Hackberry Celtis occidentalis	3" Cal.	B&B
12	GT3	Thornless Honeylocust Gleditsia 'Skyline'	3" Cal.	B&B
5	QA3	White Oak Quercus alba	3" Cal.	B&B
9	QB3	Swamp White Oak Quercus bicolor	3" cal.	B&B
10	TD3	Bald Cypress Taxodium distichum	3" Cal.	B&B
7	UP3	Princeton Elm Ulmus americana 'Princeton'	3" Cal	B&B
7	PS	White pine Pinus strobus	7'Ht.	B&B

MULTI-FAMILY DWELLING UNIT

3 TREES PER FIRST FLOOR UNIT FIRST FLOOR UNITS = 20 X 3 = 60 TREES REQUIRED

60 REQUIRED 60 PROVIDED

COSTS - (M) MULTI-FAMILY

\$18,400 = 46 SHADE TREES X \$400 EACH \$4,550 = 14 EVERGREEN TREES X \$325 EACH

\$15,800 = 3,950 SY SOD X \$4/SY\$1,000 = 25 CY MULCH X \$40/CY\$39,750 = TOTAL

PLANT LIST - STREET TREES (S) KEY COMMON/ BOTANICAL NAME SIZE SPEC. Hackberry 3" Cal. B&B Celtis occidentalis GD3 Kentucky Coffee Tree 3" Cal. B&B Gymnocladus dioicus Swamp White Oak 3" Cal. B&B Quercus bicolor QM3 **Bur Oak** 3" Cal. B&B Quercus macrocarpa Princeton Elm 3" Cal B&B Ulmus americana 'Princeton' INTERIOR ROADWAY STREET TREES 1 TREE PER 35 L.F.

ROADWAY = 1381 L.F./35 = 39 TREES REQUIRED

39 REQUIRED 39 PROVIDED

SCALE 1" = 20'

COSTS - (S) STREET TREES

\$15,600 = 37 SHADE TREES X \$400 EACH \$15,600 = TOTAL

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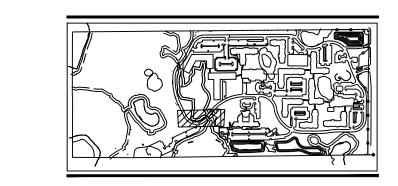
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Fox Run	
Novi, Michigan	
Section 1	

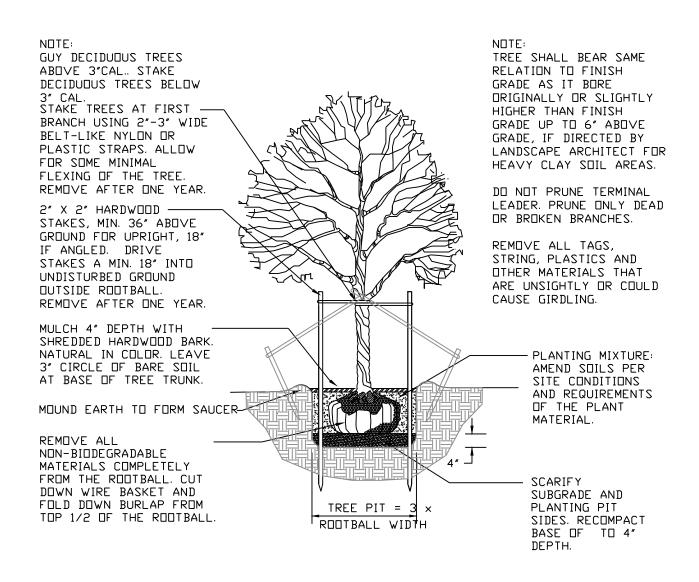
PHASE 2 PRELIMINARY SITE PLAN RB 2.5 CALCULATIONS

9-17-13 1" = 20'-0"

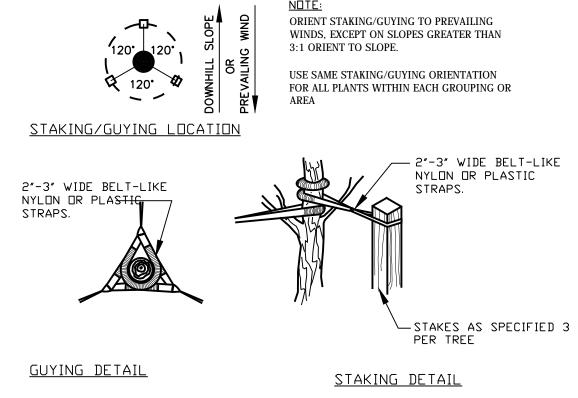
10-17-13 PER CITY REVIEW COMMENTS

× T 1442 × T 1398 × T 1443 × T 1441	× T 1438
× T 1411	T 1435 T 1436
× T 1431 × T 1434	T 1544
× T 1430 × T 1430 × T 1430	433
× T 1409 × T 3775 T 3776 × T 1400 × T 1400 × T 1400 × T 1400 × T 1402 × T 1428	× T 1425
× T 1403 × T 1404	T 1424
QB(W) × T 1405 × T 1418 × T 1405 × T 1421 × T 1416	1417
× T 1412 × T 1413 × T 1414 × T 1414	
QB3(S)	××TT155365 × T 1742
	× T 1741 T 1748 × T 1740 × T 1749
	RB 2.5 LANDSCAPE PLAN

NORTH

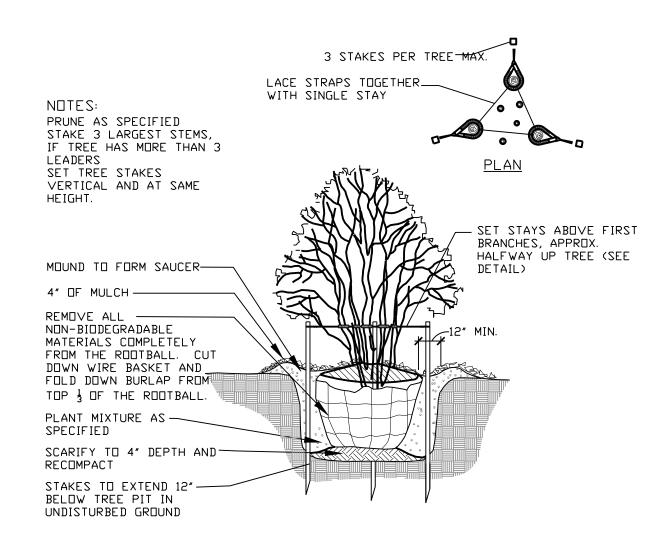


DECIDUOUS TREE PLANTING DETAIL



TREE STAKING DETAIL

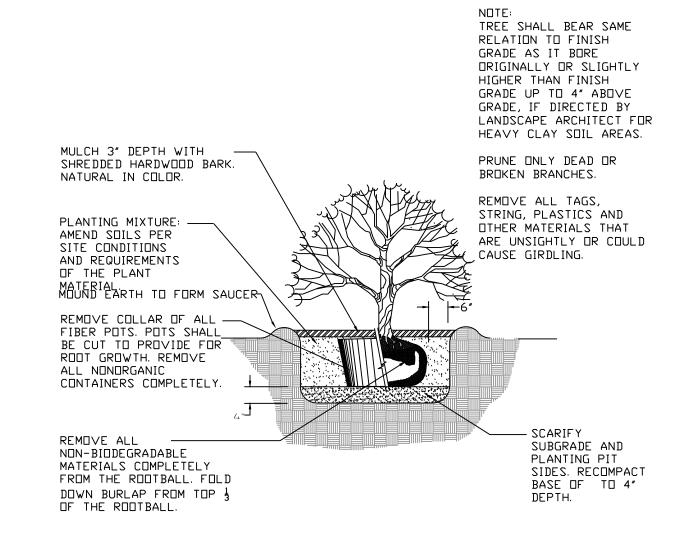
Not to scale



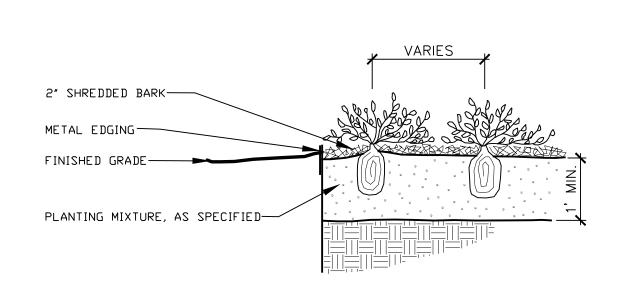
MULTI-STEM TREE PLANTING DETAIL

GUY EVERGREEN TREES TREE SHALL BEAR SAME ABOVE 12' HEIGHT. STAKE RELATION TO FINISH EVERGREEN TREE BELOW GRADE AS IT BORE 12' HEIGHT. STAKE TREES AT FIRST ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH BRANCH USING 2"-3" WIDE GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW LANDSCAPE ARCHITECT FOR FOR SOME MINIMAL HEAVY CLAY SOIL AREAS. FLEXING OF THE TREE. REMOVE AFTER ONE YEAR. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD 2" X 2" HARDWOOD OR BROKEN BRANCHES. STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING. IF ANGLED. DRI∨E STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR. MULCH 4" DEPTH WITH -- PLANTING MIXTURE: SHREDDED HARDWOOD BARK. AMEND SOILS PER NATURAL IN COLOR. LEAVE-SITE CONDITIONS 3" CIRCLE OF BARE SOIL AND REQUIREMENTS AT BASE OF TREE TRUNK. OF THE PLANT MOUND EARTH TO FORM SAUCER MATERIAL. REMOVE ALL NON-BIODEGRADABLE SCARIFY MATERIALS COMPLETELY SUBGRADE AND TREE PIT = 3 FROM THE ROOTBALL. CUT PLANTING PIT ROOTBALL WIDTH DOWN WIRE BASKET AND SIDES. RECOMPACT FOLD DOWN BURLAP FROM BASE OF TO 4" TOP 1/2 OF THE ROOTBALL.

EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



PERENNIAL PLANTING DETAIL

CITY OF NOVI PLANTING DETAILS

LANDSCAPE EDGING

ALL LANDSCAPE EDGES ARE SHOVEL CUT

PLANT SPACING

SEE PLANT LISTS FOR GENERAL SPACING

FILL BED WITH PLANTS SPECIFIED.

KEEP PLANTS AWAY FROM BUILDING 12"

FOR THEIR MATURE SIZE

GENERAL PLANTING NOTES:

- A ALL TREES TO HAVE CLAY OR LOAM BALLS, TREES WITH SAND BALLS **WILL BE REJECTED**.
- B ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- TRUNKS AND SYMMETRICAL CROWNS.

 C ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER, TREES WITH FORKED OR IRREGULAR TRUNKS

WILL NOT BE ACCEPTED.

- D ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE
- WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.

 E) ALL EVERGREEN TREES SHALL BE HEAVILY BRANCED AND
- E ALL EVERGREEN TREES SHALL BE HEAVILY BRANCED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.

 (F) NO MACHINERY IS TO BE USED WITHIN THE DRIPLINE OF
- F) NO MACHINERY IS TO BE USED WITHIN THE DRIPLINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRIPLINE OF EXISTING TREES.

 (G) ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE

CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF

THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF

(H) IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.

CITY OF NOVI NOTES:

- LANDSCAPE SHALL BE IRRIGATED WITH AN AUTOMATIC SPRINKLING SYSTEM.
- 2. SHRUBS AND PERENNIALS SHALL BE FULL AND WELL
- INSTALLATION SHALL BE MARCH 1 NOVEMBER 30, ANNUALLY.
- 4. PLANTS SHALL BE NORTHERN NURSERY GROWN NO. 1
 GRADE, AND ALL PLANT MATERIAL SHALL MEET CURRENT
 AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, AND
 BE PLANTED ACCORDING TO CITY OF NOVI PLANTING
 DETAIL
- ALL PLANTING SHALL BE MAINTAINED IN AN ATTRACTIVE AND PRESENTABLE CONDITION FREE OF WEEDS, REFUSE AND DEBRIS, AND CONTINUOUSLY MAINTAINED IN A SOUND HEALTHY CONDITION, FREE OF PLANT DISEASES AND INSECT PESTS.
- 6. TREES AT INTERIOR PARKING LOT CORNER TO BE LIMBED UP TO 8' HEIGHT.
- 7. PARKING LOT ISLANDS TO BE SOD, PLANT MIX IN ISLANDS TO BE SANDY LOAM FOR IMPROVED DRAINAGE.
- 8. TREE STAKES, GUY STRAPS AND TREE WRAP TO BE REMOVED AFTER ONE WINTER.
- 9. TREES PLANTED IN NATURAL AREAS TO BE HAND-DUG AND PLANTED. NO MACHINES OR MACHINE DIGGING WITHIN AREAS TO REMAIN, PLANTS TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT.
- 10. NO TREES TO BE LOCATED UNDER EXISTING LOW TREE
- 11. DEEP ROOTED TREES SHALL NOT BE PLANTED OVER WATER MAIN.

INSTALLATION SPECS:

- APPROVED PLANTING PLAN WHEREVER IN THIS ORDINANCE LANDSCAPE PLANTINGS ARE REQUIRED OR PERMITTED, THEY SHALL BE PLANTED IN ACCORDANCE WITH THE APPROVED FINAL STAMPED LANDSCAPE PLAN.
- 2. TIME OF PLANTING ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH. ALL INSTALLED LANDSCAPES INCLUDING PLANT MATERIALS, MULCH, STAKING, IRRIGATION, AND SODDING, MUST BE INSTALLED AND INSPECTED BY THE CITY PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
- INSPECTIONS A CITY REPRESENTATIVE WILL PERFORM LANDSCAPE INSPECTIONS FOLLOWING A REQUEST FROM THE DEVELOPER. THE INSPECTION TIME PERIOD IS FROM MARCH 15TH TO NOVEMBER 15TH.
- 4. ESTABLISHMENT PERIOD THE ESTABLISHMENT PERIOD FRO THE PLANT MATERIAL GUARANTEE WILL OCCUR BEGINNING AT THE FINAL CERTIFICATE OF OCCUPANCY INSPECTION APPROVAL TO 2 YEARS FROM THAT DATE.
- 5. ALL PLANTINGS SHALL BE PROPERLY PLANTED AS TO BE IN A HEALTHY GROWING CONDITION AT COMMENCEMENT OF THE ESTABLISHMENT PERIOD. AT THE END OF THE ESTABLISHMENT PERIOD, ANY PLANTINGS, WHICH ARE 20% DEAD OR GREATER, SHALL BE REPLACED.

NOTICE OF INSTALLATION/ MINOR CHANGES:

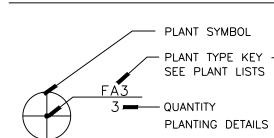
- 1. THE OWNER OR DEVELOPER MUST NOTIFY THE CITY OF THE INSTALLATION SCHEDULE. THE CITY MAY REJECT ANY MATCHINE WHICH IS DEFECTIVE OR IN GENERALLY POOR CONDITION
- 2. MINOR CHANGES REGARDING PLANT MATERIALS PER THE APPROVED AND STAMPED LANDSCAPE PLAN MAY BE ALTERED UPON WRITTEN NOTIFICATION TO, AND WRITTEN SIGN-OFF BY, THE CITY LANDSCAPE ARCHITECT OF SPECIES, SIZE, CHANGE, AND LOCATION.
- 3. MINOR CHANGES DUE TO SEASONAL PLANTING PROBLEMS AND LACK OF PLANT AVAILABILITY MAY BE APPROVED IN WRITING BY THE CITY LANDSCAPE ARCHITECT WHEN THERE IS NO REDUCTION IN THE QUALITY OF PLANT MATERIALS, NO SIGNIFICANT CHANGE IN SIZE OR LOCATION OF PLANT MATERIAL, THE NEW PLANT MATERIAL IS COMPATIBLE WITH THE AREA AND IS THE SAME GENERAL TYPE (DECIDUOUS/EVERGREEN), EXHIBITING SAME DESIGN CHARACTERISTICS (MATURE HEIGHT, CROWN), AS THE MATERIAL BEING REPLACED. IF THESE CRITERIA ARE NOT FULFILLED OR CHANGES ARE SIGNIFICANT FROM APPROVED PLAN, THE LANDSCAPE PLAN SHALL BE REVISED AND

RESUBMITTED FOR PLAN APPROVAL.

MAINTENANCE:

- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL
- 2. MAINTENANCE OF REQUIRED PLANTINGS BY THE OWNER SHALL BE CARRIED OUT SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE, FREE FROM REFUSE AND

PLANTING KEY:





KENNETH WEIKAL

LANDSCAPE ARCHITECTURE

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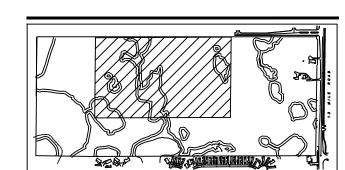
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NOVI, MICHIGAN



Project:
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Novi, Michigan
Section 1

PHASE 2 PRELIMINARY SITE PLAN
PLANTING DETAILS

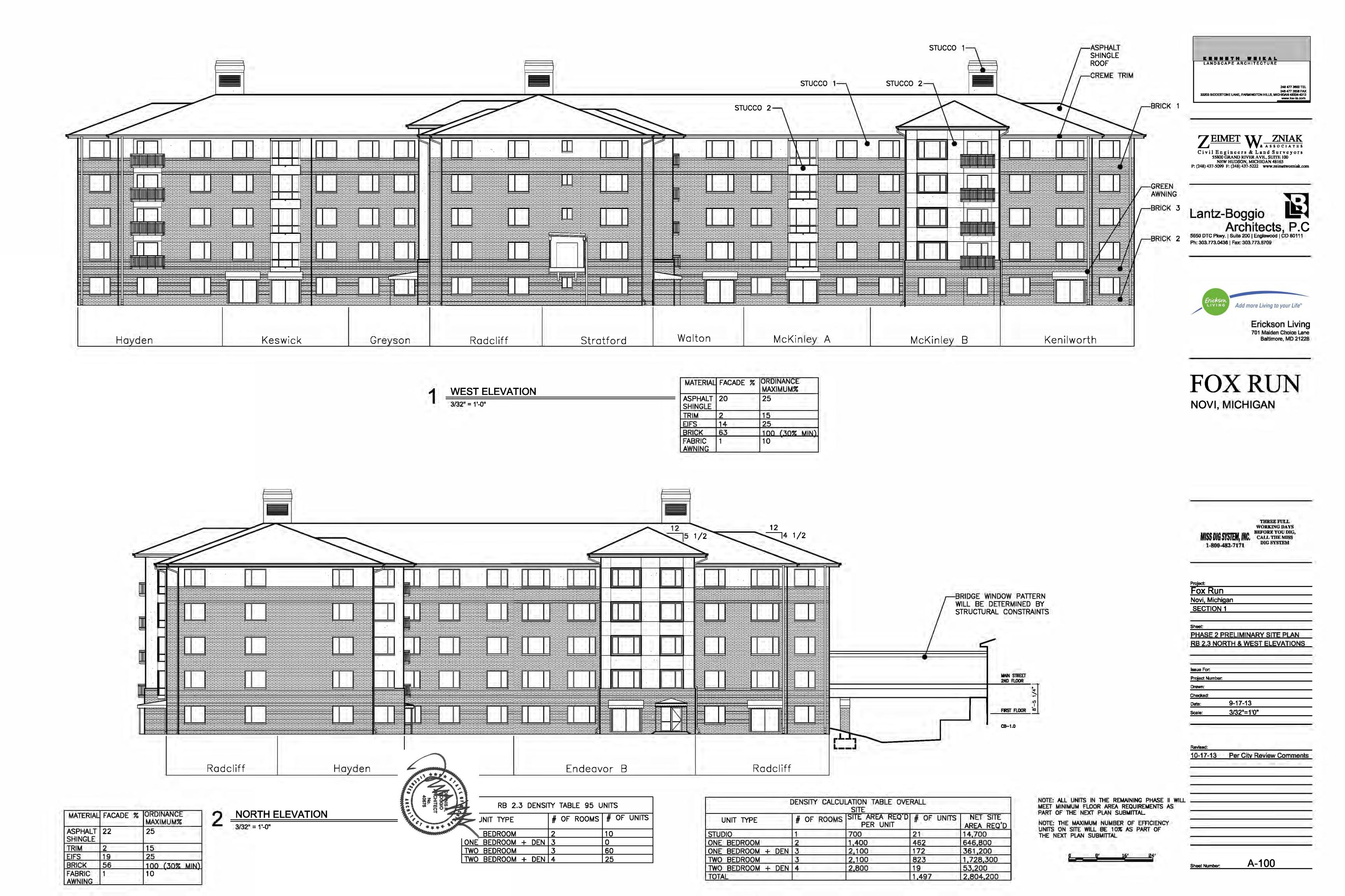
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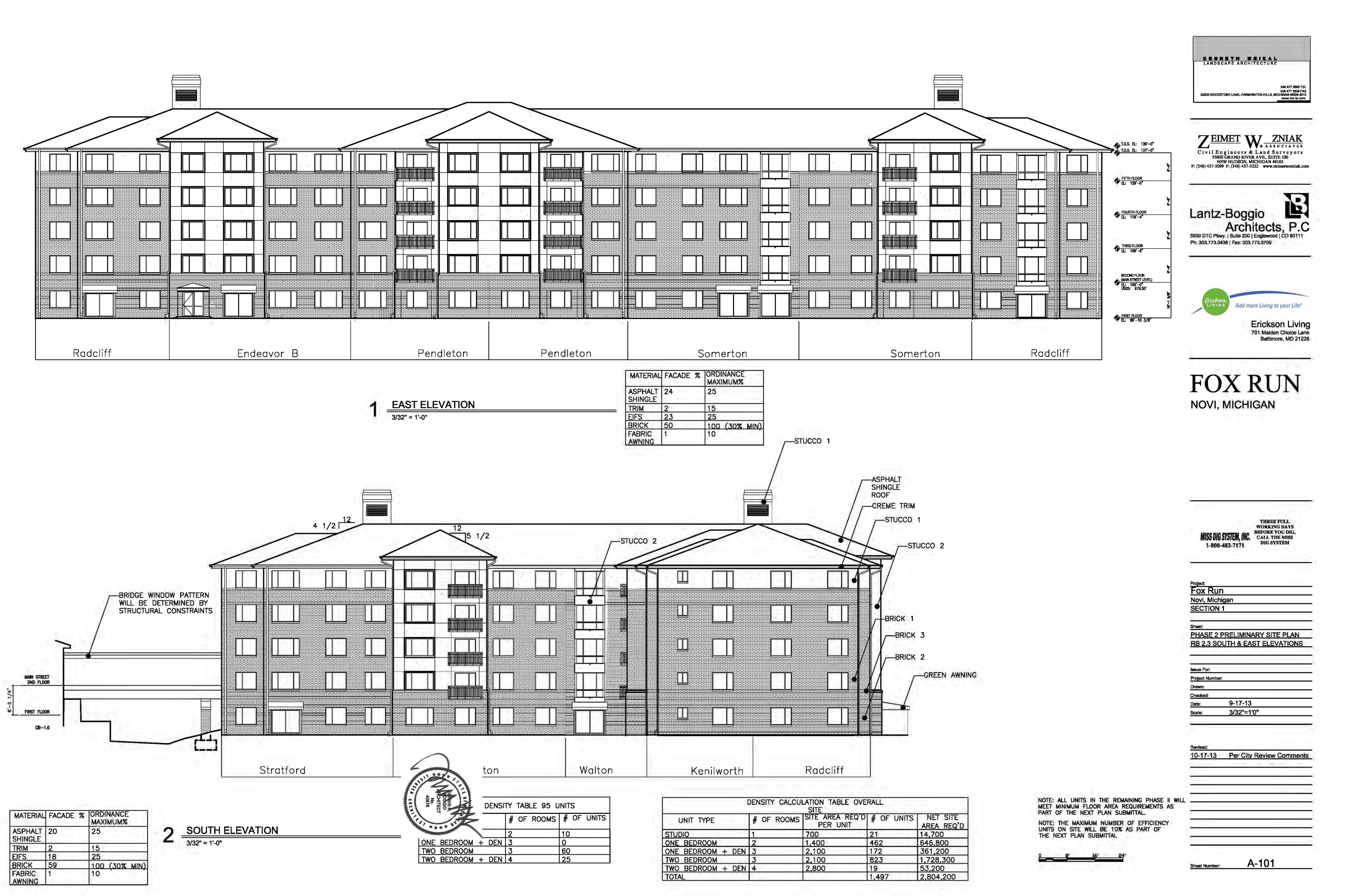
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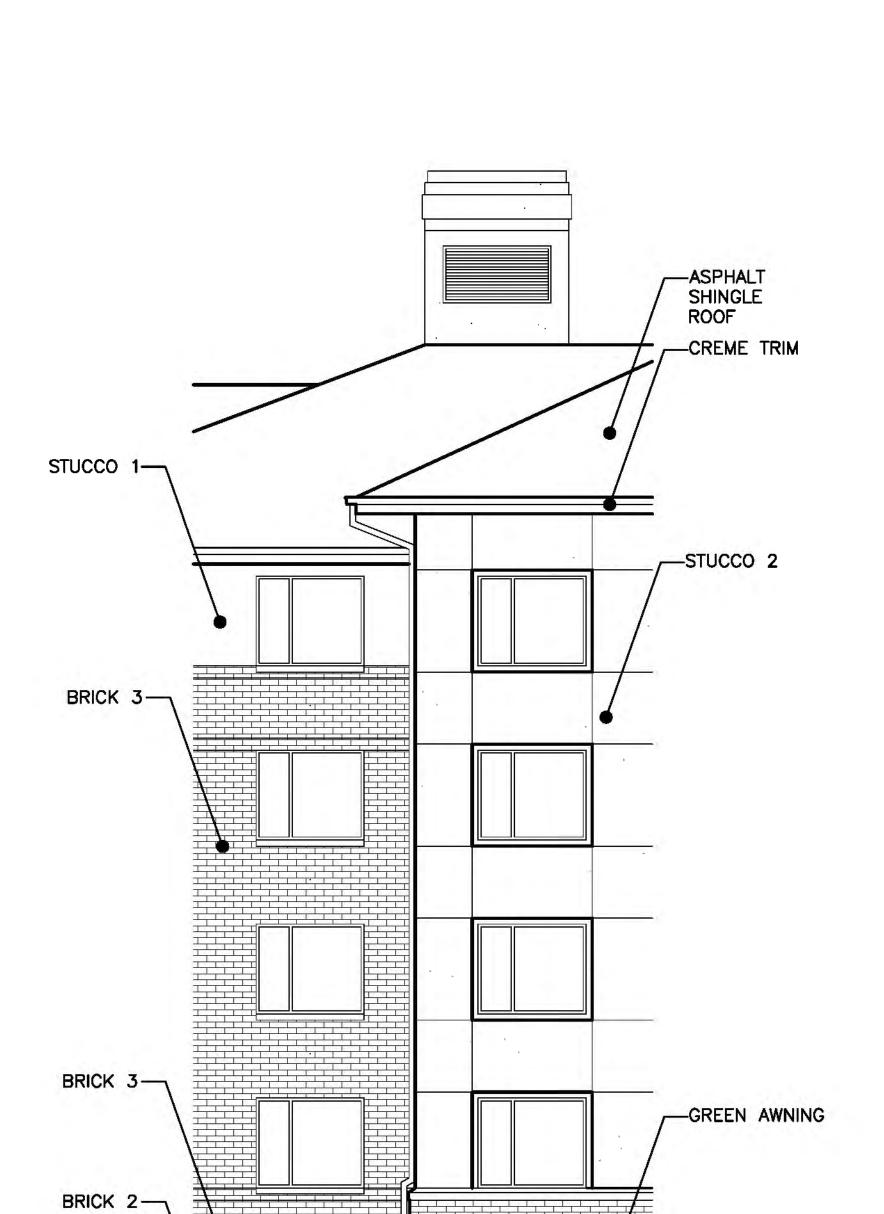
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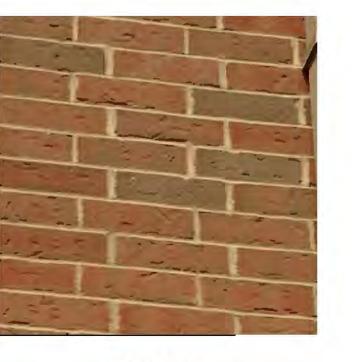




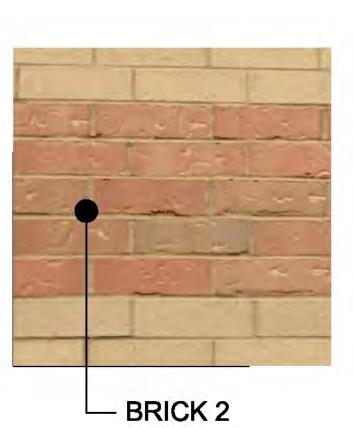


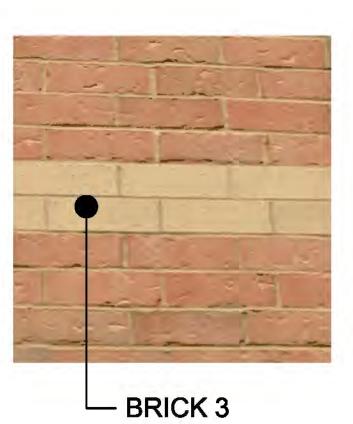


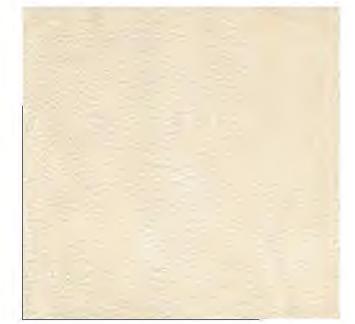
ASPHALT SHINGLE ROOF



BRICK 1









STUCCO 1



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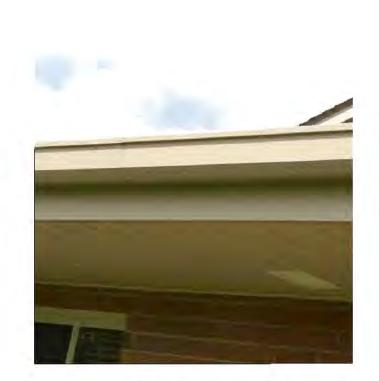
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STUCCO 2

GREEN AWNING



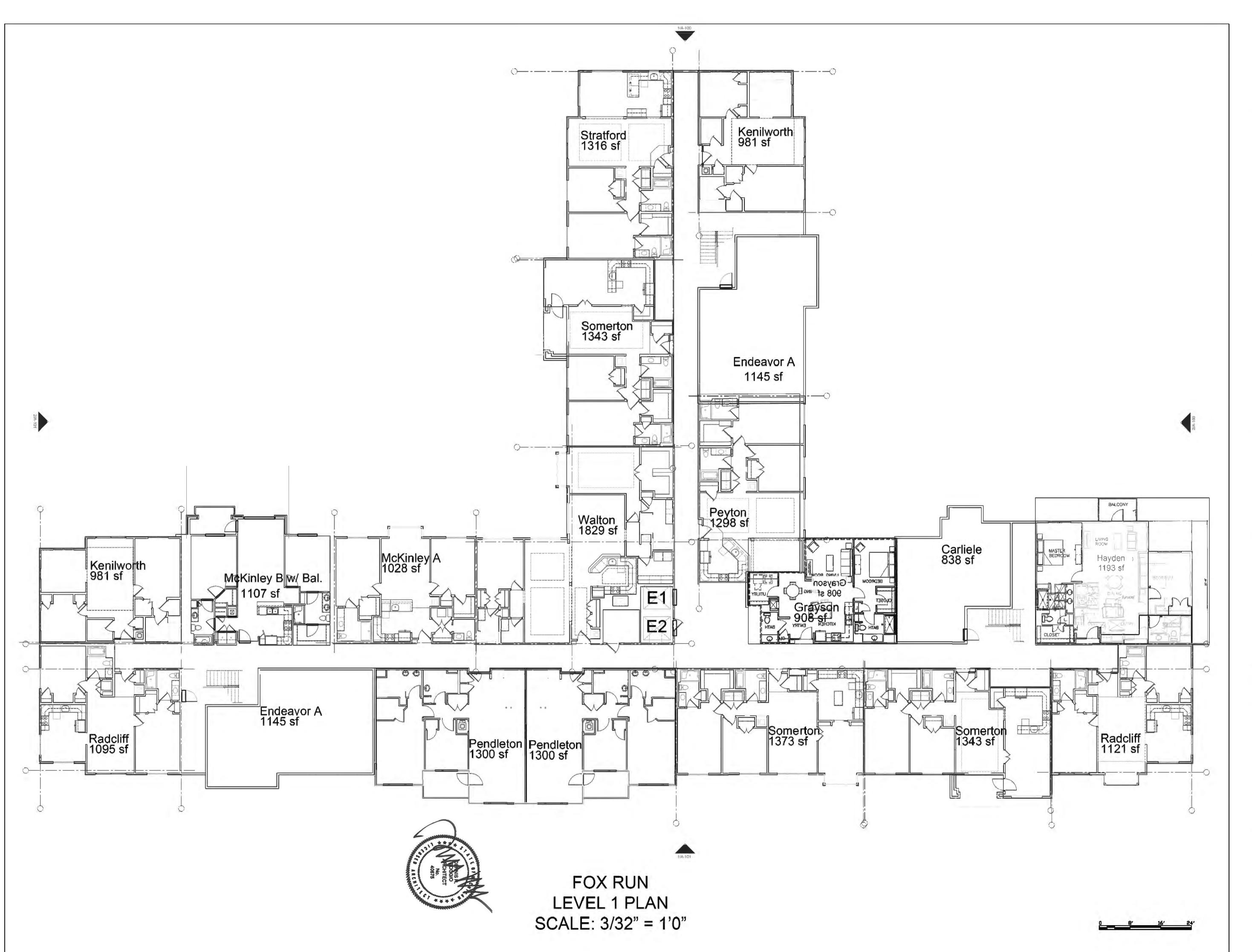
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PHASE	2 PRELIMINARY SITE PLAN
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Project: Fox Run	
Novi, Michigan	
SECTION 1	

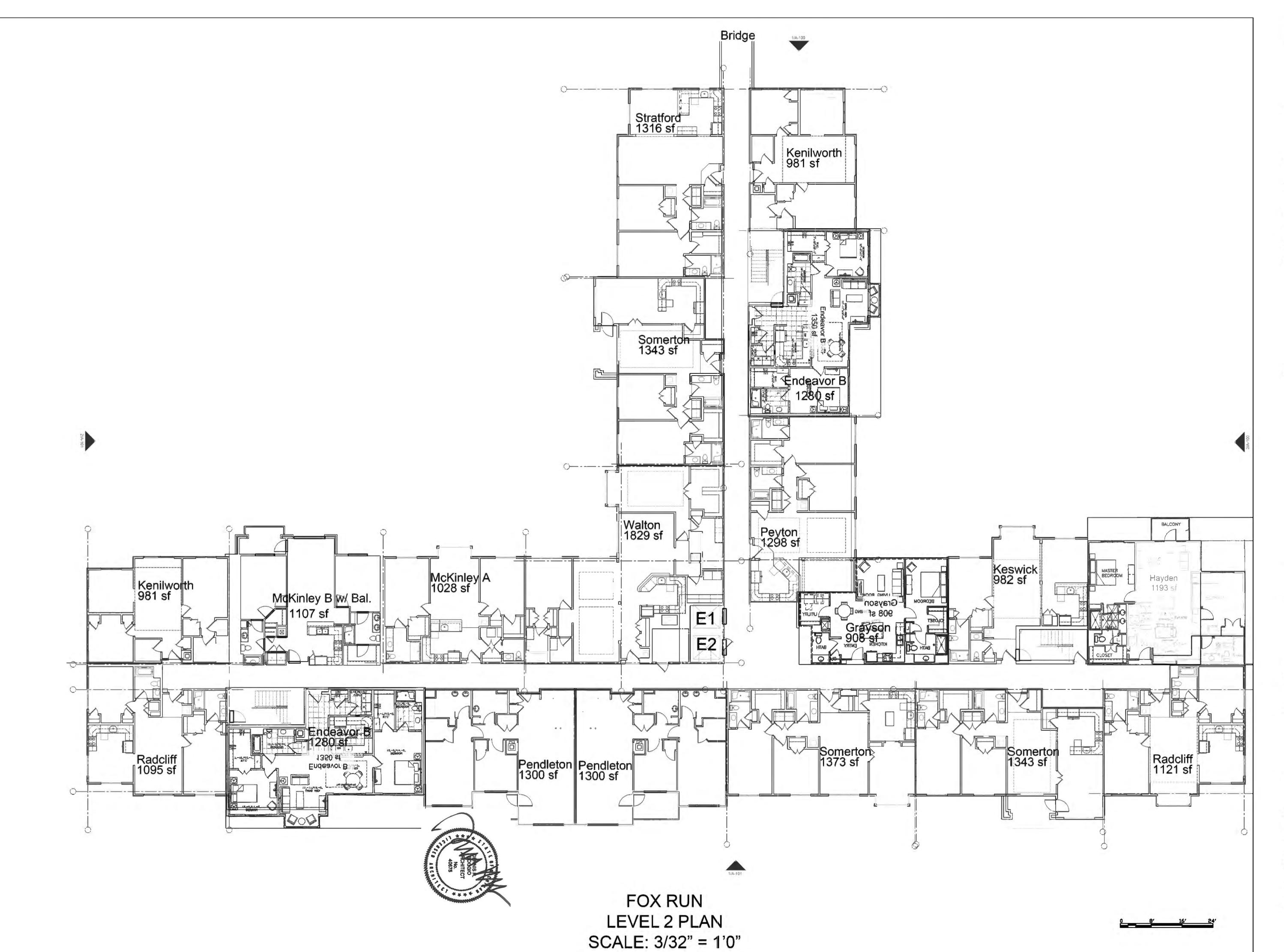
PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LEVEL 1 PLAN

| Issue For: | Project Number: | Drawn: | Checked: | Dete: | 9-17-13 | | Scale: | 3/32"=1'0"

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Sheet Number: A-103





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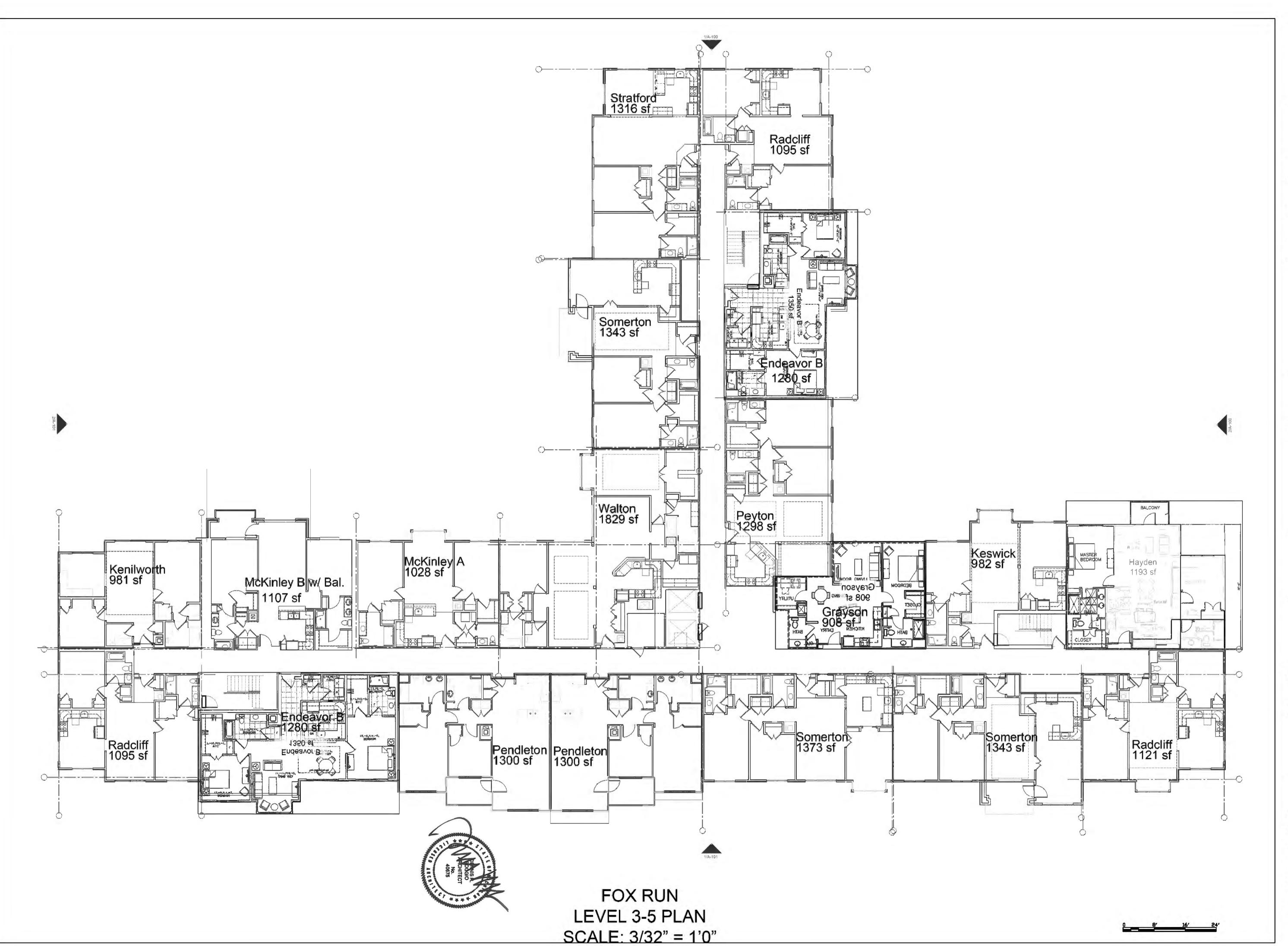
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Novi, Michigan	
SECTION 1	

PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LEVEL 2 PLAN

Issue For:
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Scale: 3/32"=1'0"

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Novi, Michigan	
SECTION 1	

PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LEVEL 3-5 PLAN

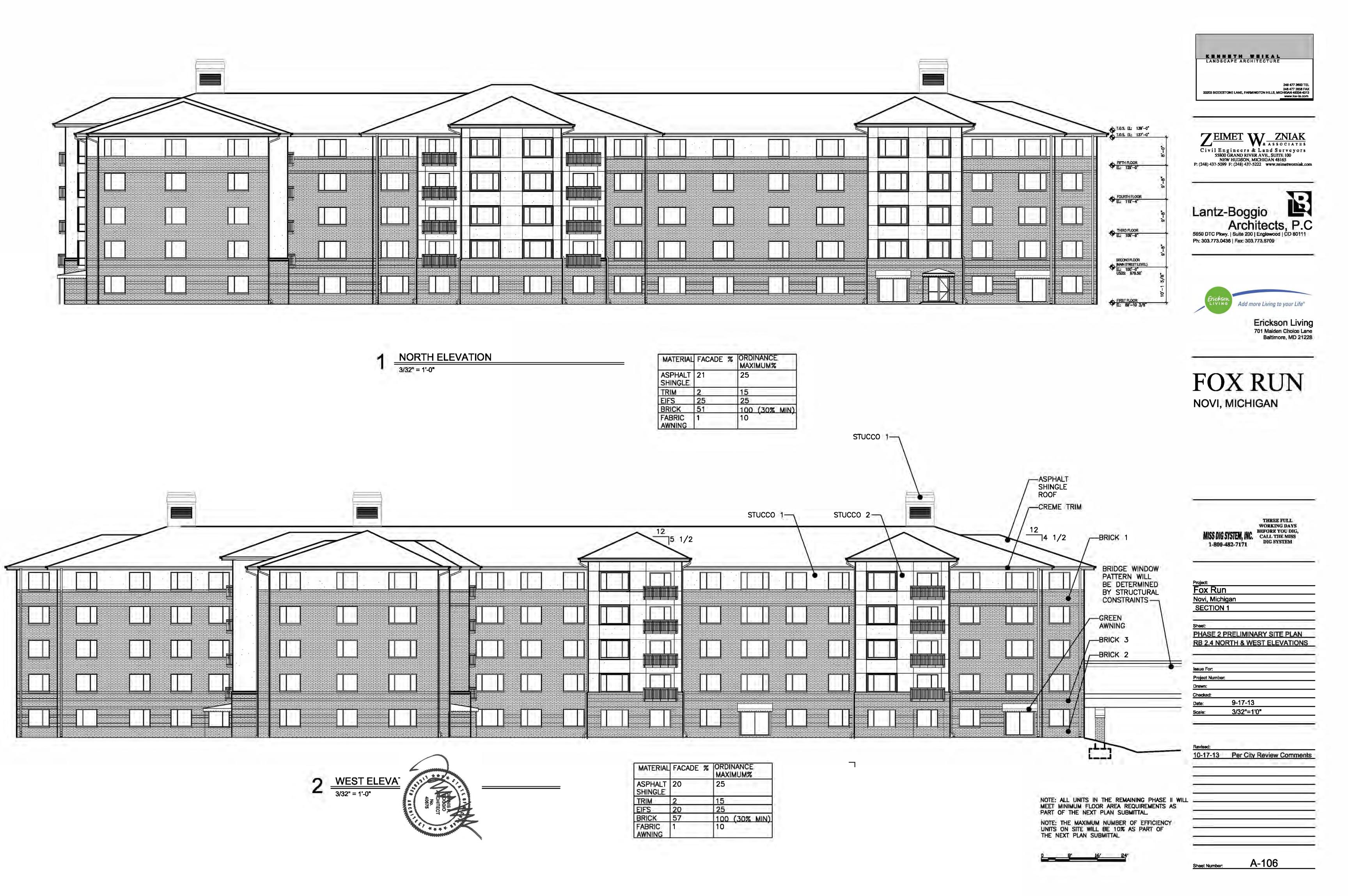
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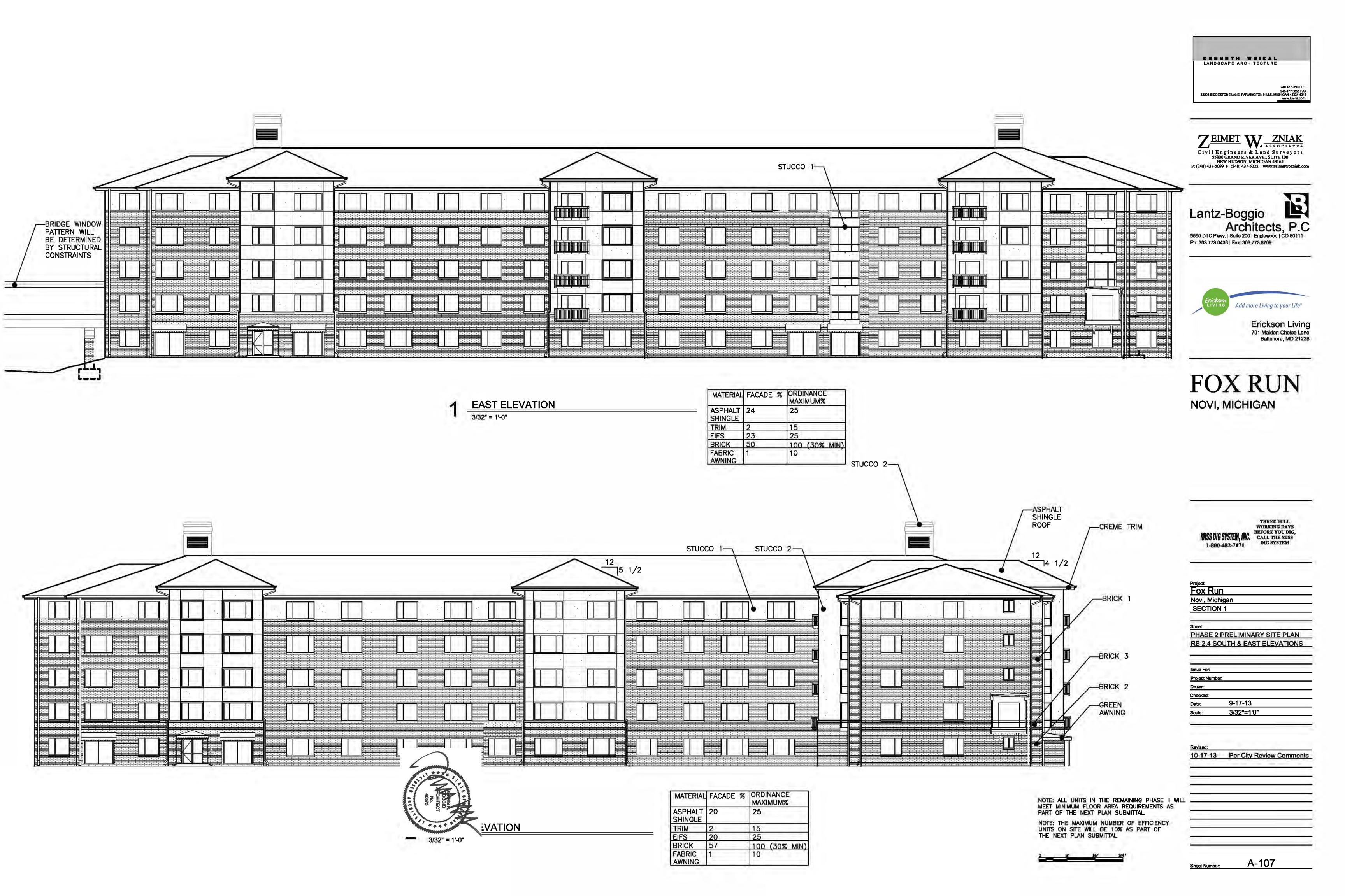
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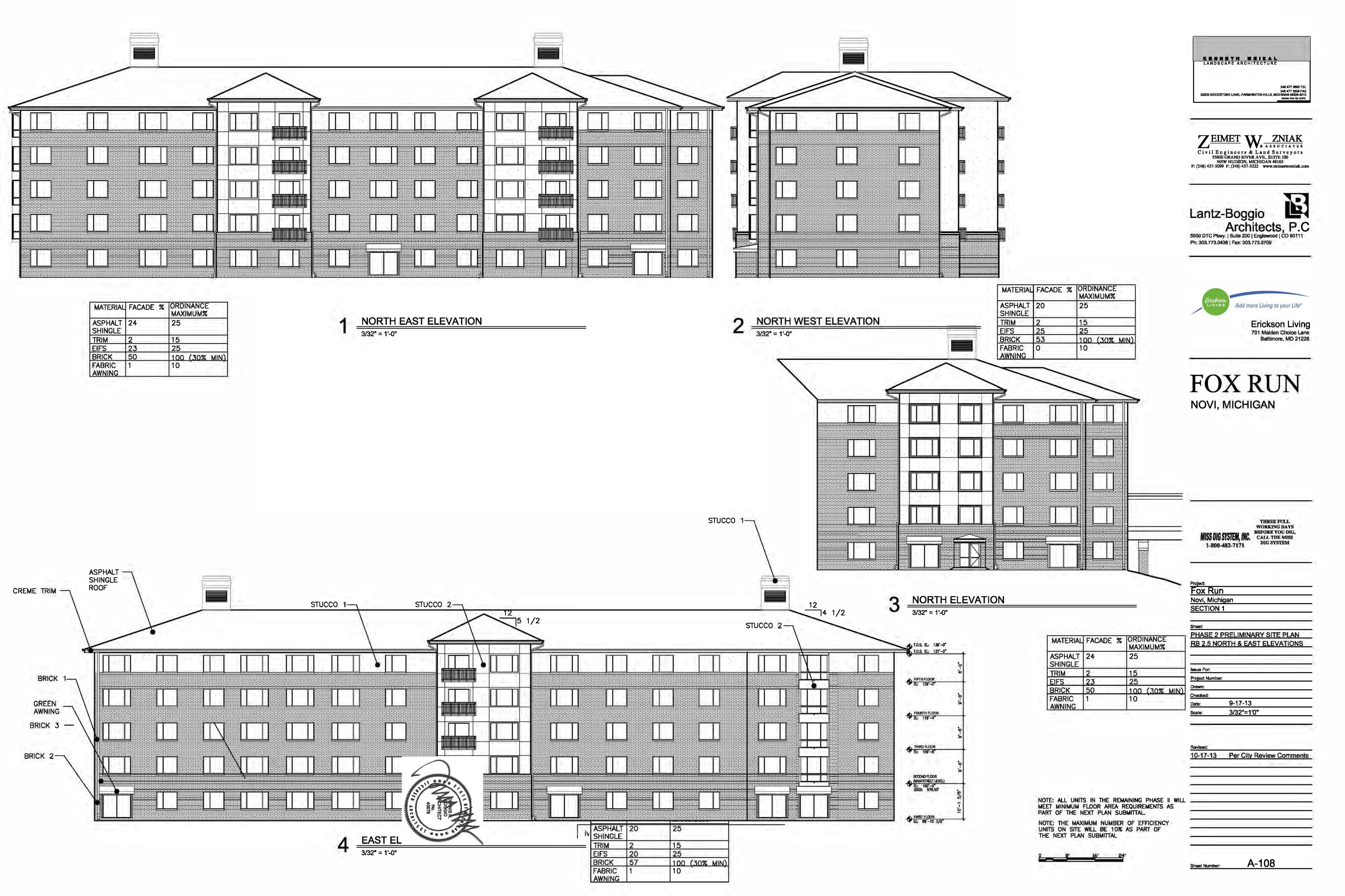
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Fox Run Novi, Michigan

SECTION 1

PHASE 2 PRELIMINARY SITE PLAN RB 2.5 SOUTH & WEST ELEVATIONS

Project Number: 9-17-13

10-17-13 Per City Review Comments

3/32"=1'0"

NOTE: ALL UNITS IN THE REMAINING PHASE II WILL MEET MINIMUM FLOOR AREA REQUIREMENTS AS PART OF THE NEXT PLAN SUBMITTAL. NOTE; THE MAXIMUM NUMBER OF EFFICIENCY UNITS ON SITE WILL BE 10% AS PART OF THE NEXT PLAN SUBMITTAL

A-109 Sheet Number:

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	24	25
TRIM	2	15
FIEC	23	25

100 (30% MIN) 10

FABRIC

SOUTH WEST ELEVATION

3/32" = 1'-0"

	STUCCO 2	

BRICK 57

FABRIC AWNING 100 (30% MIN)

STUCCO 1-

MATERIAL FACADE % ORDINANCE

ASPHALT 20

BRICK 57

SHINGLE TRIM

FABRIC AWNING

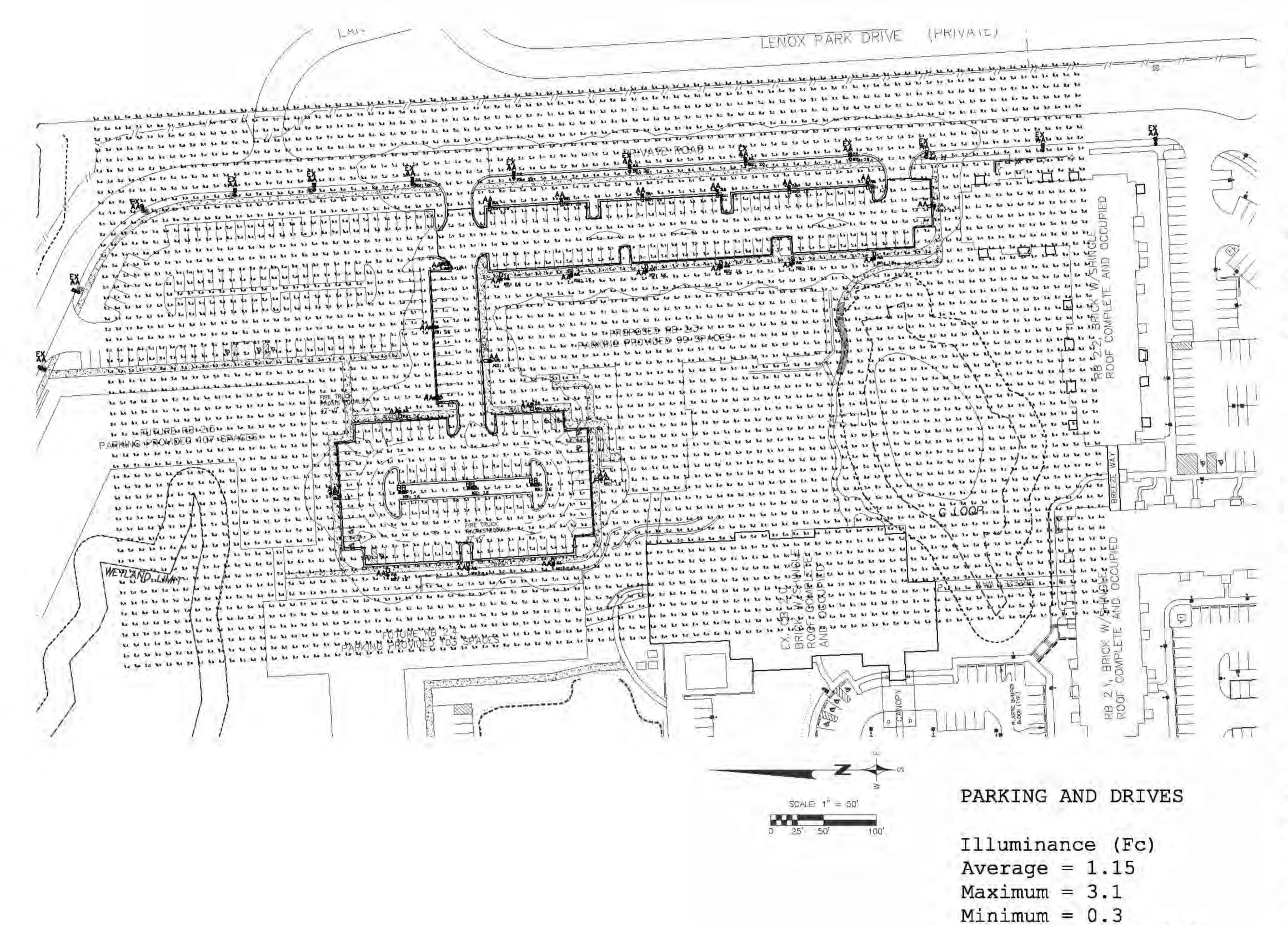
EIFS

MAXIMUM%

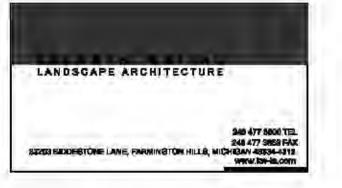
100 (30% MIN)

25

ASPHAL SHINGLE CREME TRIM—ROOF	STUCCO 1— STUCCO 2—	2 WEST ELEVA	
BRICK 1		12 5 1/2	12 4 1/2
BRIDGE WINDOW PATTERN WILL BE DETERMINED GREEN BY STRUCTURAL AWNING CONSTRAINTS			
BRICK 3— BRICK 2—			
	LEVATION LEVATION IN THE COLUMN T	ON ASPHALT SHINGLE TRIM	FACADE % ORDINANCE MAXIMUM% 20 25 2 15



Luminaire S	chedule					
Scene: Scen	e_1					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
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+ 0□	3	BB	SINGLE	8600	1,000	GB-5-100-CMH-F



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FOX RUN NOVI, MICHIGAN



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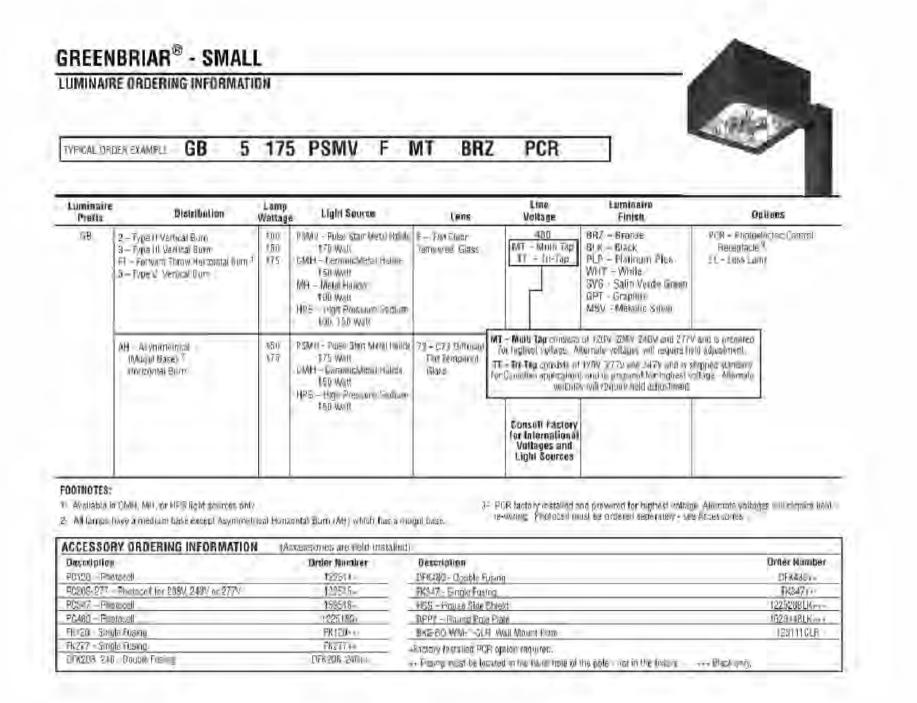
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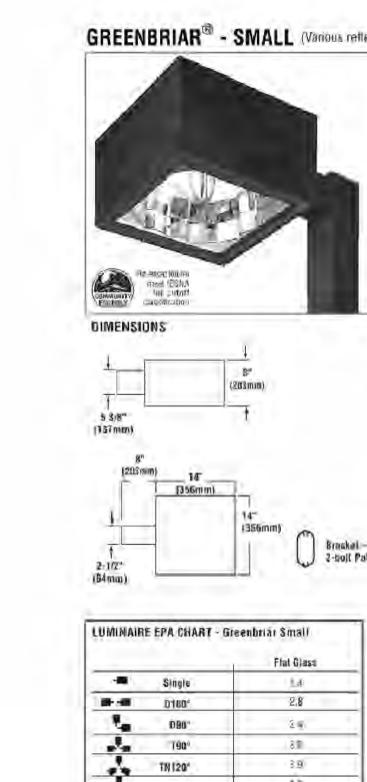
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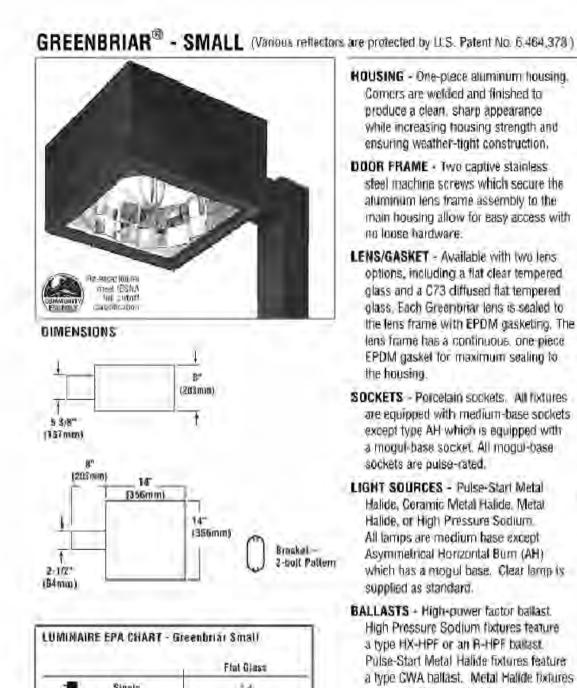
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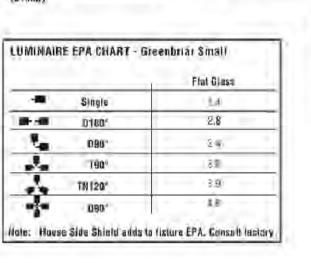
1" = 50'-0"

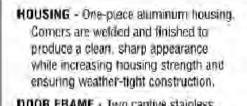
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DOOR FRAME . Two captive stainless steel machine screws which secure the aluminum lens frame assembly to the main housing allow for easy access with

no loose hardware. LENS/GASKET - Available with two lens options, including a flat clear tempered. glass and a C73 diffused flat tempered glass, Each Greenbrian lens is sealed to the lens frame with EPDM gasketing. The EPDM gasket for maximum sealing to the housing.

SOCKETS - Porcelain sockets. All fixtures are equipped with medium-base sockets except type AH which is equipped with a mogul-base socket. All mogul-base sockets are pulse-rated.

LIGHT SOURCES - Pulse-Start Metal Halide, Ceramic Metal Halide, Metal Halide, or High Pressure Sodium. All lamps are medium hase except Asymmetrical Horizontal Burn (AH) which has a mogul base. Clear lamp is supplied as standard. BALLASTS + High-power factor ballast.

High Pressure Sodium fixtures teature a type HX-HPF or an R-HPF ballast. Pulse-Start Metal Halide fixtures feature a type GWA ballast. Metal Halide fixtures feature a CWA or HX-HPF ballast. All ballasts are designed for -20° F operation.

ARRA

REFLECTORS/DISTRIBUTION PATTERNS

Available in five reflector systems and distribution patterns: Type II (2) and Type III (3) with vertical burn lamp. Forward Throw (FT) with horizontal burn. Type V Square (5) with vertical burn lamp and Asymmetrical (AH) with horizontal burn lamp. Photometric data is tested in accordance with IESNA guidelines.

BRACKETS - Use with 5" traditional drilling pattern. A 2-1/2" x 5-3/6" x 8" bolt-on bracket is shipped standard. A round pole plate (RPP2) is required for mounting to 3"-5" round poles (See Accessory Ordering Information chart).

lens frame has a continuous, one-piece FINISHES - Each fixture is finished with LSFs DuraGrip® polyester powder coat finishing process. The DuraGrip linish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard colors include broaze, black, platinum plus, white, salin verde green, metallic silver, and graphite.

PHOTOMETRICS - Please visit our web site at www.tsi-industries.com for detailed photometric data.



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\LOGO IMAGES\ERICK LIV LOGO 1 jpg

Erickson Living 701 Maiden Choice Lane Baltimore, MD 21228

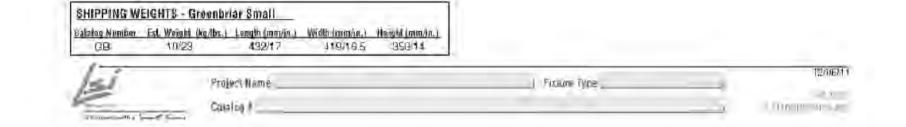
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Revised:	
10-17-13	PER CITY COMMENTS
	SL2





THESE ARE THE TYPE "AA" AND "BB" LUMINAIRES. THEY ARE FULL CUT OFF TYPE LUMINAIRES

TYPE "AA" = 16 FT	DO NOT INSTALL IN ANY UTILITY EASEMENTS
POLE HEIGHT TO BE WODFED AS REQUIRED BASED ON THE HEIGHT OF THE CONCRETE BASE SO THE OVERALL HEIGHT VILL NOT EXCEED THESE DANSINGS CONCRETE SYSTEM GROWN CONCRETE TO EXCLUSIVE LUIS MESOR OF POLE HANDHOLE POLE BASE COVER	POLE NEG TO PLENTESH & RECTANGULAR CITCHING IN THE POLE TO ALLOW FOR THE MENTALLARION OF A DURLET RECOY MAD CONER PLATE HAMSIMOLE CONER PVC ENGINELL
VERSEY W/ GROWING CONDUCTOR TO REBAR AN POLE BASE	ANOHOR BOLTS SUMPLIED WITH MOLE PER N.E.C. #500-5
AS REQUIRED FOR 100 MPH WHILE LOAD'S AMO FOR THE LOCAL SOIL COMPITIONS.	Pyc Sch an cohour
	ONCRETE POLE BASE AS
	CCEPTABLE TO USE AN YPE BASE TO MATCH N SITE

A POLE BASE DETAIL