



EL CAR WASH NOVI II JSP24-25

JSP24-25 EL CAR WASH NOVI II

Consideration of El Car Wash Novi II for Preliminary Site Plan approval. The subject property is 0.54 acres in size, is zoned TC Town Center District, and is located on the east side of Novi Road, north of Grand River. The applicant is proposing to reutilize the existing car wash building for a new car wash.

Required Action

Approve or Deny the Preliminary Site Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	01/17/25	ZBA variances: <ul style="list-style-type: none"> • Parallel parking space within the required 20' parking setback on north side • Lack of separate 18-foot bypass lane • Shortage of vehicle stacking spaces prior to the tunnel <p>Items to be addressed at Final Site Plan submittal</p>
Engineering	Approval Recommended	11/26/24	Items to be addressed at Final Site Plan submittal
Landscape	Approval Recommended	01/02/25	Planning Commission waivers (all supported by staff): <ul style="list-style-type: none"> • Insufficient greenbelt area • Insufficient parking lot interior trees • Insufficient parking lot accessway perimeter trees • Insufficient foundation landscaping area and coverage provided • Lack of loading zone screening <p>Items to be addressed at Final Site Plan submittal</p>
Traffic	Approval Recommended	11/26/24	Items to be addressed at Final Site Plan submittal
Fire	Approval Recommended	11/13/24	Meets Fire Department standards
Façade	Approval Recommended	11/25/24	Items to be addressed at Final Site Plan submittal

MOTION SHEET:

Approval – Preliminary Site Plan

In the matter of El Car Wash Novi II JSP24-25, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. ZBA granting a variance for the parallel parking space within the required 20' parking setback on the north side.
- b. ZBA granting a variance for deficiency of drive-through bypass lane. This is an existing condition.
- c. ZBA granting a variance for the shortage of vehicle stacking spaces prior to the tunnel (25 spaces required, 9 proposed). This is an existing condition.
- d. Landscape waiver, from Zoning Ordinance Section 5.4.2.B, for lack of loading zone screening which is an existing condition. This waiver, supported by staff as *there is no space for loading zone screening on the site*, is hereby granted.
- e. Landscape waiver, from Zoning Ordinance Section 5.5.3.B.ii.f, for insufficient greenbelt area which is an existing condition. This waiver, supported by staff as *the intent of the ordinance is achieved*, is hereby granted.
- f. Landscape waiver, Zoning Ordinance Section 5.5.3.C.iii, for insufficient parking lot interior trees. This waiver, supported by staff as *an existing condition that is being improved*, is hereby granted.
- g. Landscape waiver, Zoning Ordinance Section 5.5.3.C.iv, for insufficient parking lot accessway perimeter trees along the south edge of the site. This waiver, supported by staff as *an existing condition with no space for additional trees*, is hereby granted.
- h. Landscape waiver, Zoning Ordinance, Section 5.5.3.D, for insufficient foundation landscaping area and coverage provided. This waiver, supported by staff as *proposed landscaping is an improvement over the existing conditions*, is hereby granted.
- i. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan;
- j. (additional conditions here, if any)

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

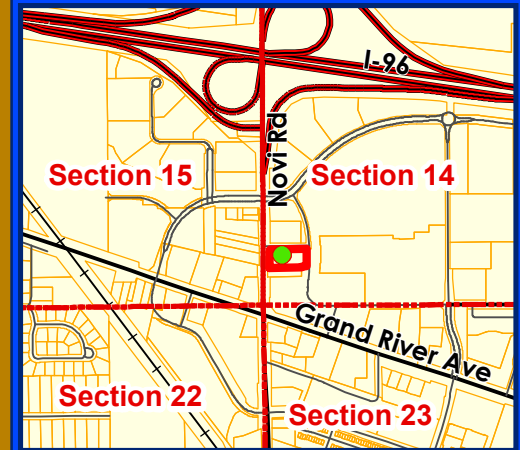
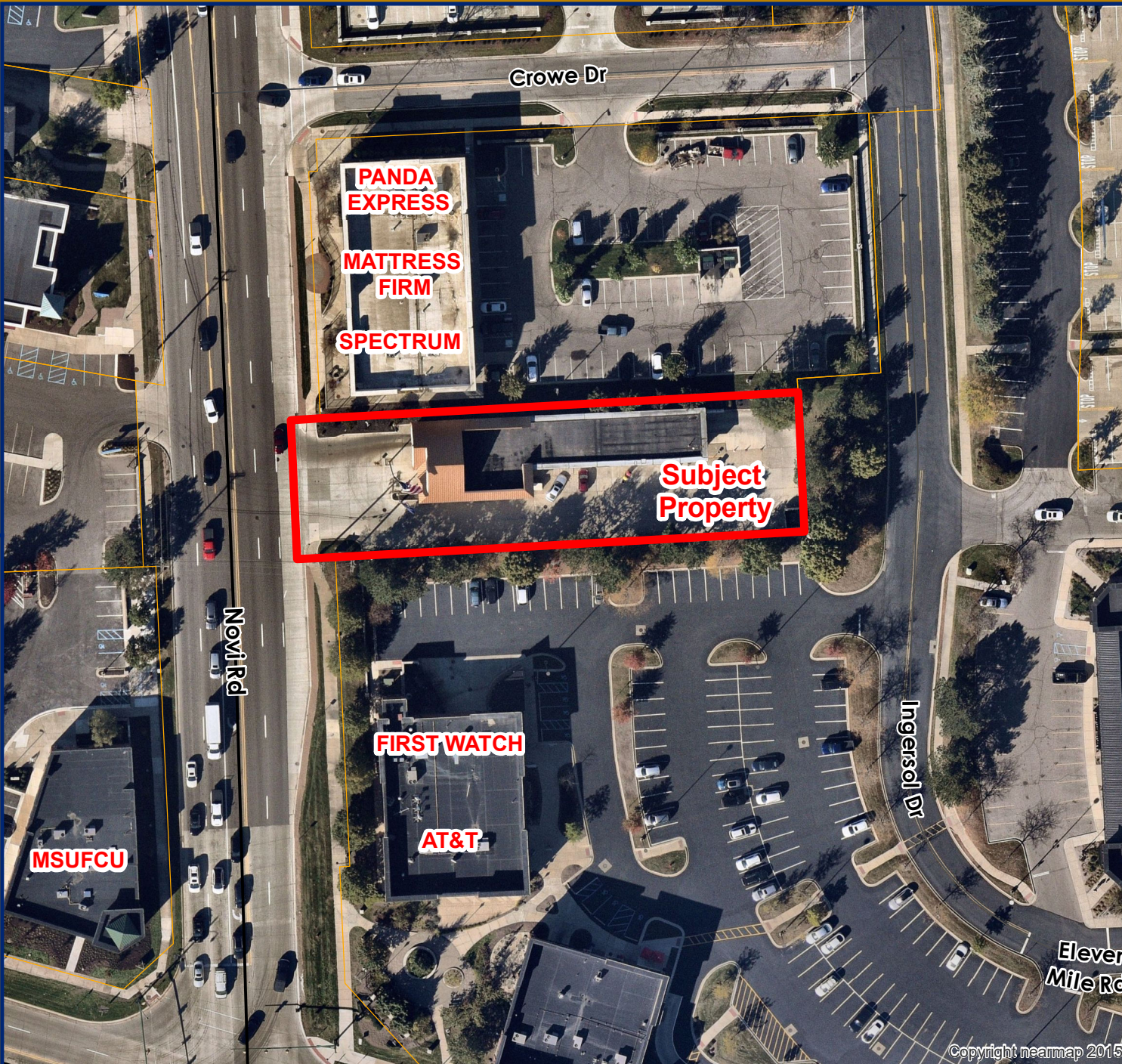
In the matter of El Car Wash JSP24-25, motion to **deny** the Preliminary Site Plan...

(Insert any reasons here ... because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

MAPS
Location
Zoning
Future Land Use
Natural Features

EL CAR WASH NOVI II

LOCATION



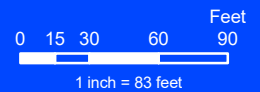
LEGEND

 Subject Property



City of Novi
 Community Development Department
 City Hall / Civic Center
 45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org

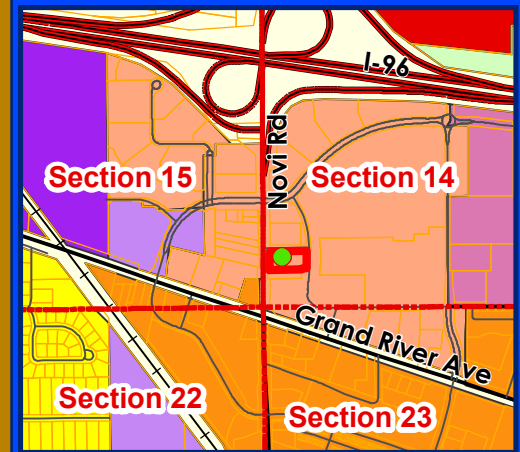
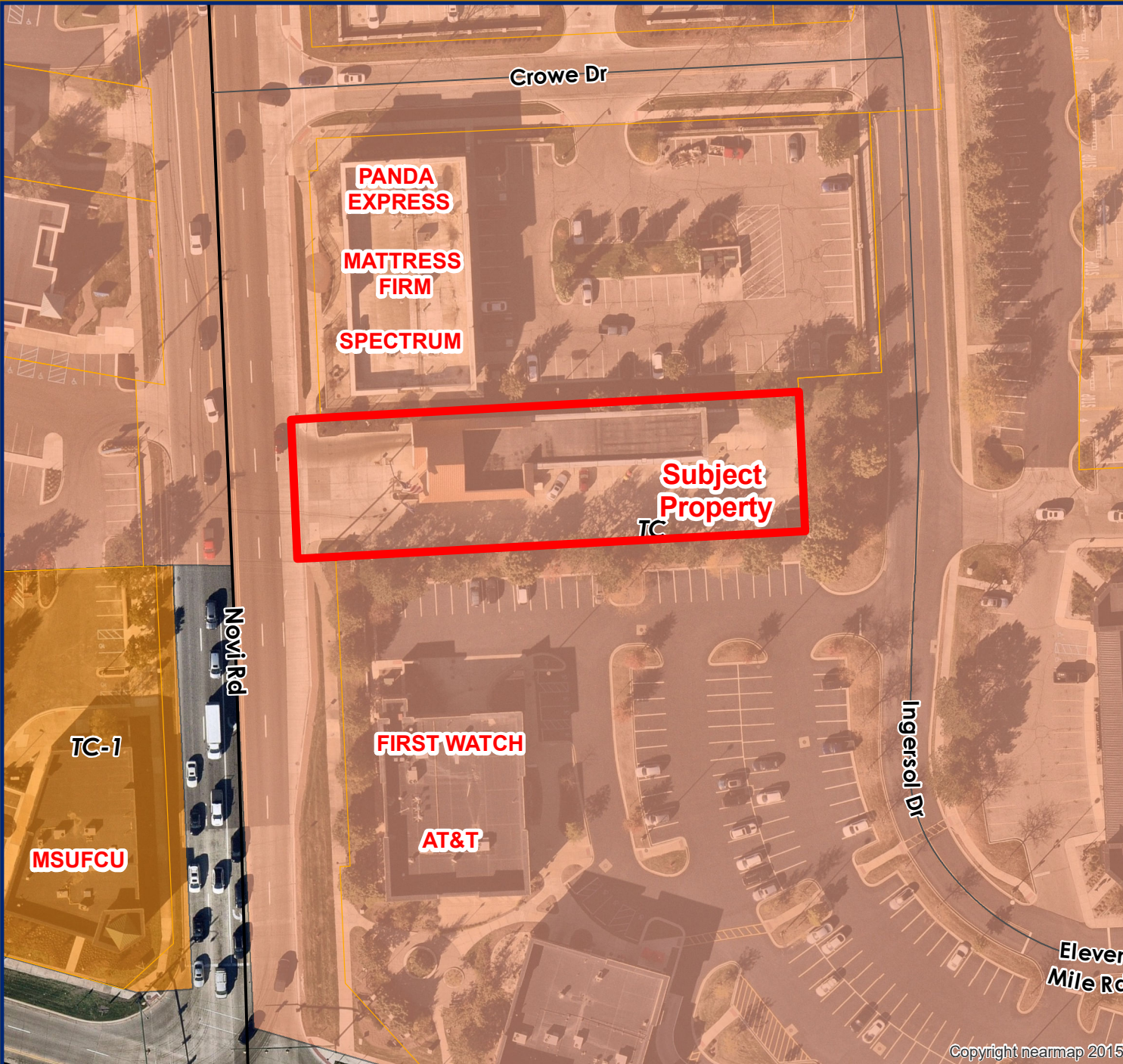
Map Author: Diana Shanahan
 Date: 2/5/25
 Project: EL CAR WASH II
 Version #: 1



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

EL CAR WASH NOVI II ZONING



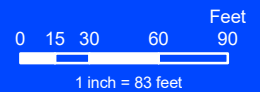
LEGEND

- R-A: Residential Acreage
- R-4: One-Family Residential District
- I-1: Light Industrial District
- I-2: General Industrial District
- OSC: Office Service Commercial
- RC: Regional Center District
- TC: Town Center District
- TC-1: Town Center -1 District
- Subject Property



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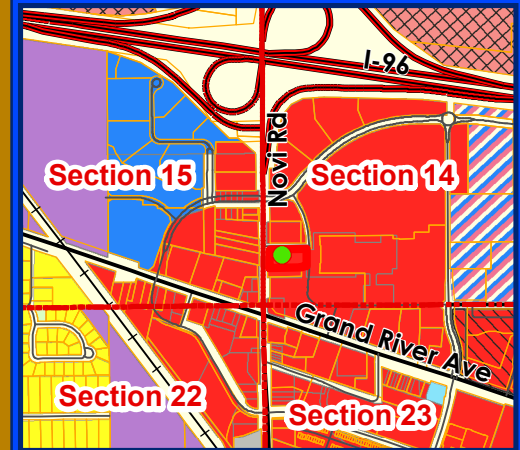
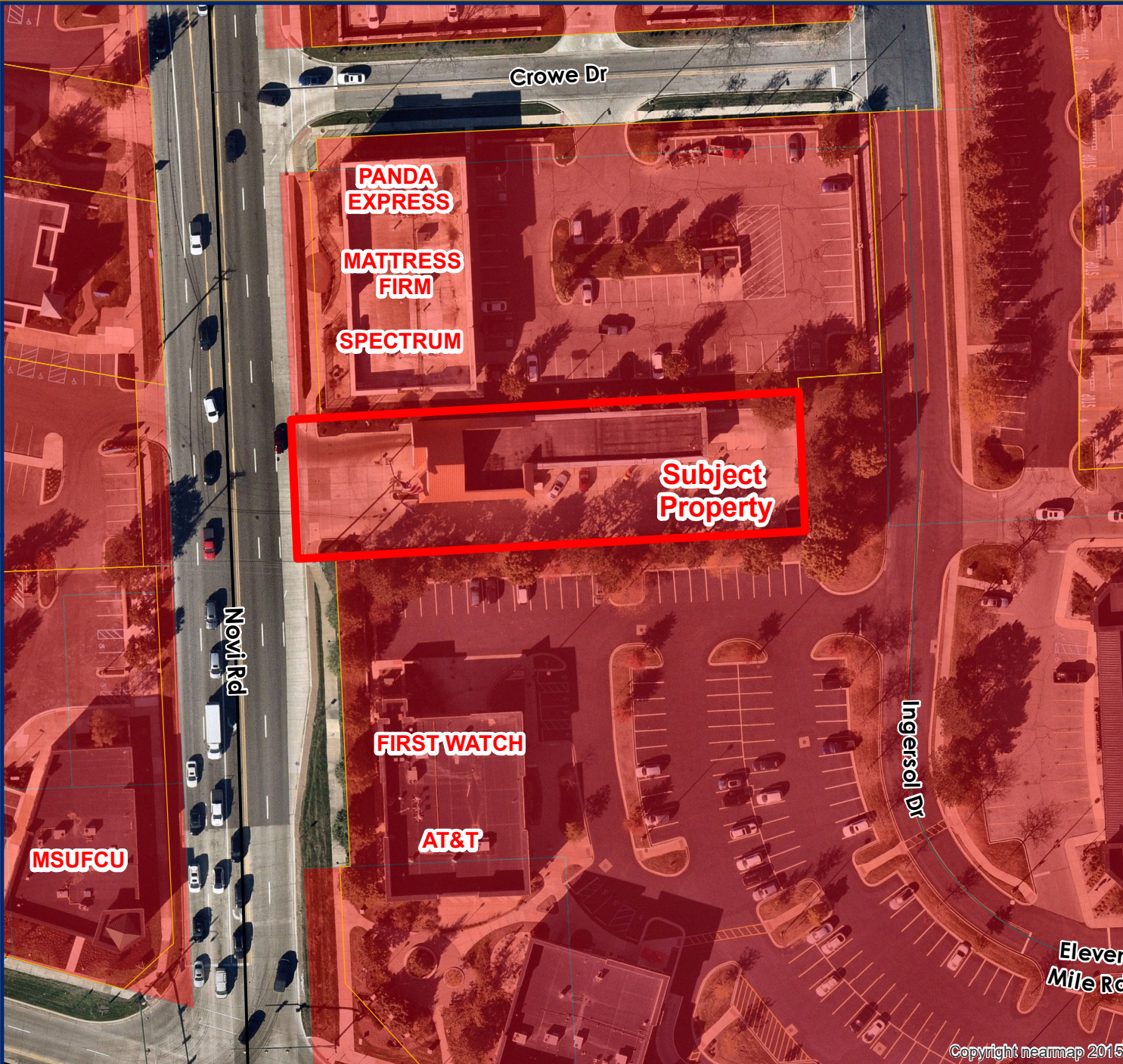


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EL CAR WASH NOVI II

FUTURE LAND USE



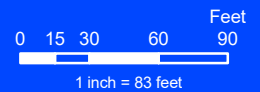
LEGEND

- Single Family
- Office, Research, Development and Technology
- Office Commercial
- Industrial, Research, Development and Technology
- Regional Commercial
- Town Center Commercial
- Town Center Gateway
- Public
- Private Park
- Cemetery
- Subject Property



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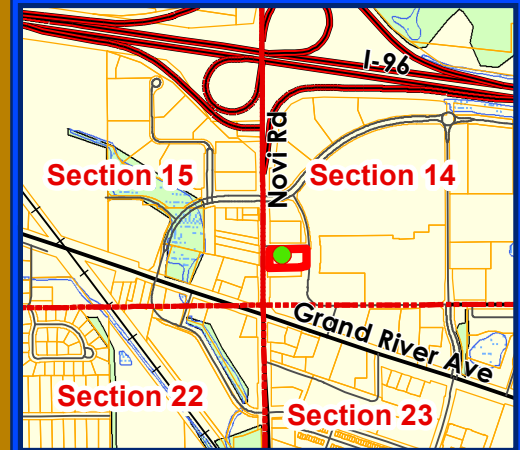


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EL CAR WASH NOVI II

NATURAL FEATURES



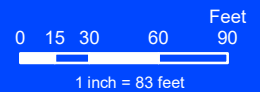
LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property



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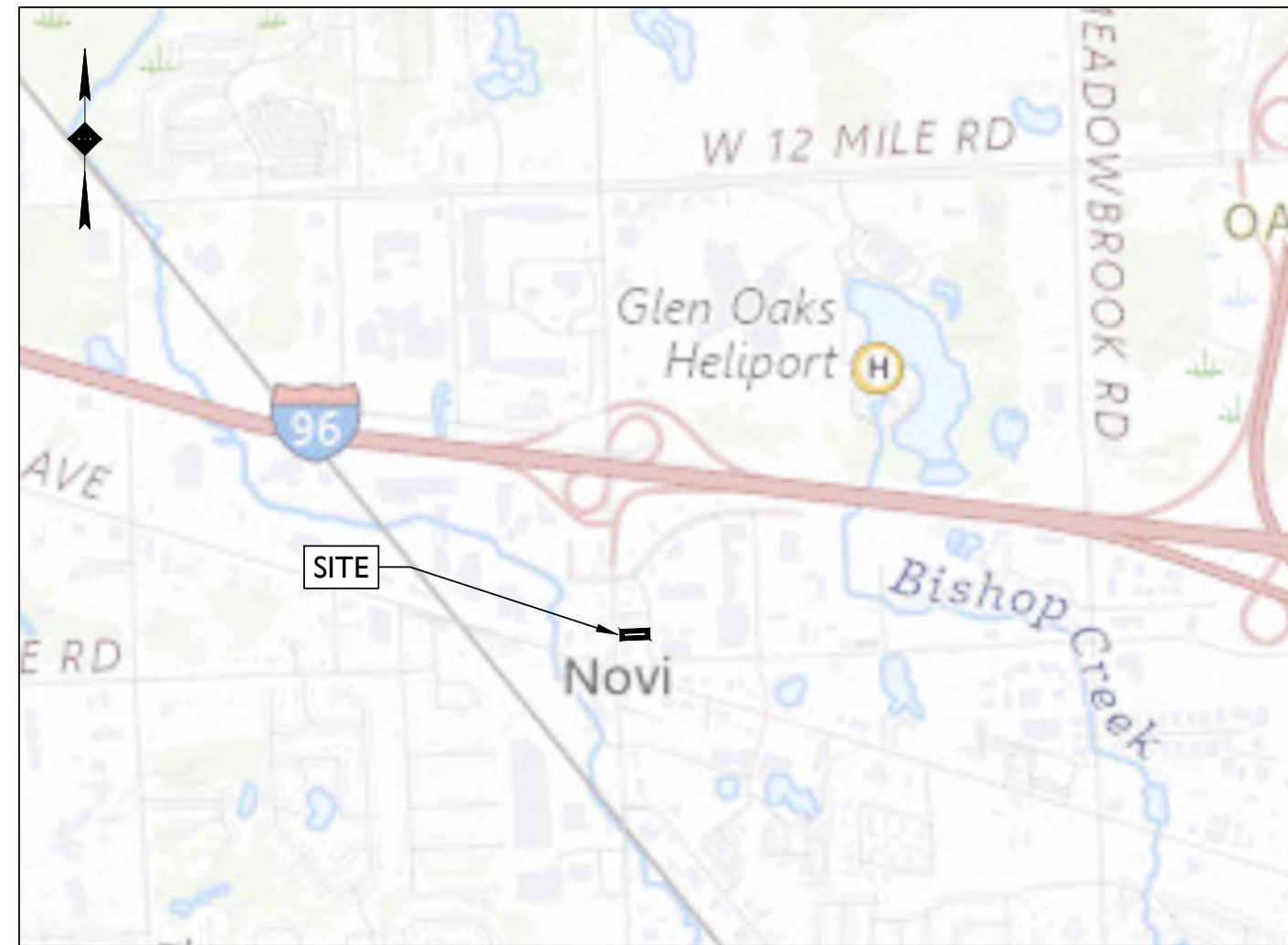
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SITE PLAN AND BUILDING ELEVATIONS



SOURCE: USGS ONLINE MAPS

LOCATION MAP

SCALE: 1" = 2,000'±

SITE IMPROVEMENT PLANS FOR NOVI TOWN CENTER PROPOSED CAR WASH IMPROVEMENTS

PARCEL ID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN 48375

APPLICANT

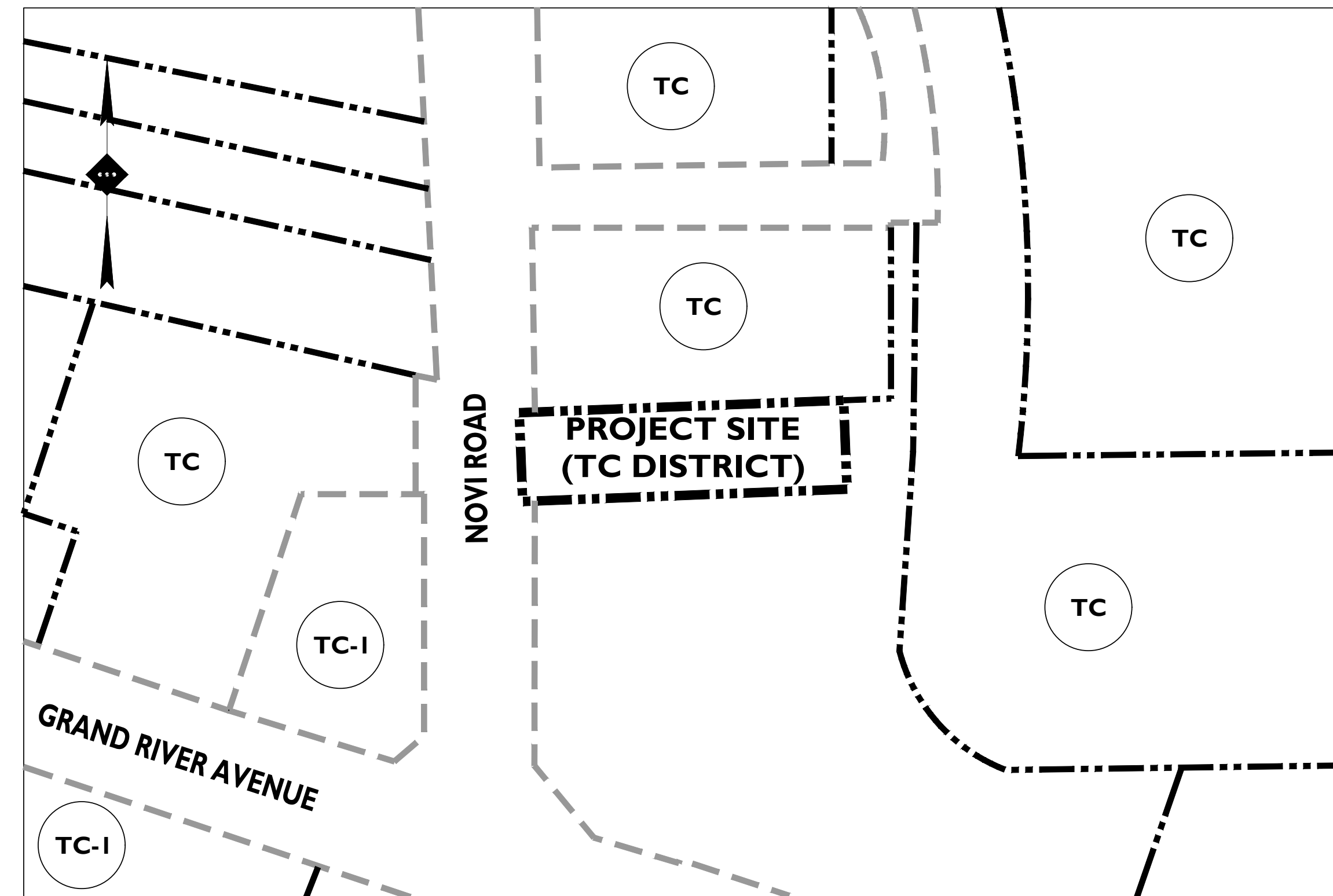
EL CAR WASH NOVI II LLC
30200 TELEGRAPH ROAD
BINGHAM FARMS, MI 48025
248.646.999
SBARRETT@ALRIGUSA.COM



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 100'±



SOURCE: OAKLAND COUNTY GIS & CITY OF NOVI ZONING MAP

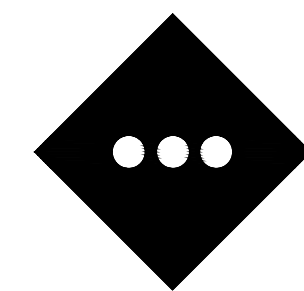
ZONING MAP

SCALE: 1" = 100'±

PLANS PREPARED BY:



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Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA/NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC DATED 07/12/2022
 - ARCHITECTURAL PLANS PREPARED BY KRIEGER KLATT ARCHITECTS DATED 10/31/2024
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION PLAN	C-2
SITE PLAN	C-3
GRADING & DRAINAGE PLAN	C-4
PRE VS POST CONSTRUCTION CONDITIONS	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
LANDSCAPING PLAN	C-8
LANDSCAPING DETAILS	C-9
CONSTRUCTION DETAILS	C-10 & C-11
FIRE TRUCK CIRCULATION EXHIBIT	EX-1
PRE VS POST VEHICLE STACKING EXHIBIT	EX-2

ADDITIONAL SHEET INDEX	
DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	1 OF 1

ISSUE	DATE	BY	DESCRIPTION
1	08/22/2024	JSS	FOR PRE-APPLICATION MEETING
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION

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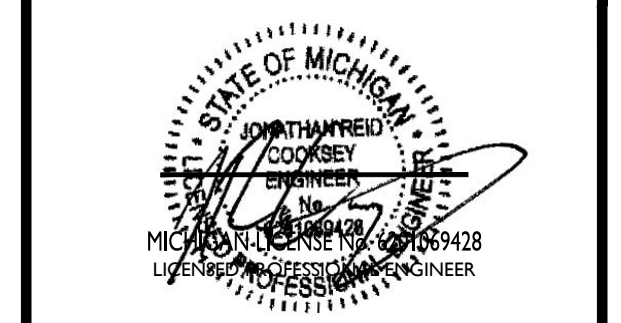
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Phone 248.247.1115

SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PARCEL ID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



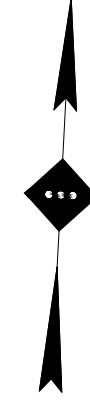
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CITY PROJECT NUMBER: JSP24-25
SCALE: AS SHOWN PROJECT ID: DET-240225

TITLE:
COVER SHEET

DRAWING:
C-1

NOVI TOWN CENTER, 26100 NOVI ROAD, NOVI, MI 48009



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
	CONCRETE PAVEMENT TO BE REPAIRED / REPLACED AS NEEDED
---	PROPOSED TREE PROTECTION FENCE

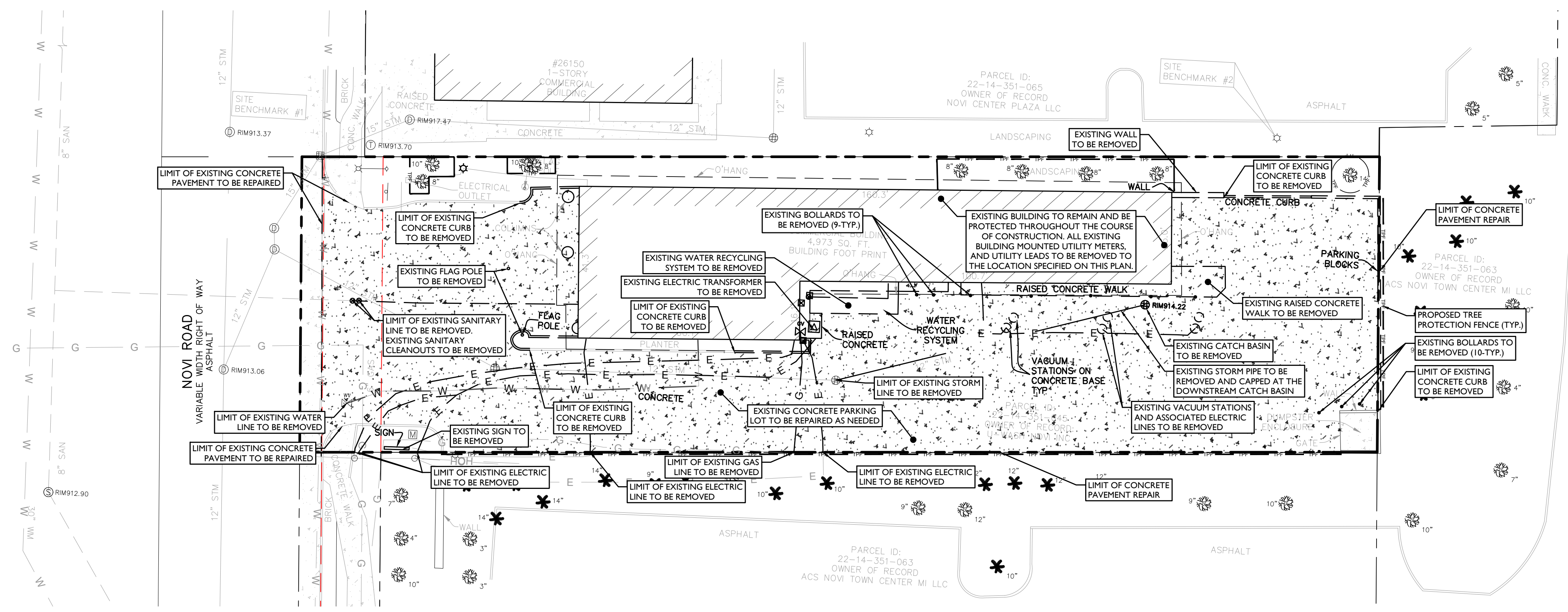
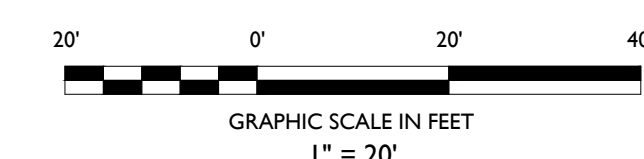
ALL SITE FEATURES WITHIN THIS PLAN ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS REMOVED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



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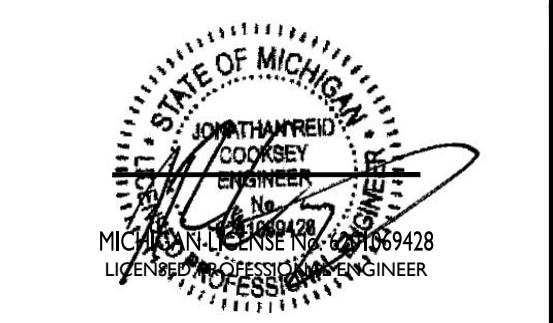
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SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



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CITY PROJECT NUMBER: J5P24-25

SCALE: 1" = 20' PROJECT ID: DET-240225

TITLE:

DEMOLITION PLAN

DRAWING:

C-2

V:\PROJECTS\DET-240225\ALING_240810\NOVI ROAD\NOVI_CENTER\DET-240225-DRS.DWG

LAND USE AND ZONING		
PID: 50-22-14-351-045		
TOWN CENTER DISTRICT (TC)		
PROPOSED USE		
AUTO WASH		
ZONING REQUIREMENT	NON-PERMITTED USE (EN)	PROPOSED
MINIMUM LOT AREA	N/A	23,358 SF (0.53 AC)
MINIMUM OPEN SPACE	15% (3,504 SF)	16.4% (3,846 SF)
MAXIMUM BUILDING HEIGHT	65 FT (5 STORIES)	< 65 FT (5 STORIES)
MINIMUM FRONT PARKING SETBACK	20 FT	32.8 FT
MINIMUM SIDE PARKING SETBACK (NORTH)	20 FT	2.0 FT (V)
MINIMUM SIDE PARKING SETBACK (SOUTH)	20 FT	0 FT (EN)
MINIMUM REAR PARKING SETBACK	10 FT	10.0 FT
MINIMUM FRONT YARD SETBACK	15 FT	75.2 FT
MINIMUM SIDE YARD SETBACK	10 FT	8.0 FT (EN)
MINIMUM REAR YARD SETBACK	10 FT	56.2 FT
FLAG POLE SETBACK	37.6 FT	60.4 FT

- (V) VARIANCE
 (EN) EXISTING NON-CONFORMITY
 (I) § 4.19(2)(b) - FLAGPOLES SHALL BE LOCATED NO CLOSER THAN HALF THE DISTANCE BETWEEN THE RIGHT OF WAY AND PRINCIPAL BUILDING.

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.2.12	AUTO WASH PARKING: 2 SPACES PLUS 1 PER EMPLOYEE (2 SPACES) + (2 EMPLOYEE)(1 SPACE/EMPLOYEE) = 4 SPACES PLUS 1 SPACE PER VACUUM (5 VACUUMS)(1 SPACE/VACUUM) = 5 SPACES TOTAL REQUIRED PARKING: 4 + 5 = 9 SPACES	4 SPACES 5 VACUUMS TOTAL SPACES: 9
§ 5.3.2	90° PARKING: 9 FT X 19 FT W/ 24 FT AISLE 0° PARKING: 8 FT X 23 FT W/ 13 FT AISLE	12 FT X 19 FT W/ 24 FT AISLE 8 FT X 23 FT W/ 14 FT AISLE
§ 5.3.2(E)(H)	STACKING SPACE REQUIREMENTS: 9 FT X 19 FT W/ 18 FT BYPASS LANE	10 FT X 19 FT NOT PROVIDED (EN)
§ 5.3.11.1	AUTO WASH STACKING REQUIREMENTS: 25 VEHICLES PRIOR TO TUNNEL 3 VEHICLES AFTER TUNNEL	8 VEHICLES (EN) 3 VEHICLES
§ 5.4(2)	LOADING REQUIREMENT: 10 SF PER FRONT FT OF BUILDING (50 FT BUILDING) (10 SF/FT BUILDING) = 500 SF	TO OCCUR OFF HOURS

(EN) EXISTING NON-CONFORMITY

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 28-5.1	SIGN SETBACK: 3 FT	22.0 FT

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT	QUANTITY
		LEGEND	BACKGROUND			
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND	1
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND	1
RESERVED PARKING (R7-8)		GREEN/BLUE	WHITE	12"x18"	GROUND	1
RESERVED PARKING (R7-8P)		GREEN	WHITE	12"x6"	GROUND	1

- NOTE:
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.
 3. FHWA STANDARD ALPHABET SERIES USED FOR ALL SIGN LANGUAGE
 4. HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY.
 5. ALL SIGNS INSTALLED SHALL HAVE A BOTTOM HEIGHT OF 7 FT FROM FINAL GRADE.
 6. ALL SIGNING SHALL BE PLACED TWO (2) FEET FROM THE FACE OF THE CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR EDGE OF THE SIGN.
 7. SIGNS 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB U-CCHANNEL POST
 8. SIGNS GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB OR GREATER U-CCHANNEL POST

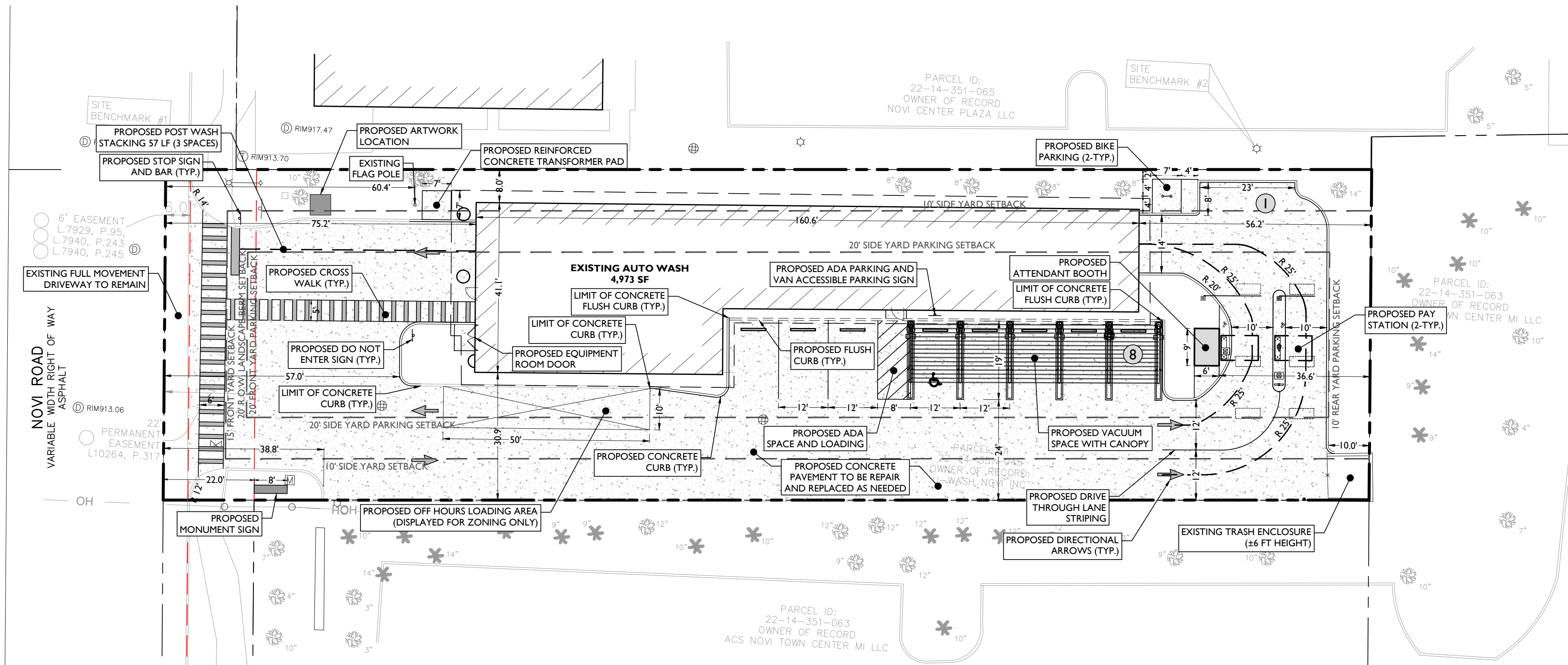
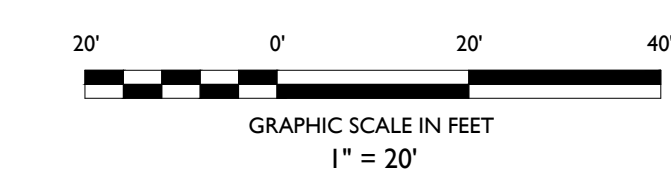
SIGN DATA TABLE

NOT TO SCALE

ALL VACUUM APPARATUS AND CANOPIES TO BE FINISHED GREY TO MATCH THE PRIMARY BUILDING

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/22/2024	JSS	FOR RE-APPLICATION MEETING

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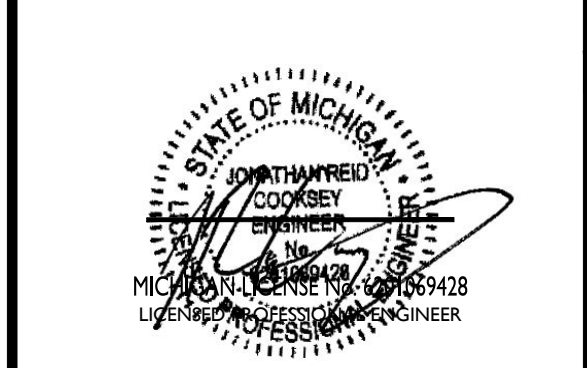
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 Phone 248.247.1115

SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375

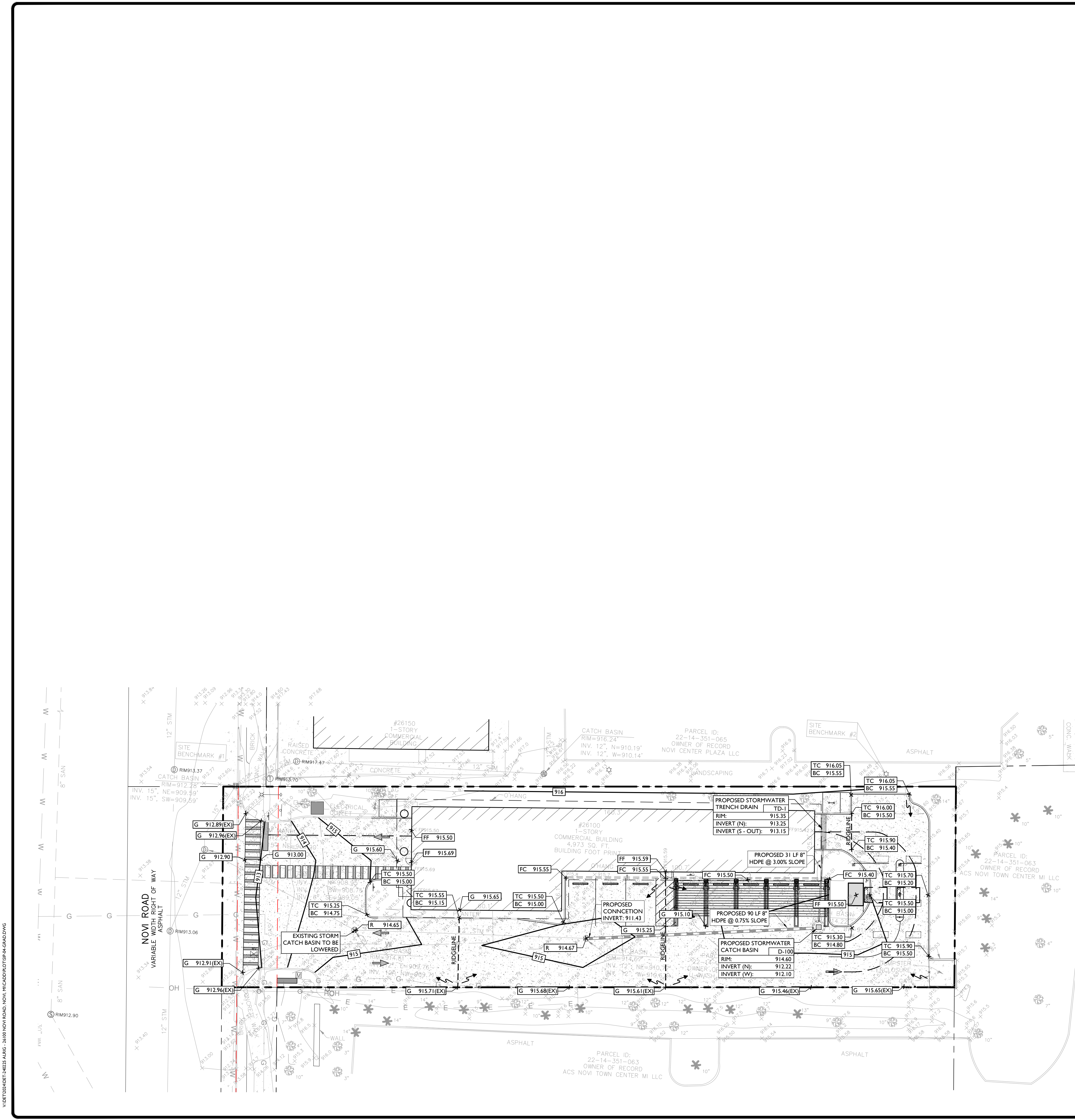


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CITY PROJECT NUMBER: J5P24-25
 SCALE: 1" = 20' PROJECT ID: DET-240225

TITLE:
SITE PLAN

DRAWING:
C-3

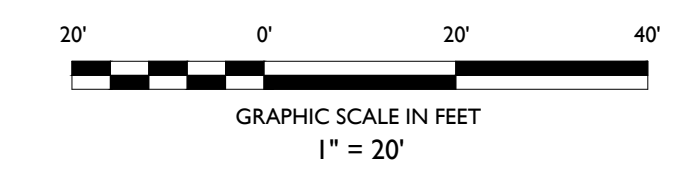


SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33%. IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP, CURBS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, THE CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADE.
 - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.



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1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING

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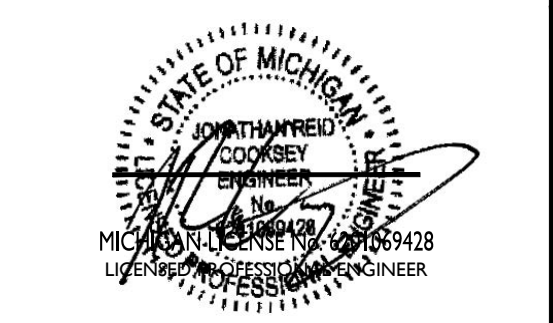
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Phone 248.247.1115

SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-35-1-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



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CITY PROJECT NUMBER: J5P24-25

SCALE: 1" = 20' PROJECT ID: DET-240225

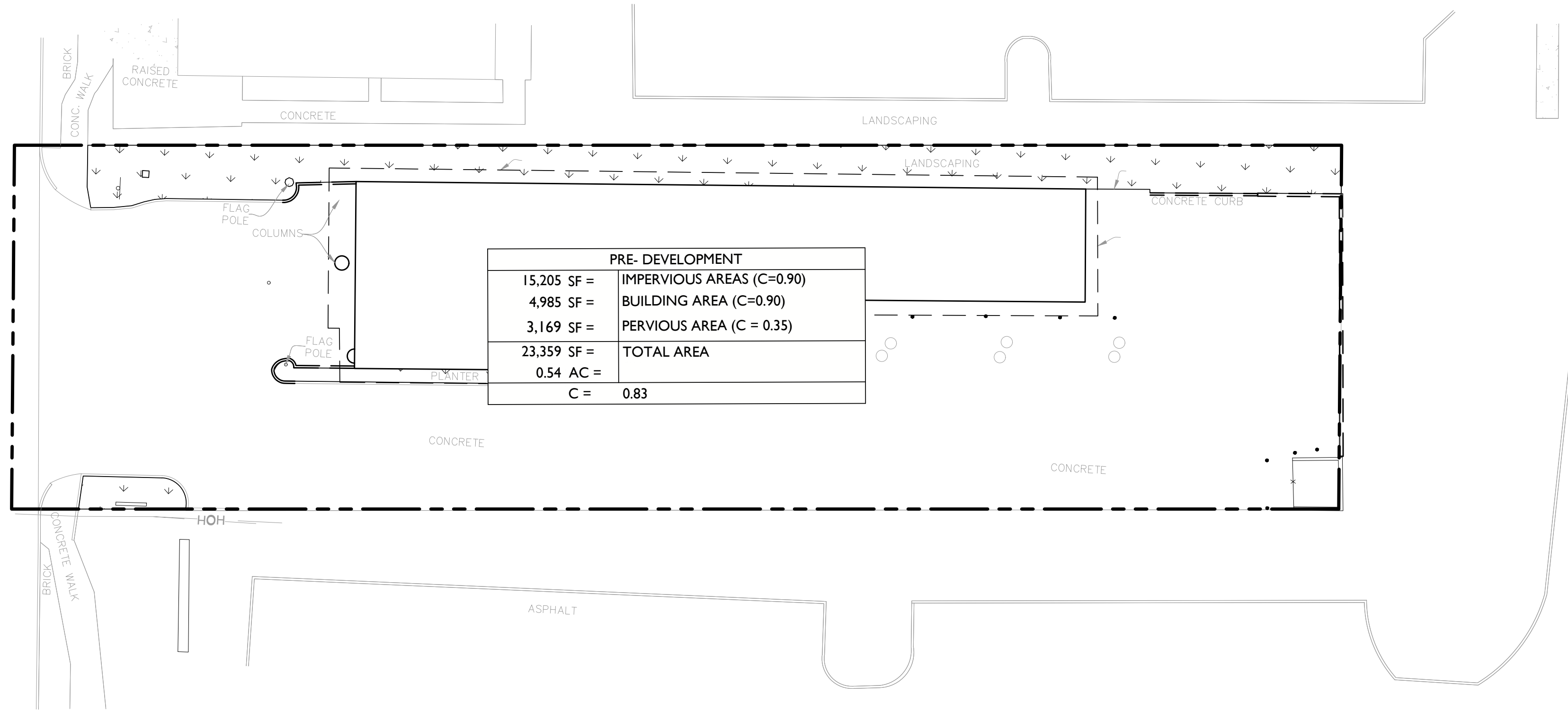
TITLE:
GRADING & DRAINAGE PLAN

DRAWING:
C-4

V:\0720\48375-2025-AJUG-2400-NOVI-ROAD-NOVI-PC\04\07\05\06-STRIPING

NOVI ROAD
VARIABLE WIDTH RIGHT OF WAY
ASPHALT

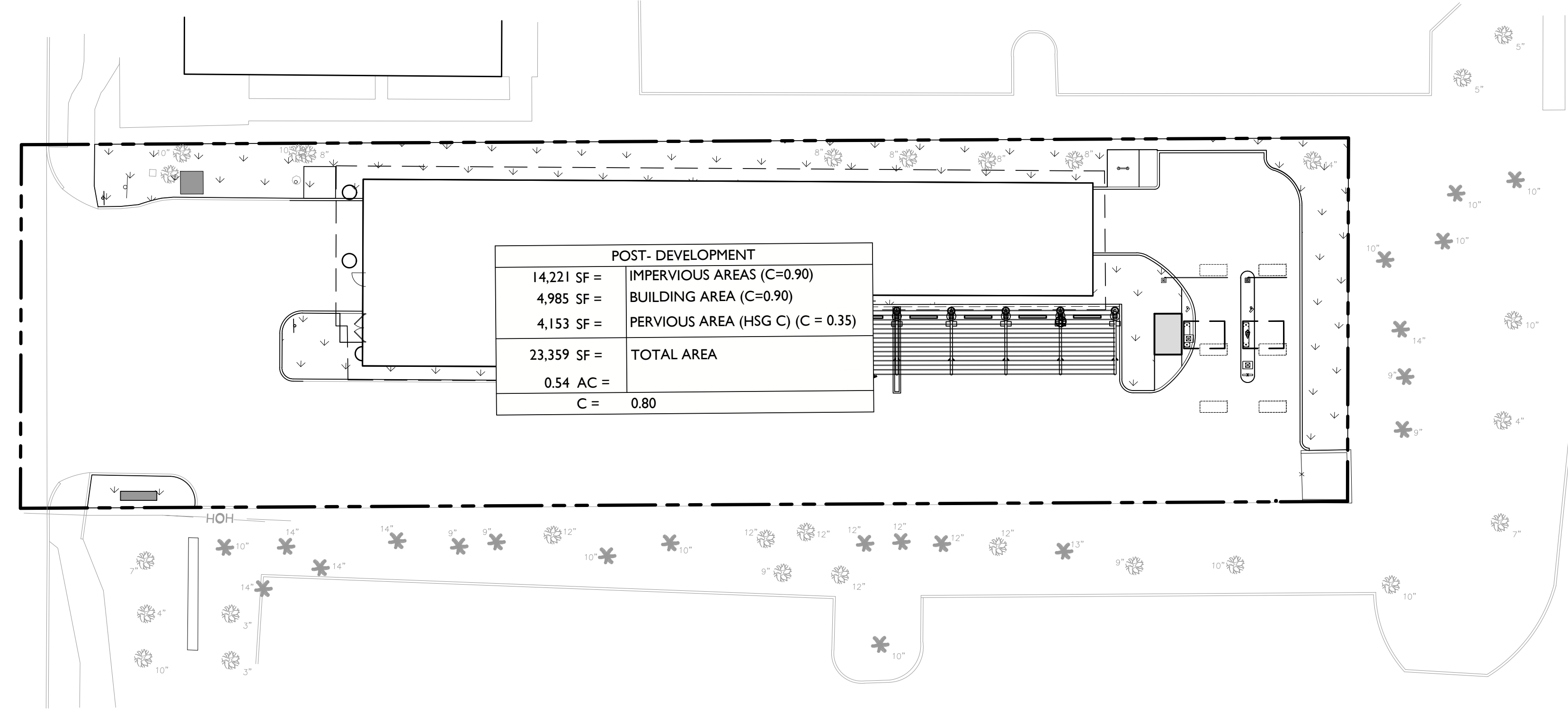
OH



PRE DEVELOPMENT SURFACE AREA

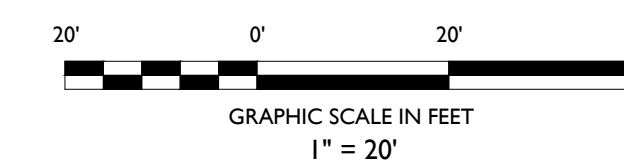
NOVI ROAD
VARIABLE WIDTH RIGHT OF WAY
ASPHALT

OH



POST DEVELOPMENT SURFACE AREA

SYMBOL	DESCRIPTION
	PROPERTY LINE
	EXISTING/PROPOSED PERVIOUS



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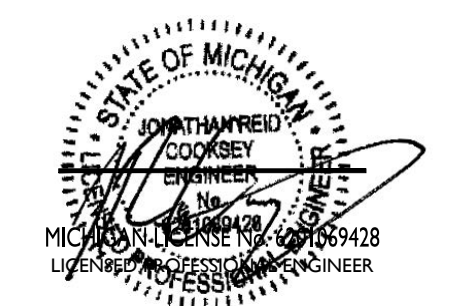


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SITE IMPROVEMENT PLANS

**NOVI TOWN CENTER
PROPOSED CAR WASH
IMPROVEMENTS**

PID: 50-22-14-351-045
26100 NOVI ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375



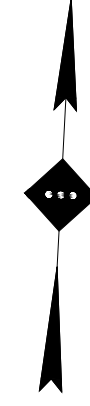
CITY PROJECT NUMBER: JSP24-25
SCALE: 1" = 20' PROJECT ID: DET-240225

TITLE: **PRE VS POST
CONSTRUCTION
CONDITIONS**

DRAWING:

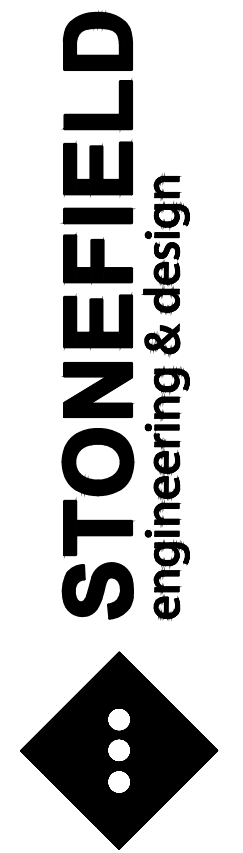
C-5

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JBS	FOR PRE-APPLICATION MEETING



SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊠	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

NOT APPROVED FOR CONSTRUCTION

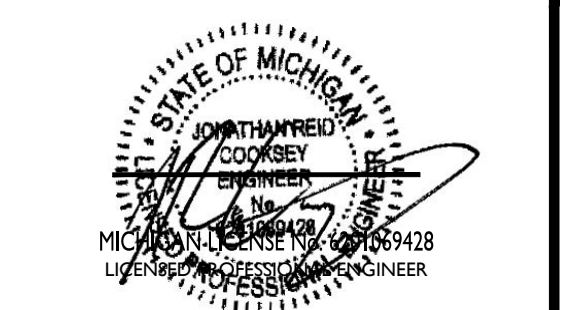


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SITE IMPROVEMENT PLANS

NOVI TOWN CENTER PROPOSED CAR WASH IMPROVEMENTS

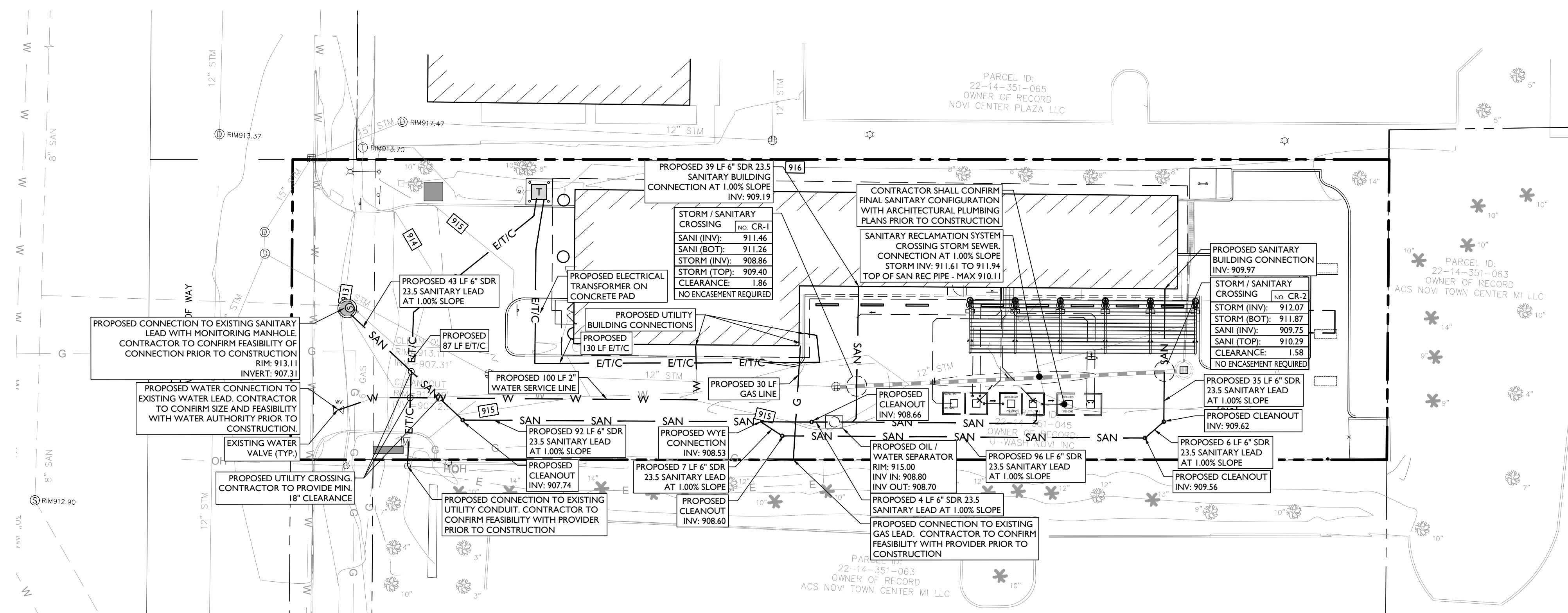
PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



CITY PROJECT NUMBER: J5P24-25
 SCALE: 1" = 20' PROJECT ID: DET-240225

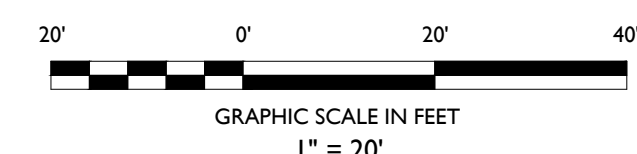
TITLE:
UTILITY PLAN

DRAWING:
C-6



DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



NOVI TOWN CENTER 26100 NOVI ROAD, NOVI, MI 48240

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.7.3.A	MAXIMUM HEIGHT - 25 FT	25.0 FT
§ 5.7.3.K	AVERAGE TO MINIMUM RATIO - 4:1	3.8 : 1
§ 5.7.3.K	MAXIMUM PROPERTY LINE ILLUMINATION: 1.0 FC	2.1 FC (EN)
TABLE 5.7.3.K	MINIMUM ILLUMINATIONS:	
	PARKING AREAS - 0.2 FC	0.2 FC
	LOADING AND UNLOADING AREAS - 0.4 FC	2.4 FC
	WALKWAYS - 0.2 FC	0.2 FC
	BUILDING ENTRANCES - FREQUENT USE - 1.0 FC	1.3 FC
	BUILDING ENTRANCES - INFREQUENT USE - 0.2 FC	5.1 FC

(EN) EXISTING NON-CONFORMITY

PROPOSED / EXISTING LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	3	PREVAIL LED AREA LIGHT POLE & FIXTURE COMBO WITH HOUSE SIDE SHIELD C40 - 3000K	TYPE IV	0.9	EATON	PRV-C40-D-UNV-T4-BZ-7030-HSS.ies
	B	1	MIRADA SMALL WALL SCONCE 3000K	TYPE FT	0.9	LSI	XWS-LED-08L-SIL-FT-30-70CRLies
	EX	23	MIRADA SMALL WALL SCONCE 3000K	TYPE FT	0.9	LSI	XWS-LED-08L-SIL-FT-30-70CRLies

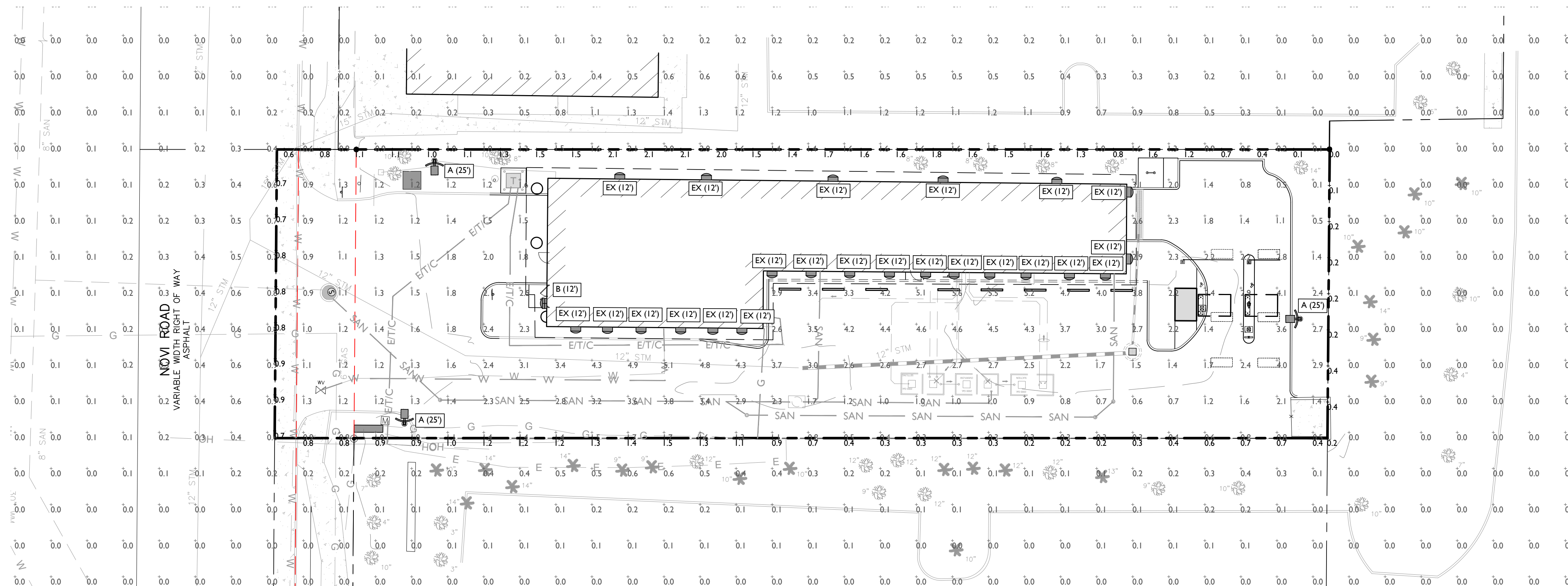
ALL EXISTING WALL MOUNTED LIGHTS HAVE BEEN MODELED ASSUMING THE FIXTURE DEPICTED IN THE TABLE FOR REFERENCE. EXISTING FIXTURES ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION



FIXTURE A

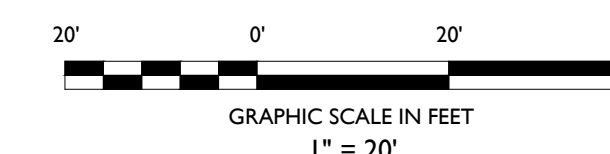


FIXTURES B & EX



GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
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Phone 248.247.1115

SITE IMPROVEMENT PLANS

NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

PID: 50-22-14-351-045
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CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375

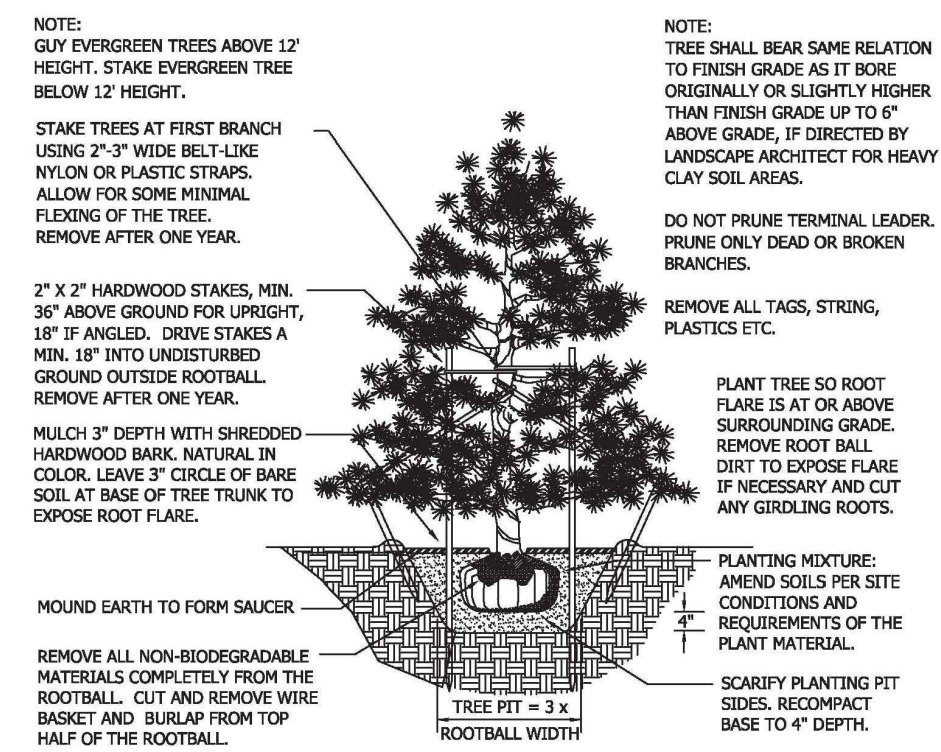


STONEFIELD
engineering & design

CITY PROJECT NUMBER: J5P24-25
SCALE: 1" = 20' PROJECT ID: DET-240225

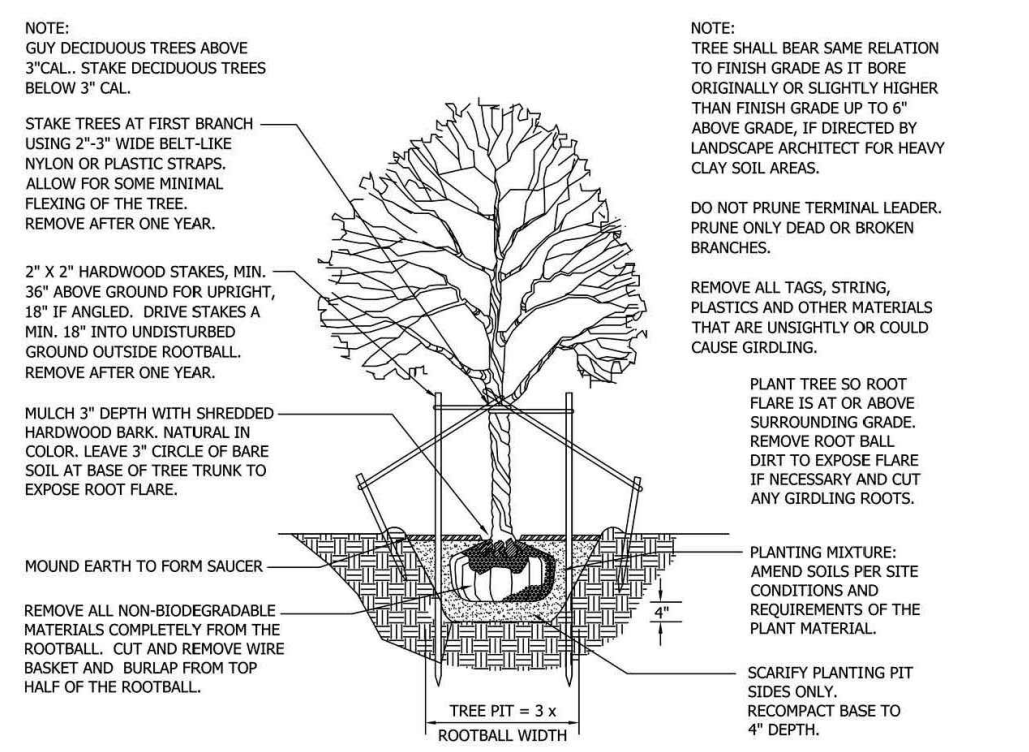
TITLE:
LIGHTING PLAN

DRAWING:
C-7



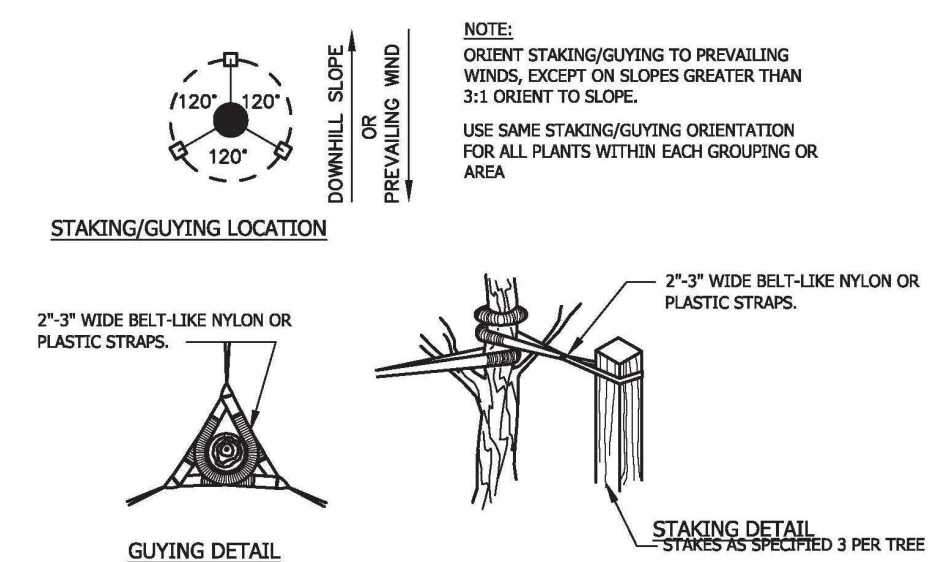
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



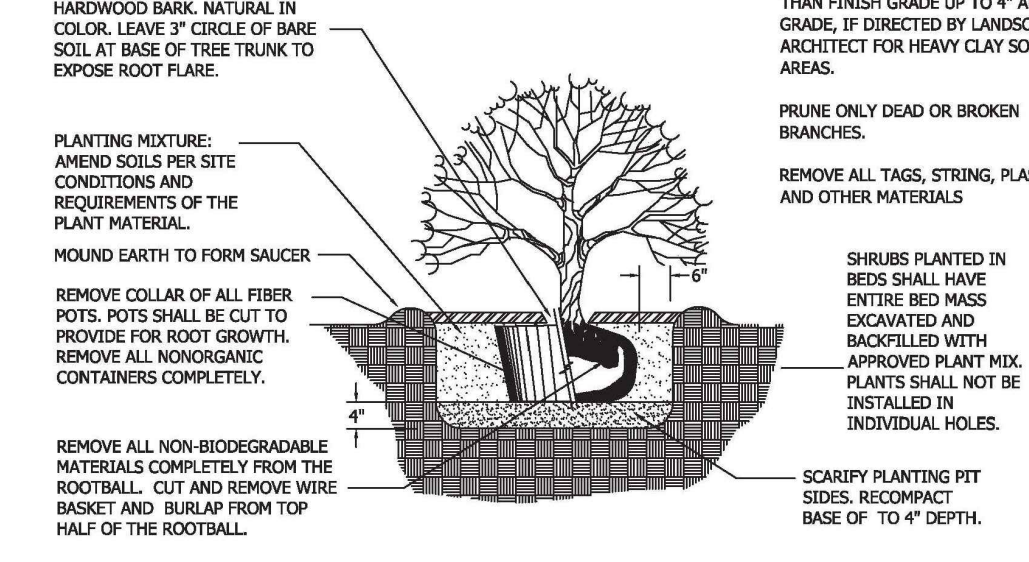
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



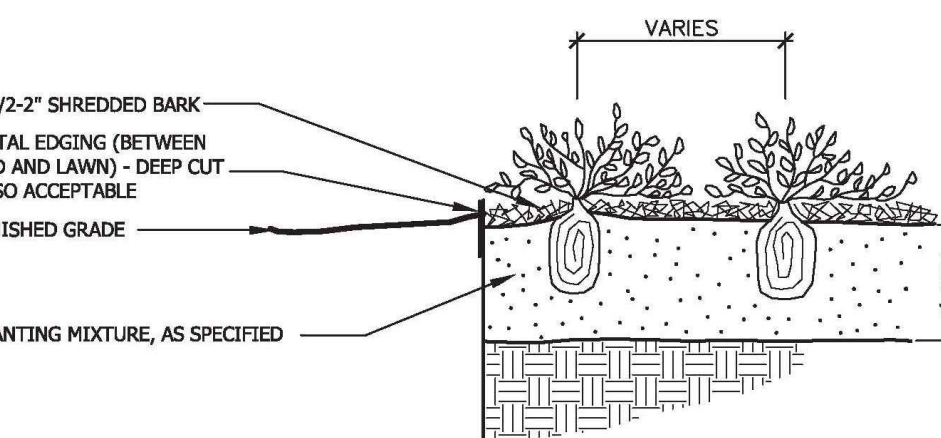
TREE STAKING DETAIL

NOT TO SCALE



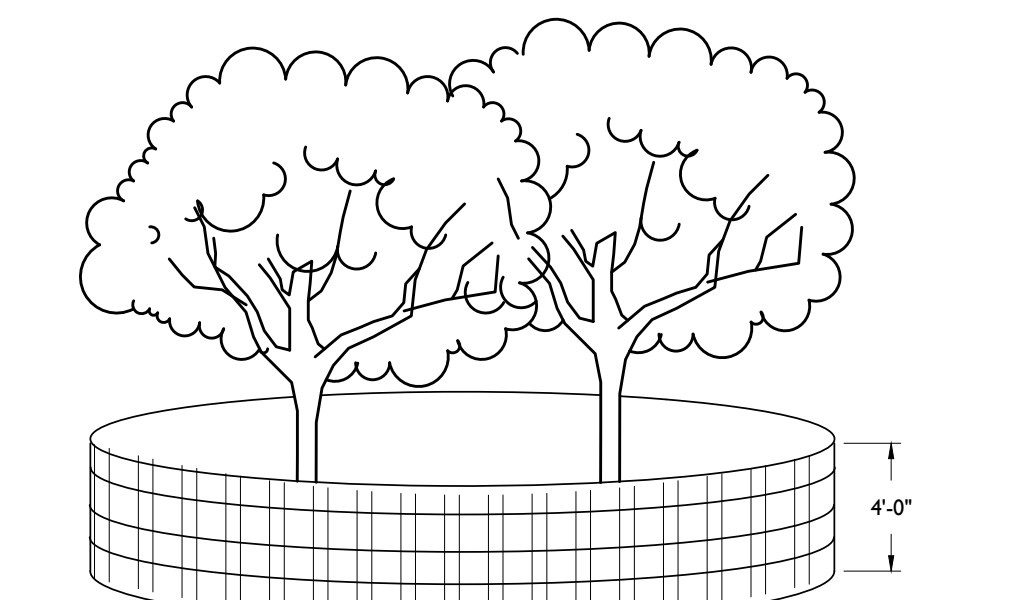
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



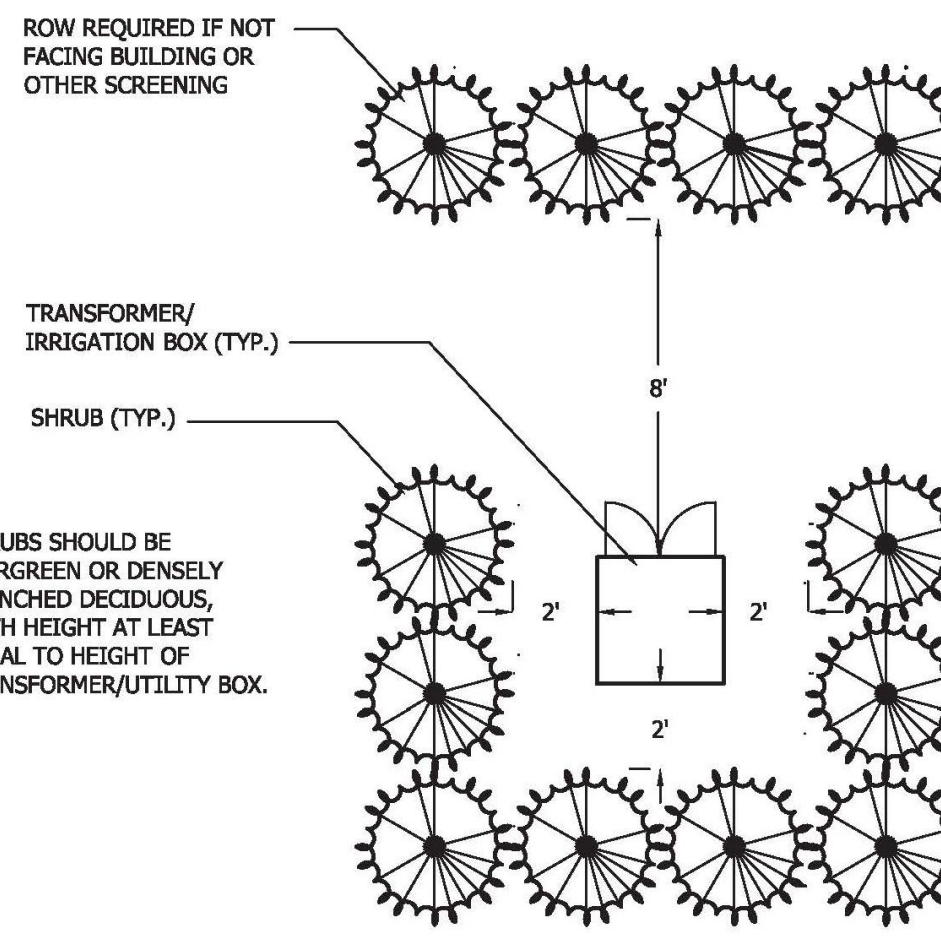
GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE



TRANSFORMER SCREENING DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCING INSTALLATION SHALL BE COMPLETED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITIES. NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-OR-OFF ROAD VEHICLES SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCING: WHEN TRENCING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS LOWER THAN THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION. NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROPRIATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL ADJUSTMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR CYPRESS.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTING. IF ROOF DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUIV SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
12. WHENEVER POSSIBLE, THE SOIL SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILLING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILLING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILLING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCORRIZAL TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: 3-0Z PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-0Z PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCORRIZAL TREE SAVER IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- HEALTHY START MACRO TABS 12-8-8**
- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
 - TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLS & BURLAPPED (BBB) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

CITY OF NOVI GENERAL NOTES:

9. ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
10. ALL TREE WRAP, STAKES, AND GUY'S MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
11. ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE PERFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
12. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
13. PLANT MATERIALS, EXCEPT SOD, GROUND COVERS, AND CREEPING VINE TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
14. ALL TRANSFORMERS ARE TO BE SCREENED IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND SO AS TO NOT CONFLICT WITH DTE RESTRICTIONS. (SEE DETAIL THIS SHEET).
15. THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD.
16. THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.
17. A MINIMUM OF ONE CULTIVATION IN JUNE, JULY, AND AUGUST DURING THE (2) TWO YEAR WARRANTY PERIOD SHALL OCCUR.

PLANT QUALITY AND HANDLING NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE OF SUCH HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH VIGOROUS, UNDESIRABLE DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. ALL PLANTS DESIGNATED BALL AND BURLAP (BBB) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED BURLAP IF USED. ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DELIVERY, INCLUDING INSTALLATION DAMAGE OR IMPROPER HANDLING OR STORAGE, SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAIL.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE, THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOOD CHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNITED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HELED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MULCH OR EXCESS SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR SELECT PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - NOVEMBER 15)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):

ABIES CONCOLOR	CORNUS VARIETIES	Ostrya virginiana
ACER BURGERSIANUM	CRATAEGUS VARIETIES	Pinus nigra
ACER FREEMANTII	CYPRIPEDILUM VARIETIES	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
BETULA VARIETIES	ILEX X-FORTIS	PRUNUS VARIETIES
CARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CEDRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
CELTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
CERCIDIPHYLLUM VARIETIES	KOELERUTERA PANKULATA	TAXODIUM VARIETIES
CERCIS CANADENSIS	LIQUIDAMBAR VARIETIES	TAXUS B. REPANDENS
CORNUS VARIETIES	LIRIODENDRON VARIETIES	TILIA TOMENTOSA VARIETIES
CRATAEGUS VARIETIES	MALUS IN LEAF	ULMUS PARVIFOLIA VARIETIES
	NYSSA SYLVATICA	ZELKOVA VARIETIES
17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER AND CITY LANDSCAPE ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
18. DURING THE COURSE OF CONSTRUCTION, EXCESS SOIL, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
20. PLANT MATERIAL MUST BE GUARANTEED FOR A PERIOD OF 2 YEARS DURING THE MAINTENANCE PERIOD AND SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUY'S IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
23. GRADED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TREE AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS (2 YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGE TO THE COMPANY'S OPERATIONS.
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTALMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

1. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR SOD.
4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

CITY OF NOVI NONLIVING DURABLE MATERIAL NOTES:

- NONLIVING DURABLE MATERIAL**
1. MULCH FOR ALL PLANTINGS SHALL BE PREMIUM SHREDDED HARDWOOD AND SHALL NOT BE ARTIFICIALLY COLORED. NO CYPRESS WOOD MULCH OR RUBBER MULCH IS TO BE USED.
 2. TREES SHALL BE MULCHED TO A 3 INCHES OVERALL DEPTH AT PLANTING.
 3. SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE MULCHED TO A 2 INCHES OVERALL DEPTH AT PLANTING.
 4. ALL LAWN TREES SHALL BE PLANTED WITH A 4 FOOT DIAMETER CIRCLE OF THE SHREDDED HARDWOOD BARK MULCH.
 5. MULCH SHALL BE PULLED BACK 3 INCHES FROM THE TREE TRUNK IN A CIRCLE DOWN TO THE ROOT BALL DIRT TO EXPOSE THE ROOT COLLAR TO AIR. NO "MULCHING" MULCHING IS ALLOWED AT PLANTING OR IN FUTURE APPLICATIONS OF MULCH.
 6. IF A ROOTBALL'S DIRT IS PILED UP ON THE TRUNK, IT SHOULD BE REMOVED TO EXPOSE THE ROOT FLARE.
 7. FOR FIRE SAFETY, SHREDDED HARDWOOD BARK IS NOT TO BE INSTALLED ADJACENT TO OR WITHIN 4 FEET OF BUILDINGS THAT ARE CONSTRUCTED OF COMBUSTIBLE MATERIALS. PLANTINGS ADJACENT TO COMBUSTIBLE BUILDINGS SHALL BE MULCHED WITH A NON-COMBUSTIBLE MATERIAL, TYPICALLY MARKETED AS LANDSCAPE MULCH. THE COLOR OF SUCH MATERIALS SHALL BE NATURAL OR COMBUSTIBLE WITH THE BUILDING.
 8. GRAVEL TYPE MULCHES ARE NOT PERMITTED WITHIN OR IMMEDIATELY ADJACENT TO PAVED PARKING LOTS OR ROADWAYS. APPROVAL OF TYPE, DEPTH AND SPECIFIC LOCATION FOR GRAVEL MULCH IS TO BE APPROVED BY THE CITY.
 9. SPAGNUM PEAT/BOG PEAT IS HARVESTED FROM FUNCTIONING WETLANDS SO IT SHALL NOT BE USED FOR LANDSCAPE PURPOSES. COMPOST MAY BE USED AS AN ALTERNATIVE.
 10. PLASTIC OR OTHER ARTIFICIAL REPLICAS OF PLANT MATERIAL ARE PROHIBITED.

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NOVI TOWN CENTER

PROPOSED CAR WASH IMPROVEMENTS

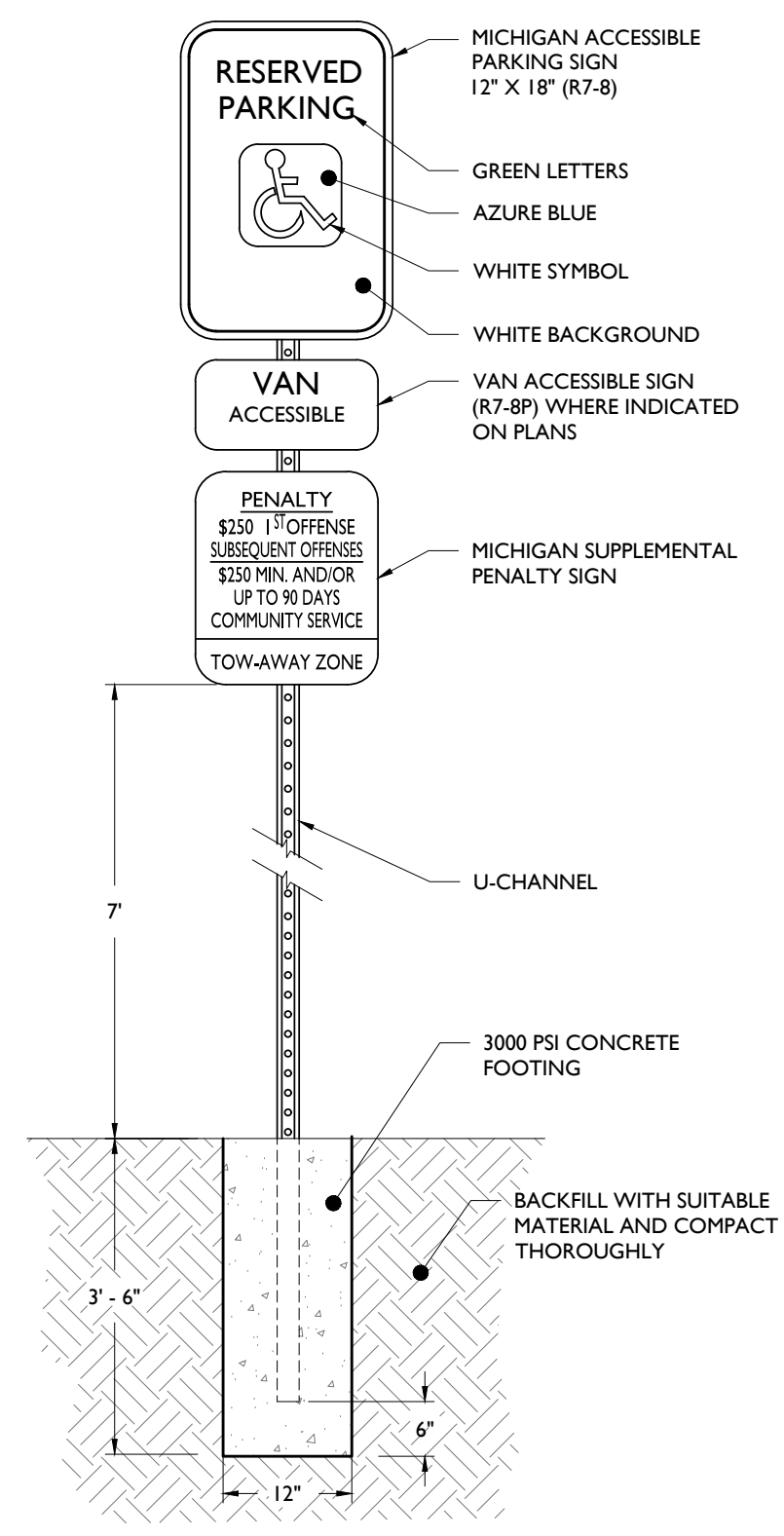
PID: 50-22-14-35-1-045
26100 NOVY ROAD
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48375

NOVI TOWN CENTER

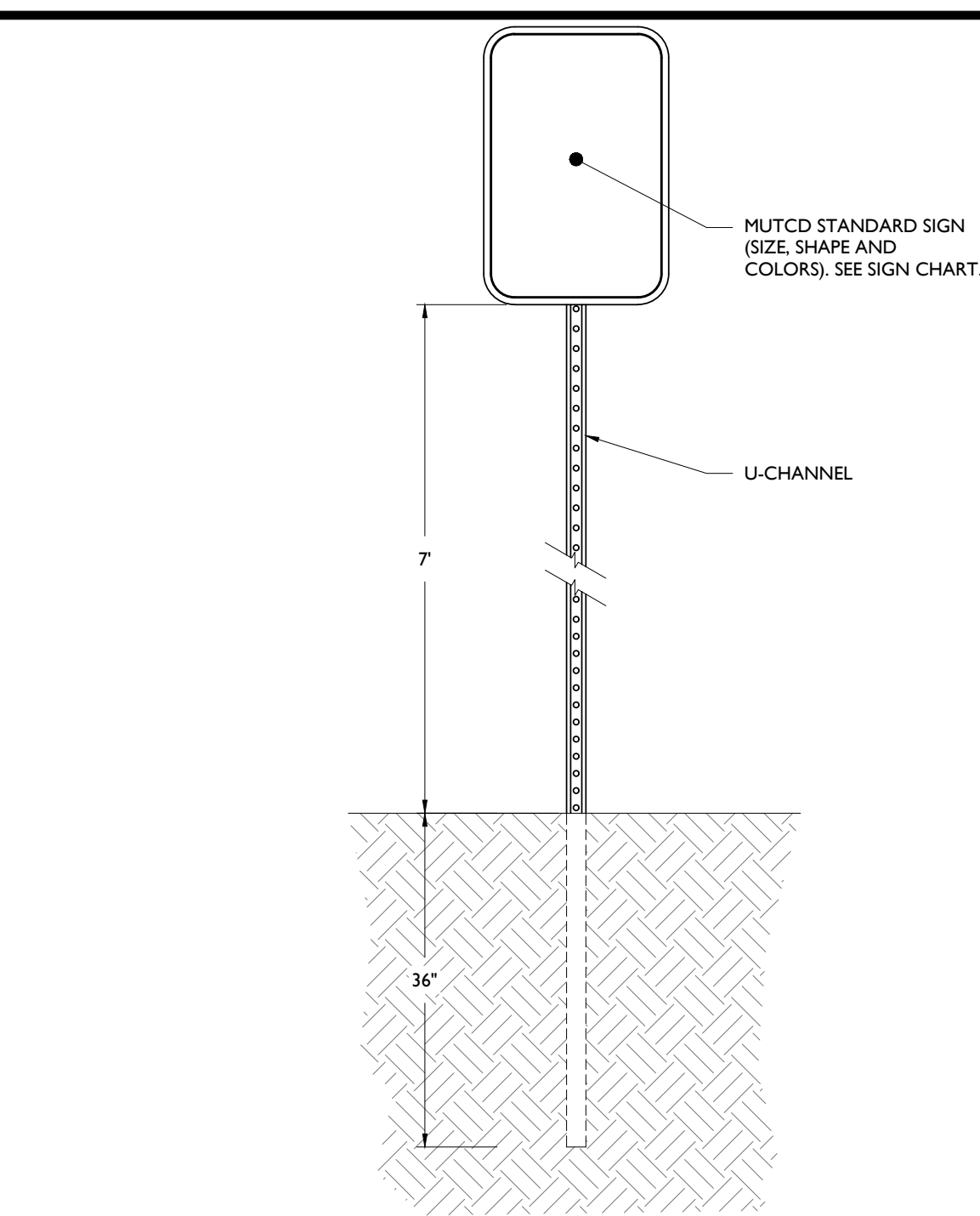
CITY PROJECT NUMBER: J5P24-25
SCALE: AS SHOWN PROJECT ID: DET-240225

TITLE: LANDSCAPING DETAILS

DRAWING: C-9



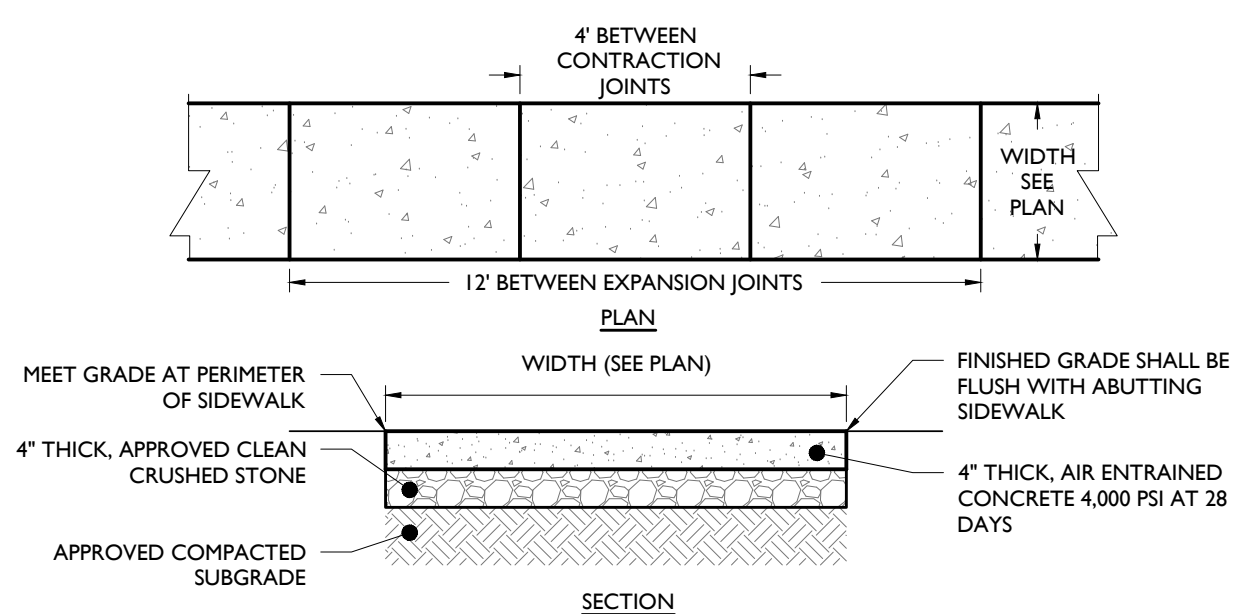
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

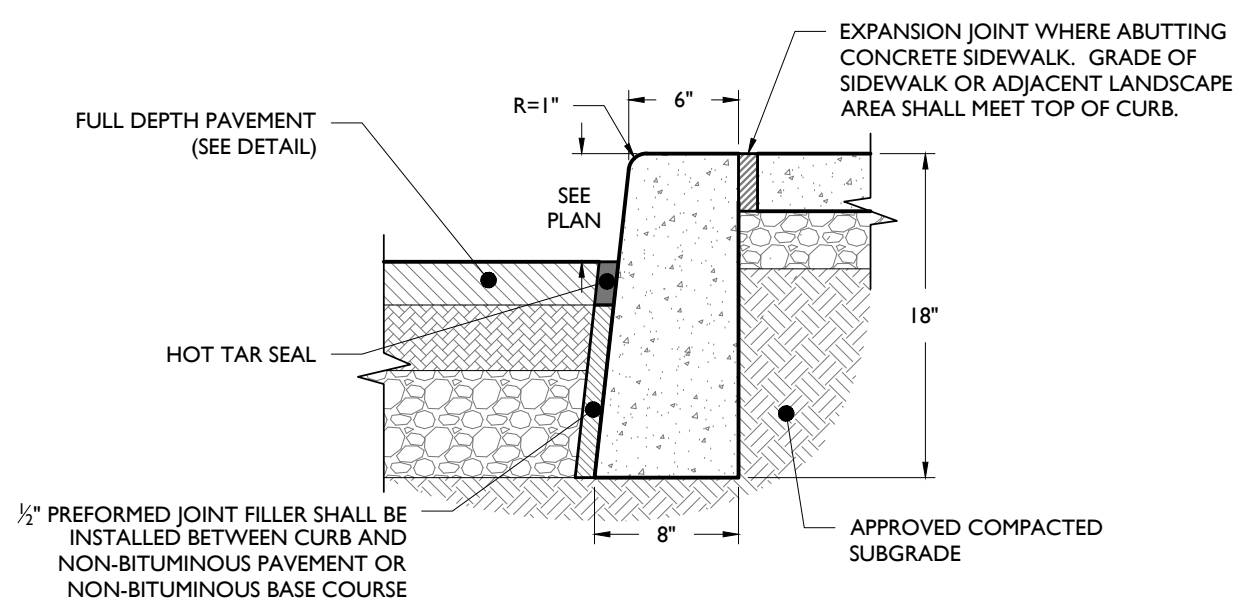
SIGN POST DETAIL & SIGN DATA TABLE
NOT TO SCALE

NOTE:
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.



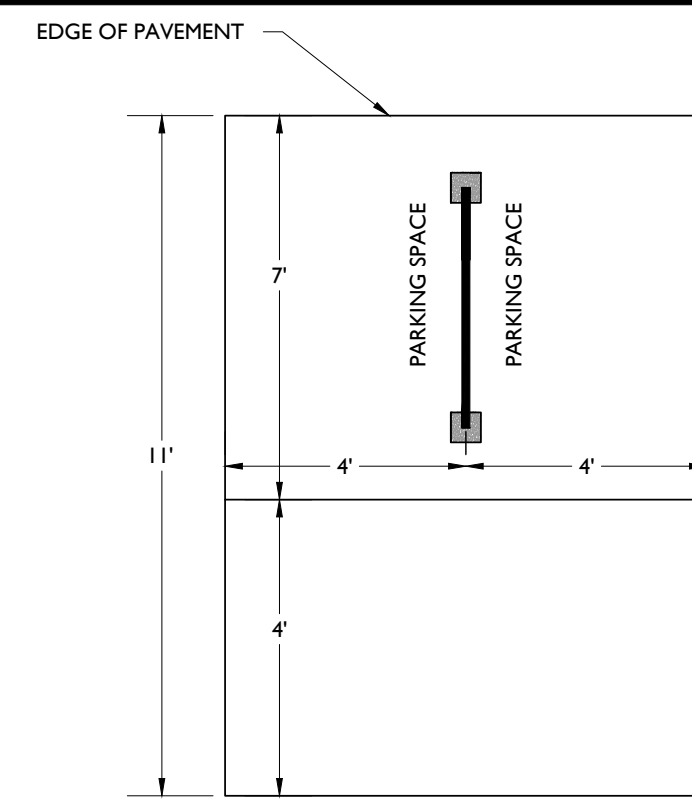
CONCRETE WALKWAY DETAIL
NOT TO SCALE

NOTES:
 1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

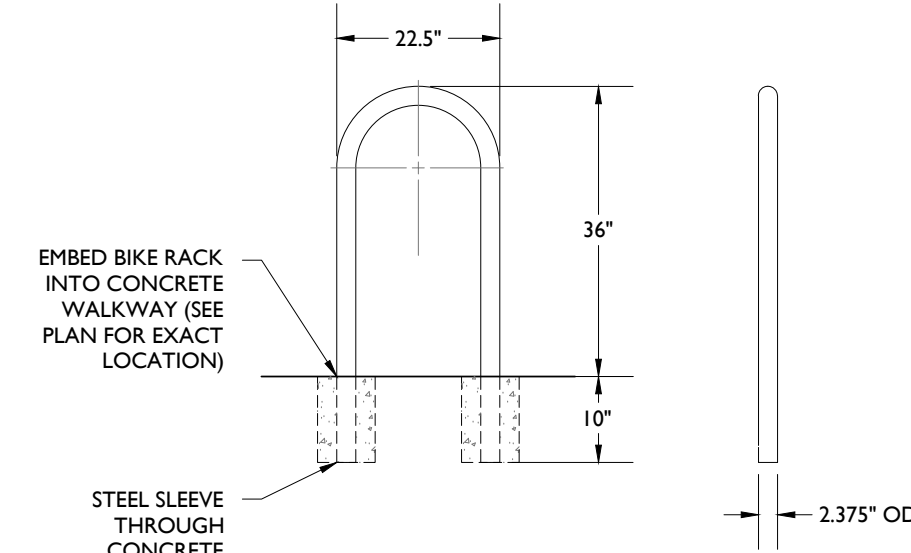


CONCRETE CURB DETAIL
NOT TO SCALE

NOTES:
 1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

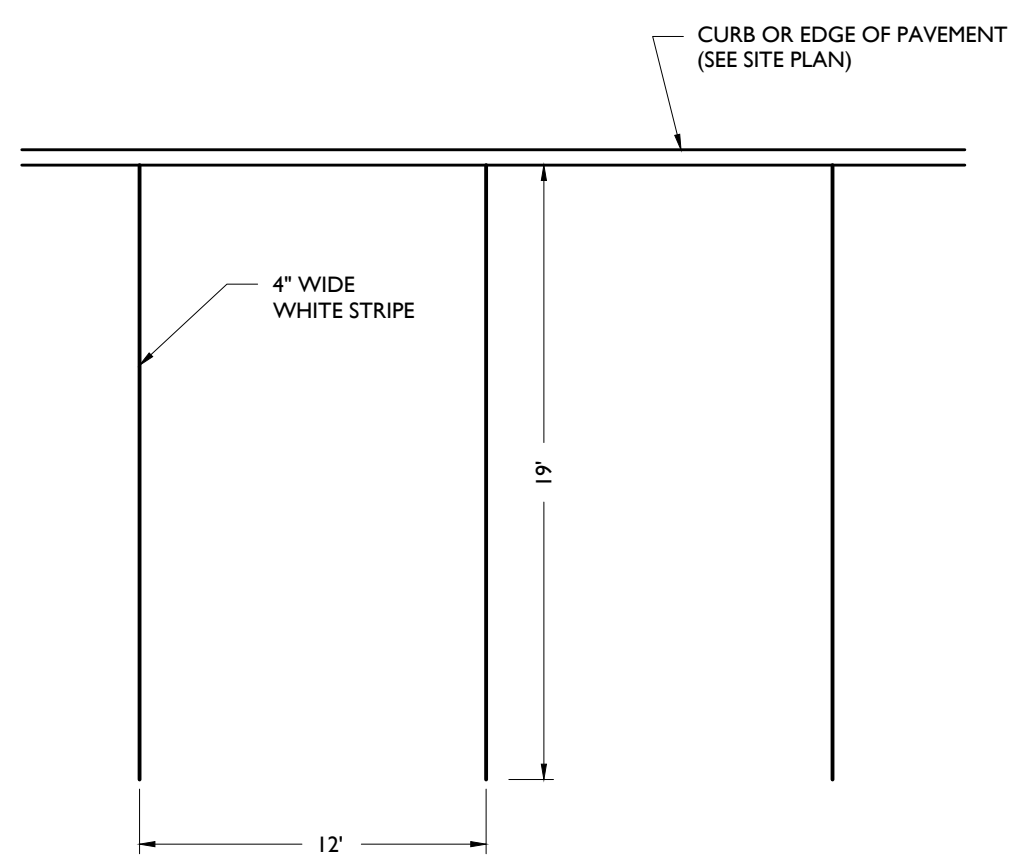


BIKE RACK LAYOUT
NOT TO SCALE

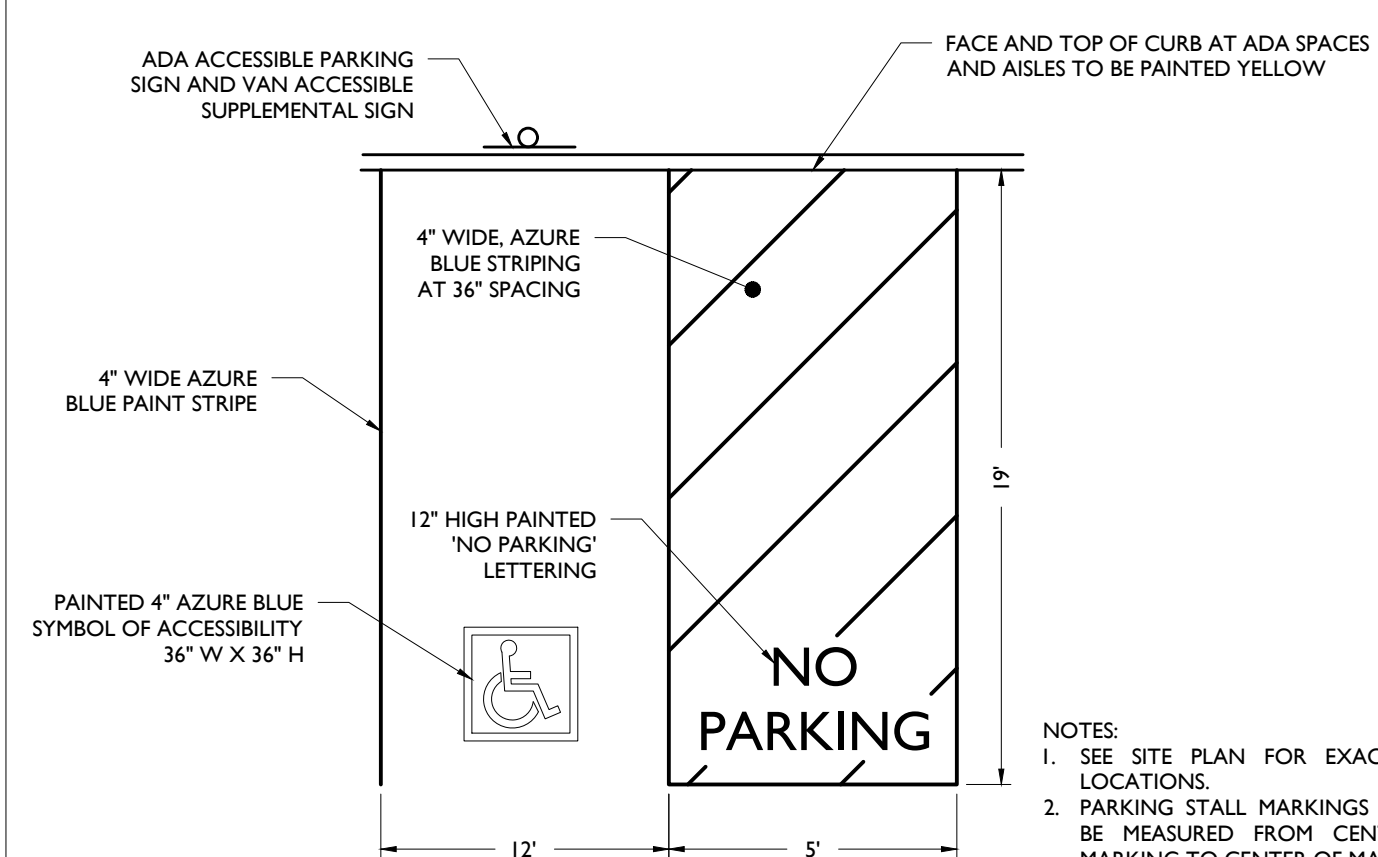


HOOP RACK HD IN GROUND MOUNTED BIKE RACK DETAIL
NOT TO SCALE

NOTES:
 1. BIKE RACK TO BE MANUFACTURED BY DERO BIKE RACKS OR APPROVED EQUAL.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

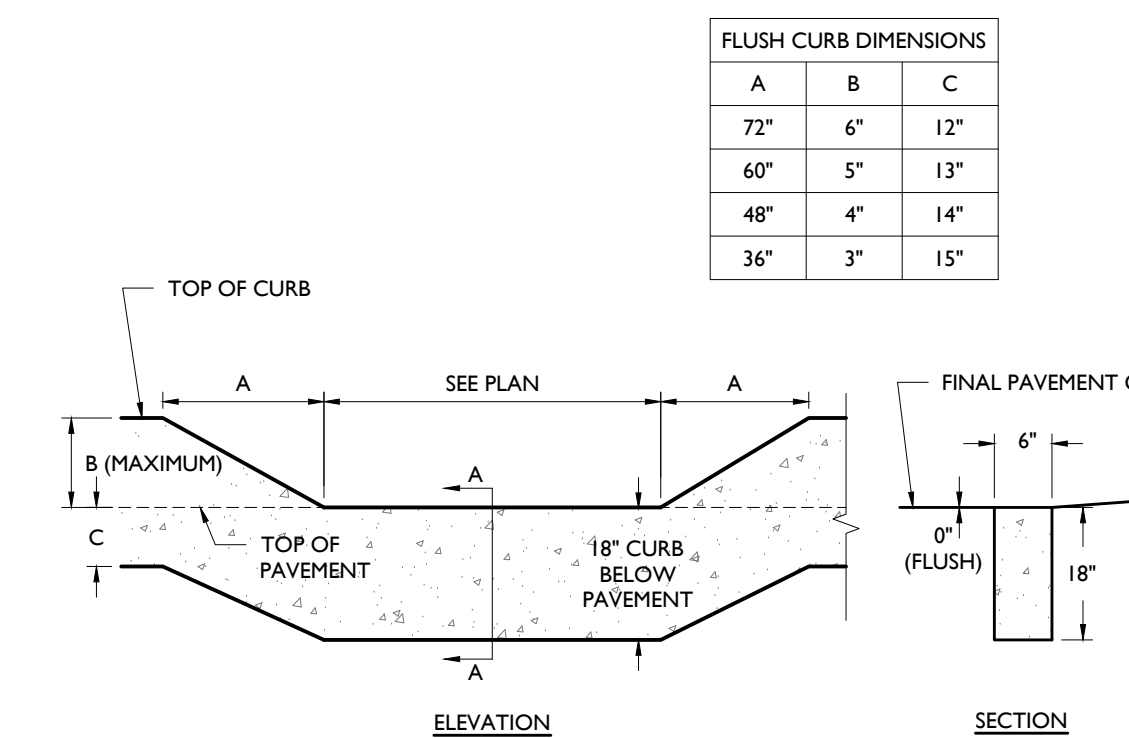


PARKING STALL MARKINGS
NOT TO SCALE

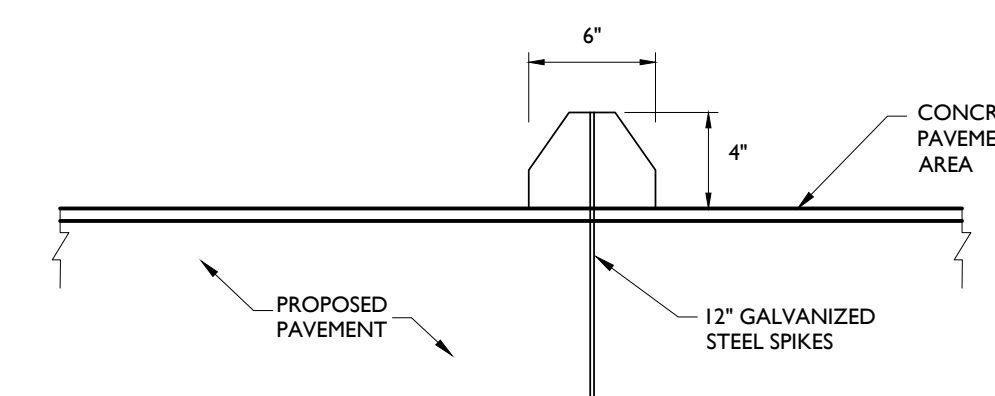


ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

NOTES:
 1. SEE SITE PLAN FOR EXACT SIGN LOCATIONS.
 2. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

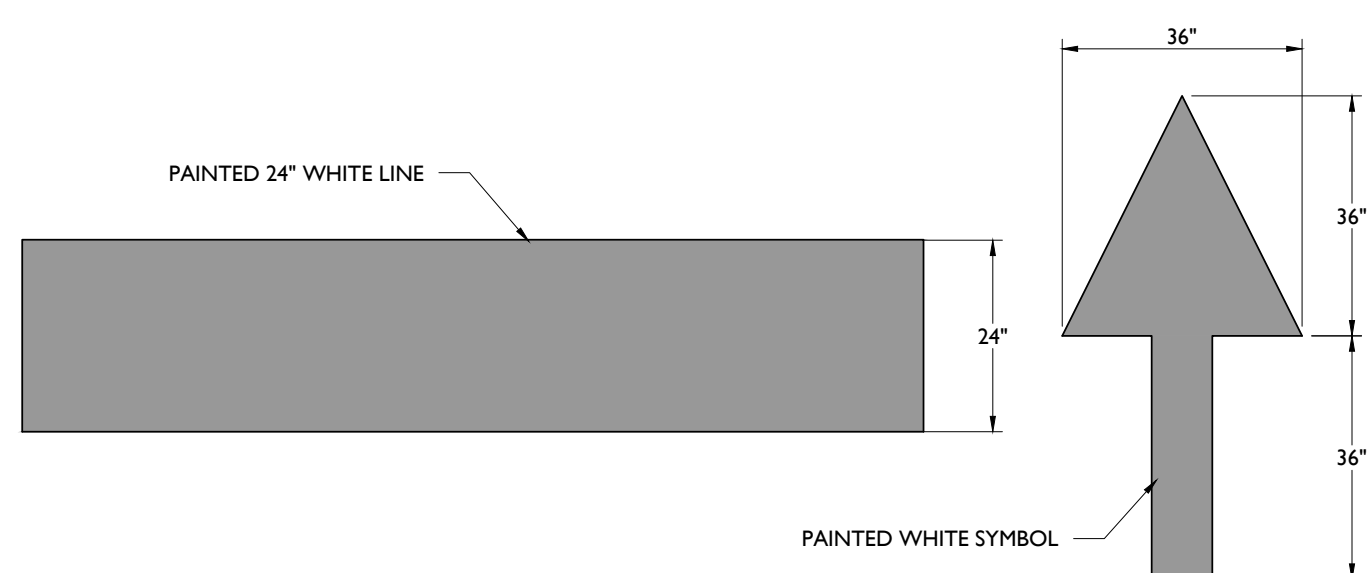


FLUSH CURB DETAIL
NOT TO SCALE

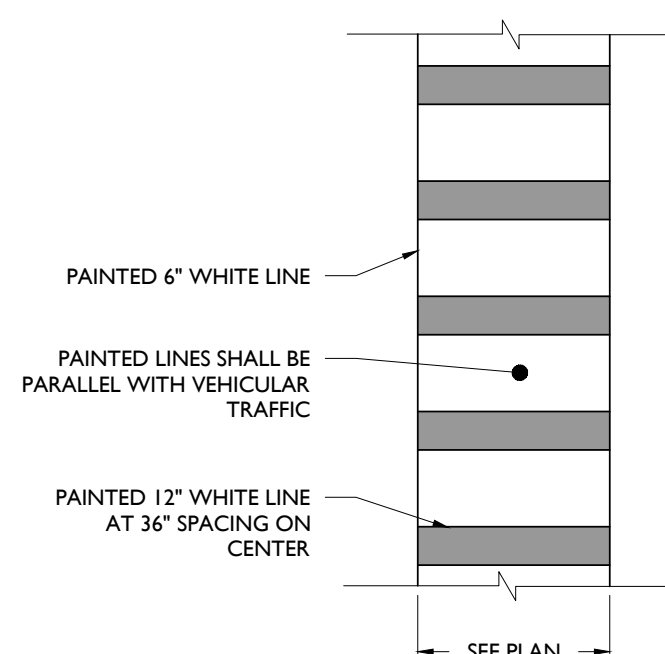


RUBBER WHEEL STOP DETAIL
NOT TO SCALE

NOTES:
 1. WHEEL STOP SHALL BE 6' LONG.
 2. WHEEL STOP SHALL BE PREFABRICATED TRAFFIC SAFETY STORE 6' RECYCLED RUBBER PARKING BLOCK WITH HARDWARE OR APPROVED EQUIVALENT.



STOP BAR & ARROW DETAILS
NOT TO SCALE



CROSSWALK DETAIL
NOT TO SCALE

PAVEMENT STRIPING & MARKINGS NOTES:

- ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
- ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
- UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

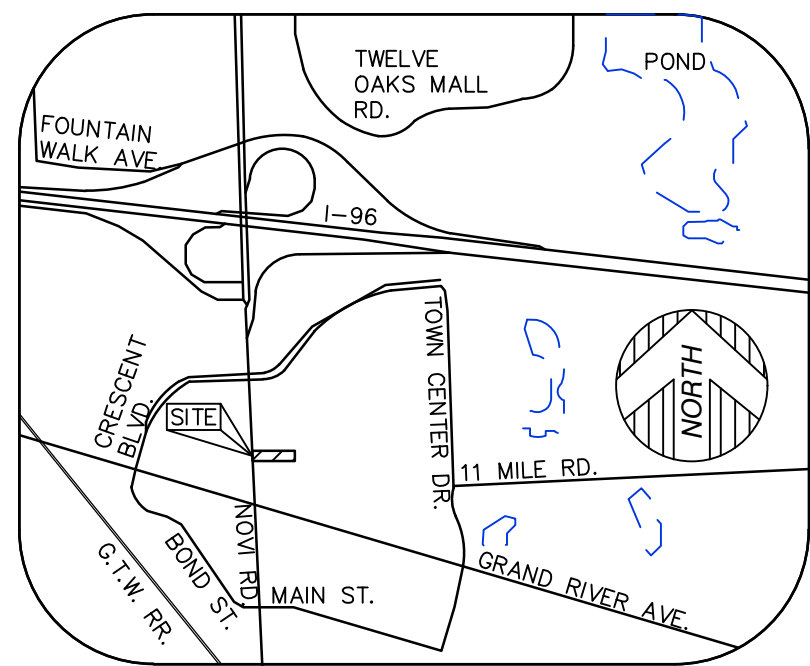
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SITE IMPROVEMENT PLANS
NOVI TOWN CENTER
 PROPOSED CAR WASH IMPROVEMENTS
 PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



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 CITY PROJECT NUMBER: JSP24-25
 SCALE: NTS PROJECT ID: DET-240225
 TITLE:
CONSTRUCTION DETAILS
 DRAWING:
C-10

V:\072024\DET-240225-AJUNG_240824\NOVI_TOWN_CENTER\DWG\DET-240225-C-10.DWG



VICINITY MAP
(NOT TO SCALE)

PARCEL AREA
23,359± SQUARE FEET = 0.54± ACRES

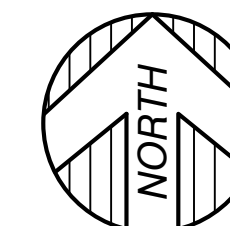
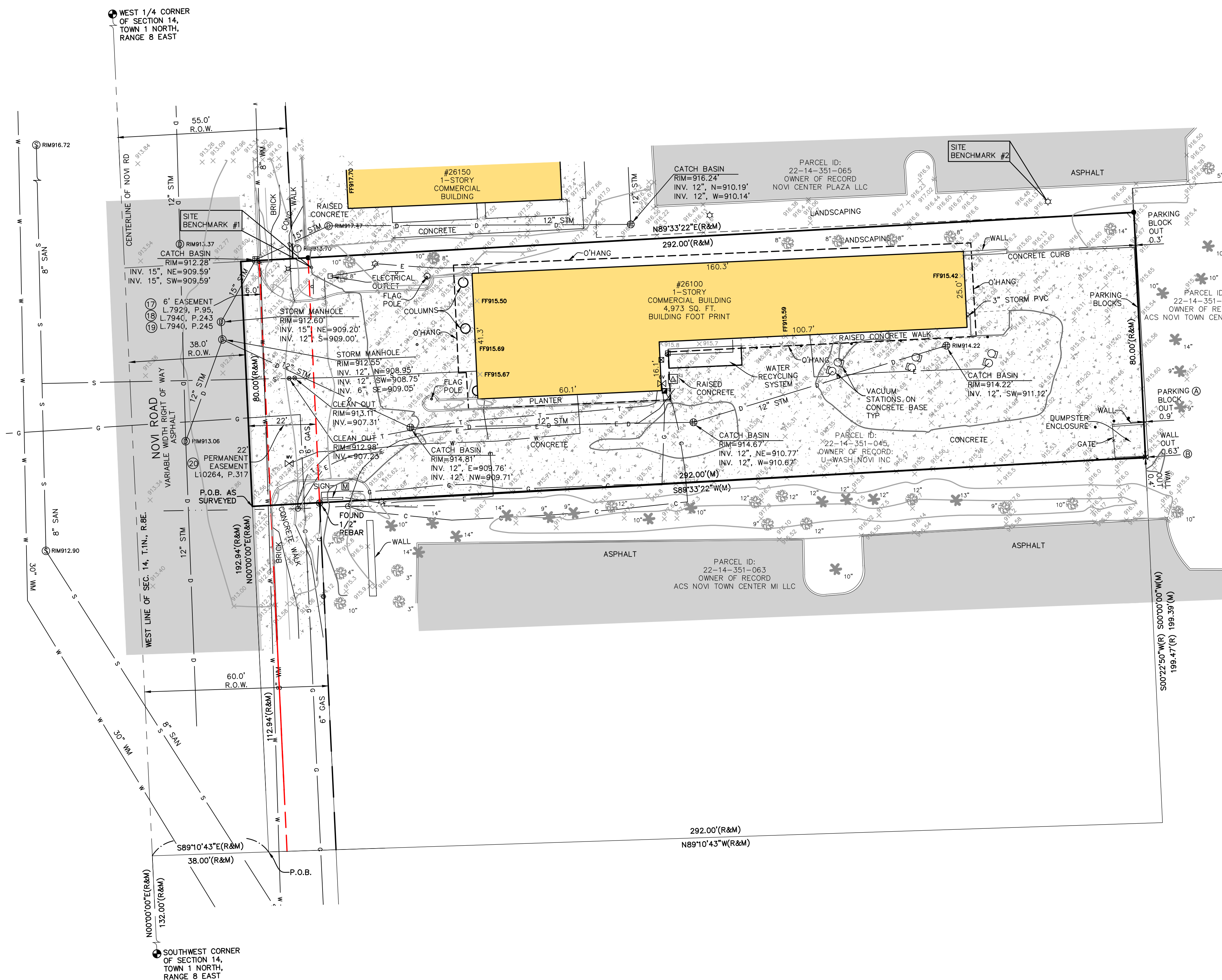
PARKING
PARKING STRIPES ARE FADED AND IN POOR CONDITION. UNABLE TO DETERMINE PARKING COUNT AT TIME OF SURVEY.

BASIS OF BEARING
NORTH 00°00'00" EAST, BEING THE WESTERLY LINE OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, AS DESCRIBED

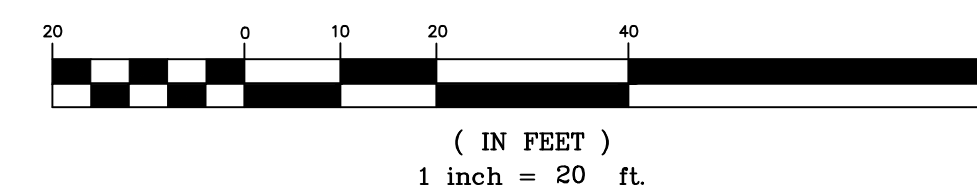
FLOOD NOTE
SUBJECT PARCEL LIES WITHIN:
OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0626F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
✕	SET X-CUT
○	FOUND MONUMENT (AS NOTED)
⊙	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
○ 0.00	GROUND ELEVATION
⊠	ELECTRIC METER
⊡	ELECTRIC PANEL
⊞	TRANSFORMER
○	UTILITY POLE
○	GAS LINE MARKER
○	GAS VALVE
○	LIGHT POLE WITH STREET LAMP
○	TELEPHONE MANHOLE
○	CABLE TV RISER
○	CLEANOUT
○	SANITARY MANHOLE
○	ROUND CATCH BASIN
○	SQUARE CATCH BASIN
○	STORM DRAIN MANHOLE
○	BOLLARD
○	FLAGPOLE
○	LIGHTPOST/LAMP POST
○	MAIL BOX
○	SINGLE POST SIGN
○	DECIDUOUS TREE (AS NOTED)
—	PARCEL BOUNDARY LINE
—	PLATTED LOT LINE
—	ADJOINER PARCEL LINE
—	SECTION LINE
—	EASEMENT (AS NOTED)
—	BUILDING
—	BUILDING OVERHANG
—	CENTERLINE ROAD
—	CONCRETE CURB
—	RAISED CONCRETE
—	EDGE OF CONCRETE (CONC.)
—	EDGE OF ASPHALT (ASPH.)
—	EDGE OF BRICK
—	FENCE (AS NOTED)
—	WALL (AS NOTED)
—	OVERHEAD UTILITY LINE
E	ELECTRIC LINE
C	UNDERGROUND CABLE
T	COMMUNICATION LINE
G	GAS LINE
S	SANITARY LINE
D	STORM LINE
W	WATER LINE
—	MINOR CONTOUR LINE
—	MAJOR CONTOUR LINE
■	BUILDING AREA
■	ASPHALT
■	CONCRETE



GRAPHIC SCALE



BENCHMARK

SITE BENCHMARK #1
CUT "X" IN LIGHT POLE BASE NEAR NORTHWEST CORNER OF SITE.
ELEVATION = 915.85' (NAVD 88)

SITE BENCHMARK #2
CUT "X" IN LIGHT POLE BASE NEAR 25'± WEST OF NORTHEAST CORNER OF SITE.
ELEVATION = 918.08' (NAVD 88)

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

NORTH 80 FEET OF THE FOLLOWING DESCRIBED LAND:
A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 192.94 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 199.47 FEET; THENCE NORTH 89 DEGREES 10 MINUTES 43 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

PROPERTY DESCRIPTION AS SURVEYED

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS A POINT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 112.94 FEET TO THE POINT OF BEGINNING; THENCE PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 80.00 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 80.00 FEET; THENCE SOUTH 89 DEGREES 33 MINUTES 22 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE TITLE CONNECT, LLC COMMITMENT NO. 1013-113895, REV. NO. 6, DATED OCTOBER 15, 2024, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

17. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7929, PAGE 95. (AS SHOWN)

18. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 243. (AS SHOWN)

19. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 245. (AS SHOWN)

20. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN LIBER 10264, PAGE 317. (AS SHOWN)

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

3. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

4. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

5. THE UTILITIES APPEAR TO ENTER THE PROPERTY FROM NOVI ROAD PUBLIC RIGHT OF WAY.

6. POSSIBLE ENCROACHMENT:
A) PARKING BLOCK ON EAST SIDE OF SITE
B) WALL ON EAST SIDE OF SITE

SURVEYOR'S CERTIFICATION

TO NATIONAL EXPRESS WASH II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE, TITLE CONNECT LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B1, 7C, 8, 9, 11A, 16 AND 17 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 10/14/24.

DATE OF PLAT OR MAP: 10/17/24

C:\Users\tsycko\Desktop\Signatures-Dmy.jpg C:\Users\tsycko\Desktop\Seal-Dmy.jpg

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
Tsycko@kemttec-survey.com

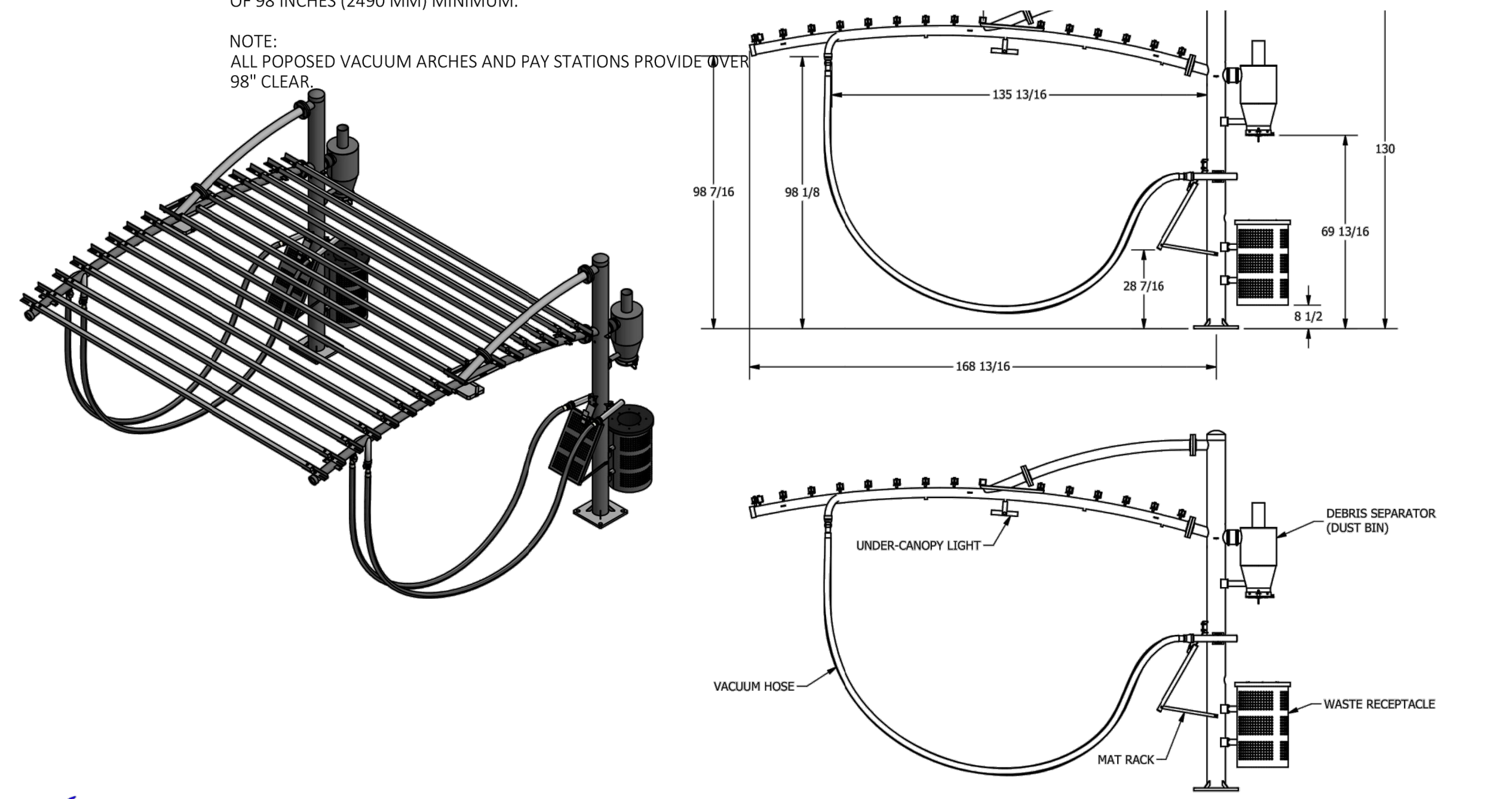
ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: ALRIG USA
26100 NOVI ROAD, NOVI, MICHIGAN,
PART OF SECTION 14,
TOWN 1 NORTH, RANGE 8 EAST

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Grand Blanc
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NO.	DATE	BY	REVISION	DESCRIPTION
1	10-23-24	JO	1	ADDITIONAL UTILITY INFORMATION
2	10-25-24	ATS	2	REVISED TITLE WORK
3	12-18-24	JO	3	REVISED WATERLINE & ADD TREES

2020 FBC-A 502.5 VERTICAL CLEARANCE.
 PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR
 ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE
 OF 98 INCHES (2490 MM) MINIMUM.

NOTE:
 ALL POPOSED VACUUM ARCHES AND PAY STATIONS PROVIDE OVER
 98" CLEAR

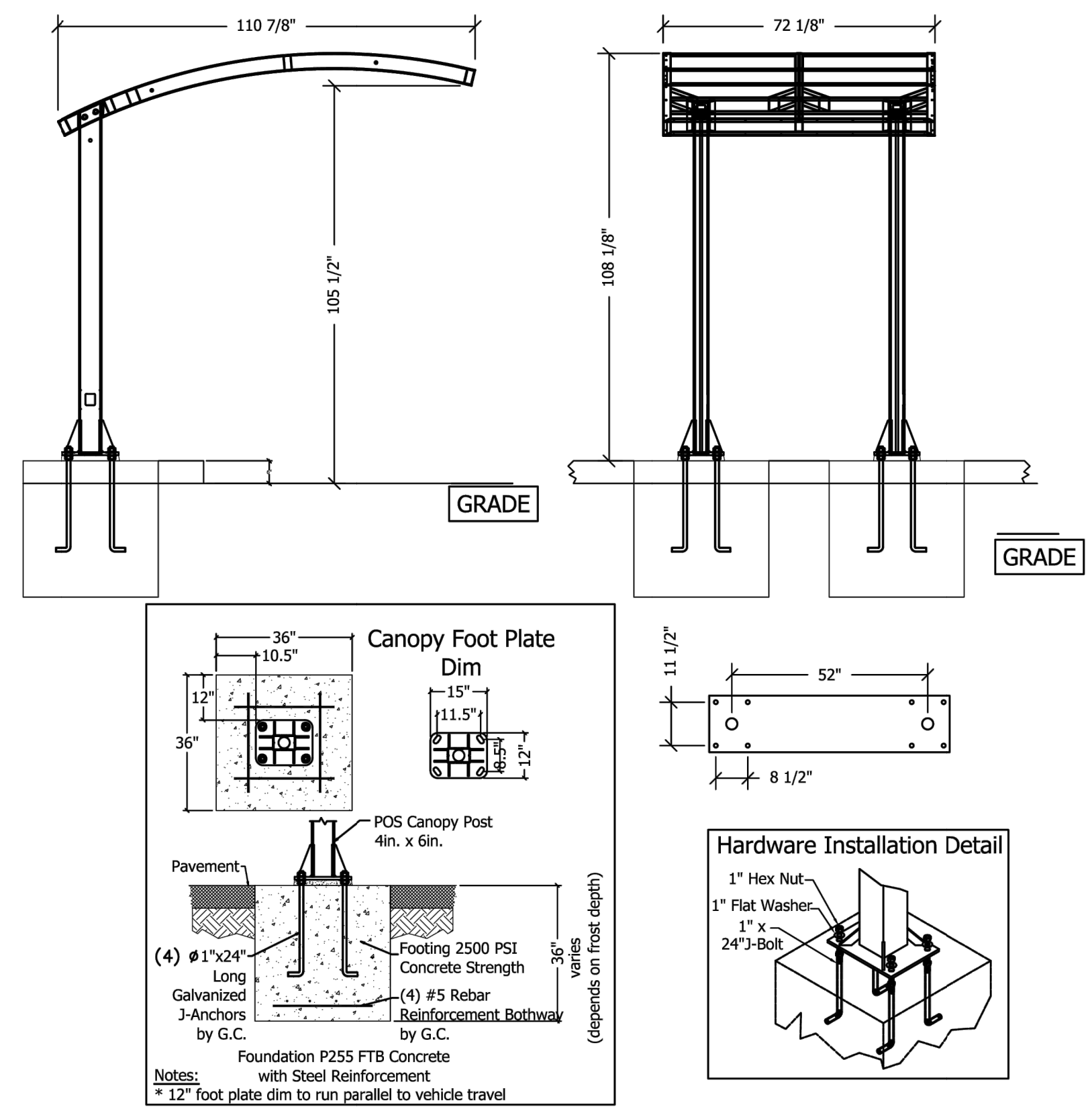


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 1350 76 TECH DRIVE
 SHERIDAN, WY 82801
 300.857.9644
 www.vacutec.com

PLEASE CONTACT VACUTECH FOR PRICING AND QUESTIONS

VACUUM CANOPY DETAIL

NOT TO SCALE



6 SONNY'S POS CURVE CANOPY FOUNDATION

POINT OF SALES DETAIL

NOT TO SCALE

NOTES:
 I. FOUNDATIONS TO BE DESIGNED BY OTHERS

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

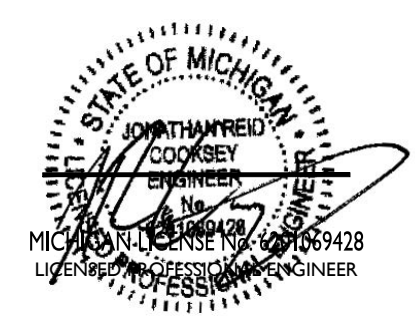
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SITE IMPROVEMENT PLANS
NOVI TOWN CENTER
 PROPOSED CAR WASH
 IMPROVEMENTS

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



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CITY PROJECT NUMBER: JSP24-25

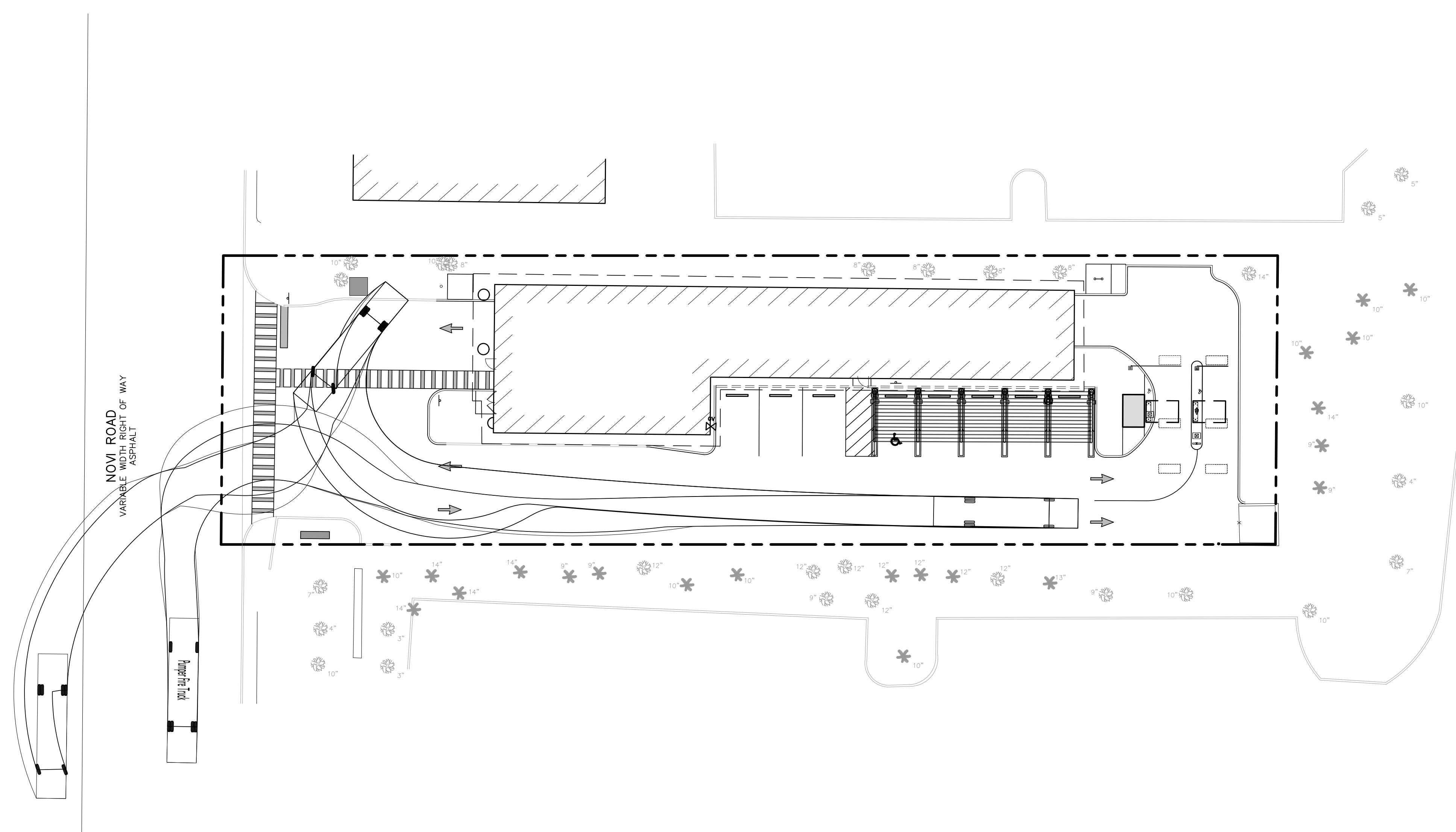
SCALE: NTS PROJECT ID: DET-240225

TITLE:
**CONSTRUCTION
 DETAILS**

DRAWING:
C-11

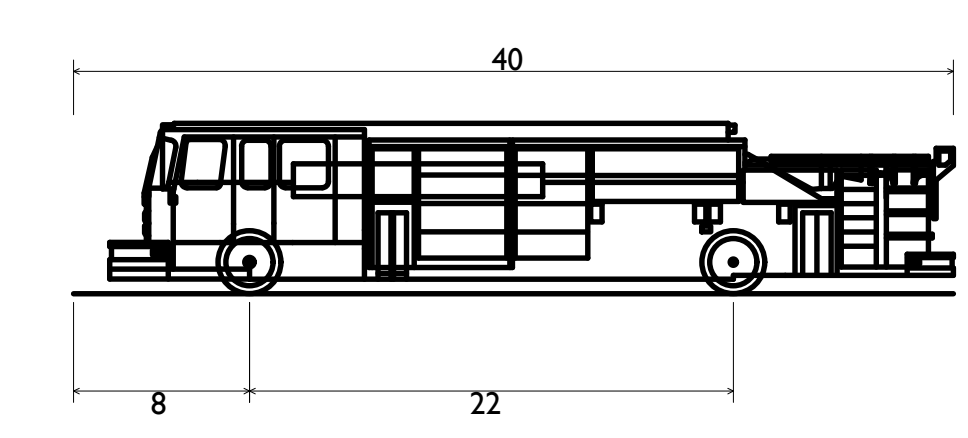
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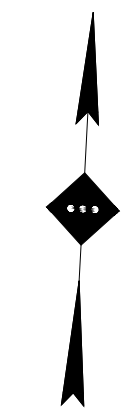
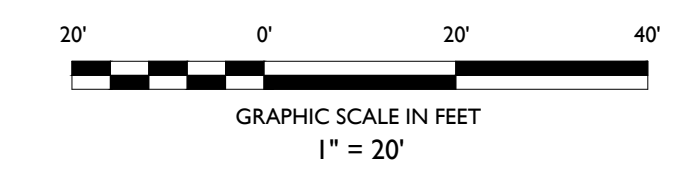


NOVI ROAD
VARIABLE WIDTH RIGHT OF WAY
ASPHALT

Pumper Fire Truck



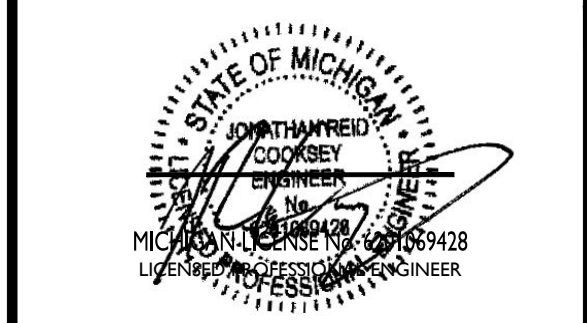
Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



SITE IMPROVEMENT PLANS

**NOVI TOWN CENTER
PROPOSED CAR WASH
IMPROVEMENTS**

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



STONEFIELD
engineering & design

CITY PROJECT NUMBER: JSP24-25
 SCALE: 1" = 20' PROJECT ID: DET-24025

TITLE:
**FIRE TRUCK
CIRCULATION
EXHIBIT**

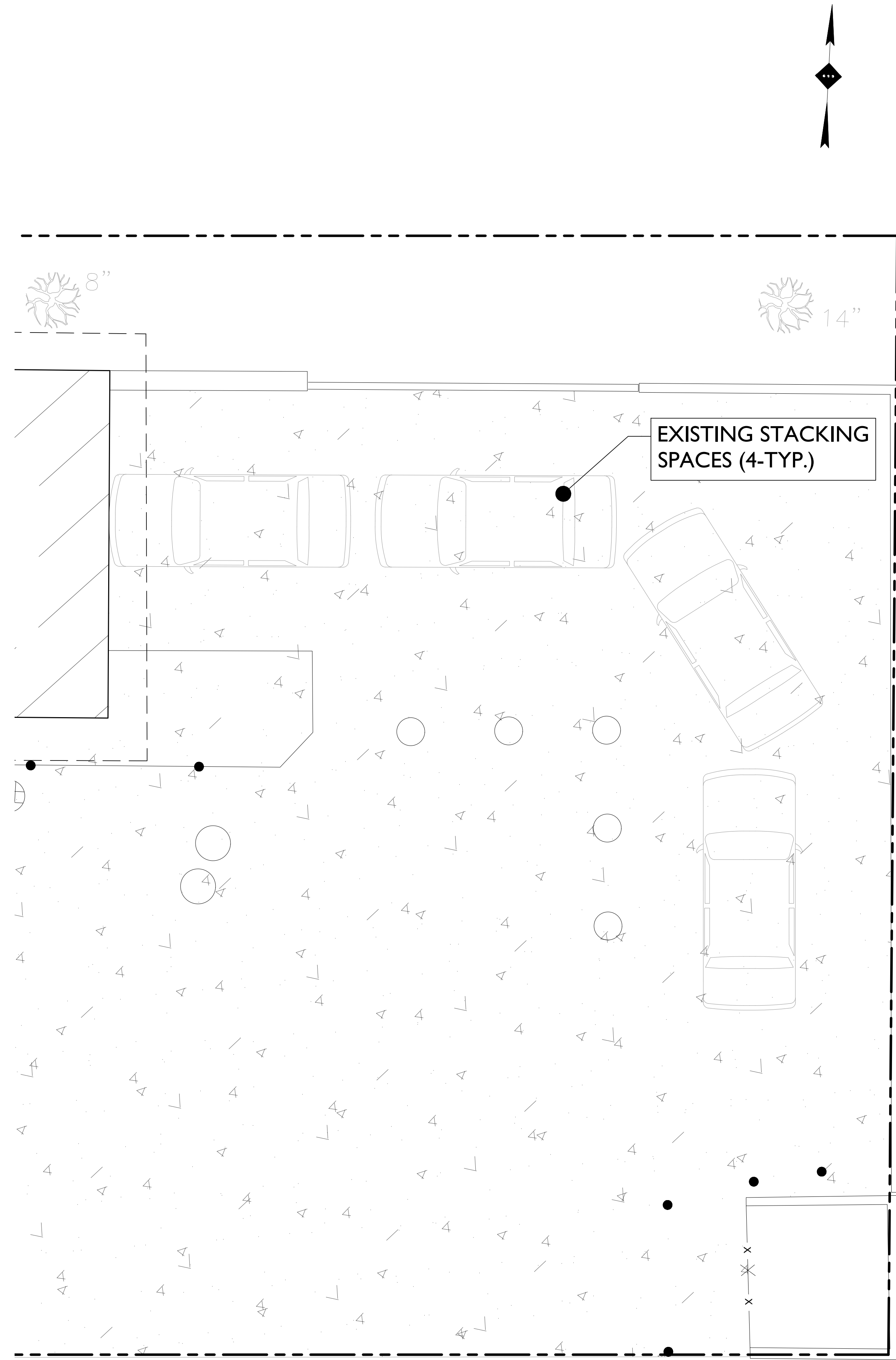
DRAWING:
EX-I

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 www.stonefielddesign.com
 5555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
 Phone 248.247.1115

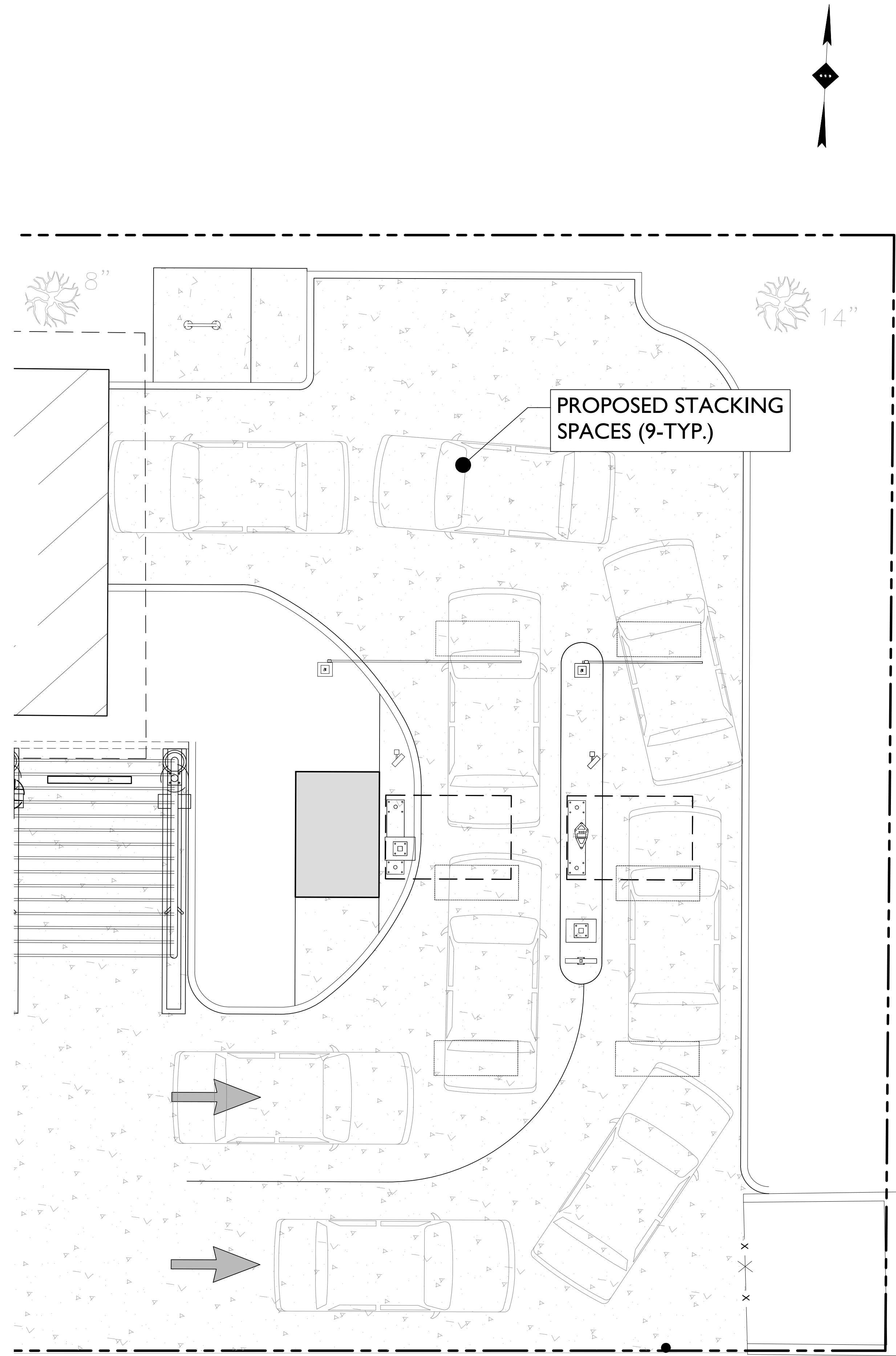
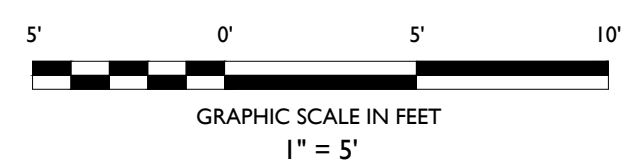
NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY	DESCRIPTION
4	02/01/2025	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
3	12/22/2024	VF	FOR PRELIMINARY SITE PLAN RESUBMISSION
2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/22/2024	JSS	FOR PRE-APPLICATION MEETING

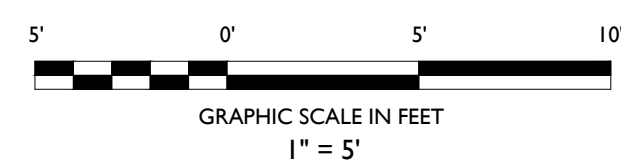
V:\2024\48375\48375.dwg 240225 10:00 AM 10/24/2024 10:00 AM 10/24/2024 10:00 AM 10/24/2024 10:00 AM



PRE DEVELOPMENT VEHICLE STACKING



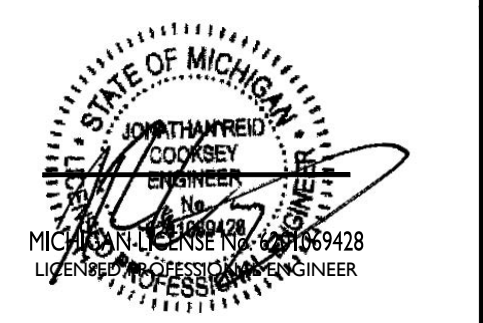
POST DEVELOPMENT VEHICLE STACKING



SITE IMPROVEMENT PLANS

NOVI TOWN CENTER
PROPOSED CAR WASH
IMPROVEMENTS

PID: 50-22-14-351-045
 26100 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48375



CITY PROJECT NUMBER: JSP24-25

SCALE: 1" = 5' PROJECT ID: DET-240225

TITLE:
PRE VS POST VEHICLE STACKING EXHIBIT

DRAWING:

EX-2

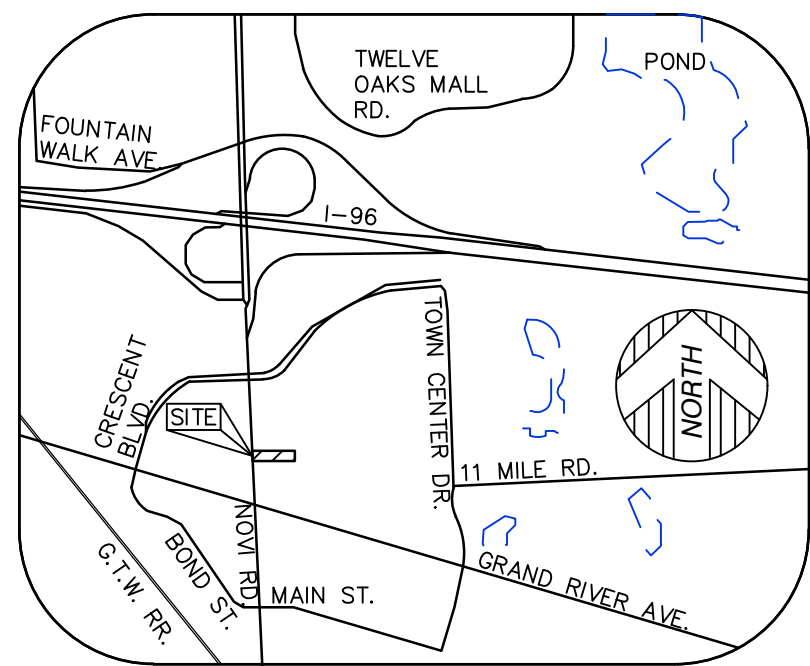
NOT APPROVED FOR CONSTRUCTION


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2	11/05/2024	VF	FOR PRELIMINARY SITE PLAN APPROVAL
1	08/29/2024	JSS	FOR PRE-APPLICATION MEETING



VICINITY MAP
(NOT TO SCALE)

PARCEL AREA
23,359± SQUARE FEET = 0.54± ACRES

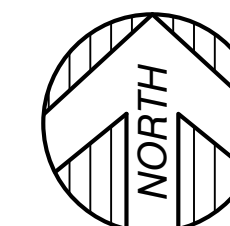
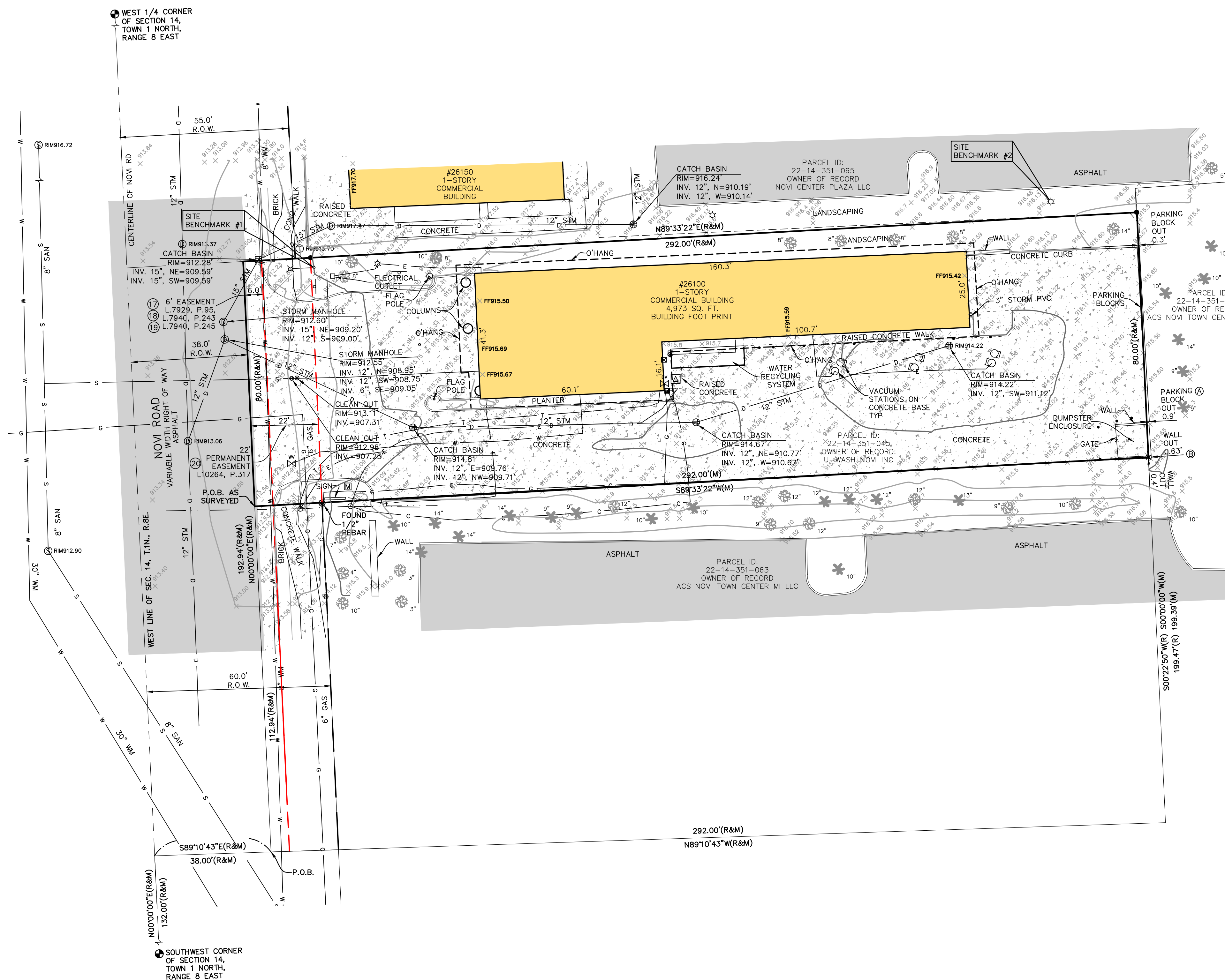
PARKING
PARKING STRIPES ARE FADED AND IN POOR CONDITION. UNABLE TO DETERMINE PARKING COUNT AT TIME OF SURVEY.

BASIS OF BEARING
NORTH 00°00'00" EAST, BEING THE WESTERLY LINE OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, AS DESCRIBED

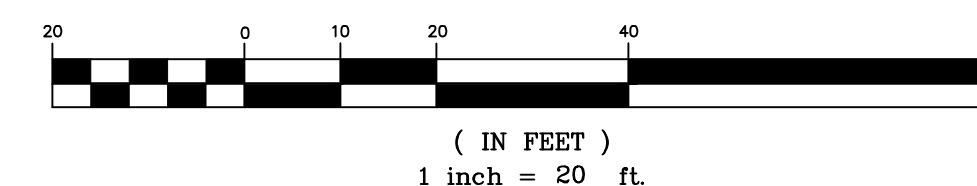
FLOOD NOTE
SUBJECT PARCEL LIES WITHIN:
OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0626F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
✕	SET X-CUT
○	FOUND MONUMENT (AS NOTED)
⊙	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
○ 0.00	GROUND ELEVATION
⊠	ELECTRIC METER
⊡	ELECTRIC PANEL
⊞	TRANSFORMER
○	UTILITY POLE
○	GAS LINE MARKER
○	GAS VALVE
○	LIGHT POLE WITH STREET LAMP
○	TELEPHONE MANHOLE
○	CABLE TV RISER
○	CLEANOUT
○	SANITARY MANHOLE
○	ROUND CATCH BASIN
○	SQUARE CATCH BASIN
○	STORM DRAIN MANHOLE
○	BOLLARD
○	FLAGPOLE
○	LIGHTPOST/LAMP POST
○	MAIL BOX
○	SINGLE POST SIGN
○	DECIDUOUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	ADJOINER PARCEL LINE
---	SECTION LINE
---	EASEMENT (AS NOTED)
---	BUILDING
---	BUILDING OVERHANG
---	CENTERLINE ROAD
---	CONCRETE CURB
---	RAISED CONCRETE
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF ASPHALT (ASPH.)
---	EDGE OF BRICK
---	FENCE (AS NOTED)
---	WALL (AS NOTED)
---	OVERHEAD UTILITY LINE
E	ELECTRIC LINE
C	UNDERGROUND CABLE
T	COMMUNICATION LINE
G	GAS LINE
S	SANITARY LINE
D	STORM LINE
W	WATER LINE
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
■	BUILDING AREA
■	ASPHALT
■	CONCRETE



GRAPHIC SCALE



BENCHMARK

SITE BENCHMARK #1
CUT "X" IN LIGHT POLE BASE NEAR NORTHWEST CORNER OF SITE.
ELEVATION = 915.85' (NAVD 88)

SITE BENCHMARK #2
CUT "X" IN LIGHT POLE BASE NEAR 25'± WEST OF NORTHEAST CORNER OF SITE.
ELEVATION = 918.08' (NAVD 88)

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

NORTH 80 FEET OF THE FOLLOWING DESCRIBED LAND:
A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 192.94 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 199.47 FEET; THENCE NORTH 89 DEGREES 10 MINUTES 43 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

PROPERTY DESCRIPTION AS SURVEYED

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS A POINT NORTH, 132.00 FEET AND SOUTH 89 DEGREES 10 MINUTES 43 SECONDS EAST 38.00 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE ALONG A LINE 38.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 112.94 FEET TO THE POINT OF BEGINNING; THENCE PARALLEL TO THE WEST LINE OF SAID SECTION 14, NORTH 80.00 FEET; THENCE NORTH 89 DEGREES 33 MINUTES 22 SECONDS EAST 292.00 FEET; THENCE SOUTH 00 DEGREES 22 MINUTES 50 SECONDS WEST 80.00 FEET; THENCE SOUTH 89 DEGREES 33 MINUTES 22 SECONDS WEST 292.00 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE TITLE CONNECT, LLC COMMITMENT NO. 1013-113895, REV. NO. 6, DATED OCTOBER 15, 2024, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

17. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7929, PAGE 95. (AS SHOWN)

18. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 243. (AS SHOWN)

19. EASEMENT IN FAVOR OF THE CITY OF NOVI, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 7940, PAGE 245. (AS SHOWN)

20. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN LIBER 10264, PAGE 317. (AS SHOWN)

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

3. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

4. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

5. THE UTILITIES APPEAR TO ENTER THE PROPERTY FROM NOVI ROAD PUBLIC RIGHT OF WAY.

6. POSSIBLE ENCROACHMENT:
A) PARKING BLOCK ON EAST SIDE OF SITE
B) WALL ON EAST SIDE OF SITE

SURVEYOR'S CERTIFICATION

TO NATIONAL EXPRESS WASH II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE, TITLE CONNECT LLC.:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B1, 7C, 8, 9, 11A, 16 AND 17 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 10/14/24.

DATE OF PLAT OR MAP: 10/17/24

C:\Users\tsycko\Desktop\Signatures-Dmy.jpg C:\Users\tsycko\Desktop\Seal-Dmy.jpg

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
Tsycko@kemttec-survey.com

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: ALRIG USA
26100 NOVI ROAD, NOVI, MICHIGAN,
PART OF SECTION 14,
TOWN 1 NORTH, RANGE 8 EAST

PROFESSIONAL ENGINEERING,
SURVEYING & ENVIRONMENTAL
SERVICES
KEM-TEC
A GROUP OF COMPANIES
Eastpointe
(800) 285-7222 (1/3) 758-0977
Ann Arbor
(734) 994-0888
Grand Blanc
(888) 694-0001
www.kemttecgroupofcompanies.com

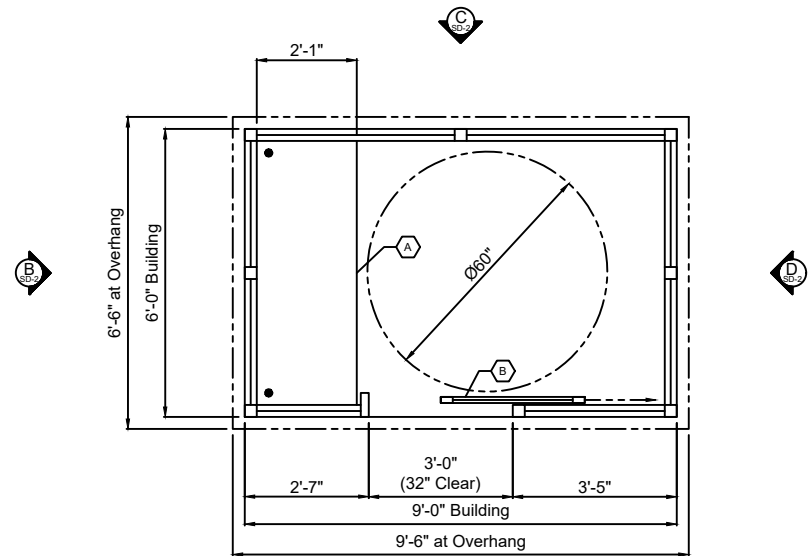
NO.	DATE	BY	REVISION	DESCRIPTION
1	10-23-24	JO	1	ADD ADDITIONAL UTILITY INFORMATION
2	10-25-24	ATS	2	REVISED TITLE WORK
3	12-18-24	JO	3	REVISED WATERLINE & ADD TREES







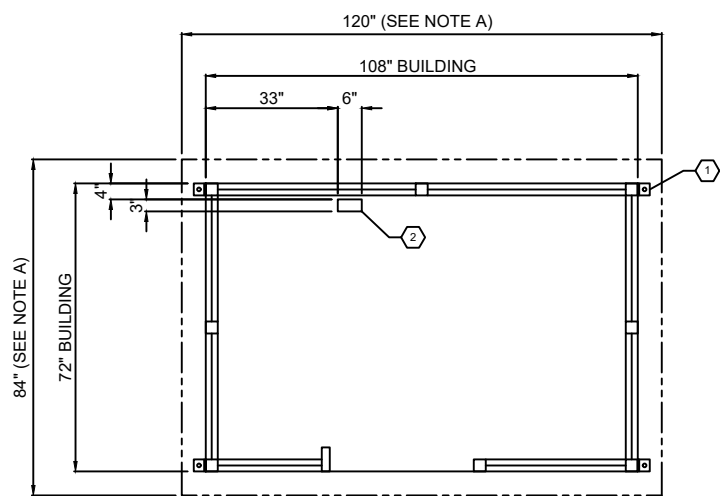




PLAN VIEW

EQUIPMENT

- A. COUNTER WITH 2" GROMMET HOLE. TOP OF COUNTER LOCATED 34" ABOVE FLOOR.
- B. SLIDING DOOR, FULLY WEATHER-STRIPPED WITH HOOK BOLT LOCKSET, BALL BEARING HANGERS, ALUMINUM TRACK WITH FIXED GLASS WINDOW, UPPER HALF.



Foot Print

FLOOR ITEM IDENTIFICATION

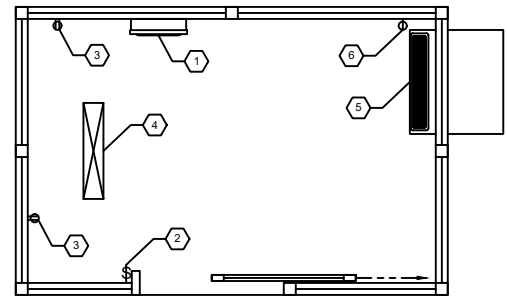
- 1. ANCHORING ANGLE LOCATED AT EACH CORNER.
- 2. FACTORY INSTALLED CUTOUT FOR INCOMING ELECTRICAL POWER SUPPLY.

NOTE A: SUGGESTED MINIMUM CONCRETE SLAB/FOUNDATION

THIS UNIT MUST BE ANCHORED TO CONCRETE SLAB/FOUNDATION

FAILURE TO SECURELY ANCHOR BOOTH MAY RESULT IN OVERTURNING OF UNIT AND SERIOUS INJURY OR DEATH TO OCCUPANT OR TO OTHERS.

DESIGN OF SLAB/FOUNDATION BY OTHERS. CONSULT A PROFESSIONAL ENGINEER FAMILIAR WITH APPLICABLE LOADS AND SITE CONDITIONS FOR THE LOCATION.



Electrical Plan

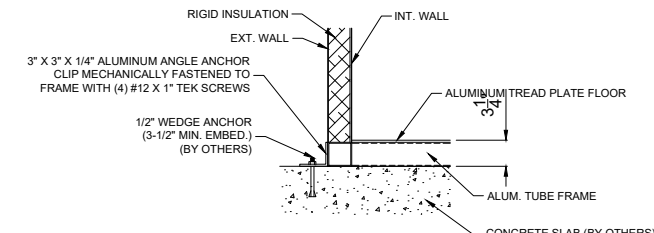
ELECTRICAL NOTES

1. 120/240 VOLT, SINGLE PHASE, 12-CIRCUIT LOAD CENTER PANEL (100 AMP. MAIN BREAKER PROVIDED). NOTE: EQUIPMENT LISTED TO BE POWERED BY 240 VOLTS CAN OPERATE ON 208-240 VOLTS POWER.
2. LIGHT SWITCH.
3. 120 VOLT, DUPLEX RECEPTACLE OUTLET.
4. SURFACE MOUNTED LED LIGHT FIXTURE.
5. 240 VOLT, 12,000 BTU COOL/10,600 BTU HEAT, 208 VOLT, 11,700 BTU COOL/8,600 BTU HEAT, HVAC UNIT WITH WIRELESS REMOTE CONTROL.
6. SINGLE RECEPTACLE 240V/20 AMP FOR HVAC POWER.

FACTORY INSTALLED COMPONENTS NOTES:

- ALL ELECTRICAL COMPONENTS TO BE LISTED BY A (NRTL) NATIONALLY RECOGNIZED TESTING LABORATORY.
- ALL WIRING PER NFPA 70, NATIONAL ELECTRICAL CODE.
- ALL FACTORY INSTALLED WIRING FOR 120/240 VOLT, BRANCH CIRCUIT, CURRENT CARRYING CONDUCTORS SHALL BE #12 MINIMUM, THERMOPLASTIC-INSULATED, THHN/THWN-2, STRANDED COPPER, RATED 600 VOLT, 90°C DRY OR WET. ENCLOSED IN SURFACE MOUNTED METALLIC RACEWAYS. EXCEPT CONTROL CIRCUIT WIRING WHICH IS SIZED PER EQUIPMENT SPECIFICATIONS/INSTALLATION REQUIREMENTS.
- ALL BRANCH CIRCUITS HAVE GREEN GROUND CONDUCTOR.
- FACTORY INSTALLED BRANCH FEEDER CONDUCTORS SHALL BE ENCLOSED IN 1/2" MINIMUM, ELECTRICAL METALLIC TUBING (EMT).
- ALTERNATIVELY, 1/2" MINIMUM 1MC/RIGID METAL CONDUIT, MC CABLE OR LIQUID TYPE METALLIC TUBING MAY BE USED. WHEN INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

LOCATION OF DEVICE MAY VARY DUE TO MEETING CODE REQUIREMENTS AND PLACEMENT WITHIN THE STRUCTURE.



ANCHOR DETAIL

ANCHOR LOCATION AND QUANTITY PER PROJECT DRAWING FOOT PRINT/CALCULATIONS.

CONCRETE FOUNDATION/SLAB DESIGN BY OTHERS

ASSUMED DESIGN IS BASED ON A MINIMUM 6" DEEP, 3,000 PSI MINIMUM (28 DAY ACI 318) REINFORCED. ASSUMED DESIGN SOIL BEARING COMPACTION VALUE SHALL BE A MINIMUM OF 3,000 PSF.

ASSUMED FOUNDATION/SLAB SHOULD BE A MINIMUM OF 12" WIDER THAN THE BUILDING FOOT PRINT DIMENSIONS. THIS IS TO PROVIDE A 6" CONCRETE BORDER ON EACH SIDE OF THE BUILDING.

THIS DETAIL IS FOR REFERENCE PURPOSES ONLY. THE BUILDING(S) MUST BE SECURELY ANCHORED IN PLACE AND MUST BE PROPERLY GROUNDED.

ADEQUATE SIZED ANCHOR BOLTS SHALL BE USED. THE SIZE AND DEPTH OF THE ANCHORS SHOULD BE OF SUFFICIENT DESIGN TO WITHSTAND THE APPLICABLE WIND SPEED AND SEISMIC LOADS FOR THE LOCATION OF INSTALLATION AND SOIL CONDITIONS.

PLEASE CONSULT A PROFESSIONAL ENGINEER FAMILIAR WITH THESE PARAMETERS FOR THE LOCATION.

NOTE: THIS DRAWING AND DESIGN ARE THE PROPERTY OF MARDAN FABRICATION, INC. (MFI). IT MUST NOT BE REPRODUCED IN ANY MANNER, NOR SHALL IT BE SUBMITTED TO OUTSIDE PARTIES FOR EXAMINATION WITHOUT OUR CONSENT. IT SHALL BE USED ONLY AS A MEANS OF REFERENCE TO WORK DESIGNED AND FURNISHED BY MARDAN. MARDAN RESERVES THE RIGHT TO MAKE CHANGES TO DESIGN FOR ENGINEERING PURPOSES WITHOUT NOTICE. REVISIONS MAY NOT BE NOTED.

NOTE: SLIDING ADA ENTRY DOOR WILL HAVE A BOTTOM OF THE BUILDING TO THE TOP OF THE THRESHOLD MEASUREMENT OF 3-1/2"

ACCESSIBILITY NOTES:

HANDICAP ACCESSIBLE APPROACH AND EGRESS ACCESS INCLUDING A RAMP OR FOUNDATION TO BE VERIFIED AND PROVIDED BY OTHERS.

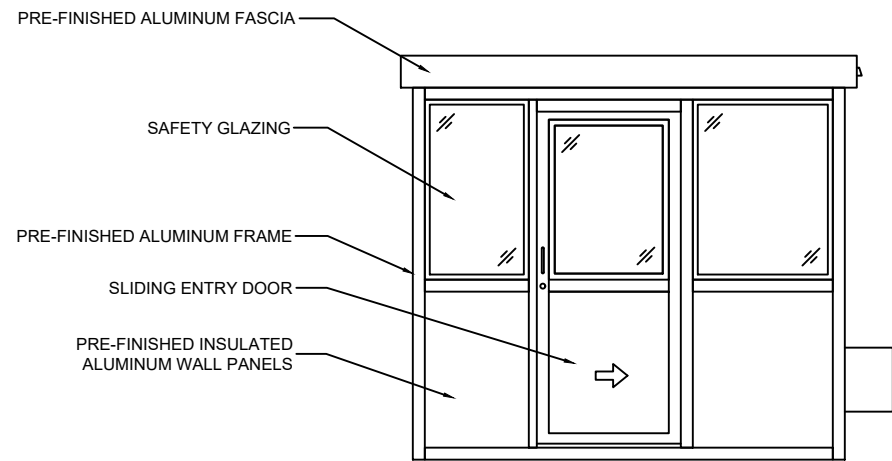
THE FOUNDATION MAY BE RECESSED OR A 1:12 RAMP MUST BE PROVIDED SO THAT MAXIMUM CHANGE IN LEVEL FROM GRADE TO FINISH FLOOR DOES NOT EXCEED 1/4".

REVIEW IN CONJUNCTION WITH SITE PLAN AND REVIEWED AGAINST APPLICABLE ACCESSIBILITY CODE FOR MORE DETAILED INFORMATION AND REQUIREMENTS.

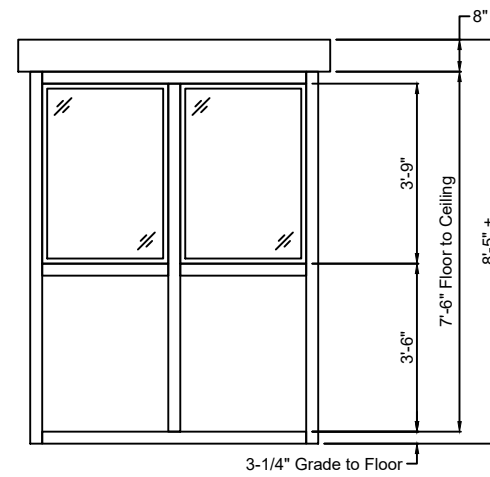
FINISH SCHEDULE	
ITEM	DESCRIPTION
Floor	Aluminum Treadplate
Canopy	Pre-Finished White
Walls	Pre-Finished White
Ceiling	Pre-Finished White
Counter	White Plastic Laminate
Safety Glazing	Gray Tinted, Tempered, Insulated Glass

24049_EL_CARWASH

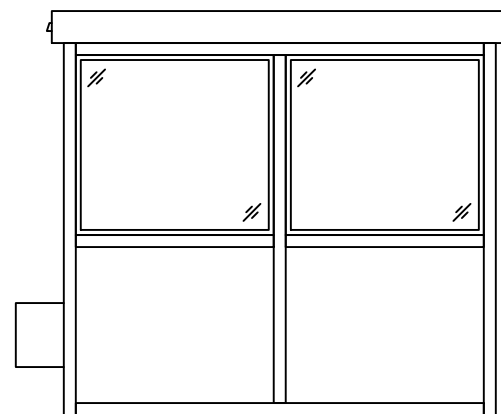
Model Number MFI-6090-SL	Approved By:	
Date: 9-27-2024	Drawing Number 24049	Drawn By: DNE
Scale: 1/4" = 1'-0"	Revision:	
EL Car Wash Alrig USA Novi, MI		
Mardan Fabrication, Inc. 41001 Production Drive, Harrison Twp. MI 48045 Phone: 800-882-5820	Drawing Sheet SD-1	



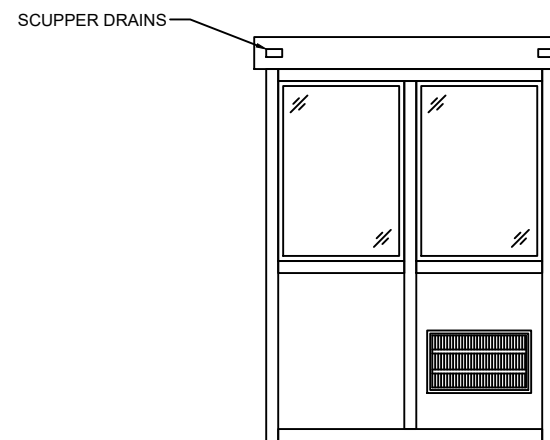
Elevation "A"



Elevation "B"



Elevation "C"



Elevation "D"

NOTE: SLIDING ADA ENTRY DOOR WILL HAVE A BOTTOM OF THE BUILDING TO THE TOP OF THE THRESHOLD MEASUREMENT OF 3-1/2"

ACCESSIBILITY NOTES:

HANDICAP ACCESSIBLE APPROACH AND EGRESS ACCESS INCLUDING A RAMP OR FOUNDATION TO BE VERIFIED AND PROVIDED BY OTHERS.

THE FOUNDATION MAY BE RECESSED OR A 1:12 RAMP MUST BE PROVIDED SO THAT MAXIMUM CHANGE IN LEVEL FROM GRADE TO FINISH FLOOR DOES NOT EXCEED 1/4".

REVIEW IN CONJUNCTION WITH SITE PLAN AND REVIEWED AGAINST APPLICABLE ACCESSIBILITY CODE FOR MORE DETAILED INFORMATION AND REQUIREMENTS.

Model Number MFI-6090-SL	Approved By:	
Date: 9-27-2024	Drawing Number 24049	Drawn By: DNE
Scale: 1/4" = 1'-0"		Revision: .
EL Car Wash Alrig USA Novi, MI		
 Mardan Fabrication, Inc. 41001 Production Drive, Harrison Twp. MI 48045 Phone: 800-882-5820		Drawing Sheet SD-2

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PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

El Car Wash Novi II

JSP24-25

January 17, 2025

PETITIONER:

Alrig USA | Steven Barrett

REVIEW TYPE:

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	14	
Site Location	26100 Novi Road	
Site School District	Novi Community School District	
Site Zoning	TC: Town Center District	
Adjoining Zoning	North	TC: Town Center District
	East	TC: Town Center District / Southeast – TC-1: Town Center -1 District
	West	TC: Town Center District
	South	TC: Town Center District
Current Site Use	Car Wash (existing non-conforming)	
Adjoining Uses	North	Town Center
	East	Town Center
	West	Town Center
	South	Town Center
Site Size	0.54 Acres	
Plan Date	12/23/2024	

PROJECT SUMMARY

The applicant is proposing to reutilize an existing car wash building. Improvements include new vacuum stations, two drive-up pay stations, repaving and utility improvements, facade updates as well as artwork proposed as an amenity for the Town Center District. A pre-application meeting was held for this project on September 16, 2024.

RECOMMENDATION

Preliminary Site Plan approval is **recommended subject to Planning Commission and Zoning Board of Appeals granting necessary waivers and variances as noted in this letter.** Please address the comments in the review letters as noted below in Next Step: Planning Commission Meeting.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached chart for information pertaining to ordinance requirements. The items below must be addressed and incorporated as part of the revised site plan sets.

1. Parking Setback (Section 3.1.25.D): **A variance from the ZBA will be required for the proposed 8' parallel parking space within the required 20' parking setback on north side.**

2. Drive-through Setbacks (Section 5.3.11.B): Drive-through lanes and stacking spaces shall be setback from the property line a distance equivalent to the minimum parking setback. **This is an existing condition on a legal non-conforming site.**
3. Bypass Lane for Drive-Through (Sec. 5.3.11.D): Drive-through facilities shall provide 1 bypass lane, minimum of 18 feet in width, unless otherwise determined by the Fire Marshall. No bypass lane provided, and a variance indicated on the plans. The applicant is encouraged to seek shared access with an adjacent property for a bypass lane. **A variance from the ZBA will be required for lack of a bypass lane.**
4. Centerline Radius of Drive-through Lanes (Section 5.3.11.F): Drive-through lanes shall have a minimum centerline radius of twenty-five feet. Please demonstrate that vehicles will be able to accomplish the turning movement as proposed. **A variance from the ZBA will be required for a centerline radius of less than twenty-five feet.**
5. Drive-through Stacking Spaces (Section 5.3.11.I): Twenty-five vehicles are required prior to the tunnel, three vehicles are required beyond the tunnel for drying areas. Nine vehicles proposed prior to the tunnel, three vehicles after the tunnel. Applicant may provide a letter describing current stacking space numbers and configuration as a comparison. **A variance from the ZBA will be required for the shortage of vehicle stacking spaces prior to the tunnel.**
6. Noise Specifications (Sec. 5.14.10.A): It is unclear if noise specifications provided meet or exceed standards. **Please indicate:**
 - **how far the property line is from the blowers (ordinance maximum 75 decibels)**
 - **will the doors be open or closed after a car exits**
 - **whether the decibel readings provided for the blowers are with the doors open or closed**Refer to Planning Review Chart for comments.
7. Development Amenities (Section 3.27.1.L): All sites in the TC District shall provide development amenities. **Please provide details of proposed artwork in next submittal.**
8. Attendant Booth (Section 4.19.2.A): **Provide details, setback to property lines, elevations, façade materials and colors.**
9. Lighting Plan (Section 5.7.2.A.i): Sheet C-2 indicates five existing wall mounted lights on the north side of the building are to be removed. Sheet C-7 indicates existing fixtures are to remain and be protected during construction. **Please clarify whether these lights are to be removed or remain.**
10. Planning Review Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

OTHER REVIEWS

- Landscape Review: Preliminary Site Plan **approval recommended**. See attached review letter for details.

NEXT STEP: PLANNING COMMISSION MEETING

The Preliminary Site Plan will need approval from the Planning Commission. The project can be scheduled to appear before the Planning Commission on February 12, 2025 (provide the following via email by February 4, 2025) or February 26, 2025 (provide the following via email by February 18, 2025):

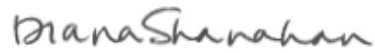
1. Site Plan submittal in PDF form (maximum of 10MB).
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the site plan (to be used for Planning Commission presentation).

FUTURE STEP: ZBA APPROVAL

Once the Planning Commission recommends approval of the Preliminary Site Plan, the project can apply for a variance for the deviations before the Zoning Board of Appeals.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0483 or dshanahan@cityofnovi.org.

Sincerely,



Diana Shanahan – Planner



PLANNING REVIEW CHART: TC Town Center District

Review Date: January 16, 2024
Review Type: Revised Preliminary Site Plan
Project Name: **JSP24-25 EL CAR WASH NOVI II** (26100 Novi Road)
Plan Date: December 23, 2024
Prepared By: Diana Shanahan dshanahan@cityofnovi.org (248) 347-0483

Items in **Bold** need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan (Adopted July 26, 2017)	TC: Town Center District	Existing car wash	No	The existing car wash is a legal non-conforming use.
Zoning (Effective Jan. 8, 2015)	TC: Town Center District	TC: Town Center District	Yes	Existing non-conforming use
Uses Permitted (Section 3.1.25.B & C)	B: Principal Uses Permitted C: Special Land Uses	Auto Wash	Yes	Existing non-conforming use
Auto Wash (Section 4.32)	Permitted use in B-3 when completely enclosed in a building	Existing car wash	Yes	Existing non-conforming use
Height, Bulk, Density, and Area Limitations				
Building Height (Section 3.1.25.D)	65 ft or 5 stories, whichever is less	<65 ft (5 stories)	Yes	
Open Space (Section 3.27.1.F)	A minimum of 15% of the gross site area shall be devoted to permanently landscaped open spaces and pedestrian areas.	16.4% proposed (3,846 sq ft) Parcel = 0.54 acres 15% = 3,528 sq ft required	Yes	Sheet C-3: Land Use and Zoning Table
Frontage on a Public Street (Section. 5.12)	Frontage on a public street is required	Frontage on Novi Road	Yes	
Access to Major Thoroughfare (Section 5.13)	Direct access to major thoroughfare required unless noted in Section 5.13	Access to Novi Road	Yes	
Building Setbacks (Section 3.1.25.D / 3.27.1.C)				
Front (west)	Minimum 15 ft.	75'.2"	Yes	Novi Road
Side (north)	Minimum 10 ft.	8'	No	Existing non-conforming
Side (south)	Minimum 10 ft.	30.9'	Yes	
Rear (east)	Minimum 10 ft.	56.2'	Yes	
Parking Setback (Section 3.1.25.D)				
Front (west)	Minimum 20 ft.	32.8'	Yes	Novi Road

Item	Required Code	Proposed	Meets Code	Comments
Side (north)	Minimum 20 ft.	3'	No	Existing non-conforming New parallel 8' parking space proposed is in required 20' setback - variance required.
Side (south)	Minimum 20 ft.	24'	Yes	
Rear (east)	Minimum 10 ft.	10'	Yes	
Notes To District Standards (Section 3.6.2)				
Exterior Side Yard Abutting a Street (Section 3.6.2.C)	All exterior side yards abutting a street shall have a setback equal to the front yard setback requirement of the district in which located.	No exterior side yards abutting a street	Yes	
Minimum Lot Area (Section 3.6.2.D)	Minimum lot area and width, and maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements.		N/A	
Off-Street Parking in Front Yard (Section 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Section 3.1, Section 5.5.3, and with respect to TC district, Section 3.27.1.D	No front yard parking proposed.	Yes	
Wetland/ Watercourse Setback (Section 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetlands on site	N/A	
Parking Setback Screening (Section 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided	Yes	See landscape letter for additional details
Modification of Setback Requirements (Section 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	N/A	Existing non-conforming use
TC District Required Conditions (Section 3.27)				
Site Plans (Section 3.2.1.A)	Site area under 5 acres: Requires Planning Commission approval. Site area over 5 acres:	± 0.54 acres 23,482 sq. ft.		Will require Planning Commission approval. Existing conditions to

Item	Required Code	Proposed	Meets Code	Comments
	Requires City Council approval upon Planning Commission recommendation			remain.
Surface Parking Lot Screening (Section 3.27.1.D)	Surface parking lots shall be screened from all public rights-of-way and internal roads by either a 2.5 ft. brick wall, semi-transparent screening, or landscaped berm.	Parking screened by building	Yes	
Architecture/ Pedestrian Orientation (Section 3.27.1.E)	Proposed uses, through innovative architecture, shall create a significant pedestrian orientation in keeping with the intent and purpose of these districts.	Proposed crosswalk at Novi Road		
Façade materials (Section 3.27.1.G)	All sides of the building and accessory buildings must have the same façade materials. Façade materials may deviate from brick or stone with PC approval.	Façade materials specified on Sheet A.200		
Parking, Loading, Signs, Landscaping, Lighting, Etc. (Section 3.27.1 H)	All sites must comply with Article 5, Site Standards, regarding off-street parking requirements, off-street parking standards, off-street loading/ unloading, signs, landscaping, exterior lighting, and obscuring screens as related to uses permitted in the TC district.	Loading to occur off hours provided as a note on Sheet C-3. No exterior lighting provided.		
Sidewalks Required (Section 3.27.1.I)	Required at all developments which abut any street or an internal service road.	6' north/south cross walk proposed. 5' cross walk proposed east/west.		Crosswalk detail on sheet C-10 indicates white pavement markings
Bicycle Paths (Section 3.27.1.J)	Bicycle paths shall be designed throughout the TC area to link up with other adjacent residential and nonresidential areas. Proposed bicycle parking shall comply with standards set forth in Section 5.16 Bicycle Parking Facility Requirements.			Bicycle parking discussed below.
Development Amenities (Section 3.27.1.L)	All sites shall provide development amenities in the form of exterior lighting,	Proposed artwork location noted.		Provide details on artwork in next submittal.

Item	Required Code	Proposed	Meets Code	Comments
	paved activity nodes, street/sidewalk furniture, safety paths, screening walls and planters in accordance with the Town Center Area Study, which is a part of the Ordinance.			
Combining Use Groups within a Single Structure (Section 3.27.1 M)	Commercial and office uses may occupy any number of total floors within a building used for residential used subject to the restriction in Section 3.27.2.B.	N/A	N/A	
Parking and Loading Requirements				
Auto Wash (automatic) (Section 5.2.12.C.)	2 spaces + 1 space for each employee + 1 space for each vacuum station	Total Required: 9 2 spaces + 2 employee spaces + 5 vacuum spaces Total Provided: 9 4 spaces + 5 vacuum spaces	Yes	A variance from the ZBA will be required for one parking space located in 20' parking setback.
Parking Space Dimensions and Maneuvering Lanes (Section 5.3.2)	90° Parking: - 9' x 19' parking spaces - 24' two-way drives	9' x 19' spaces 24' drive aisles	Yes	
Posted Fire Lanes (D.C.S Section 158-99(a))	The minimum width of a posted fire lane is 20'. The minimum height of a posted fire lane is 14'.		Yes	POS Canopy height (not in fire lane) = 105 ½" (8.79')
Parking Stall Located Adjacent to a Parking Lot Entrance (public or private) (Section 5.3.13)	Shall not be located closer than 25' from the street ROW line, street easement or sidewalk, whichever is closer	Complies	Yes	
End Islands (Section 5.3.12)	- End islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - End islands shall generally be at least 10' wide, have an outside radius of 15' and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.	No end islands provided	N/A	Comply with Traffic and Engineering reviews.

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 1 accessible space required - For every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible 	1 handicap vacuum space proposed	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	1 - 12' wide handicap space proposed with an 8' wide access aisle	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign indicated		
Minimum number of Bicycle Parking <i>(Section 5.16.1)</i>	Minimum 2 spaces	2 bike parking spaces indicated at the NE corner of building	Yes	Existing wall in proposed bike parking location to be removed
Bicycle Parking General Requirements <i>(Section 5.16)</i>	<ul style="list-style-type: none"> - No farther than 120' from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6' paved sidewalk 	2 bike parking spaces indicated at the southwest corner of building Bike rack detail provided on sheet C-10	Yes	
Bicycle Parking Lot Layout <i>(Section 5.16.6A)</i>	<ul style="list-style-type: none"> - Parking space width: 7' - One tier width: 11' - Two tier width: 18' - Maneuvering lane width: 4' - Parking space depth: 32" 	Bike pad layout detail provided on sheet C-10	No	Updated ordinance standards can be found here: 18.301 Text Amendment
Loading Spaces <i>(Section 5.4.2)</i>	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Off hours loading space indicated	No	Existing non-conforming

Item	Required Code	Proposed	Meets Code	Comments
Drive-through Lanes (Section 5.3.11)				
Drive-through Lanes Separation (Section 5.3.11.A)	Drive-through lanes shall be separate from the circulation routes and lanes necessary for ingress to & egress from the property		No	
Drive-through Lanes Setbacks (Section 5.3.11.B)	Drive-through lanes and stacking spaces shall be setback from the property line a distance equivalent to the minimum setback required for parking lots, as provided in the Development Standards of the district	Complies on east side, does not comply with parking setback on south side	No	Existing condition
Drive-through Lanes (Section 5.3.11.C)	Drive-through lanes shall not utilize any space which is necessary for adequate access to parking spaces from internal maneuvering lanes.	Proposed parallel parking space in drive-through lane intended for employee parking	No	
Bypass Lane for Drive-through (Section 5.3.11.D)	Drive-through facilities shall provide one bypass lane, minimum of 18' in width, unless otherwise determined by the Fire Marshal	No bypass lane proposed	No	Existing site does not have a bypass lane. A variance will be required for lack of a bypass lane.
Drive-through Lane Width (Section 5.3.11.E)	Drive-through lanes shall have a minimum 9' width.	2 – 12' wide drive-through lanes proposed	Yes	
Centerline Radius of Drive-through Lanes (Section 5.3.11.F)	Drive-through lanes shall have a minimum centerline radius of 25'.	R-10' and R-15' centerline radius proposed	No	A variance will be required for a centerline radius of less than twenty-five feet.
Drive-through Lane Delineated (Section 5.3.11.G)	Drive-through lanes shall be striped, marked, or otherwise delineated	Proposed drive-through lane striping indicated	Yes	
Drive-through Lane Stacking Space Length (Section 5.3.11.H)	Drive-through stacking spaces shall have a minimum length of 19'.	Stacking spaces indicated on plan with 19' rectangles	Yes	
Drive-through Lane Stacking Spaces (Section 5.3.11.I)	Twenty-five vehicles prior to the tunnel (may be in multiple lanes), three vehicles beyond the tunnel for drying areas.	Proposed 9 vehicles prior to tunnel in 2 lanes, 3 vehicles after	No	A variance will be required for the shortage of vehicle stacking spaces prior to the tunnel. Applicant is asked to provide a narrative description of how the

Item	Required Code	Proposed	Meets Code	Comments
				stacking spaces currently operate and how it will operate with revised plan.
Sidewalk Requirements				
Sidewalks (Section 7.4.2 of Engineering Design Manual)	Minimum 5' sidewalk required	6' north/south white painted cross walk proposed. 5' cross walk proposed east/west.	Yes	
Pedestrian Connectivity	<ul style="list-style-type: none"> - Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot. 	None proposed	No	
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Parcel ID in title block	Yes	
General Layout and Dimension of Proposed Physical Improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets, and drives, and indicate sq. ft. of pavement area (indicate public or private).		Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building and site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	Economic impact statement provided	Yes	
International Fire Code Section 510	New buildings and existing buildings MUST comply with the International Fire Code Section 510 for Emergency			

Item	Required Code	Proposed	Meets Code	Comments
	Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.			
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.	Not indicated at this time	N/A	For permit information contact Ordinance at (248) 735-5678. Current sign has violation.
Development and Street Names	Must be approved by the Project and Street Naming Committee	The project does not require approval for project or street names.	N/A	
Lighting and Photometric Plan (Section 5.7)				
Intent (Section 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spill-over onto adjacent properties and reduce unnecessary transmission of light into the night sky	Sheet C-7: additional light pole added at southeast corner to even out average to minimum ratio		
Lighting Plan (Section 5.7.2.A.i)	A lighting plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures.	Sheet C-7: existing lighting to remain	TBD	Sheet C-2 Demo Plan notes five existing wall mounted lights on the north side of the building to be removed – this conflicts with existing fixtures to remain note on Sheet C-7. Please clarify.
Lighting Plan Elements (Section 5.7.2.A.ii) Specifications for all proposed & existing lighting fixtures:	Photometric data		TBD	
	Fixture height		TBD	
	Mounting & design		TBD	
	Glare control devices		TBD	
	Type and color rendition of lamps		TBD	
	Hours of operation		TBD	Please provide hours of operation in next submittal.
	Photometric plan illustrating the levels of illumination at ground level shall account for all light sources that impact the subject site			TBD

Item	Required Code	Proposed	Meets Code	Comments
Building Lighting (Section 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Elevation renderings show existing south building wall mounted fixtures. No elevation rendering provided for north elevation.	TBD	As noted above sheet C-2 Demo Plan notes five existing wall mounted lights on the north side of the building to be removed – this conflicts with existing fixtures to remain note on Sheet C-7. Please clarify.
Maximum Height (Section 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)		TBD	
Standard Notes (Section 5.7.3.B)	Electrical service to light fixtures shall be placed underground		TBD	
Standard Notes (Section 5.7.3.C)	No flashing light permitted		TBD	
Outdoor Lighting: Average Light Levels (Section 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit not exceed 4:1 foot-candles		TBD	
Color Spectrum Management (Section 5.7.3.F)	Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index of 70 and Correlated Color Temperature of no greater than 3000 Kelvin		TBD	
Indoor Lighting (Section 5.7.3.H)	Shall not be the source of exterior glare or spillover		TBD	
Security Lighting (Section 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky. - Fixtures mounted on the building and designed to illuminate the facade are preferred.	No additional security lighting proposed on top of required off hours lighting	TBD	
Parking Lot Lighting (Section 5.7.3.J)	Shall be designed to provide the minimum illumination necessary to ensure adequate vision and		TBD	

Item	Required Code	Proposed	Meets Code	Comments
	comfort in parking areas. Full cut-off fixtures shall be used to prevent glare.			
Minimum Illumination Levels (foot-candles) <i>(Section 5.7.3.L)</i>	Parking areas:	0.2 min		TBD
	Loading and unloading areas:	0.4 min		TBD
	Walkways:	0.2 min		TBD
	Building entrances, frequent use:	1.0 min		TBD
	Building entrances, infrequent use:	0.2 min		TBD
Maximum Illumination Adjacent to Non-Residential <i>(Section 5.7.3.L)</i>	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle			TBD
Maximum Illumination Adjacent to Residential <i>(Section 5.7.3.M)</i>	When adjacent to residential districts: - all cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5-foot candle			N/A
Accessory Uses (Sec 4.19)				
Flagpoles <i>(Section 4.19.2.B)</i>	May be located within any required front or exterior side yard, no closer to a public ROW than ½ the distance between the ROW and the principal building.	Required setback: 32.2' Existing setback: 60.4'	Yes	Site has three existing flagpoles. Northern most existing flagpole to remain, two others to be removed.
Canopies <i>(Section 5.15.12)</i>	Canopies shall be considered as separate facades and subject to all requirements of the Ordinance. Materials and colors used shall be consistent with those used on the building. Not less than 30% of the façade of a canopy shall be of a material identical to a material used on the building.	Two canopies proposed at pay stations, details on sheet C-11 Shade canopies over vacuum stations to be finished grey to match the primary building, details on sheet C-11	Yes	
Attendant Booth <i>(Section 4.19.2.A)</i>	Shall be located in rear yard and shall meet the setback requirements of an accessory building.	No details provided	TBD	Provide details, setback to property lines, elevations, façade materials and colors
Dumpster <i>(Section 4.19.2.F)</i>	- Located in rear yard or interior side yard in case	Rear yard placement	Yes	To remain in existing rear yard location

Item	Required Code	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> - of double frontage - Attached to the building or no closer than 10' from building if not attached - Not to be located in parking setback - If no setback, then not any closer than 10 ft, from property line. - As far away from barrier free spaces as possible 			
Dumpster Enclosure <i>(Section 21-145. (c))</i>	<ul style="list-style-type: none"> - Screen from public view - Screening shall consist of a wall or fence 1' higher than height of refuse bin, and no less than 5' on three sides - Posts or bumpers provided within the enclosure to protect from damage of refuse bin - Inside dimensions shall permit adequate access as well as completely enclose bins - Screening materials: masonry, wood or evergreen shrubbery 	Existing dumpster location to remain. Existing 6' high dumpster enclosure and 4' high receptable to remain		
Roof Top Equipment and Wall Mounted Utility Equipment <i>(Section 4.19.2.E.i)</i>	<ul style="list-style-type: none"> - All roof top equipment shall be screened from view. - All wall mounted utility equipment shall be enclosed and integrated into the design and color of the building, subject to safety and access requirements. 	None proposed		Applicant indicates all equipment to be located within the building.
Roof Top Appurtenances Screening <i>(Section 4.19.2.E.ii)</i>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	None proposed		Applicant indicates all equipment to be located within the building.
Vacuum Enclosure <i>(Section 4.19)</i>	Must meet accessory structure requirements	Vacuum producer to be inside building	Yes	
Outdoor Vacuums	Provide specifications for the vacuums (dimensions, color scheme, decibel level, etc.)	Vacuum producer proposed inside building. Specifications provided appear to	Yes	

Item	Required Code	Proposed	Meets Code	Comments
		meet standards.		
Noise Specifications (Section 5.14.10.A)	Site proposals must comply with the standards of the noise ordinance.	Specifications provided, it is unclear if noise specifications meet or exceed standards.	TBD	Please indicate how far the property line is from the blowers, will the doors be open or closed after a car exits, whether the decibel readings provided for the blowers are with the doors open or closed.

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the Zoning Ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

12/02/2024

Engineering Review

El Car Wash Novi II
JSP24-0010

APPLICANT

El Car Wash Novi II LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: East side of Novi Rd between Grand River Ave and Crow Dr
- Site Size: 0.54 acres
- Plan Date: 11/05/2024
- Design Engineer: Stonefield Engineering

PROJECT SUMMARY

- Repurposing of an approximately 5,000 square-foot commercial building and restriping of associated parking. Site access would be provided via public roadways.
- Water service would be provided by a 2-inch domestic lead.
- Sanitary sewer service would continue to be provided by an existing lead that crosses to the west side of Novi Road. However, that existing lead will have a monitoring manhole added on the east side of Novi Road, which will collect the various proposed sewer leads from the building and car wash.
- Storm water would continue to be collected by a single storm sewer collection system, with the addition of one catch basin and one trench drain to the system on the east side of the site.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

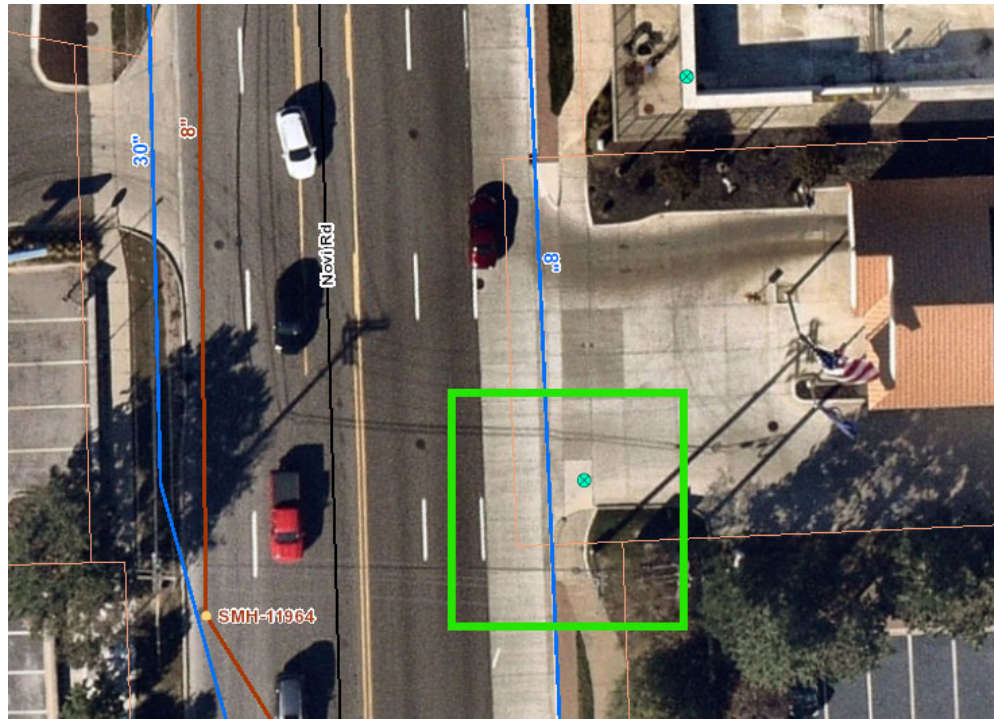
General

1. Provide a minimum of two ties to established section or quarter section corners.
2. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, refer to [City of Novi Survey Benchmarks Arch Map](#).
3. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
4. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
5. A [Right-of-Way Permit](#) will be required from the City of Novi and Oakland County.
6. The dedication of the master-planned right-of-way is requested for this project. Label the additional right-of-way width to be dedicated along Novi Road as "proposed" right-of-way.
7. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
8. Traffic signs in the Road Commission for Oakland County (RCOC) right-of-way will be installed by RCOC.
9. Provide a traffic control plan for the proposed road work activity.
10. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
11. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
12. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided.
13. Where the minimum 18-inch clearance at utility crossings cannot be achieved, provide a prominent note stating the substandard clearance and that proper bedding/encasement will be determined by the inspecting engineer.
14. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
15. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.

- The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.

Water Main

- Based on our records, the 8" WM along the east side of Novi Road is at a different location than what is shown on your survey. Please verify the results of your survey to ensure they match city records. See below for where we show the 8" WM and valve are located:



- Water Systems must have the ability to serve at least four thousand (4,000) gallons per minute.
- A minimum 6-inch fire lead for the building with a unique shut-off valve may be required by the Fire Marshal.
- A sealed set of utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#) for water main construction, the [Streamlined Water Main Permit Checklist](#), [Contaminated Site Evaluation Checklist](#), [Basis of Design](#), and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

Irrigation Comments

21. If irrigation is proposed, include an irrigation letter and containment letter with the next review. Also, if proposed, include containment notes on any irrigation sheets as well.

Sanitary Sewer

22. If the existing sanitary connection is to be made with the proposed sanitary sewer monitoring manhole, it must be within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
23. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 People/REU, peaking factor of 4.0 is only for sanitary not for water main).
24. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
25. The sanitary segment furthest upstream without additional contributing flows shall have a minimum slope of 0.60-percent.
26. Provide the other inverts of the existing sanitary sewer lead to determine if a drop connection will be necessary.
27. Provide the pipe material of the existing sanitary sewer lead.
28. Illustrate all pipes intersecting with manholes on the sanitary profiles.
29. Three (3) sealed sets of revised utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#), electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

Storm Sewer

30. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided. Currently, the trench drain and structure D-100 do not meet the 3 feet depth requirement.
31. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
32. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
33. The minimum pipe size for storm sewers receiving surface runoff shall be 12-inch diameter. Currently, the storm water collection pipes do not meet this standard. Resize proposed storm sewer pipes accordingly.

34. Provide profiles for all storm sewer 12-inch and larger.
35. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
36. Illustrate all pipes intersecting storm structures on the storm profiles.
37. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
38. Show and label all roof conductors and show where they tie into the storm sewer.
39. Provide Storm sewer basis of design table.

Paving & Grading

40. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed. Additionally, please elaborate on if the concrete that will be repaired will be replaced with heated concrete or not.
41. Provide a minimum of 6 spot elevations where the pathway crosses the driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
42. No more than 1/4" vertical obstacle shall be allowed at each transition between the pathway and the drive approach.
43. Revise the pathway cross-section to indicate a maximum cross-slope of 2%.
44. Provide spot elevations at the intersection of the proposed pathway with the existing pathway.
45. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
46. Show proposed grades for all adjusted sanitary, water, and storm structures.
47. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms.
48. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
49. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
50. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.

Soil Erosion and Sediment Control

51. A SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

The following must be submitted with the Final Site Plan:

52. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
53. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving (including proposed right-of-way), and grading.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Ben Nelson at (248)735-5643 or email at bnelson@cityofnovi.org with any questions.

Benjamin Nelson

Ben Nelson,
Project Engineer

cc: Diana Shanahan, Community Development
Humna Anjum, Engineering
Milad Alesmail, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

January 2, 2025
El Car Wash Novi II
Revised Preliminary Site Plan - Landscape

Review Type

Revised Preliminary Site Plan Landscape Review

Job

JSP24-0025

Property Characteristics

- Site Location: 26100 Novi Road
- Site Acreage: 0.54 ac.
- Site Zoning: TC
- Adjacent Zoning: North, South, East & West: TC
- Plan Date: 12/23/2024

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

RECOMMENDATION:

The project is **recommended for Preliminary Site Plan approval**. All of the landscape waivers required are supported as existing conditions.

LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED PLAN

- Insufficient greenbelt area – *supported by staff as an existing condition*
- Insufficient parking lot interior trees – *supported by staff as an existing condition*
- Insufficient parking lot accessway perimeter trees – *supported by staff for 7 trees along south edge as an existing condition*
- Insufficient foundation landscaping area and coverage provided – *supported by staff as the existing conditions are being improved*
- Lack of loading zone screening – *supported by staff as an existing condition*

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. All existing trees are shown
2. Offsite trees along the property line are shown.
3. No tree removals are proposed.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residential property so this requirement does not apply.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. Based on the 80-foot frontage with no parking in front, no berm or screening wall is

- required but either 2 canopy trees or 3 subcanopy trees are required in the greenbelt.
2. Two canopy trees are proposed and sufficient area to support both of them is now proposed.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. There are no lots on the site, only a single-sided bay south of the building so no interior or perimeter trees are required except at the east end of the parking area as endcap trees.
2. Sufficient greenspace is now provided for the trees on both ends of the building.
3. **A landscape waiver is required for the lack of seven accessway perimeter trees along the south edge of the site.** *This waiver would be supported by staff as an existing condition as there is no room along that edge of the property.*
4. **The loading area is not screened from Novi Road. This requires a landscape waiver.** *It is supported by staff as an existing condition (there is no room for it anywhere else on the site).*

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. **A landscape waiver is required for the deficiency in foundation landscape area provided.** *It would be supported by staff as an improvement on the existing conditions.*
2. **A landscape waiver is also required for the deficiency in screening of the west side of the building (facing Novi Road).** *As the maximum area is provided, the waiver would be supported by staff.*

Plant List (LDM 4, 10)

1. 8 of 11 species proposed (73%) are native to Michigan.
2. The tree diversity is acceptable.

Planting Notations and Details (LDM 10)

1. Provided
2. Please see the Landscape Chart for detailed information about some of the notes provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No detention is proposed.
2. If that is approved by engineering, or if underground detention is added, no detention basin landscaping is required.

Irrigation (LDM 10)

1. If an irrigation system will be used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.
3. If an existing system will be used and/or extended, please add a note to that effect to the landscape plan.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: January 2, 2025
Project Name: JSP24 – 0025: El Car Wash II
Project Location: 26100 Novi Road
Plan Date: December 23, 2024
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED PLAN

- Insufficient greenbelt area – supported by staff as an existing condition
- Insufficient parking lot interior trees – supported by staff as an improvement on the existing conditions
- Insufficient parking lot accessway perimeter trees – supported by staff for 7 trees along south edge as an existing condition
- Insufficient foundation landscaping area and coverage provided – supported by staff as the existing conditions are being improved
- Lack of loading zone screening – supported by staff as an existing condition

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	1" = 20 feet	Yes	
Project Information <i>(LDM 10)</i>	Name and Address	On Title Block	Yes	
Owner/Developer Contact Information <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	On landscape plan	Yes	
Landscape Architect contact information <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Paul Devitto III - Stonefield	Yes	
Sealed by LA. <i>(LDM 10)</i>	Requires original signature	Copy of Paul DeVitto's seal and	Yes	

Item	Required	Proposed	Meets Code	Comments
		signature on landscape plan		
Miss Dig Note (800) 482-7171 (LDM 10)	Show on all plan sheets	Yes	Yes	
Zoning (LDM 10)	Include all adjacent zoning	On Cover Sheet <ul style="list-style-type: none"> Parcel: TC North, East, South, West: TC 	Yes	
Survey information (LDM 10)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Description and Existing conditions are on Alta Survey	Yes	
Existing plant material Existing woodlands or wetlands (LDM 10)	<ul style="list-style-type: none"> Show location, type and size. Label to be saved or removed. 	<ul style="list-style-type: none"> There are no wetlands or regulated trees on the site Existing trees to remain are shown on the landscape plan Off-site trees near the property line are shown No tree removals are proposed 	<ul style="list-style-type: none"> Yes Yes Yes Yes 	<ol style="list-style-type: none"> Please copy the tree protection fence detail from Sheet C-9 to Sheet C-2. Please show the existing tree at the northeast corner of the building being protected by tree protection fencing from the construction east of it.
Soil types (LDM10)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Sheet C-8 <ul style="list-style-type: none"> Urban Land Capac sandy loam Brookston & Colwood loam 	Yes	
Existing and proposed improvements (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	All proposed elements are shown on the landscape plan	Yes	
Existing and proposed utilities (LDM 10)	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Show all light posts 	<ul style="list-style-type: none"> Utilities are shown on landscape plan No light posts are shown 	<ul style="list-style-type: none"> Yes No 	<ol style="list-style-type: none"> Please show all the proposed light posts and resolve all post/tree conflicts. There appears to be a conflict between the post and maple tree in the northwest corner that should be fixed.
Proposed grading. 2' contour minimum (LDM 10)	Provide proposed contours at 2' interval	Spot elevations and contours on C-4	Yes	
Snow deposit (LDM 10)	Show snow deposit areas on plan	Shown on C-8 – at the east end of the site	Yes	

Item	Required	Proposed	Meets Code	Comments
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)				
General requirements (LDM 5)	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	No landscaping in parking lot will block vision	Yes	
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	<ul style="list-style-type: none"> • Yes • Sedges and lawn 	Yes	
General (Zoning Sec 5.5.3.C)				
Parking lot Islands	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • A minimum of 200sf unpaved area per tree planted in an island • 6" curbs • Islands minimum width 10' BOC to BOC 	Islands are sufficiently sized to support the trees in them and are labeled with their SF	Yes	
Curbs and Parking stall reduction (Zoning Sec 5.3.12)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	17 feet	Yes	The parking lot spaces are not changing
Contiguous space limit (Zoning sec 5.5.3.C)	Maximum of 15 contiguous spaces	8 is maximum bay length	Yes	
Plantings around Fire Hydrant (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> • No plantings with matured height greater than 12' within 10 ft. of fire hydrants • Plant trees at least 5 ft from underground utility lines • Plantings near hydrants or FDCs should be no taller than 12" 	No hydrants appear to exist on the site or are proposed so there are no conflicts	Yes	
Landscaped area (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)	<ul style="list-style-type: none"> • 25 ft corner clearance required. • Refer to Zoning Section 5.5.9 • Road Commission for Oakland County zone for RCOC jurisdiction roads 	<ul style="list-style-type: none"> • The RCOC clear vision zone is shown on the landscape plan • No landscaping is proposed within the clear vision zone 	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-				

Item	Required	Proposed	Meets Code	Comments
residential use in any R district (Zoning Sec 5.5.3.C)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> • $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ • $50,000 * 7.5\% = 3750 \text{ sf}$ 	As the parking lot is not changing, this calculation is not required		
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> • $B = x \text{ sf} * 1\% = B \text{ sf}$ • $(xxx - 50000) * 1\% = xx \text{ sf}$ 	See above		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% * x \text{ sf} = B \text{ SF}$	NA		
All Categories				
Total square footage of landscaped islands C = A+B	<ul style="list-style-type: none"> • $C = A + B$ • $C = xxx + xxx = xx \text{ SF}$ 	As the parking lot is not changing, this calculation is not required		
Number of canopy trees required D = C/200	<ul style="list-style-type: none"> • $D = C/200 \text{ trees}$ • $xx/200 = xx \text{ Trees}$ <p>As there is only a single bay along the building, that is existing, no parking lot interior trees are required.</p>	1 tree in island with attendant booth	NA	
Perimeter Green space (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf • $xx / 35 = xx \text{ trees}$ <p>As the parking lot only as a bay along one side, the accessway perimeter calculation and trees are required, not parking lot perimeter trees</p>	0 trees	NA	
Accessway perimeter (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 canopy tree per 35 lf on each side of road, less widths of access drives – outer edge of drive • $(367 \text{ lf})/35 = 10 \text{ trees}$ 	<ul style="list-style-type: none"> • 3 trees on east end • 0 trees along south side. 	No	<ol style="list-style-type: none"> 1. A landscape waiver is required for the deficiency. 2. <i>It would be supported by staff to not provide trees</i>

Item	Required	Proposed	Meets Code	Comments
				along 257 If south edge (7 trees) as an existing condition since there isn't room for the trees there. 3. Please move all three proposed trees on the east end southward 5 feet so the northern tree doesn't conflict with the existing 14" tree.
Parking land banked (Zoning Sec 5.2.14.D)	NA	None		
Berms, Walls and ROW Planting Requirements				
Berms (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site is not adjacent to residential so this is not required	None	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.3.B and LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	No berm is required in the TC or TC-1 districts	None	Yes	
Cross-Section of Berms (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Min. 3 feet flat horizontal area Minimum 3 feet high Constructed of loam with 6' top layer of topsoil. 	None	Yes	
Type of Ground Cover		Mulch is shown as the groundcover in the front islands.	No	Please show some type of living groundcover in the front islands (lawn or other groundcover)
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	An existing overhead line is shown at the southwest corner of the property, crossing Novi Road Only shrubs are	Yes	

Item	Required	Proposed	Meets Code	Comments
		shown in the island beneath the wires		
Walls (Zoning Sec 5.5.3.A & LDM 10)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls exist on the site or are proposed	Yes	
Walls greater than 4 ft. should be designed and sealed by an Engineer		NA		
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)				
Greenbelt width	Parking: 20 ft. No Pkg: 25 ft	Some greenbelt area is proposed on the north 10 feet and south 8 feet of the property.	No	1. A landscape waiver is required for the deficiency in greenbelt width across most of the site. 2. It would be supported by staff as an existing condition.
Min. berm crest width	None required	None proposed	Yes	
Minimum berm height	None required	None proposed	Yes	
3' wall	(2)(3)(4)	No walls exist on the site or are proposed	Yes	
Canopy deciduous or large evergreen trees	<ul style="list-style-type: none"> • Parking: 1 tree per 25 lf • $(80-40)/25 = 2$ trees Either this requirement or the subcanopy tree requirement must be met, but not both	2 canopy trees	Yes	
Sub-canopy deciduous trees)	<ul style="list-style-type: none"> • Parking: 1 tree per 15 lf • $(80-40)/15 = 3$ trees Either this requirement or the subcanopy tree requirement must be met, but not both	0 trees	NA	Since canopy trees are provided, this requirement does not need to be met.
Canopy deciduous trees in area between sidewalk and curb	No street trees are required in the TC district	None	Yes	
Non-Residential Projects (Zoning Sec 5.5.3.F.iii)				

Item	Required	Proposed	Meets Code	Comments
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		<ul style="list-style-type: none"> An off-hours loading zone is shown south of the building. It is not screened from view of Novi Road 	No	<ol style="list-style-type: none"> A landscape waiver would be required for the lack of screening. It would be supported by staff as an existing condition since that is the only area available.
Transformers/Utility boxes (LDM 6)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	The transformer is screened from view by shrubs on all but the south side	Yes	
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. A: 403 lf x 8ft = 3224 SF 	A: 2385 sf	No	<ol style="list-style-type: none"> A landscape waiver is required for the deficiency. As the applicant is improving on the existing condition, the waiver is supported by staff.
Building Frontage Landscaping (Zoning Sec 5.5.3.D)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	16/40 feet (40%) is landscaped	No	<ol style="list-style-type: none"> A landscape waiver is required for this deficiency. It would be supported by staff as an improvement on the existing condition.
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E & LDM 3)				
Planting requirements (Zoning Sec 5.5.3.E & LDM 3)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level 	No above-ground detention exists or is proposed so no detention landscaping is proposed	Yes	

Item	Required	Proposed	Meets Code	Comments
Phragmites and Japanese Knotweed Control (Zoning Sec 5.5.6.B)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	<ul style="list-style-type: none"> None indicated A note has been added stating that if any is found it will be removed 	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 10)	Provide intended date	Between Mar 15 and Nov 15.	Yes	
Maintenance & Statement of intent (Zoning Sec 5.5.6 & LDM 10)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 10)	<ul style="list-style-type: none"> A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans. If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival 	A note indicates an irrigation system and plan will be provided	TBD	<ol style="list-style-type: none"> <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival on the final site plan.</u> <u>If xeriscaping is used, please provide information about plantings included.</u>
Other information (LDM 10)				<u>The note regarding the seed mix can be removed.</u>
Establishment period (Zoning Sec 5.5.6 & LDM 10)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 10 & 11) – Include all cost estimates				

Item	Required	Proposed	Meets Code	Comments
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> • 8 of 11 species proposed (73%) are native to Michigan • Tree diversity is acceptable 	<ul style="list-style-type: none"> • Yes • Yes 	If you want the <u>winterberries to have berries in the future, one of the proposed shrubs should be a male.</u>
Type and amount of lawn		Sod is indicated and included on the plant list	Yes	
Cost estimate (LDM 10)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	<u>Please show the tree fencing detail on the demolition plan</u>
Other Plant Material Requirements (LDM 11)				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	<u>Please add note near property lines stating this.</u>
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	<ul style="list-style-type: none"> • No trees are proposed to be removed • Some shrubs will be removed. 	No	<u>Please show all existing plant material to be removed on the Demolition Plan</u>
Landscape tree credit (LDM 11)	<ul style="list-style-type: none"> • Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. • Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland	• Size determined by use detailed in LDM	On Plant List	Yes	

Item	Required	Proposed	Meets Code	Comments
replacement and others (LDM 11)	Table 11.b.(2)a.i <ul style="list-style-type: none"> Indicate on plant list 			
Plant size credit (LDM 11)	NA	No		
Prohibited Plants (LDM 11.b)	No plants on City Invasive Species List	None used	Yes	
Recommended trees for planting under overhead utilities (LDM 11)	Label the distance from the overhead utilities		TBD	<u>Please remove the notes stating there are no overhead lines on the site as there are, at the southwest corner.</u>
Collected or Transplanted trees (LDM 11)		None		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Yes	Yes	
NOTES:				
<ol style="list-style-type: none"> This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals. 				

Irrigation System Requirements

- Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP24-25 – El Car Wash Novi II Preliminary
 Traffic Review

From:
 AECOM

Date:
 November 26, 2024

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Humna Anjum, Diana Shanahan, Adam
 Yako, Dan Commer

Memo

Subject: JSP24-25 – El Car Wash Novi II Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, El Car Wash Novi II LLC, is proposing improvements to an existing 4,973 SF car wash.
2. The development is located on the east side of Novi Road, north of Grand River Avenue. Novi Road is under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned TC-1 (Town Center-1).
4. The following traffic related deviations will be required if changes are not made to the plans or requirements are not grandfathered in by the City:
 - a. Lack of by-pass lane.
 - b. Below standard centerline radius of drive-though lanes.
5. The following traffic related deviation is being requested by the applicant:
 - a. Lack of standard number of stacking spaces.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as there are no proposed changes to the existing building footprint.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed.
2	Driveway Width O Figure IX.3	-	N/A	No changes proposed.
3	Driveway Taper O Figure IX.11	-	N/A	No changes proposed.
3a	Taper length			
3b	Tangent			
4	Emergency Access O 11-194.a.19	-	N/A	No changes proposed.
5	Driveway sight distance O Figure VIII-E	-	N/A	No changes proposed.
6	Driveway spacing	-	N/A	No changes proposed.
6a	Same-side O 11.216.d.1.d			
6b	Opposite side O 11.216.d.1.e			
7	External coordination (Road agency)	-	N/A	No changes proposed.
8	External Sidewalk Master Plan & EDM	-	N/A	No changes proposed.
9	Sidewalk Ramps EDM 7.4 & R-28-K	-	N/A	No changes proposed.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	500’ off hours loading area	Met	
12	Trash receptacle ZO 5.4.4	Proposed enclosure in same location as existing	Met	
13	Emergency Vehicle Access	Indicated	Met	Provided truck turning movements.
14	Maneuvering Lane ZO 5.3.2	24’	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Not dimensioned	Inconclusive	Provide radius dimensions in future submittal.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
15b	Internal to parking bays	-	N/A	
16	Parking spaces ZO 5.2.12	4 proposed, 5 vacuum spaces proposed		See Planning review letter. Note Section 5.3.11.C of the Zoning Ordinance notes that “drive-through lanes shall not utilize any space which is necessary for adequate access to parking spaces from internal maneuvering lanes”. The one proposed parallel parking space violates this standard. The applicant could add a sign to indicate this space as employee parking only.
17	Adjacent parking spaces ZO 5.5.3.C.ii.p	<15 spaces with no island	Met	
18	Parking space length ZO 5.3.2	19’ at 90° parking, 23’ at parallel parking	Met	
19	Parking space Width ZO 5.3.2	9’ at 90° parking, 8’ at parallel parking, 12’ at vacuum spaces	Met	
20	Parking space front curb height ZO 5.3.2	4” wheel stop, 6” everywhere else	Met	
21	Accessible parking – number ADA	1 required, 1 vacuum space proposed	Met	
22	Accessible parking – size ADA	12’ with 8’ aisle	Met	Verify the aisle will be accessible from the parking space with no interference of the canopy.
23	Number of Van-accessible space ADA	1 required, 1 proposed	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	2 required, 2 proposed	Met	
24b	Location ZO 5.16.1	Indicated	Met	
24c	Clear path from Street ZO 5.16.1	Indicated	Met	
24d	Height of rack ZO 5.16.5.B	35”	Not Met	36” required.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24e	Other (Covered / Layout) ZO 5.16.1, Text Amendment 18.301	Indicated	Met	
25	Sidewalk – min 5' wide Master Plan	5' minimum	Met	
26	Sidewalk ramps EDM 7.4 & R-28-K	None proposed	N/A	
27	Sidewalk – distance back of curb EDM 7.4	-	N/A	
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Drive-Through ZO 5.3	No bypass lane, 2-10' wide lanes, 10' and 15' centerline radius proposed, 25' required	Partially Met	Existing site does not have a bypass lane, a deviation will be required if not grandfathered in from the City. A variance will also be required for below standard centerline radius. The applicant indicated they are seeking a variance for below standard vehicle stacking space prior to tunnel entrance. The applicant could show all proposed stacking spaces on the site plan.
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Indicated on detail sheet	Met	
33	Signing table: quantities and sizes	Not provided	Not Met	Provide sign table on site plan with quantities and sizes of proposed signs. R1-1 and R5-1 signs shown on detail sheet C-10, but location not shown on site plan sheet C-3.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Not indicated	Partially Met	Add note in future submittal, currently only list U-channel.
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Not indicated	Not Met	Add note in future submittal.

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
36	Sign bottom height of 7' from final grade MMUTCD	Not indicated and 72"	Not Met	Revise details to show 7' bottom height.
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Not indicated	Not Met	Add note in future submittal.
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Not indicated	Not Met	Add note in future submittal.
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Not indicated	Not Met	Add note in future submittal.
40	Parking space striping notes	Partially indicated	Partially Met	Proposed parking space pavement markings provided. Label drive-through lane markings.
41	The international symbol for accessibility pavement markings ADA	Provided	Met	
42	Crosswalk pavement marking detail	Provided	Partially Met	Detail indicates black markings, proposed crosswalk markings should be white.
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.


Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



November 25, 2024

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Façade Review Status:
Approved, Full Compliance
 Contingent upon no accent colors on vacuum apparatus.

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan**
El Car Wash Novi II (Town Center), JSP24-25
 Façade Region: 1, Zoning District: TC

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Krieger Klatt Architects, dated 10/31/24. The percentages of materials for each façade are shown in the table below. The maximum and minimum percentages required by the Façade Ordinance are shown in the right-hand column. Colored renderings were provided in lieu of the Sample Board required by Section 5.15.4.D of the Ordinance.

	West (Front)	North	East	South	Ordinance Maximum (Minimum)
Existing Fluted CMU (Paint SW7757 White)	10%	40%	35%	40%	10%
Existing EIFS (Paint SW7757 White, 3252 Cyan & Magenta)	45%	35%	50%	35%	25%
Existing Standing Seam Paint SW7019 Gray)	25%	25%	15%	25%	25%
Proposed CMU SW7757 White	20%				0%

All deviations highlighted above represent existing materials that are proposed to be repainted. These deviations are in compliance with the Façade Ordinance Sections 5.15.6&7 that allow a continuation of existing materials.

Section 5.15.2 of the Façade Ordinance prohibits the use of intense colors. Based on the minimal area of the accent bands on the primary building the proposed colors appear to be consistent with this Section. Likewise, the proposed colors and accents on the attendant booth and canopies appear to be consistent with the Ordinance.


However, the renderings indicate that the vacuum apparatus will be painted only the accent colors. This would be inconsistent with the Façade Ordinance and past similar projects. We recommend that the vacuum apparatus be painted to match the primary building (SW7757).

Dumpster Enclosure – No improvements to the existing fluted CMU dumpster enclosure are proposed. It is recommended the dumpster enclosure be painted to match the primary building (SW7757).

Notes to the Applicant:

1. All roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Chart and harmonious with other façade materials.
2. Inspections – The Ordinance requires Façade Inspection(s) for all projects. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



November 13, 2024

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Dan Commer – Plan Review Center
Diana Shanahan – Plan Review Center

CITY COUNCIL

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John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

RE: **EL Car wash Novi II**

PSP24-052
JSP24-25

Project Description:

Renovate existing car wash.

Comments:

- **Received 11/13/24** - A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.

Recommendation:

Approved

Sincerely,

Andrew Copeland – Acting Fire Marshal
City of Novi Fire Department

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

From: [Pierce, Kevin](#)
To: [Finazzo, Vincenzo](#)
Cc: [Harvey, Mitchell](#); [Fernandez, Alejandro](#); [Steven Barrett](#); [Samantha Burgner](#)
Subject: RE: EL Carwash Novi II : JSP24-25 - 26100 Novi Road
Date: Thursday, December 12, 2024 3:11:35 PM
Attachments: [image001.jpg](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

CAUTION: External Email

Vincenzo

I will not be requiring a bypass lane.

Kevin



Kevin Pierce | Fire Marshal
Public Safety | Fire Department
City of Novi | 42975 Grand River Ave | Novi, MI 48375
t: 248.735.5674 | c: 248.939.0639 | cityofnovi.org



To receive monthly e-news and more social media options, [click here.](#)

From: Finazzo, Vincenzo <vfinazzo@stonefieldeng.com>

Sent: Thursday, December 12, 2024 12:57 PM

To: Pierce, Kevin <kpierce@cityofnovi.org>

Cc: Harvey, Mitchell <mharvey@stonefieldeng.com>; Fernandez, Alejandro <afernandez@stonefieldeng.com>; Steven Barrett <sbarrett@alrigusa.com>; Samantha Burgner <sburgner@elcarwash.com>

Subject: EL Carwash Novi II : JSP24-25 - 26100 Novi Road

Good afternoon Kevin,

We are working on addressing city comments regarding the existing carwash improvements for the plan attached,

Within the existing site there is no bypass lane provided, would this existing condition be supported by your department for the proposed site improvements?

Thanks,

Vincenzo Finazzo

STONEFIELD

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009

T 248.247.1115 | M 248.894.6229

vfinazzo@stonefieldeng.com | stonefieldeng.com

APPLICANT RESPONSE LETTER

STONEFIELD

February 4, 2025

Community Development Department – Planning Division
City of Novi
45175 Ten Mile Road
Novi, MI 48375

**RE: Preliminary Site Plan Review
Proposed Car Wash Improvements
Parcel ID: 50-22-14-351-045
26100 Novi Road
City of Novi, Oakland County, Michigan**

To whom it may concern:

Our office is submitting documents on behalf of the Applicant to address the outstanding conditions of the Board's Resolution including comments contained within the latest Board Professional's review letter. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Improvement Plans	02-04-2025	ELEC.	Stonefield Engineering & Design
Architectural Floorplan and Elevations	12-23-2024	ELEC.	Krieger Klatt Architects
Attendant Booth Floor Plan, Elevations & Image	09-27-2024	ELEC.	Mardan Fabrication, Inc.
Site Renderings	02-04-2025	ELEC.	Krieger Klatt Architects
Fire Marshall Correspondence	12-12-2024	ELEC.	Stonefield Engineering & Design

The following is an itemized response to the comments contained within the City of Novi Revised Preliminary Site Plan Review Letter dated January 17, 2025. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

Ordinance Requirements

1. Parking Setback (Section 3.1.25.D): A variance from the ZBA will be required for the proposed 8' parallel parking space within the required 20' parking setback on north side.

Per discussion with planning department this was the desired location for the parallel parking space, a variance will be pursued.

2. Drive-through Setbacks (Section 5.3.11.B): Drive-through lanes and stacking spaces shall be setback from the property line a distance equivalent to the minimum parking setback. This is an existing condition on a legal non-conforming site.

Stacking spaces set back 10 FT from the eastern property line where 10 FT is required. No existing non-conformity required.

STONEFIELDENG.COM

555 S OLD WOODWARD AVE, SUITE 12L, BIRMINGHAM, MI 48009 248.247.1115 T. 201.340.4472 F.

3. Bypass Lane for Drive-Through (Sec. 5.3.11.D): Drive-through facilities shall provide 1 bypass lane, minimum of 18 feet in width, unless otherwise determined by the Fire Marshall. No bypass lane provided, and a variance indicated on the plans. The applicant is encouraged to seek shared access with an adjacent property for a bypass lane. A variance from the ZBA will be required for lack of a bypass lane.

Per discussions with the Fire Marshall a bypass lane will not be required. See correspondence with the Fire Marshall included within this submission package.

4. Centerline Radius of Drive-through Lanes (Section 5.3.11.F): Drive-through lanes shall have a minimum centerline radius of twenty-five feet. Please demonstrate that vehicles will be able to accomplish the turning movement as proposed. A variance from the ZBA will be required for a centerline radius of less than twenty-five feet.

Stacking lanes and surrounding curbing modified to achieve 25FT centerline radii within the stacking lane. See sheet C-3 of the revised Site Improvement Plans

5. Drive-through Stacking Spaces (Section 5.3.11.I): Twenty-five vehicles are required prior to the tunnel, three vehicles are required beyond the tunnel for drying areas. Nine vehicles proposed prior to the tunnel, three vehicles after the tunnel. Applicant may provide a letter describing current stacking space numbers and configuration as a comparison. A variance from the ZBA will be required for the shortage of vehicle stacking spaces prior to the tunnel.

See sheet EX-2 for existing versus proposed stacking spaces. The existing site included 4 spaces where 9 spaces are proposed, doubling the existing conditions greatly improving the site. An existing non-conformity is being requested.

6. Noise Specifications (Sec. 5.14.10.A): It is unclear if noise specifications provided meet or exceed standards. Please indicate:

- how far the property line is from the blowers (ordinance maximum 75 decibels)

-Tunnel exit is 12'8" from the northern property lines. The blowers are ~3 feet inside the northern tunnel wall and blocked by the brick wall. At our Brighton location, 5' from the side of the building with the speed door closed, the sound measures 72db.

-Tunnel exit is 75.2' from the western property line. The blowers inside the tunnel are ~22' from the exit of the tunnel, so ~97' from the western property line. At our Brighton location with the door closed, 50' from the exit of the building, the sound measures 73db.

- will the doors be open or closed after a car exits

-Speed door is closed after a car exits. The speed door on an average day is closed for greater than half of the open operating hours. Additionally, the blowers are not on unless there's a car inside of the tunnel. To save on electricity costs, there is a reader in the tunnel that tells the blowers to turn on upon a car being ~20' inside of the tunnel.

- whether the decibel readings provided for the blowers are with the doors open or closed

-Decibel readings are while the door is closed

7. Development Amenities (Section 3.27.1.L): All sites in the TC District shall provide development amenities. Please provide details of proposed artwork in next submittal.

Proposed art sculpture details to be provided under a separate cover.

8. Attendant Booth (Section 4.19.2.A): Provide details, setback to property lines, elevations, façade materials and colors.

Floorplan, elevations and image provided within this submission package.

9. Lighting Plan (Section 5.7.2.A.i): Sheet C-2 indicates five existing wall mounted lights on the north side of the building are to be removed. Sheet C-7 indicates existing fixtures are to remain and be protected during construction. Please clarify whether these lights are to be removed or remain.

All existing light fixtures to remain. See sheet C-7 for accurate lighting design within the revised Site Improvement Plans

Planning Review Chart

Parking Setback (Section 3.1.25.D)

Side (North)

- Existing non-conforming. New parallel 8' parking space proposed is in required 20' setback - variance required.

Per discussion with planning department this was the desired location for the parallel parking space, a variance will be pursued.

TC District Required Conditions (Section 3.27)

Development Amenities (Section 3.27.1.L)

- Provide details on artwork in next submittal.

Proposed art sculpture details to be provided under a separate cover and to be a condition of approval.

Parking and Loading Requirements

Bicycle Parking Lot Layout (Section 5.16.6A)

- Updated ordinance standards can be found here: <https://www.cityofnovi.org/media/e3dgnffm/18301-text-amendment-signed-072224.pdf>

Per discussions with the planning department, the bike layout provided on sheet C-10 is compliant and in accordance with the revised ordinance.

Bypass Lane for-Drive through (Section 5.3.11.D)

- A variance will be required for lack of a bypass lane.

Per discussions with the Fire Marshall a bypass lane will not be required. See correspondence with the Fire Marshall included within this submission package.

Centerline Radius of Drive-through Lanes (Section 5.3.11.F)

- A variance will be required for a centerline radius of less than twenty-five feet.

Stacking lanes and surrounding curbing modified to achieve 25FT centerline radii within the stacking lane. See sheet C-3 of the revised Site Improvement Plans

Drive-through Lane Stacking Spaces (Section 5.3.11.1)

- A variance will be required for the shortage of vehicle stacking spaces prior to the tunnel. Applicant is asked to provide a narrative description of how the stacking spaces currently operate and how it will operate with revised plan.

See sheet EX-2 for existing versus proposed stacking spaces. The existing site included 4 spaces where 9 spaces are proposed, doubling the existing conditions greatly improving the site. An existing non-conformity is being requested.

Lighting and Photometric Plan (Section 5.7)

Lighting Plan (5.7.2.A.i)

- Sheet C-2 Demo Plan notes five existing wall mounted lights on the north side of the building to be removed – this conflicts with existing fixtures to remain note on Sheet C-7. Please clarify.

Callout to remove existing lights along the north side of the building has been removed. See sheet C-2 of the revised Site Improvement Plans

Lighting Plan Elements (Section 5.7.2.A.ii)

- Please provide hours of operation in next submittal.

The hours of operations will be 7:00 AM to 8:00 PM.

Building Lighting (Section 5.7.2.A.iii)

- As noted above sheet C-2 Demo Plan notes five existing wall mounted lights on the north side of the building to be removed – this conflicts with existing fixtures to remain note on Sheet C-7. Please clarify.

All existing building fixtures are to remain. See sheet C-2 & C-7 within the revised Site Improvement Plans

Accessory Uses (Sec. 4.19)

Attendant Booth (Section 4.19.2.F)

- Provide details, setback to property lines, elevations, façade materials and colors.

Floorplan, elevations and image provided within this submission package.

Plan Review Center Report – Landscape

Parking Lot Landscaping (Zoning Sec. 5.5.3.C)

1. A landscape waiver is required for the lack of seven accessway perimeter trees along the south edge of the site. This waiver would be supported by staff as an existing condition as there is no room along that edge of the property.

A waiver is requested.

2. The loading area is not screened from Novi Road. This requires a landscape waiver. It is supported by staff as an existing condition (there is no room for it anywhere else on the site).

A waiver is requested.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. A landscape waiver is required for the deficiency in foundation landscape area provided. It would be supported by staff as an improvement on the existing conditions.

A waiver is requested.

2. A landscape waiver is also required for the deficiency in screening of the west side of the building (facing Novi Road). As the maximum area is provided, the waiver would be supported by staff.

A waiver is requested.

Landscape Review Summary Chart

Landscape Plan Requirements

Existing Plant Material, Existing Woodlands or Wetlands (LDM 10)

1. Please copy the tree protection fence detail from Sheet C-9 to Sheet C-2.
2. Please show the existing tree at the northeast corner of the building being protected by tree protection fencing from the construction east of it.

Tree protection added for tree at northeast corner of the building, see sheet C-2 of the revised Site Improvement Plans

Existing and Proposed Utilities (LDM 10)

1. Please show all the proposed light posts and resolve all post/tree conflicts.
2. There appears to be a conflict between the post and maple tree in the northwest corner that should be fixed.

All lighting fixtures shown on the landscape plan, all conflicts resolved, see sheet C-8 of the revised Site Improvement Plans

Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)

Accessway Perimeter

1. A landscape waiver is required for the deficiency.
2. It would be supported by staff to not provide trees along 257 if south edge (7 trees) as an existing condition since there isn't room for the trees there.

A waiver is requested.

3. Please move all three proposed trees on the east end southward 5 feet so the northern tree doesn't conflict with the existing 14" tree.

Proposed tree shifted south to avoid conflicts with existing 14" tree, see sheet C-8 of the revised Site Improvement Plans

Berms, Walls and ROW Planting Requirements

Cross-Section of Berms (LDM 10)

Type of Ground Cover

1. Please show some type of living groundcover in the front islands (lawn or other groundcover)

All ground cover revised to living Pennsylvania Sedge grass. See sheet C-8 of the revised Site Improvement Plans

ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)

Greenbelt Width

1. A landscape waiver is required for the deficiency in greenbelt width across most of the site.
2. It would be supported by staff as an existing condition.

A waiver is requested.

Non-Residential Projects (Zoning Sec 5.5.3.F.iii)

Screening of Outdoor Storage, Loading/Unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

1. A landscape waiver would be required for the lack of screening.
2. It would be supported by staff as an existing condition since that is the only area available.

A waiver is requested.

Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)

Interior Site Landscaping SF (Zoning Sec 5.5.3.D)

1. A landscape waiver is required for this deficiency.
2. As the applicant is improving on the existing condition, the waiver is supported by staff.

A waiver is requested.

Building Frontage Landscaping (Zoning Sec 5.5.3.D)

1. A landscape waiver is required for this deficiency.
2. It would be supported by staff as an improvement on the existing condition.

A waiver is requested.

Landscaping Notes, Details and General Requirements

Landscape Notes – Utilize City of Novi Standard Notes

Irrigation Plan (LDM 10)

1. Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival on the final site plan.
2. If xeriscaping is used, please provide information about plantings included.

Irrigation plan to be provided during the Final Site Plan phase.

Other Information (LDM 10)

1. The note regarding the seed mix can be removed.

Note removed, see sheet C-8 of the revised Site Improvement Plans

Other Plan Material Requirements (LDM 11)

General Conditions

1. Please add note near property lines stating this.

Note added to plans, see sheet C-8 of the revised Site Improvement Plans

Plant Materials & Existing Plant Material (LDM 11)

1. Please show all existing plant material to be removed on the Demolition Plan.

No existing planting material to be removed during construction.

Recommended Trees for Planting Under Overhead Utilities (LDM 11)

1. Please remove the notes stating there are no overhead lines on the site as there are, at the southwest corner.

Note removed, see sheet C-8 of the revised Site Improvement Plans

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Mitchell Harvey, PE
Stonefield Engineering and Design, LLC



Vincenzo Finazzo
Stonefield Engineering and Design, LLC

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