



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **ZONING BOARD APPEALS DATE:** June 14, 2016

REGARDING: 26150 NOVI ROAD (PZ16-0019), Parcel 50-22-14-351-057 & 50-22-14-351-058

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Novi Town Center Plaza, LLC

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:	TC, Town Center
Location:	North of Grand River Ave. and east of Novi Road
Parcel #:	50-22-14-351-057 & 50-22-14-351-058

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 3.1.25.D to allow construction of a new commercial building with reduced parking setbacks on the north (20 feet required, 9.8 feet proposed), on the east (20 feet required, 9.4 feet proposed) and on the south (20 feet required, 0.0 feet proposed). The property is zoned TC.

II. STAFF COMMENTS:

Proposed Changes

The applicant is requesting approval to construct a new commercial building with reduce parking setbacks on the front and sides.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ16-0019**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

- (b) The property is unique because _____
_____.
- (c) Petitioner did not create the condition because _____
_____.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____
_____.
- (e) The relief is consistent with the spirit and intent of the ordinance because _____
_____.
- (f) The variance granted is subject to:
 - 1. _____.
 - 2. _____.
 - 3. _____.
 - 4. _____.

2. I move that we **deny** the variance in Case No. **PZ16-0019**, sought by _____,
for _____ because Petitioner has not shown
practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because _____
_____.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.
- (d) The variance would result in interference with the adjacent and surrounding properties by _____.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

MAR 31 2016

CITY OF NOVI
COMMUNITY DEVELOPMENT

I. PROPERTY INFORMATION (Address of subject ZBA Case)		Application Fee: <u>\$300.00</u>	
PROJECT NAME / SUBDIVISION Novi Town Center Gardens		Meeting Date: <u>June 14, 2016</u>	
ADDRESS 26150 Novi Road	LOT/SIUTE/SPACE #	ZBA Case #: <u>PZ16-0019</u>	
SIDWELL # 22-14-351-057, 22-14-351-058 May be obtain from Assessing 50-22- Department (248) 347-0485			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS nsandiha@keystonecm.com	
NAME Nick Sandiha		CELL PHONE NO.	
ORGANIZATION/COMPANY Novi Town Center Plaza, LLC		TELEPHONE NO. (248) 406-7101	
ADDRESS 31000 Northwestern Highway		FAX NO. (248) 539-9711	
CITY Farmington Hills		STATE MI ZIP CODE 48334	
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	
NAME Same as above		CELL PHONE NO.	
ORGANIZATION/COMPANY		TELEPHONE NO.	
ADDRESS		FAX NO.	
CITY		STATE	
STATE		ZIP CODE	
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input checked="" type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED: (Planning Commission may waive items #1 and #2)			
1. Section <u>3.1.25D</u> Variance requested Parking setback - Sides (North, East, and South)			
2. Section <u>3.6.2</u> Variance requested Building setback - side yards (North, and East)			
3. Section <u>4.19.2.F</u> Variance requested Dumpster - For 1' setback from South Property line			
4. Section _____ Variance requested _____			
IV. FEES AND DRAWINGS			
A. FEES			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

- CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

3-28-16
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

3-28-16
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

- GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date

Revised - changes w/ Ann HAN BY PHONE 5/20/16 - will provide updated plans for permits



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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

The existing property is surrounded on three sides with public roads. The current design removes an existing curb cut on Novi Road to promote the desires and safety of City of Novi's Master Plan. Town Center has denied access from our property to Ingersol Road, so that existing curb cut has been eliminated. These issues allow for concentrated vehicle access on Crowe Road and promotes a tightly designed site plan.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The current design strives to meet the expectations outlined in the City of Novi's Master Plan with attention to the Town Center Area Study - specifically the Grand River-Novu Business Area. New sidewalks have been incorporated along Crowe and Ingersol roads with decorative screening walls and landscaping to strengthen public circulation. The aim of the parking variances is to maximized the development while providing this balance of pedestrian amenities; creating a high quality and attractive ambiance within the confines of the property.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Strict Compliance to the normal regulations of the zoning ordinance would adversely affect the character and viability of the current design. Showing support in favor of this creative endeavor, the Planning Commission has granted some building setback reductions to promote its implementation.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

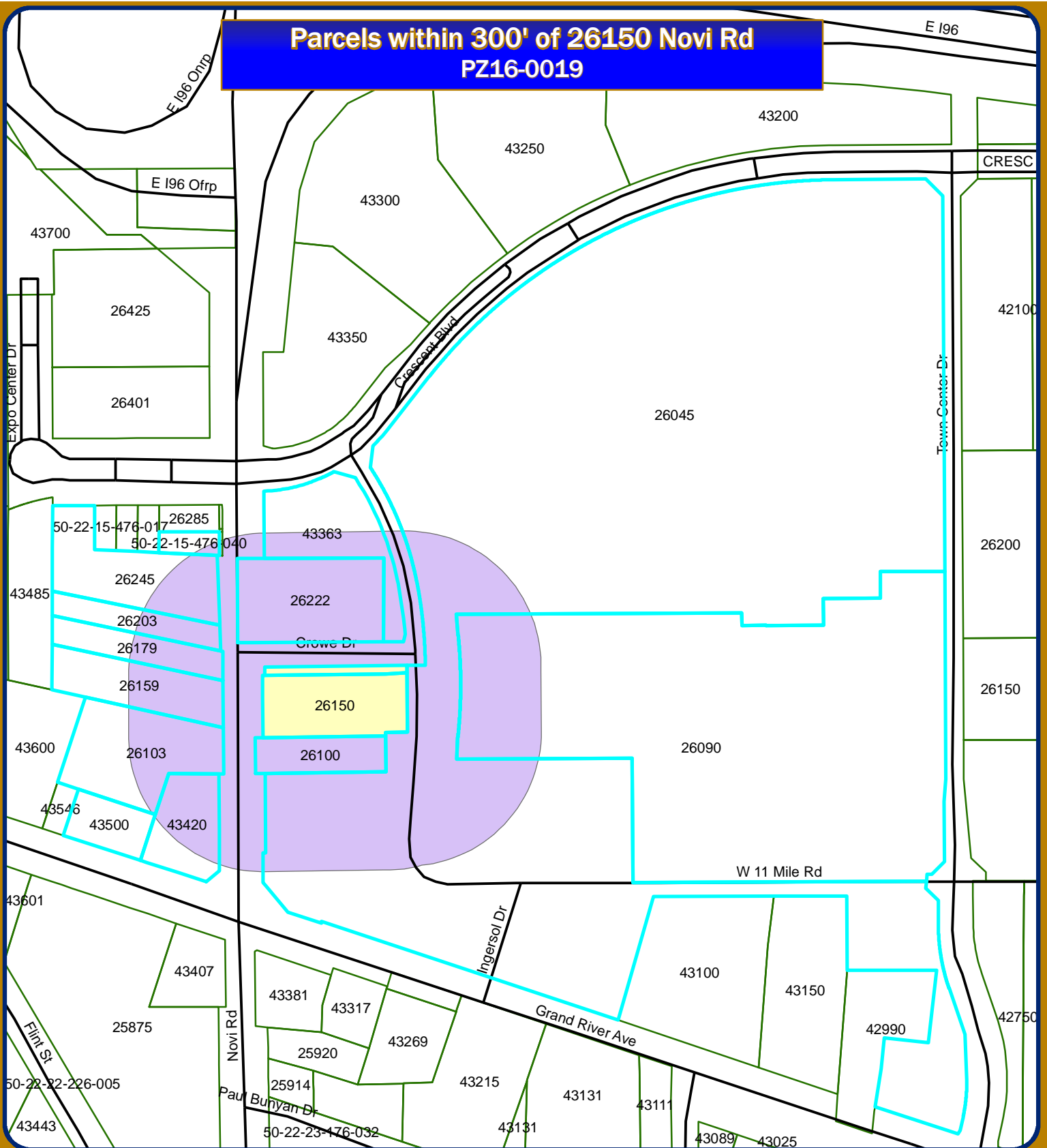
The requested parking variances are in response to the proposed site plan that is sensible, functional and efficient. These variances meet the minimum requirements set forth by engineering standards and intends to invigorate the surrounding area by complying with the City of Novi's Master Plan.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The requested parking lot variances, along with the decorative screening fence and landscaping, will beautify the area and allow for a viable re-development opportunity. The existing configuration of the site is already nonconforming to the current zoning ordinance. This new design maximizes the site with a newly configured building using upscale materials, which will enhance the appeal of the site, bring new jobs to the area and serve its patrons more effectively.

Parcels within 300' of 26150 Novi Rd PZ16-0019



Map Author: Jon Gartha
 Date: May 26, 2016
 Address List for 22-14-351-057 & 22-14-351-058
 Version #: 1.0

Amended By:
 Date:
 Department:

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Map Legend

- 300' Buffer
- Subject Property
- Tax Parcel

Municipality

- Novi
- Novi Twp.



City of Novi

IT Department
 GIS Division
 45175 Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org



1 inch = 293 feet





**Novi Town Center Gardens
JSP15-77**

Date: May 20, 2016

Response Letter

Please find the following comments to address items presented in the review letters received on May 19, 2016. The order of the items follow the same general order as the review letter for convenience.

Planning Review dated May 16, 2016

Ordinance Requirements

1. The two parcels will be combined prior to final site plan approval.
2. Building Setbacks (Sec. 3.1.25.D): Buildings in the TC District must be setback 50 feet from all property lines.
The plan indicates reductions to 14.7 ft. setback in the front (Novi Road), 15 ft. setback in the exterior side (Crowe Road), and 11.4 ft. setback in the interior side (south). Building setback reductions are requested.
3. Parking Setbacks (Sec. 3.25.D): Parking in the TC District must be setback 20 ft. from the right-of-way line of any street or roadway. The plan indicates reductions to the setback from Crowe Rd. to 9.8 ft., Ingersol to 9.4 ft., and the interior side (south) to 0 ft (minimum). Parking setback reductions are being applied for to the Zoning Board of Appeals.
4. Exterior Side Yard Abutting a Street (Sec 3.6.2.C): All exterior side yards abutting a street shall be provided with a setback equal to the front yard, which in TC is 50 ft. 9.8 feet (to parking overhang) along Crowe Drive is proposed. Side yard setback reductions are requested.

Engineering Review dated April 11, 2016

General

1. A right-of-way permit will be obtained from the City of Novi and Oakland County.
2. Soil borings will be provided by the applicant.
3. The Non-domestic User Survey form will be submitted to the City so it can be forwarded to Oakland County.
4. A traffic control plan will be provided for the proposed road work activity (City roads).
5. A construction materials table will be provided on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
6. Utility crossing information will be provided indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
7. Generally, all proposed trees will remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities will be shown on the landscape plan to confirm the separation distance.
8. The locations of all light poles will be shown on the utility plan with typical foundation depth noted for the pole.
9. The City standard detail sheets will be provided with the Stamping Set submittal.

API Plan Design Build

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Water Main

10. All proposed water main 8-inch and larger will be profiled.
11. Proposed size and material for the water service lead will be provided.
12. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1 /07 rev.) for water main construction and the Streamlined Water Main Permit Checklist will be submitted to the Engineering Department for review. Utility plan sets will include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

13. 6-inch sanitary leads will be a minimum SDR 23.5, and mains will be SDR 26.
14. A note will be provided on the Utility Plan stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
15. Provide proposed size and material for the sanitary service lead will be provided.
16. Sanitary sewer basis of design will be provided.

Storm Sewer

17. Minimum cover depth of 3 feet will be maintained over all storm sewers where feasible. In situations where the minimum cover cannot be achieved, Class V pipe will be used with an absolute minimum cover depth of 2 feet. An explanation will be provided where the cover depth cannot be provided.
18. A 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs will be provided.
19. The 0.80 diameter depth above invert for pipe size increases will be provided.
20. Storm manholes with differences in invert elevations exceeding two feet will contain a 2-foot deep plunge pool.
21. A four-foot deep sump and an oil/gas separator will be provided in the last storm structure prior to discharge to the storm water basin.
22. All inlet storm structures will be labeled on the profiles.
23. The 10-year HGL will be noted on the storm sewer profiles.
24. All pipes intersecting storm structures will be noted on the storm profiles.
25. A casting type schedule will be provided for each proposed storm structure on the utility plan. Round castings will be provided on all catch basins except curb inlet structures.
26. All roof conductors will be shown and labeled, and where they tie into the storm sewer.

Storm Water Management Plan

27. The Storm Water Management Plan for this development will be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
28. An access easement for maintenance over the storm water detention system and the pretreatment structure will be provided. Also, an access easement to the detention area from the public road right-of-way will be provided.
29. Manufacturers details and sizing calculations for the pretreatment structure(s) will be provided within the plans. Drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure will be provided.
30. The overland routing that would occur in the event the underground system cannot accept flow will be provided.

API Plan Design Build

5101 Williams Lake Road, Waterford, Michigan 48329

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31. An under drain will be provided, if the large pipes are perforated, along the downstream side of the underground detention system which is tied into a manhole as a means of secondary storm water conveyance to the outlet.
32. A soil boring in the vicinity of the proposed underground detention system to determine bearing capacity and the high water elevation of the groundwater table will be provided.
33. Required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications will be noted.
34. Note will be provided on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.
35. The assumed porosity of the aggregate will be provided in the event storage is proposed in the aggregate. The volume calculations shall consider only 85-percent of that volume as available for storage to account for sediment accumulation in the aggregate.
36. A note will be provided on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers, if applicable.
37. An isolator row in the underground detention system in addition to the swirl concentrator chamber will be provided if applicable.
38. The underground storage system will include 4-foot diameter manholes at one end of each row for maintenance access.
39. Inspection ports will be provided throughout the underground detention system.
40. Critical elevations (low water, first flush, bank full, 100-year, and pavement elevation) will be shown of the detention system on the underground detention system cross-section with at least 1 ft. of freeboard between the 100-year elevation and the subgrade elevation under the pavement.

Paving & Grading

41. The right-of-way sidewalk will continue through the drive approach. If like materials are used for each, the sidewalk will be striped through the approach. The sidewalk will be increased to 8-inches thick along the crossing or match the proposed cross-section if the approach is concrete. Additional spot grades will be provided to verify the maximum 2-percent cross-slope is maintained along the walk.

Off-Site Easements

42. Temporary grading/construction easement for the work on Ingersol Dr to be addressed by the applicant.

Soil Erosion

43. A SESC permit will be obtained.

To be submitted at the time of Final Site Plan submittal:

44. A letter from either the applicant or the applicant's engineer will be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
45. An itemized construction cost estimate will be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate will only include the civil site work and not any costs associated with construction of the building or any demolition work. The cost estimate will be itemized for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving



(including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

To be submitted at the time of Stamping Set submittal:

46. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, will be submitted to the Community Development Department with the Final Site Plan.

47. Executed copies of any required off-site utility easements will be submitted to the Community Development Department.

To be addressed prior to construction:

Required items listed in the review will be addressed, as necessary.

Landscape Review dated May 16, 2016

Novi Road

3. Novi Road greenbelt calculations will be added to the plans.

4. A landscape waiver is requested for the tree shortages. The landscape waiver shortages will be identified on the revised plan.

Ingersol and Crowe Drives

3. Landscape waiver is requested for the shortages in greenbelt widths and greenbelt plantings.

Parking Lot Landscape

3. The eastern endcap island landscaping will be revised due to underground detention.

Parking Lot Perimeter Canopy Trees

A landscape waiver is requested for perimeter tree shortages. A perimeter parking lot tree waiver will be noted on the next submitted plan set.

Other Requirements

An irrigation plan will be provided.

AECOM Traffic Review dated May 18, 2016

Internal Site Operations

2.d. Parking island dimensions will be provided.

4.b. The ramp where the sidewalk meets the parking lot near the bicycle parking will be ADA compliant with details provided.

4.c. The sidewalk ramps at the driveway crossing will be ADA compliant with details provided.

4.d. The ramps at the southeast quadrant of Novi Road and Crowe Drive will be affected. Ramp details will be provided.

5.a. White crosswalk markings through driveway will be noted.

5.b. Pavement markings in the loading zone will be labeled.

5.c. A "No Parking Loading Zone" sign (R7-6) will be shown in the island adjacent to the loading zone.

DRN & Associates, Architects, PC review dated April 18, 2016

- DRN recommends approval.
- Section 9 waiver is requested.

Fire Department review dated May 11, 2016

- Fire Department recommends approval.

API Plan Design Build

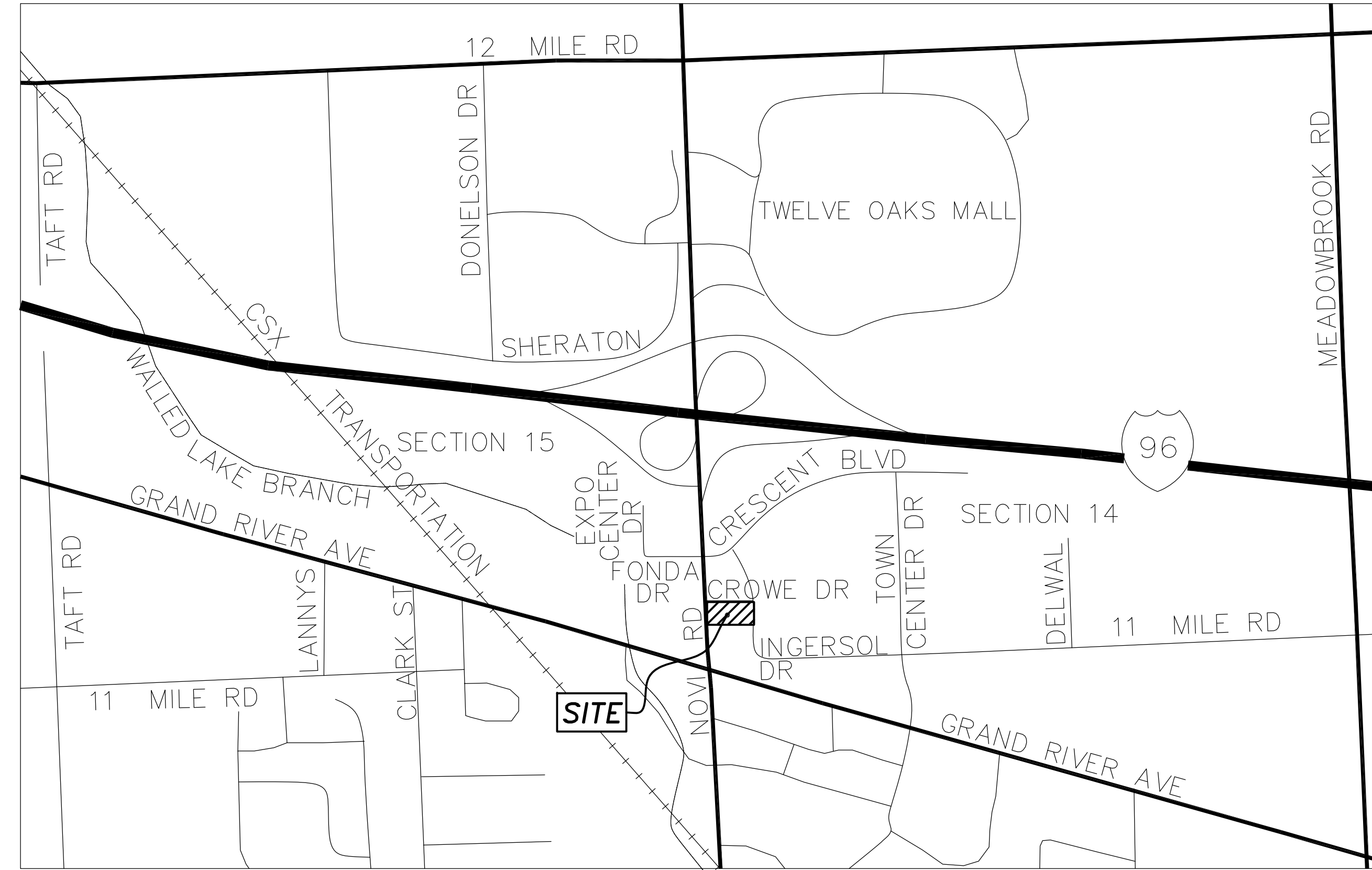
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TOWN CENTER GARDENS

PRELIMINARY SITE PLAN CITY OF NOVI, OAKLAND COUNTY



LOCATION MAP
1"=830'

APPLICANT/DEVELOPER:
NOVI TOWN CENTER PLAZA, LLC
31000 NORTHWESTERN HIGHWAY,
SUITE 200
FARMINGTON HILLS, MICHIGAN 48334
PHONE: (248) 356-8000

ARCHITECT:
API PLAN DESIGN BUILD
5101 WILLIAMS LAKE ROAD
WATERFORD, MI 48329
PHONE: (248) 674-1340

LANDSCAPE ARCHITECT:
ALLEN DESIGN
557 CARPENTER
NORTHVILLE, MI 48167
PHONE: (248) 467-4668

CIVIL ENGINEER:
ALPINE ENGINEERING, INC.
46892 WEST ROAD, SUITE 109
NOVI, MI 48377
PHONE: (248) 926-3701



NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

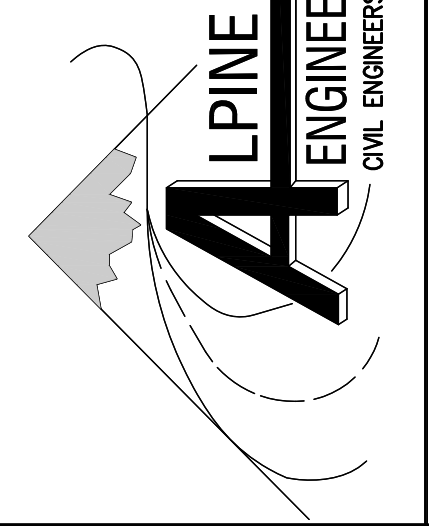
SHEET INDEX

1	COVER SHEET
2	PRELIMINARY SITE PLAN
3	DEMOLITION PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	DETAIL SHEET
7	STORM WATER MANAGEMENT PLAN
ALLEN DESIGN	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
API PLAN DESIGN BUILD	
A-1	BUILDING FLOOR PLAN AND DETAILS
A-2	EXTERIOR BUILDING ELEVATIONS
ES-1	ELECTRICAL SITE PHOTOMETRIC PLAN
KEM-TEC & ASSOCIATES	
1 OF 1	TOPOGRAPHIC SURVEY

COMMERCIAL
SITE PLANNING
SURVEYING
INDUSTRIAL & MULTI-UNIT
LAND SURVEYING
CONSTRUCTION LAYOUT

SURVEYING
ALTA SURVEYS
BOUNDARY SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPLITS

RESIDENTIAL
SUBDIVISIONS
SINGLE-FAMILY
MULTI-FAMILY
PLOT PLANS
CONSTRUCTION LAYOUT



811
Know what's below
Call before you dig.

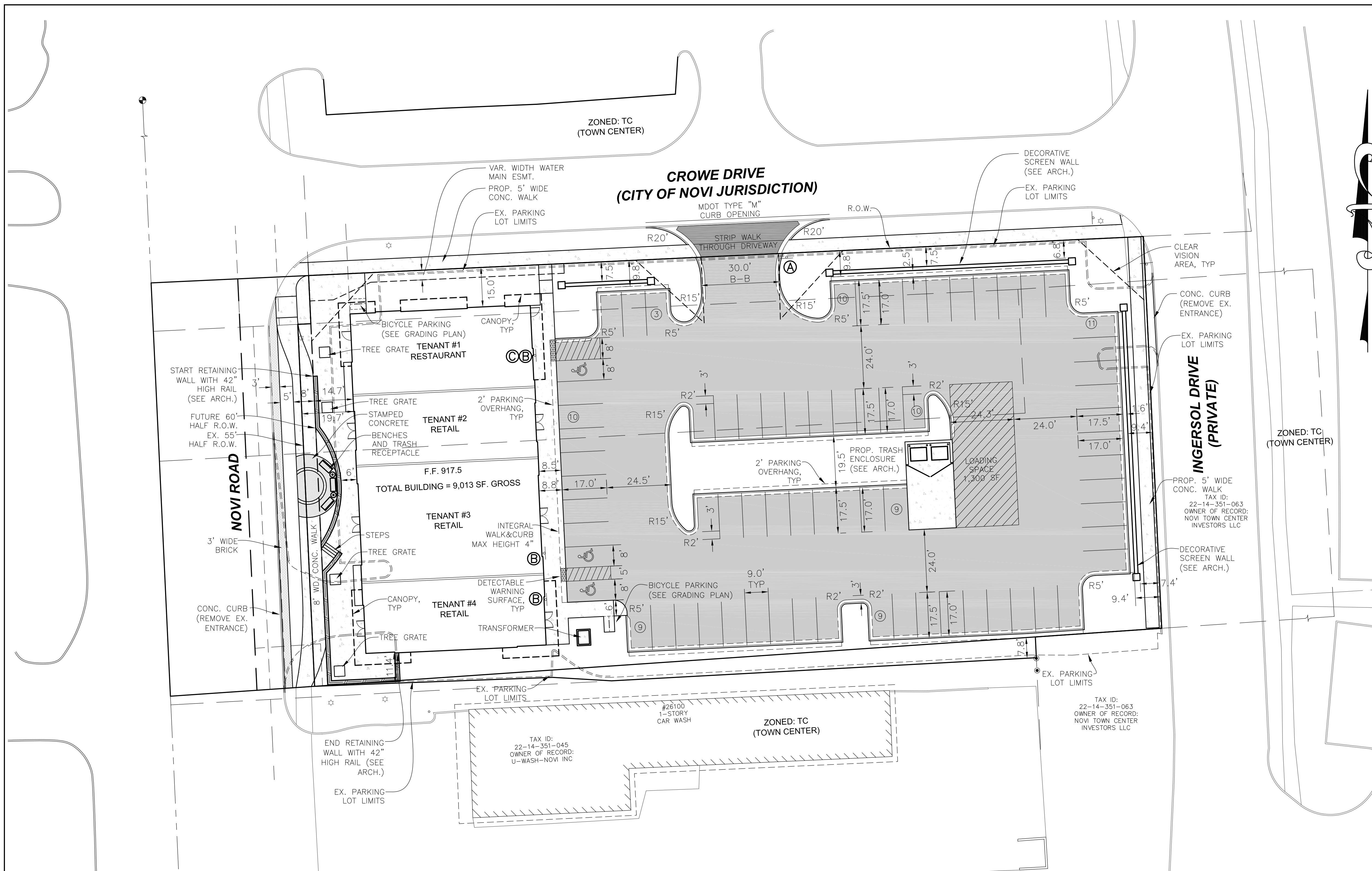
CLIENT: NOVI TOWN CENTER PLAZA, LLC
COVER SHEET
SECTION: 14
TOWNSHIP: IN
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN
RANGE: BE

REVISED
2016-03-29 PSP SUBMITTAL
2016-05-06 PSP SUBMITTAL

DATE: 2016-03-29
DRAWN BY: TG

CHECKED BY: SD/TG

FBK:
CHF:
SCALE HOR 1"= FT.
VER 1"= FT.
1
16-160



SITE DATA:

ZONING: TC TOWN CENTER DISTRICT

SITE AREA DATA:
 TOTAL SITE AREA: 1.13 ACRES±
 PARCEL ID: 22-14-351-058 & 22-14-351-057

BUILDING DATA:
 RESTAURANT #1: 2,340 SF
 RETAIL #2: 1,704 SF
 RETAIL #3: 3,074 SF
 RETAIL #4: 1,895 SF
 TOTAL BUILDING AREA: 9,013 SF

BUILDING SETBACKS:

	REQUIRED	PROPOSED
FRONT (NOVI RD)	50 FT	14.7 FT
EXTERIOR SIDE (CROWE/INGERSOL DR)	50 FT	15 FT N., 233.9 FT E
SIDE (SOUTH)	50 FT	11.4 FT

PARKING SETBACKS:

	REQUIRED	PROPOSED
FRONT (NOVI RD)	20 FT	90.6 FT
EXTERIOR SIDE (CROWE DR)	20 FT	9.8 FT
EXTERIOR SIDE (INGERSOL DR)	20 FT	9.4 FT
SIDE (SOUTH)	20 FT	0 FT

TRASH ENCLOSURE SETBACKS:

	REQUIRED	PROPOSED
REAR ROW	50 FT	76.3 FT

PARKING CALCULATIONS:

PARKING REQUIRED:
 RETAIL 1 SPACE / 200 S.F. OF GROSS LEASABLE AREA
 (6,673 / 200) = 33 SPACES

RESTAURANT (SIT-DOWN TYPE) 1 SPACE / 70 S.F. OF GROSS FLOOR AREA
 (2,340 / 70) = 33 SPACES

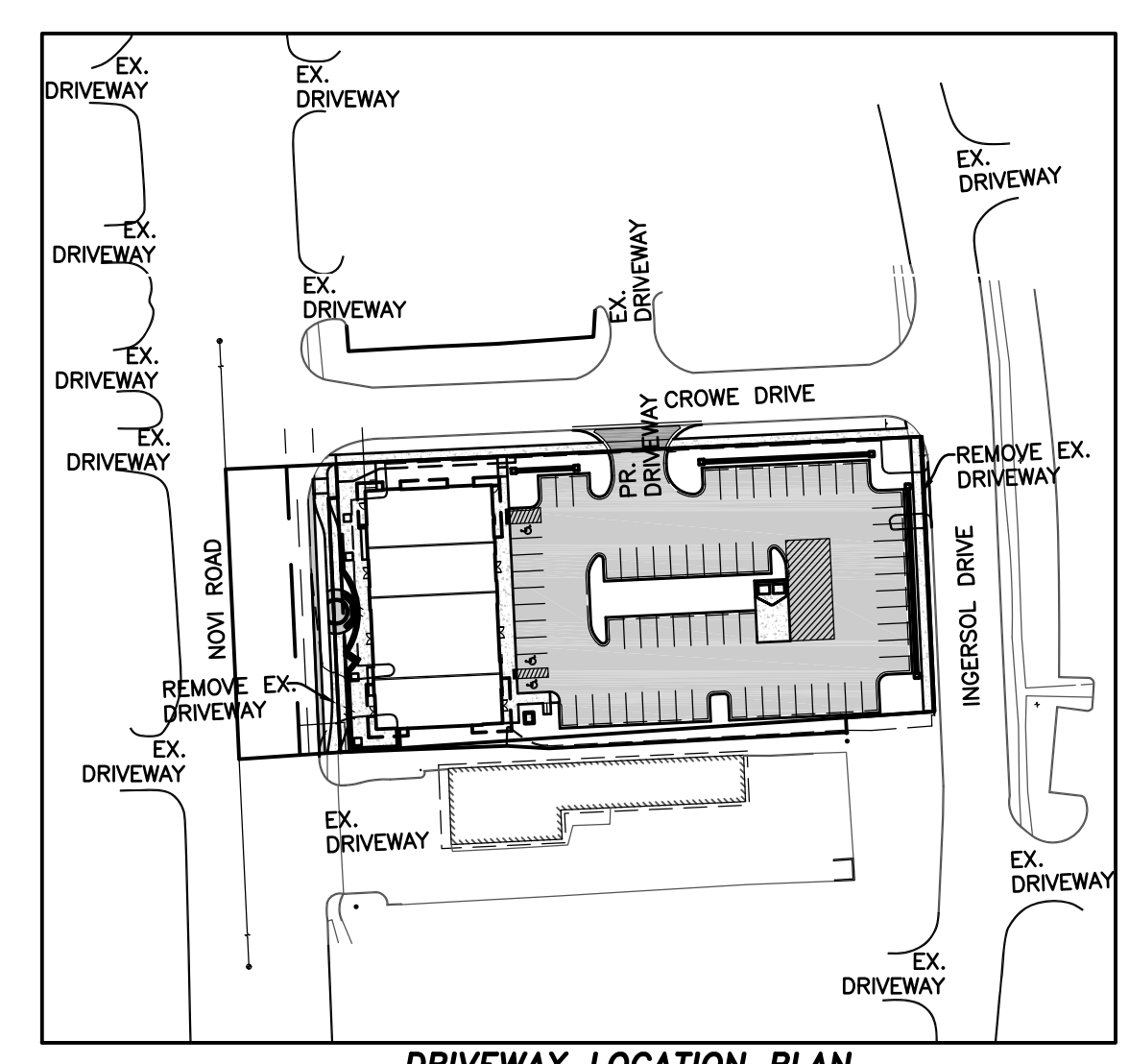
PARKING REQUIRED= 66 SPACES REQUIRED

PARKING PROVIDED= 71 SPACES ON-SITE (INCLUDES 3 H.C. SPACES)

REQUIRED BICYCLE PARKING:
 REQUIRED: 5% OF REQUIRED AUTO SPACES
 = 71x.05= 4 BICYCLE PARKING SPACES
 PROVIDED: 4 BICYCLE PARKING SPACES

- FIRE DEPARTMENT NOTES:**
1. WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
 2. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3" HIGH ON A CONTRASTING BACKGROUND.
 3. FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS.
 4. IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER OBJECT FOR A MINIMUM OF 3 FEET.
 5. IN ANY BUILDING OR STRUCTURE REQUIRED TO BE EQUIPPED WITH A FIRE DEPARTMENT CONNECTION, THE CONNECTION SHALL BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT.

- GENERAL SITE NOTES:**
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2. ROOFTOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
 3. EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
 4. RIGHT OF WAY PERMIT IS REQUIRED FROM THE ROAD COMMISSION FOR OAKLAND COUNTY AND CITY OF NOVI FOR ANY WORK IN THE 12 MILE ROAD RIGHT-OF-WAY.
 5. ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TYPICAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
 6. ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE "2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (2011 MMUTCD).
 7. NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 8. CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 9. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
 10. ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDOT).
 11. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
 12. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
 13. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.



TRAFFIC SIGNING REQUIREMENTS

ITEM	MMUTCD CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R7-1	1	24"x24"	STOP
(B)	R7-8	3	12"x18"	RESERVED PARKING ONLY
(C)	R7-8P	1	12"x6"	VAN ACCESSIBLE

- TRAFFIC SIGNING AND STRIPING REQUIREMENTS**
1. ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MMUTCD.
 2. SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL OR FENCE MOUNTED AS INDICATED ON THE PLANS, LOCATE AND INSTALL IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
 3. STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ABUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
 4. AN END PARKING SPACE ABUTTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPACE OR 9 FEET WIDE IF NOT. THESE WIDTHS ARE REFERENCED TO THE FACE OF CURB OR WALK.
 5. EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.
 6. SOLID ARROWS INDICATE WHERE ARROWS ARE PROPOSED AS PART OF THE STRIPING PLAN; HOLLOW ARROWS ARE PROVIDED TO DENOTE TRAFFIC FLOW DIRECTION.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

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 SITE PLANNING
 SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 INDUSTRIAL & MULTI-UNIT
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 CONSTRUCTION LAYOUT

RESIDENTIAL
 SUBDIVISIONS
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NOVI TOWN CENTER PLAZA, LLC

PRELIMINARY SITE PLAN

TOWN CENTER GARDENS

SECTION: 14

CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN

RANGE: BE

CLIENT:

REVISED

2016-03-29 PSP SUBMITTAL

2016-05-06 PSP SUBMITTAL

DATE: 2016-03-29

DRAWN BY: TG

CHECKED BY: SD/TG

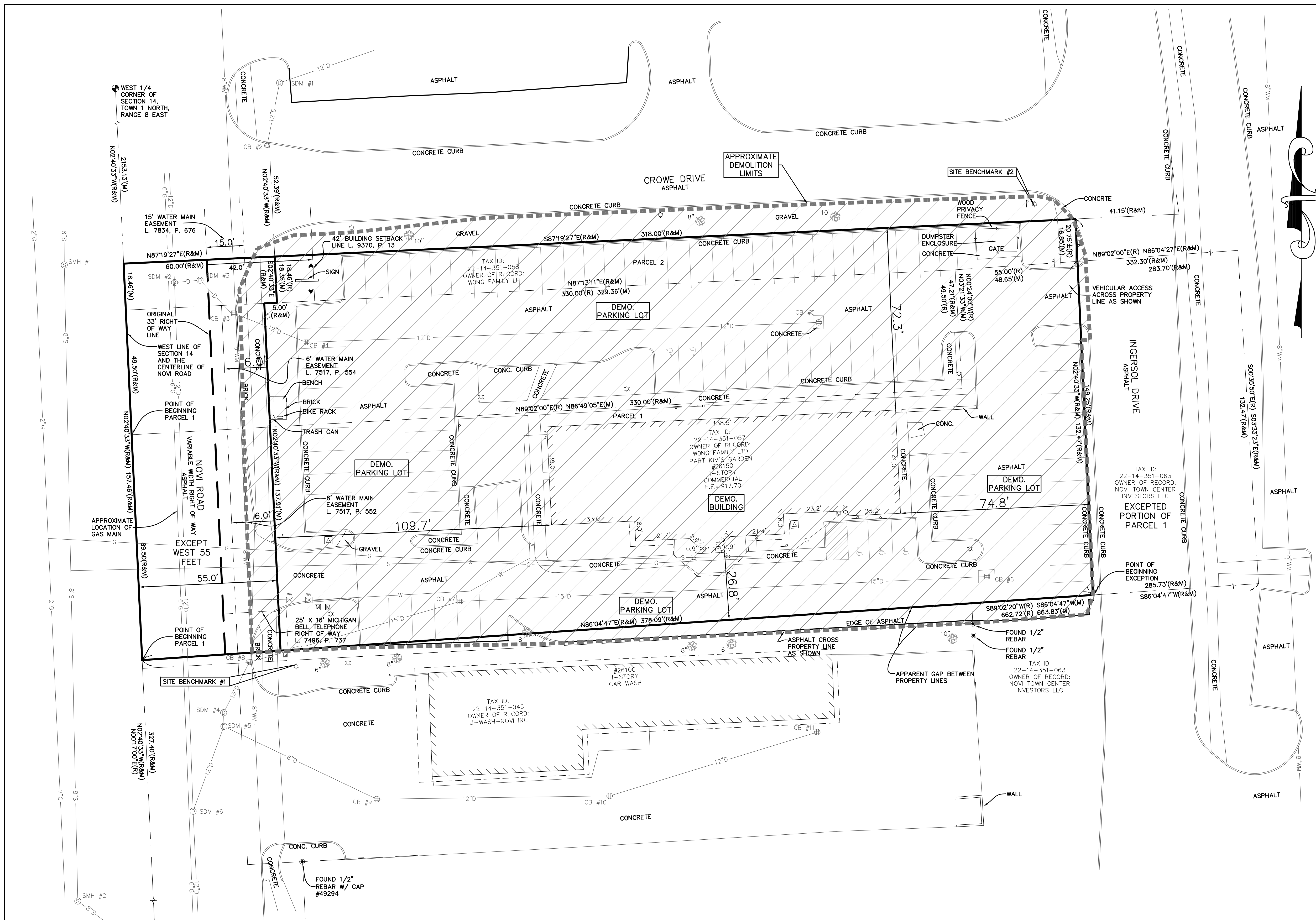
FBK:

CHF:

SCALE: HOR 1"=20 FT.
 VER 1"=10 FT.

16-160

2



- NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - CLEAN EXISTING STORM SEWERS AND STORM SEWER STRUCTURES AS NECESSARY VIA JET AND VACUUM.
 - DEMOLITION PLAN IS FOR GENERAL INFORMATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND COORDINATING WITH OWNER TO DETERMINE DETAILED DEMOLITION REQUIREMENTS.
 - CONTRACTOR TO COORDINATE WITH FRANCHISE UTILITY COMPANIES AND/OR CITY AND COUNTY DEPARTMENTS FOR REMOVAL AND/OR RELOCATION OF METER BOXES, UTILITY POLES, UNDERGROUND LINES, ABOVE GROUND LINES, ETC., AS NECESSARY.
 - REMOVE EXISTING BUILDING WALLS, FLOOR SLABS, AND FOUNDATION AS DIRECTED BY THE GEOTECHNICAL ENGINEER. BACKFILL THE OPENING WITH SUITABLE MATERIAL TO CARRY BUILDING/PARKING LOT LOADS.
 - REMOVE OR GROUT IN PLACE, AS DIRECTED BY THE FIELD INSPECTOR, EX. SEWERS AND/OR MAINS TO BE ABANDONED AS NECESSARY.
 - CONTACT OWNER FOR ENVIRONMENTAL REPORT FOR ANY ENVIRONMENTAL CONCERNS.
 - CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.
 - CONTRACTOR TO PROTECT EX. WALKS, POSTS, CONDUITS, PAVEMENT, CURBS, GUTTER, WALLS, BUILDINGS, FENCES, LANDSCAPING, TREES, ETC. TO REMAIN DURING CONSTRUCTION. CONTRACTOR TO COORDINATE REPLACEMENT OF LANDSCAPING, ETC. WITH THE OWNER. PUBLIC SIDEWALKS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.
 - PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EX. UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR ON THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS IN USE/ACTIVE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND THE REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.
 - CONTRACTOR TO COORDINATE WITH THE ADJACENT LAND OWNERS AS REQUIRED.
 - PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS TO ENSURE NO STANDING WATER WITHIN PAVEMENT OR GREEN AREAS. PRIOR TO CONSTRUCTION, FIELD VERIFY EXISTING PAVEMENT AND CURB ELEVATIONS WHERE PROPOSED PAVEMENT AND CURB MEETS EXISTING PAVEMENT AND CURB. PAVING CONTRACTOR SHALL TAKE EXTRA CARE TO ENSURE 1% MINIMUM PAVEMENT SLOPE IS ACHIEVED AND SHALL CONTACT DESIGN ENGINEER PRIOR TO CONSTRUCTION IF A CONFLICT IS APPARENT.
 - CONTRACTOR TO FIELD VERIFY EXISTING IRRIGATION LOCATIONS AND REMOVE OR RELOCATE EXISTING IRRIGATION AS NECESSARY TO FACILITATE CONSTRUCTION.
 - REMOVE AND REPLACE ADDITIONAL PAVEMENT AS NECESSARY TO FACILITATE LIGHT POLE, SIGNAGE, AND IRRIGATION CONSTRUCTION. COORDINATE REMOVALS WITH LIGHTING, SIGNAGE AND IRRIGATION PLANS.
 - CONTRACTOR TO ESTABLISH NEW BENCHMARKS, AS NECESSARY PRIOR TO DEMOLITION WORK.
 - CONTRACTOR TO COORDINATE OBTAINING RIGHT-OF-WAY PERMITS WITH THE CITY, AS NECESSARY.
 - REFER TO THE SITE PLAN, GRADING PLANS, AND THE UTILITY PLANS FOR ADDITIONAL INFORMATION.
 - SURVEY PROVIDED BY OTHERS.

- BENCHMARKS:**
- SITE BENCHMARK #1:**
CUT "X" NORTH SIDE OF CONCRETE LIGHT POLE BASE, SOUTHWEST CORNER OF PROPERTY.
ELEVATION = 915.85' (NAVD88)
- SITE BENCHMARK #2:**
CUT "X" SOUTH SIDE OF CONCRETE LIGHT POLE BASE, NORTHEAST CORNER OF PROPERTY.
ELEVATION = 919.55' (NAVD88)
- CITY BENCHMARK #1542:**
CUT "X" NORTH RIM OF SANITARY MANHOLE, EAST OF PROPERTY.
ELEVATION = 915.10' (NAVD88)

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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MANHOLE SCHEDULE

SQUARE CATCH BASIN (CB #2) RIM = 917.60' INV. 12" RCP, NORTHEAST= 911.00' INV. 12" RCP, SOUTHWEST= 910.92'	SQUARE CATCH BASIN (CB #7) RIM = 914.49' INV. 15" RCP, EAST= 909.74' INV. 15" RCP, SOUTHWEST= 909.74'	STORM MANHOLE (SDM #1) RIM = 921.42' INV. 12" RCP, NORTHEAST= 914.82' INV. 12" RCP, SOUTHWEST= 914.74'	STORM MANHOLE (SDM #5) RIM = 912.65' INV. 12" RCP, NORTH= 908.95' INV. 12" RCP, SOUTHWEST= 908.75' INV. 6", SOUTHEAST= 909.15'
SQUARE CATCH BASIN (CB #3) RIM = 915.50' UNABLE TO ACCESS	SQUARE CATCH BASIN (CB #8) RIM = 912.29' INV. 15" RCP, NORTHEAST= 909.59' INV. 15" RCP, SOUTHWEST= 909.59'	STORM MANHOLE (SDM #2) RIM = 916.38' UNABLE TO ACCESS	STORM MANHOLE (SDM #6) RIM = 913.10' UNABLE TO ACCESS
SQUARE CATCH BASIN (CB #4) RIM = 915.14' INV. 12" RCP, EAST= 912.64' INV. 12" RCP, SOUTHWEST= 912.64'	ROUND CATCH BASIN (CB #9) RIM = 914.82' INV. 6", NORTHWEST= 909.52' INV. 12", EAST= 909.82'	STORM MANHOLE (SDM #3) RIM = 916.18' UNABLE TO ACCESS	SANITARY MANHOLE (SMH #1) RIM = 916.72' UNABLE TO ACCESS
ROUND CATCH BASIN (CB #5) RIM = 915.82' INV. 12" RCP, WEST= 913.67'	ROUND CATCH BASIN (CB #10) RIM = 914.70' TOP OF DEBRIS= 910.70'	STORM MANHOLE (SDM #4) RIM = 912.67' INV. 15" RCP, NORTHEAST= 909.27' INV. 12" RCP, SOUTH= 909.07'	SANITARY MANHOLE (SMH #2) RIM = 912.90' UNABLE TO ACCESS
SQUARE CATCH BASIN (CB #6) RIM = 914.93' INV. 15" RCP, WEST= 911.33'	ROUND CATCH BASIN (CB #11) RIM = 914.23' INV. 12" RCP, SOUTHWEST= 911.13'		

LEGEND:

(R&M)	FOUND MONUMENT (AS NOTED)	□	MAIL BOX
(R)	FOUND SECTION CORNER (AS NOTED)	—	SINGLE POST SIGN
(M)	RECORD AND MEASURED DIMENSION	—	HANDICAP PARKING
+xxxx	RECORD DIMENSION	—	PARCEL BOUNDARY LINE
□	MEASURED DIMENSION	—	PLATTED LOT LINE
□	GROUND POINT	—	SECTION LINE
□	TRANSFORMER	—	EASEMENT (AS NOTED)
□	GAS METER	—	BUILDING (AS NOTED)
□	CABLE TV RISER	—	BUILDING OVERHANG
□	CLEANOUT	—	BUILDING HATCH
□	ROUND CATCH BASIN	—	CONCRETE CURB
□	SQUARE CATCH BASIN	—	EDGE OF CONCRETE
□	STORM DRAIN MANHOLE	—	EDGE OF BRICK
□	SANITARY MANHOLE	—	FENCE (AS NOTED)
□	FIRE DEPARTMENT CONNECTION	—	WALL (AS NOTED)
□	WATER VALVE	—	GAS LINE
□	FLAGPOLE	—	SANITARY LINE
□	FLOOD LIGHT	—	STORM LINE
□	TREE	—	WATER LINE
□	LIGHTPOST/LAMP POST	—	
□		□	APPROXIMATE AREA OF DEMOLITION

CLIENT: NOVI TOWN CENTER PLAZA, LLC

REVISED:
2016-03-29 PSP SUBMITTAL
2016-05-06 PSP SUBMITTAL

DATE: 2016-03-29

DRAWN BY: TG

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FBK:

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SECTION: 14

TOWNSHIP: IN

CITY OF: NOVI

COUNTY: OAKLAND

STATE: MICHIGAN

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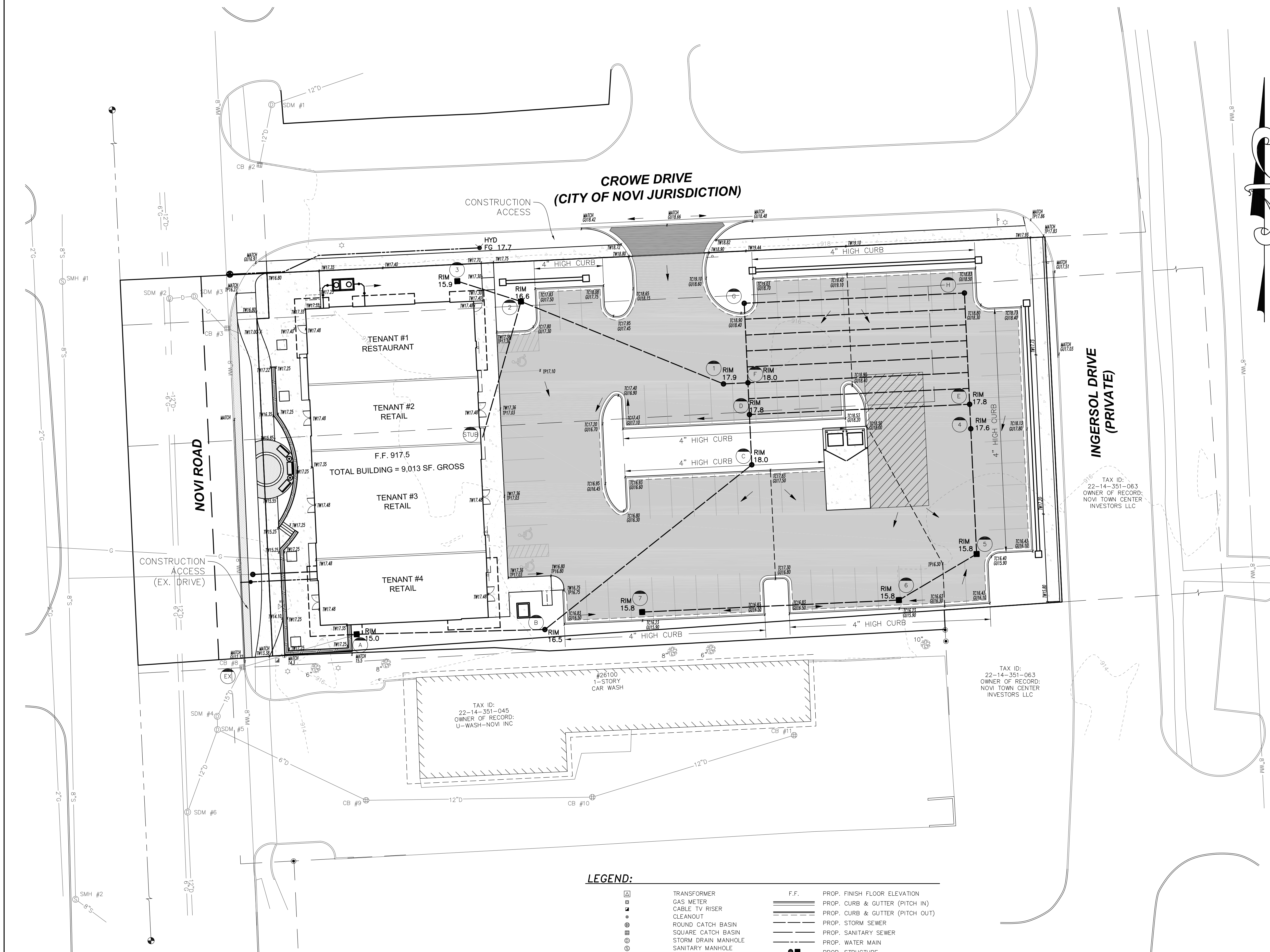
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NOVI, MICHIGAN 48377

DEMOLITION PLAN

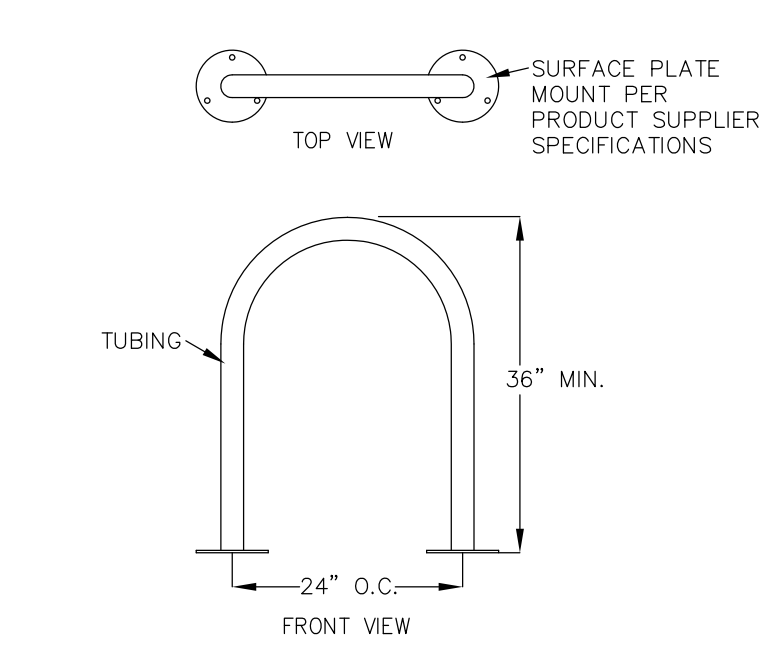
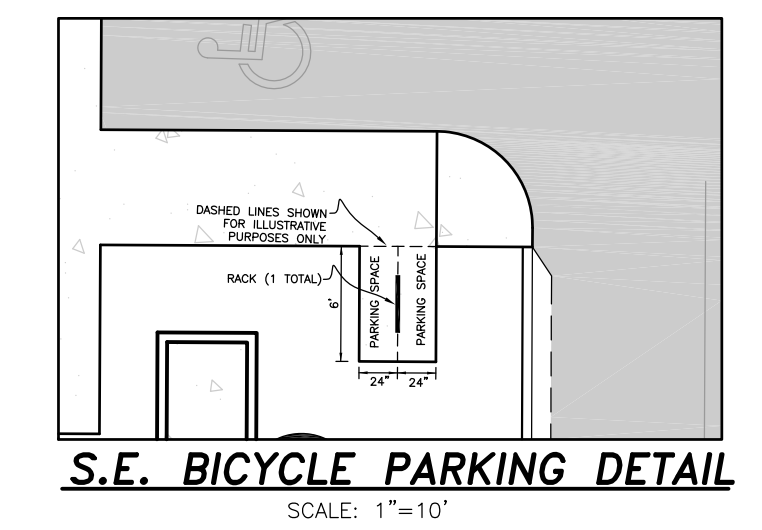
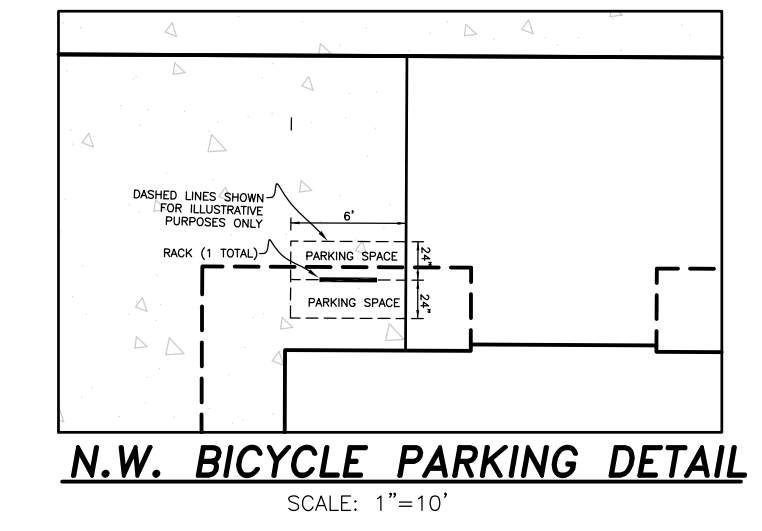
TOWN CENTER GARDENS

RANGE: BE

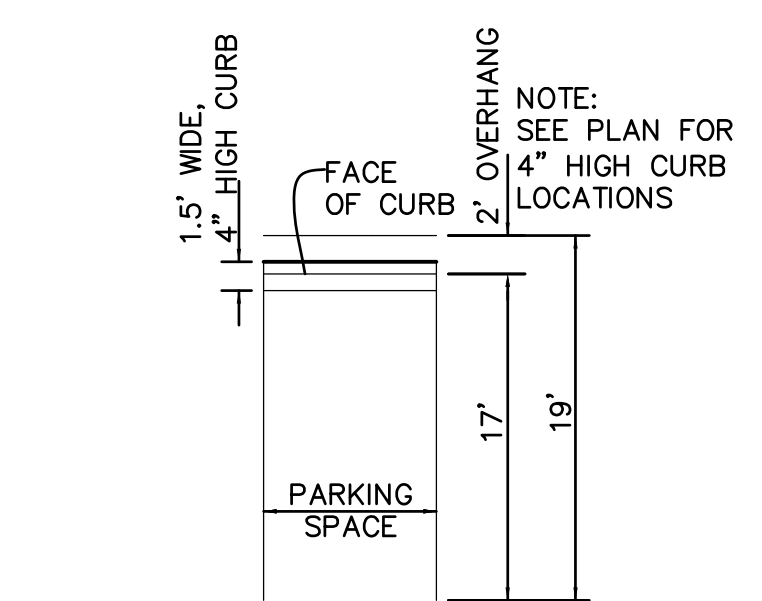
16-160



- NOTES:**
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.
 3. RIGHT OF WAY PERMIT IS REQUIRED FROM THE ROAD COMMISSION FOR OAKLAND COUNTY AND CITY OF NOVI FOR ANY WORK IN THE NOVI ROAD RIGHT-OF-WAY.
 4. RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOVI FOR ANY WORK IN THE CROWE DRIVE RIGHT-OF-WAY.



- BICYCLE PARKING NOTES:**
1. ALL BICYCLE PARKING SPACES SHALL BE PAVED AND ADJACENT TO A BICYCLE RACK OF THE INVERTED "U" DESIGN, THAT IS SOLID, CANNOT BE EASILY REMOVED WITH COMMON TOOLS, PROVIDES AT LEAST TWO (2) CONTACT POINTS FOR A BICYCLE, IS AT LEAST THREE (3) FEET IN HEIGHT, AND PERMITS THE LOCKING OF A BICYCLE THROUGH THE FRAME AND ONE (1) WHEEL WITH A STANDARD U-LOCK OR CABLE IN AN UPRIGHT POSITION. THE RACK SHALL BE SECURELY ANCHORED IN CONCRETE OR ASPHALT. ALTERNATIVE INSTALLATIONS AND DESIGNS MAY BE CONSIDERED IF THE PROPOSED RACK DESIGN FUNCTIONS SIMILAR TO THE INVERTED "U" DESIGN.
 2. ALL BICYCLE PARKING FACILITIES SHALL BE ACCESSIBLE FROM ADJACENT STREET(S) AND PATHWAY(S) VIA A PAVED ROUTE THAT HAS A MINIMUM WIDTH OF SIX (6) FEET.
 3. ALL BICYCLE PARKING FACILITIES SHALL BE SEPARATED FROM AUTOMOBILE PARKING SPACES AND ACCESS AISLES BY A RAISED CURB, LANDSCAPE AREA, SIDEWALK, OR OTHER METHOD THAT COMPLIES WITH ALL CITY ORDINANCES.



LEGEND:

	TRANSFORMER		PROP. FINISH FLOOR ELEVATION
	GAS METER		PROP. CURB & GUTTER (PITCH IN)
	CABLE TV RISER		PROP. CURB & GUTTER (PITCH OUT)
	CLEANOUT		PROP. STORM SEWER
	ROUND CATCH BASIN		PROP. SANITARY SEWER
	SQUARE CATCH BASIN		PROP. WATER MAIN
	STORM DRAIN MANHOLE		PROP. STRUCTURE
	SANITARY MANHOLE		PROP. END SECTION
	WATER VALVE		PROP. CLEAN-OUT
	LIGHTPOST/LAMP POST		PROP. HYDRANT
	GAS LINE		PROP. GATE VALVE
	SANITARY LINE		PROP. CURB BOX
	STORM LINE		PROP. GUTTER ELEV.
	WATER LINE		PROP. TOP OF CURB ELEV.
	PROP. RIGHT-OF-WAY ASPHALT		PROP. TOP OF WALK ELEV.
	PROP. ON-SITE ASPHALT		PROP. TOP OF PAVEMENT ELEV.
	PROP. CONCRETE		PROP. SPOT ELEV.
			PROP. DRAINAGE ARROW

NOTICE:
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BENCHMARKS:
SITE BENCHMARK #1:
CUT "X" NORTH SIDE OF CONCRETE LIGHT POLE BASE, SOUTHWEST CORNER OF PROPERTY.
ELEVATION = 915.85' (NAVD88)
SITE BENCHMARK #2:
CUT "X" SOUTH SIDE OF CONCRETE LIGHT POLE BASE, NORTHEAST CORNER OF PROPERTY.
ELEVATION = 919.55' (NAVD88)
CITY BENCHMARK #1542:
CUT "X" NORTH RIM OF SANITARY MANHOLE, EAST OF PROPERTY.
ELEVATION = 915.10' (NAVD88)

TAX ID: 22-14-351-003
OWNER OF RECORD: NOVI TOWN CENTER INVESTORS LLC

TAX ID: 22-14-351-063
OWNER OF RECORD: NOVI TOWN CENTER INVESTORS LLC

TAX ID: 22-14-351-045
OWNER OF RECORD: U-WASH-NOVI INC

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INDUSTRIAL & MULTI-UNIT
LAND SURVEYING
CONSTRUCTION LAYOUT

SURVEYING
ALTA SURVEYS
BOUNDARY SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPLITS
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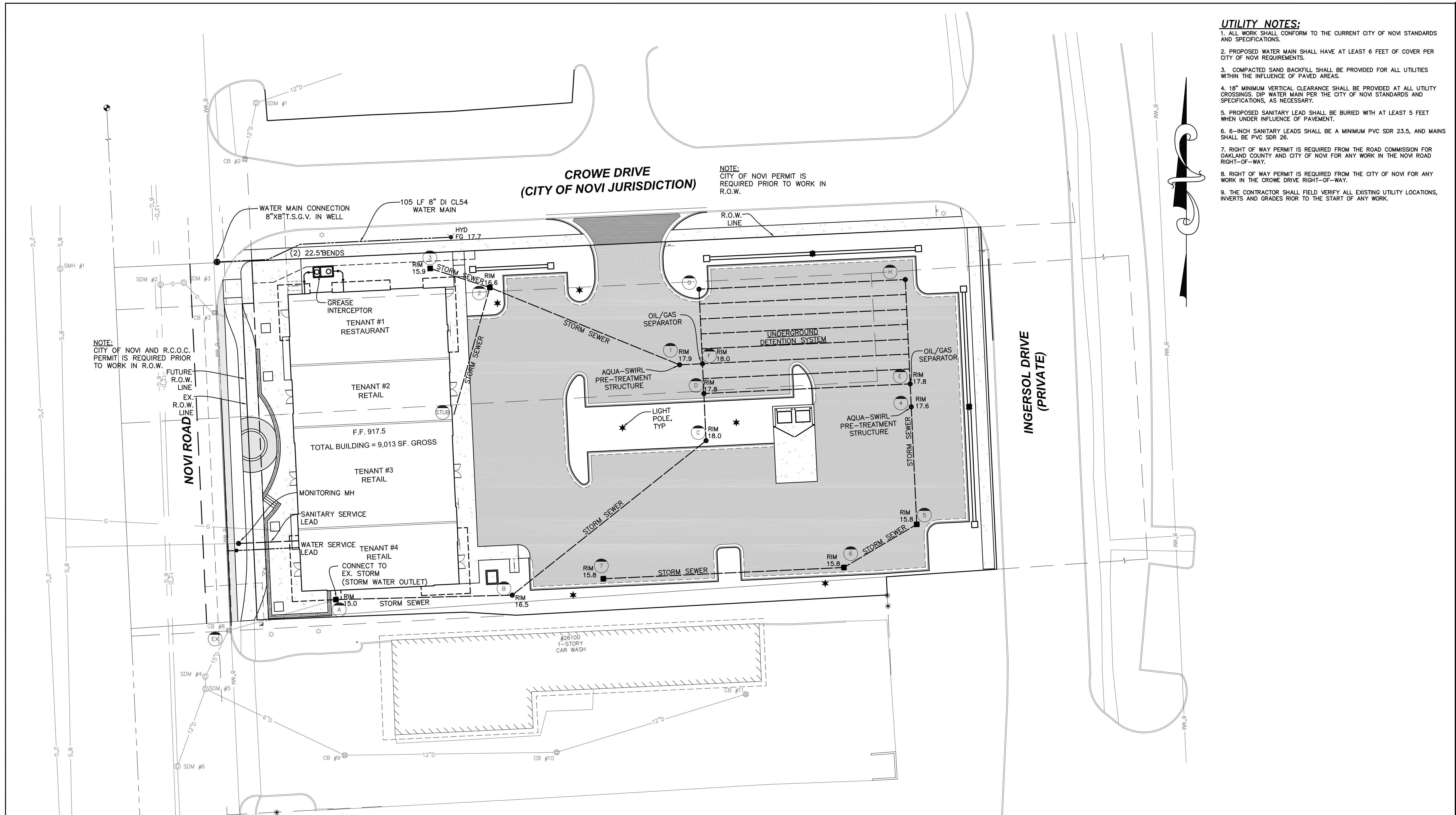
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SECTION: 14
TOWNSHIP: IN
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

RANGE: BE
TOWN CENTER GARDENS

GRADING PLAN

16-160



NOTICE:
CITY OF NOVI AND R.C.O.C. PERMIT IS REQUIRED PRIOR TO WORK IN R.O.W.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

LEGEND:

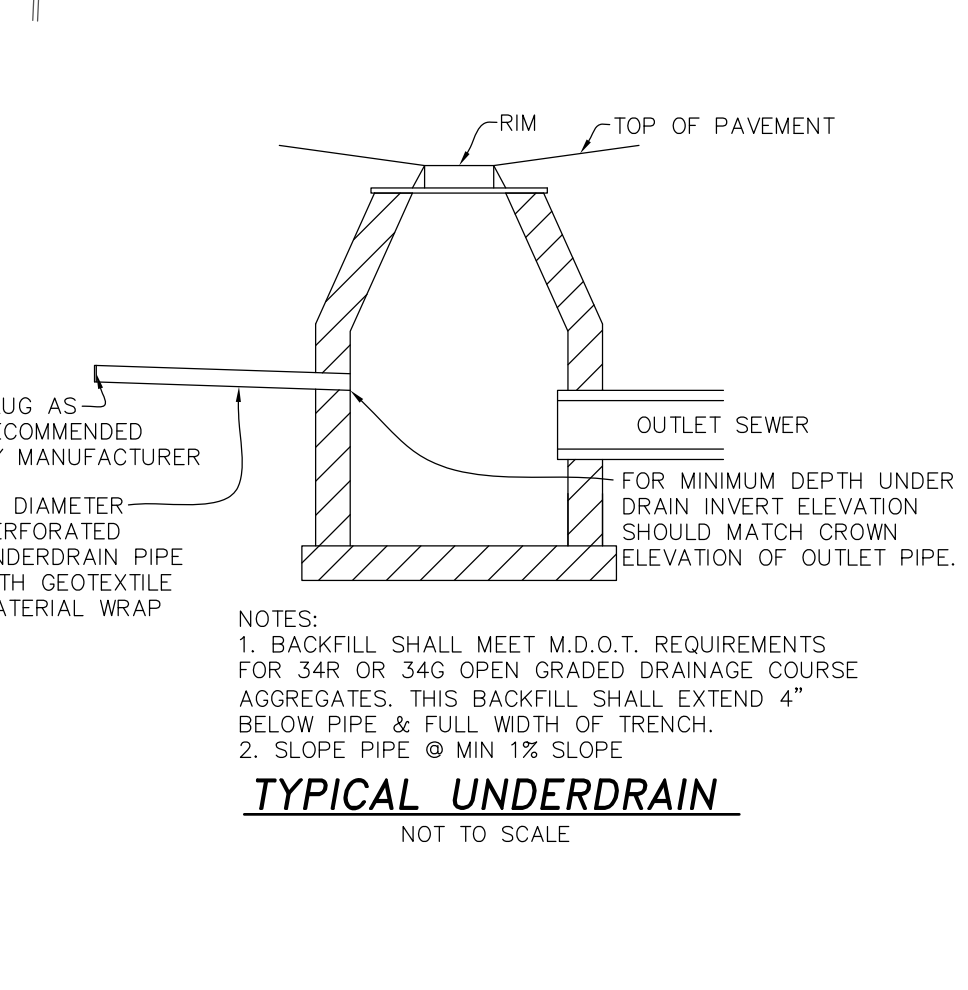
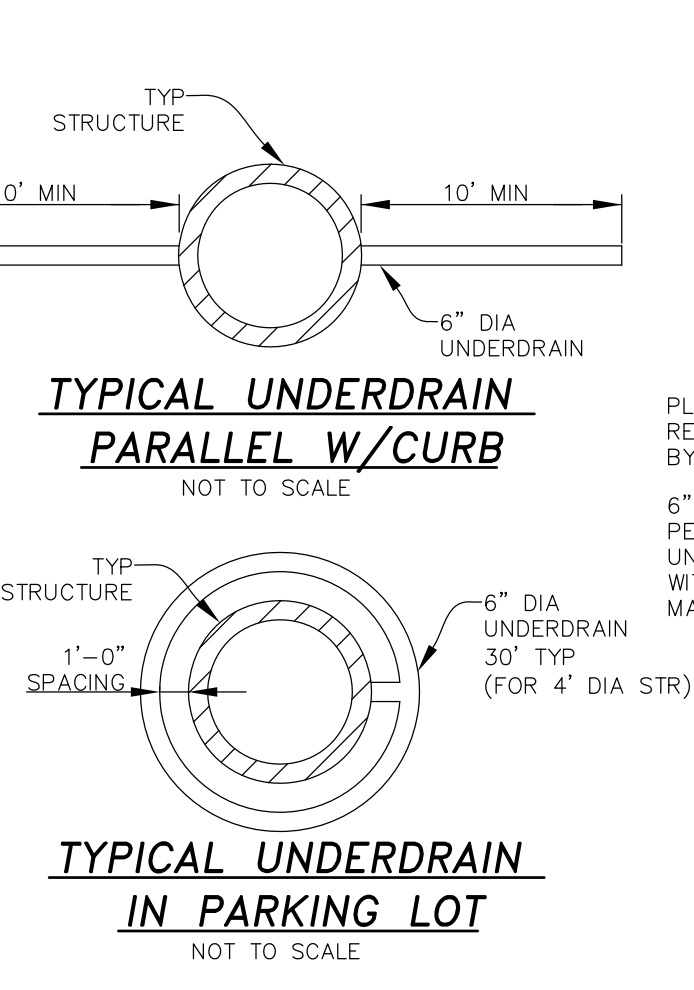
	TRANSFORMER		PROP. FINISH FLOOR ELEVATION
	GAS METER		PROP. CURB & GUTTER (PITCH IN)
	CABLE TV RISER		PROP. CURB & GUTTER (PITCH OUT)
	CLEANOUT		PROP. STORM SEWER
	ROUND CATCH BASIN		PROP. SANITARY SEWER
	SQUARE CATCH BASIN		PROP. WATER MAIN
	STORM DRAIN MANHOLE		PROP. STRUCTURE
	SANITARY MANHOLE		PROP. END SECTION
	WATER VALVE		PROP. CLEAN-OUT
	LIGHTPOST/LAMP POST		PROP. HYDRANT
	GAS LINE		PROP. GATE VALVE
	SANITARY LINE		PROP. CURB BOX
	STORM LINE		PROP. GUTTER ELEV.
	WATER LINE		PROP. TOP OF CURB ELEV.
	PROP. RIGHT-OF-WAY ASPHALT		PROP. TOP OF WALK ELEV.
	PROP. ON-SITE ASPHALT		PROP. TOP OF PAVEMENT ELEV.
	PROP. CONCRETE		PROP. SPOT ELEV.
			PROP. DRAINAGE ARROW

BENCHMARKS:

SITE BENCHMARK #1:
CUT "X" NORTH SIDE OF CONCRETE LIGHT POLE BASE, SOUTHWEST CORNER OF PROPERTY.
ELEVATION = 915.85' (NAVD88)

SITE BENCHMARK #2:
CUT "X" SOUTH SIDE OF CONCRETE LIGHT POLE BASE, NORTHEAST CORNER OF PROPERTY.
ELEVATION = 919.55' (NAVD88)

CITY BENCHMARK #1542:
CUT "X" NORTH RIM OF SANITARY MANHOLE, EAST OF PROPERTY.
ELEVATION = 915.10' (NAVD88)



- UTILITY NOTES:**
- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 - PROPOSED WATER MAIN SHALL HAVE AT LEAST 6 FEET OF COVER PER CITY OF NOVI REQUIREMENTS.
 - COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 - 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED AT ALL UTILITY CROSSINGS. DIP WATER MAIN PER THE CITY OF NOVI STANDARDS AND SPECIFICATIONS, AS NECESSARY.
 - PROPOSED SANITARY LEAD SHALL BE BURIED WITH AT LEAST 5 FEET WHEN UNDER INFLUENCE OF PAVEMENT.
 - 6-INCH SANITARY LEADS SHALL BE A MINIMUM PVC SDR 23.5, AND MAINS SHALL BE PVC SDR 26.
 - RIGHT OF WAY PERMIT IS REQUIRED FROM THE ROAD COMMISSION FOR OAKLAND COUNTY AND CITY OF NOVI FOR ANY WORK IN THE NOVI ROAD RIGHT-OF-WAY.
 - RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOVI FOR ANY WORK IN THE CROWE DRIVE RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.

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CONSTRUCTION LAYOUT

SURVEYING
ALTA SURVEYS
BOUNDARY SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPLITS
CONSTRUCTION LAYOUT

RESIDENTIAL
SUBDIVISIONS
SINGLE-FAMILY
MULTI-FAMILY
PLOT PLANS
CONSTRUCTION LAYOUT

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CIVIL ENGINEERS & LAND SURVEYORS

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NOVI, MICHIGAN 48377

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811
Know what's below
Call before you dig.

CLIENT: NOVI TOWN CENTER PLAZA, LLC

UTILITY PLAN

SECTION: 14

TOWN CENTER GARDENS
TOWNSHIP: IN
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

RANGE: BE

REVISED

2016-03-29 PSP SUBMITTAL

2016-05-06 PSP SUBMITTAL

DATE: 2016-XX-XX

DRAWN BY: TG

CHECKED BY: SD/TG

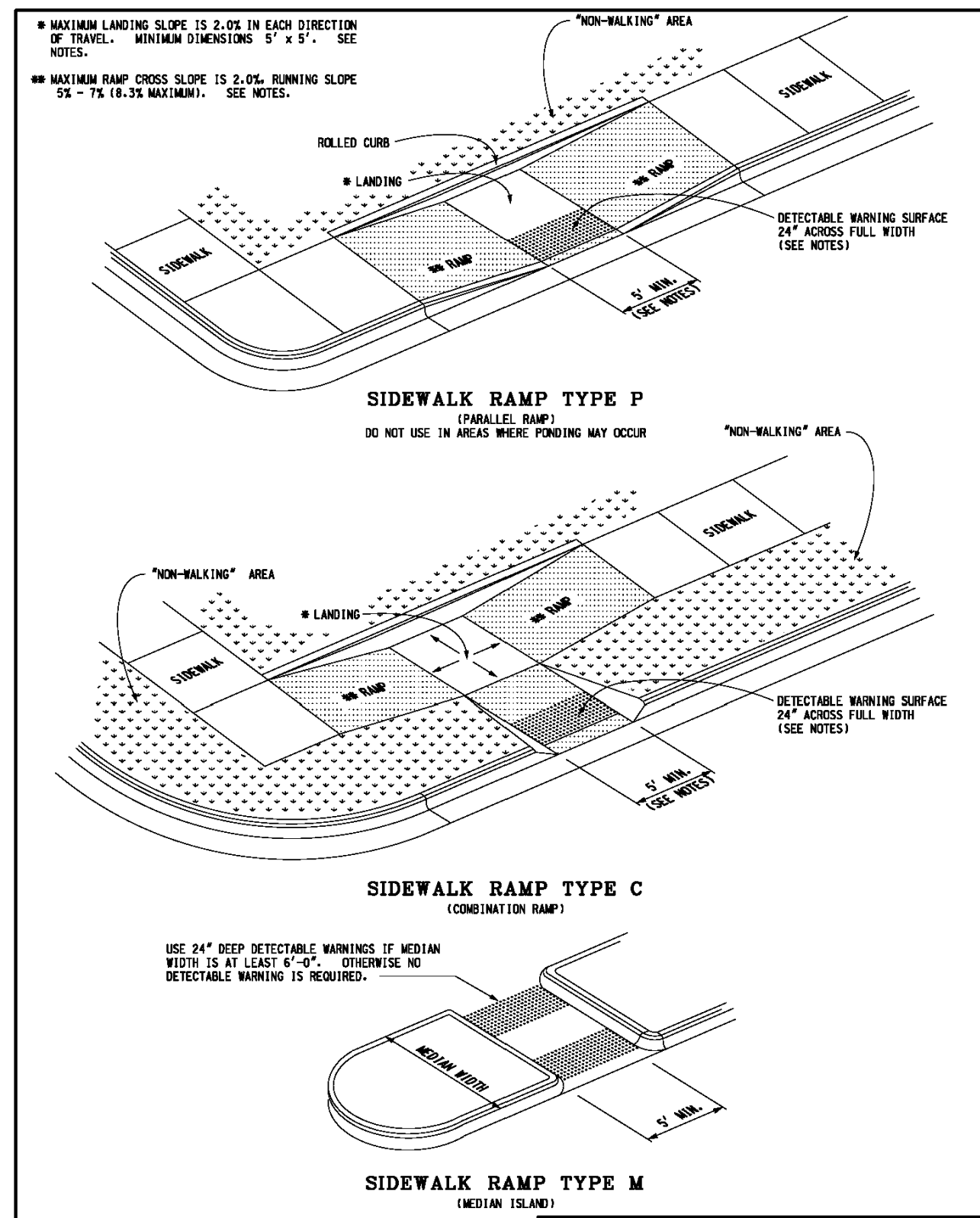
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CHF:

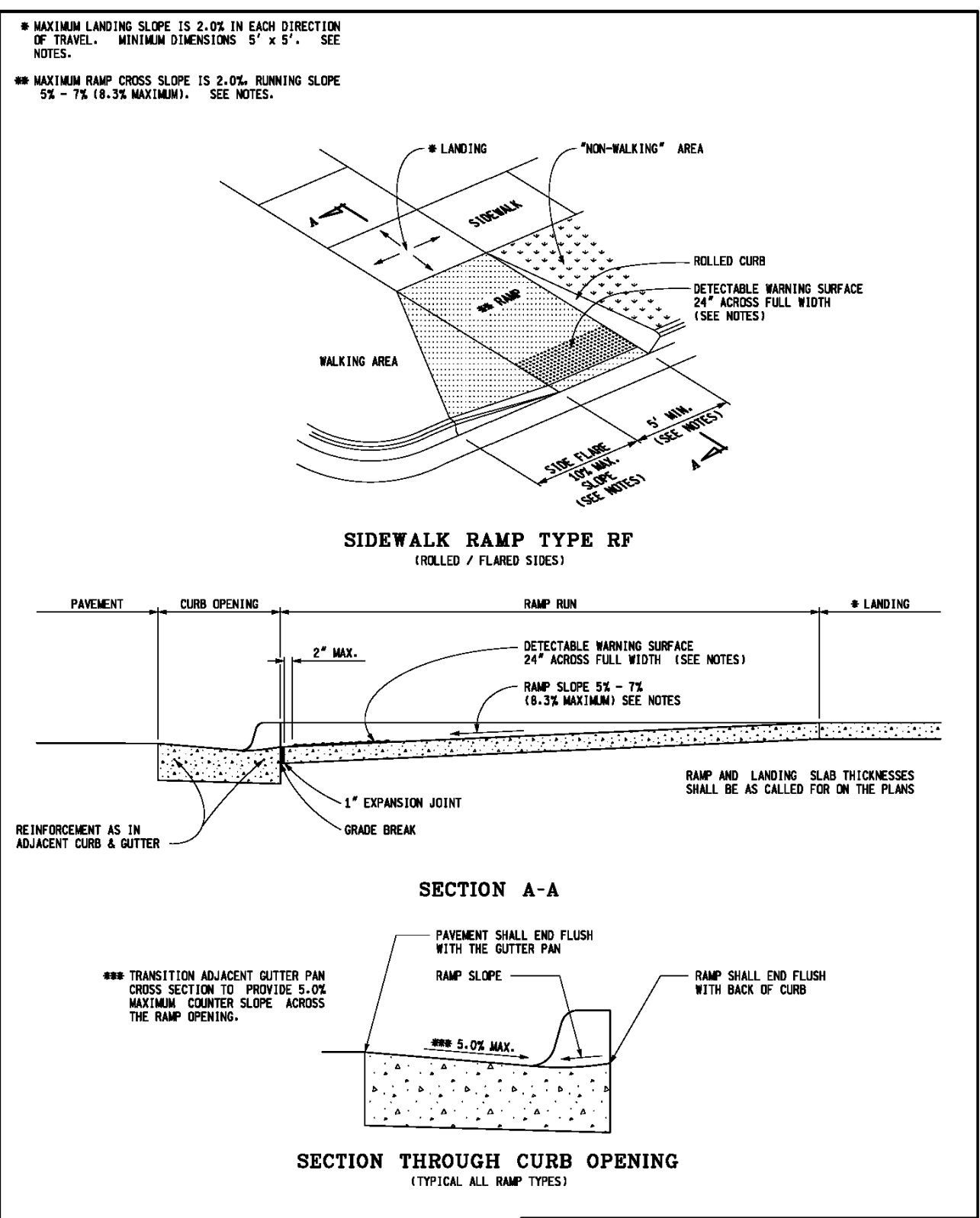
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VER 1"=2 FT.

5

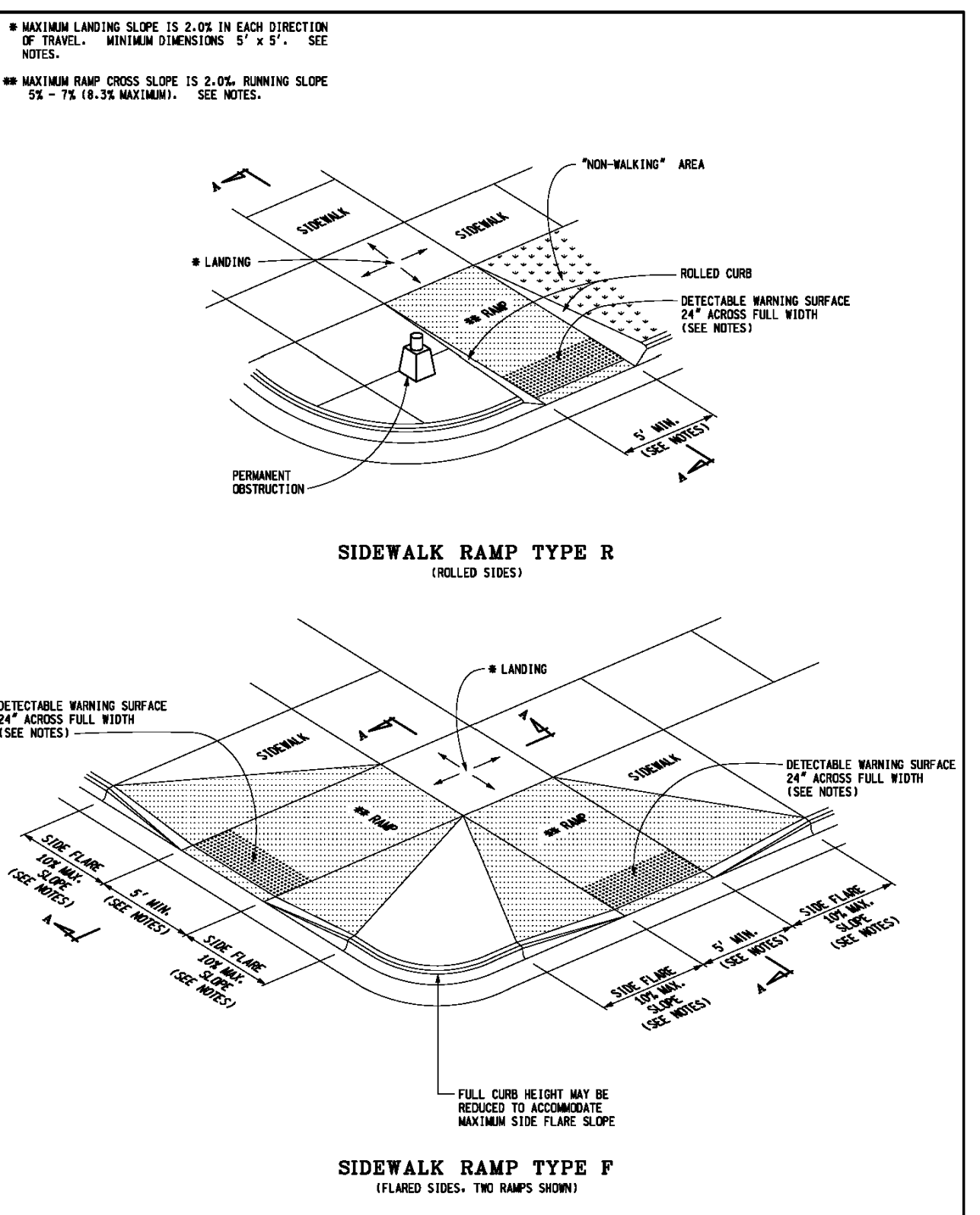
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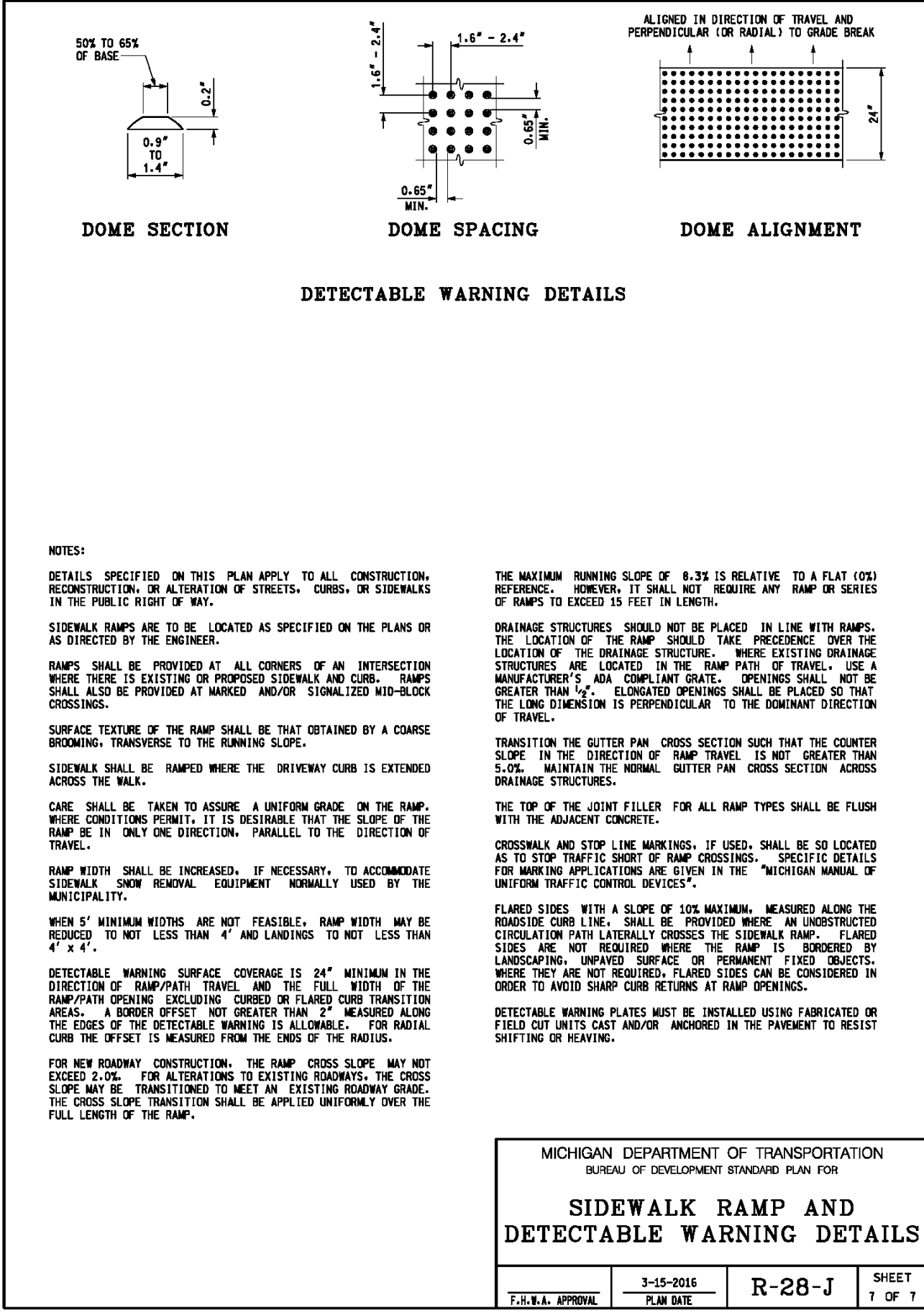
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DEVELOPMENT STANDARD PLAN FOR
**SIDEWALK RAMP AND
DETECTABLE WARNING DETAILS**
3-15-2016
R-28-J SHEET
3 OF 7



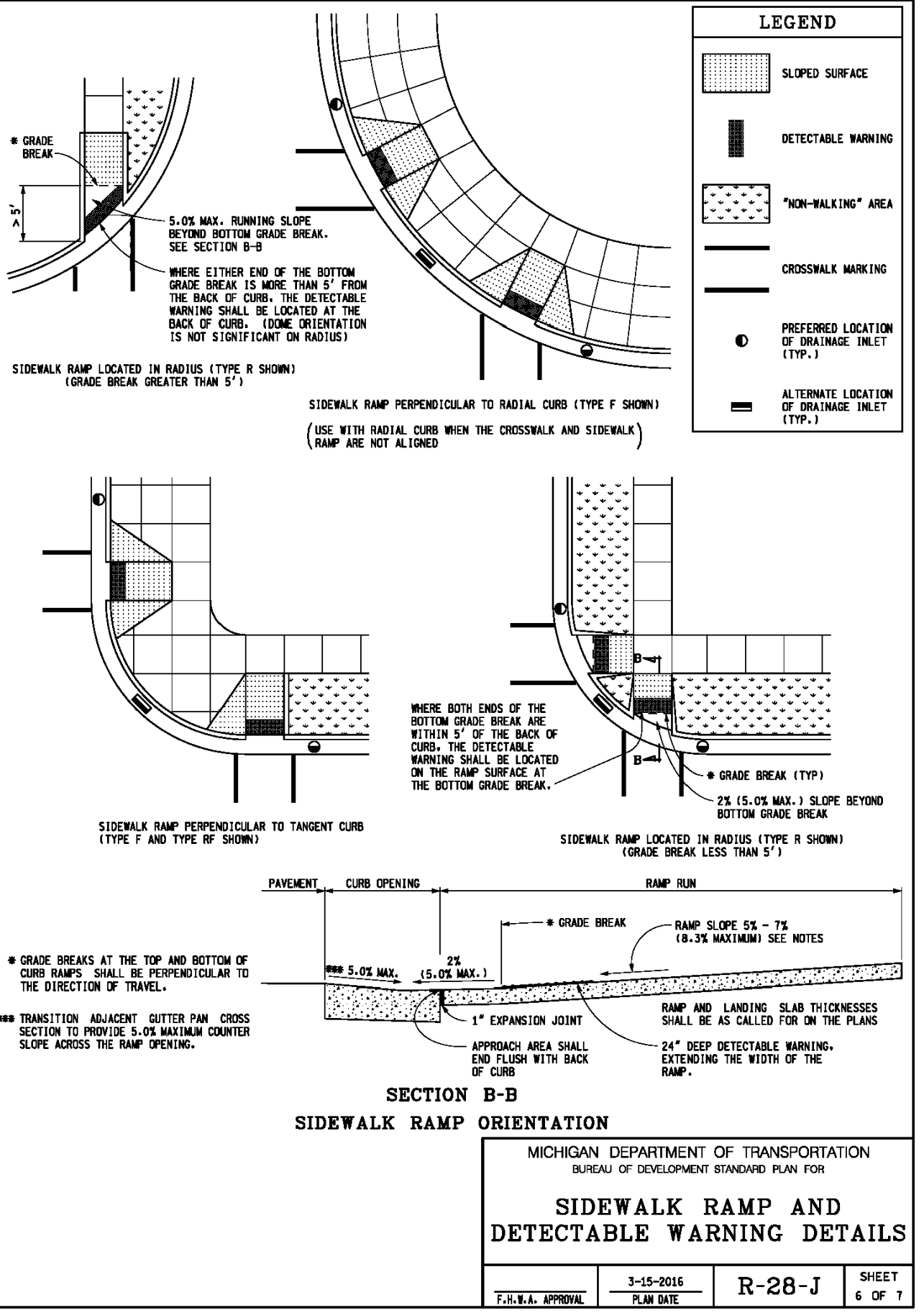
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2 OF 7



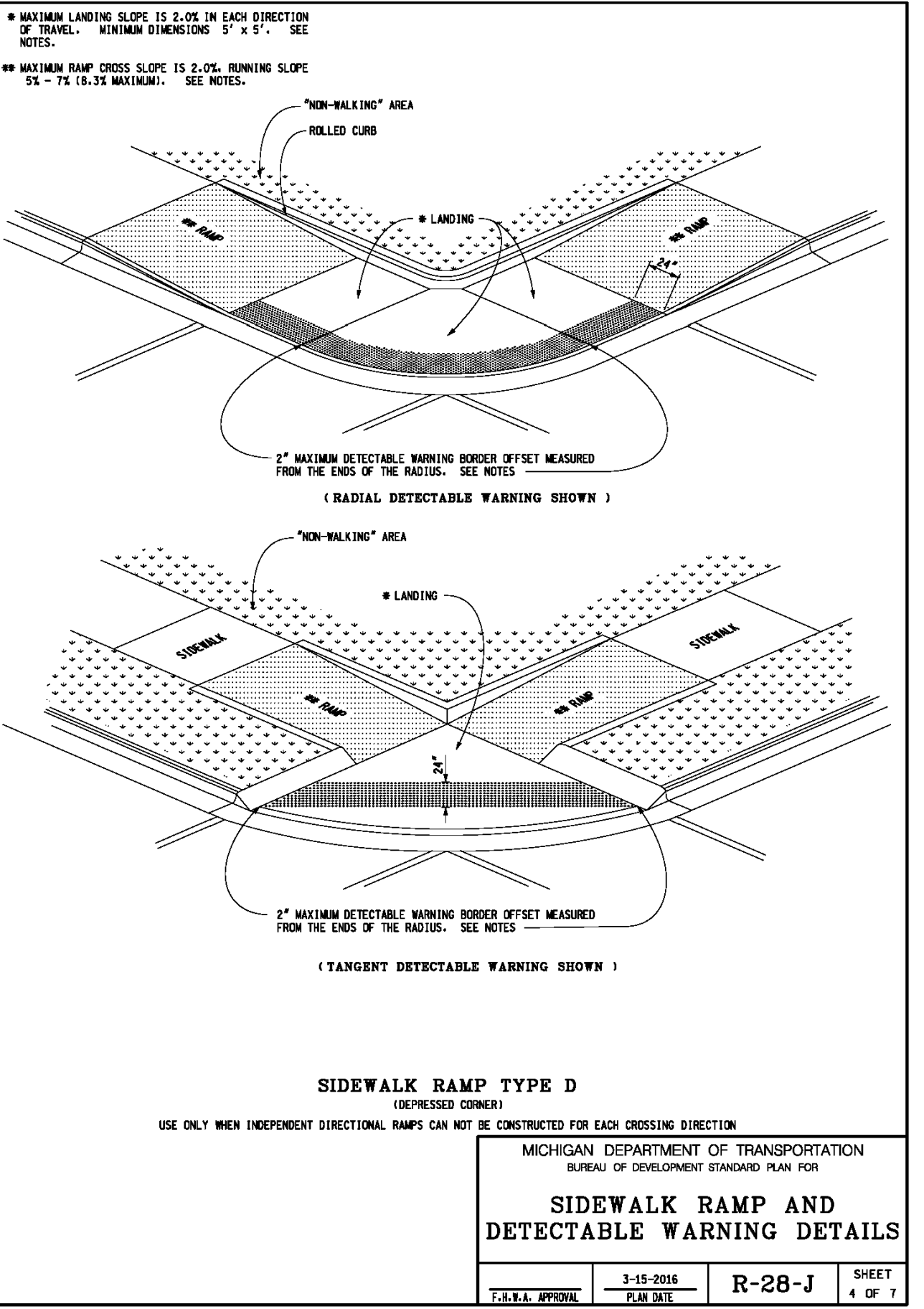
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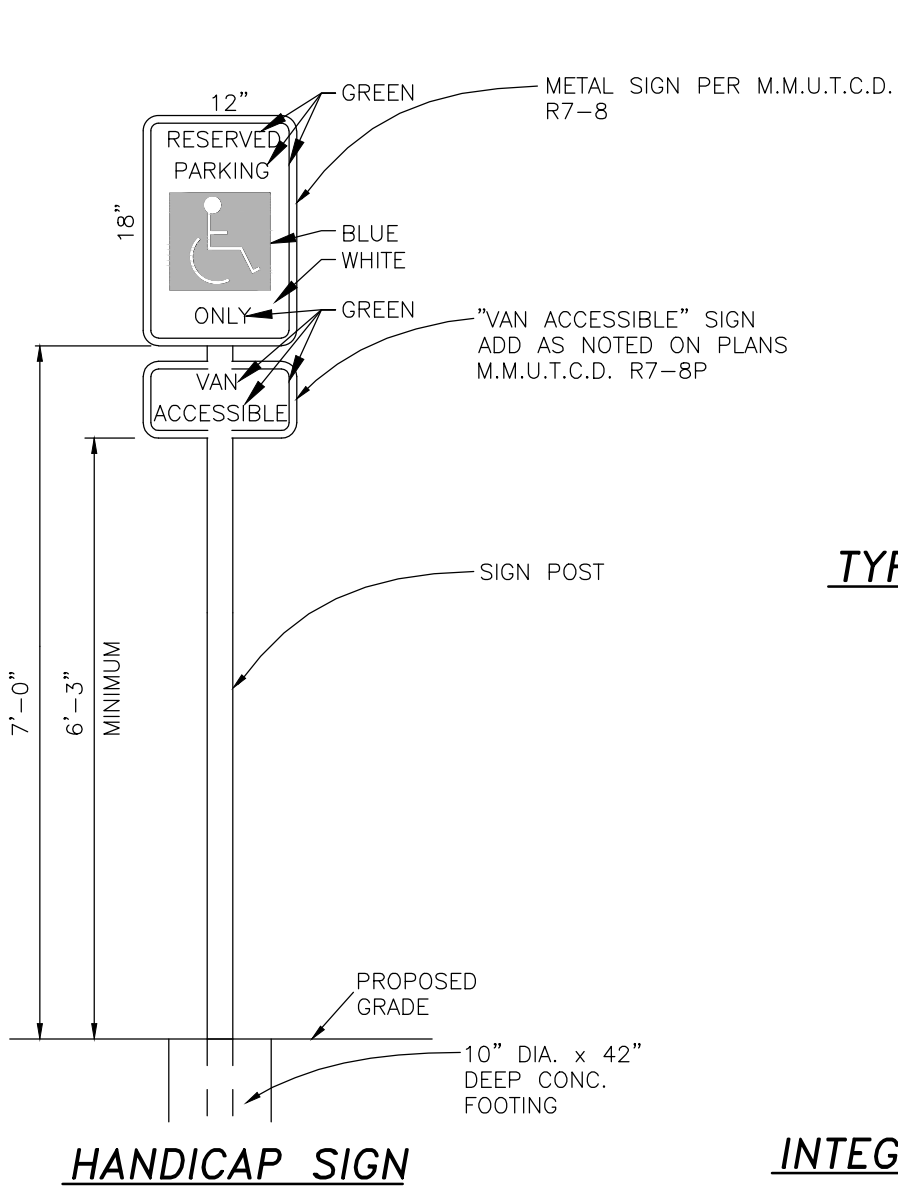
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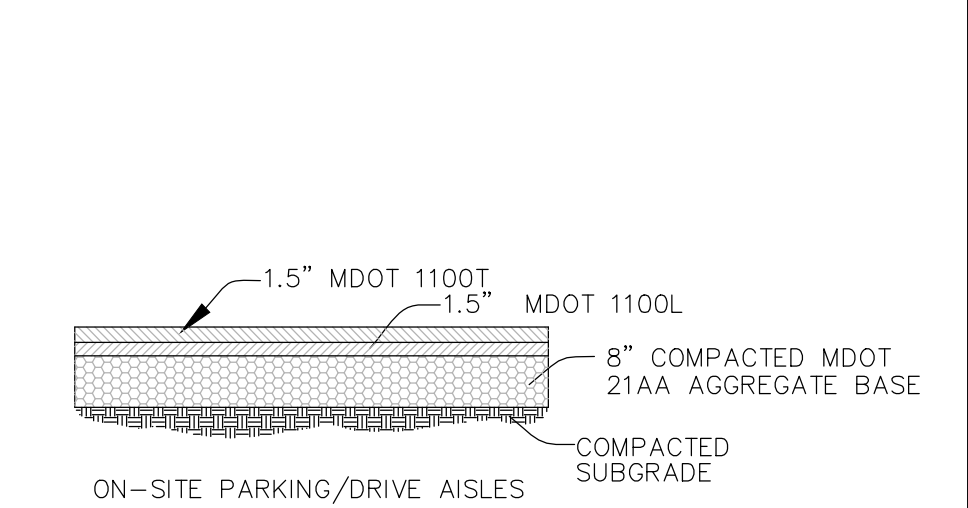
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3-15-2016
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6 OF 7



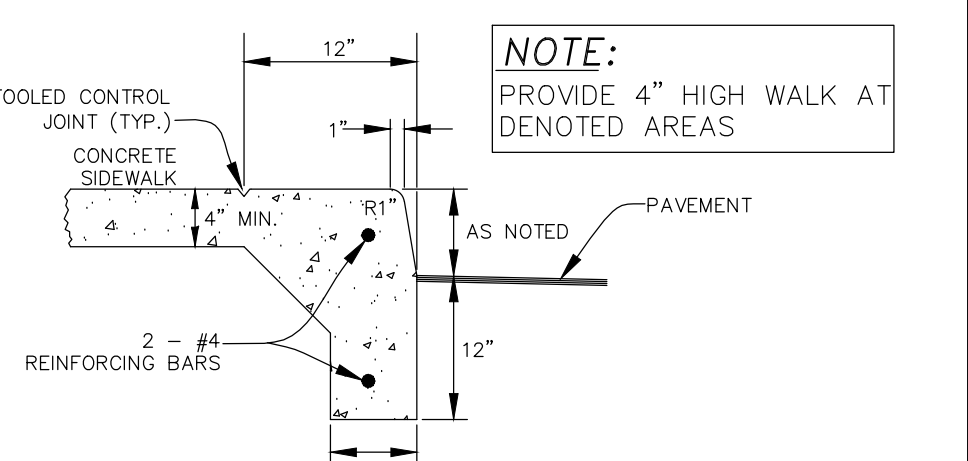
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4 OF 7



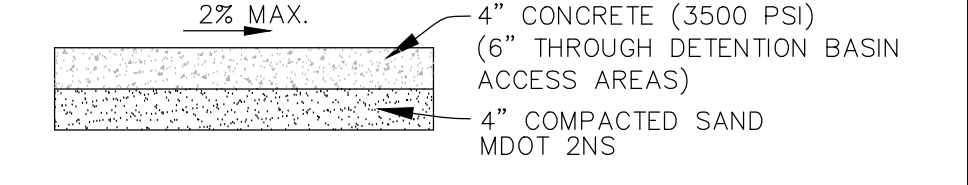
HANDICAP SIGN



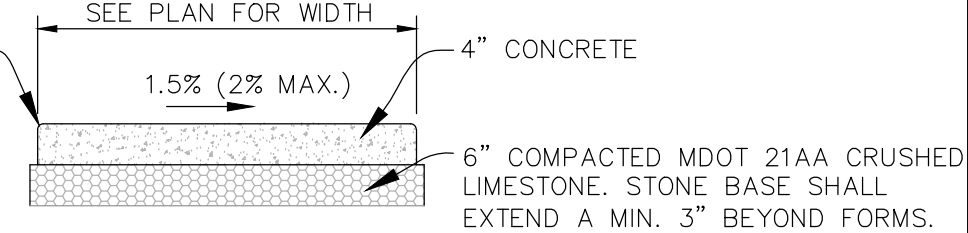
TYPICAL ON-SITE PAVEMENT CROSS-SECTIONS



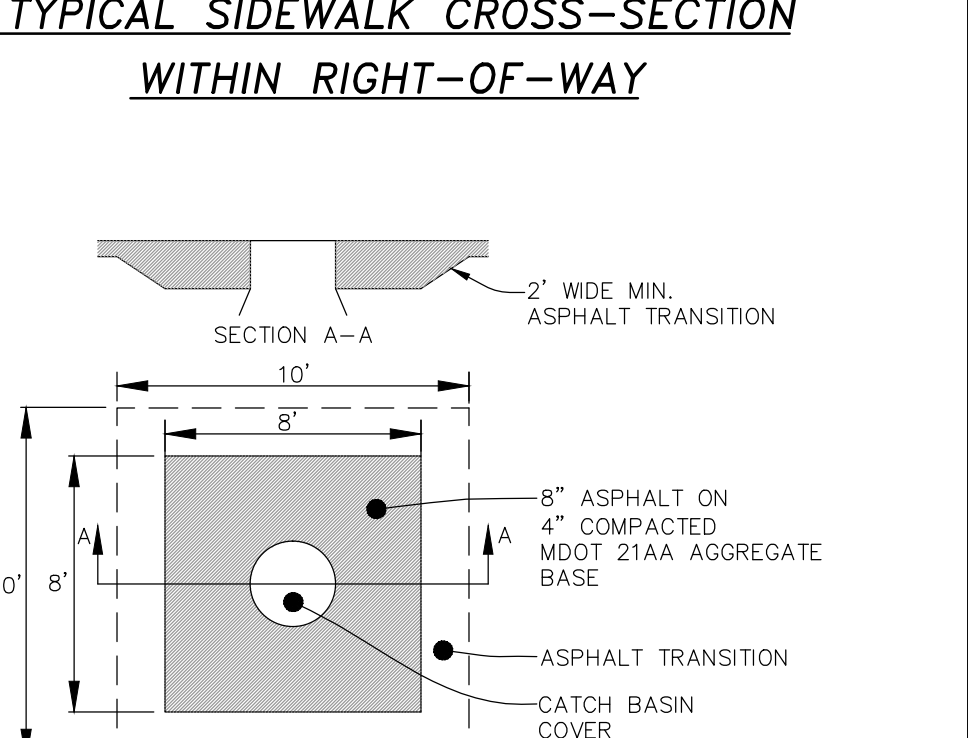
INTEGRAL SIDEWALK AND CURB - ON-SITE



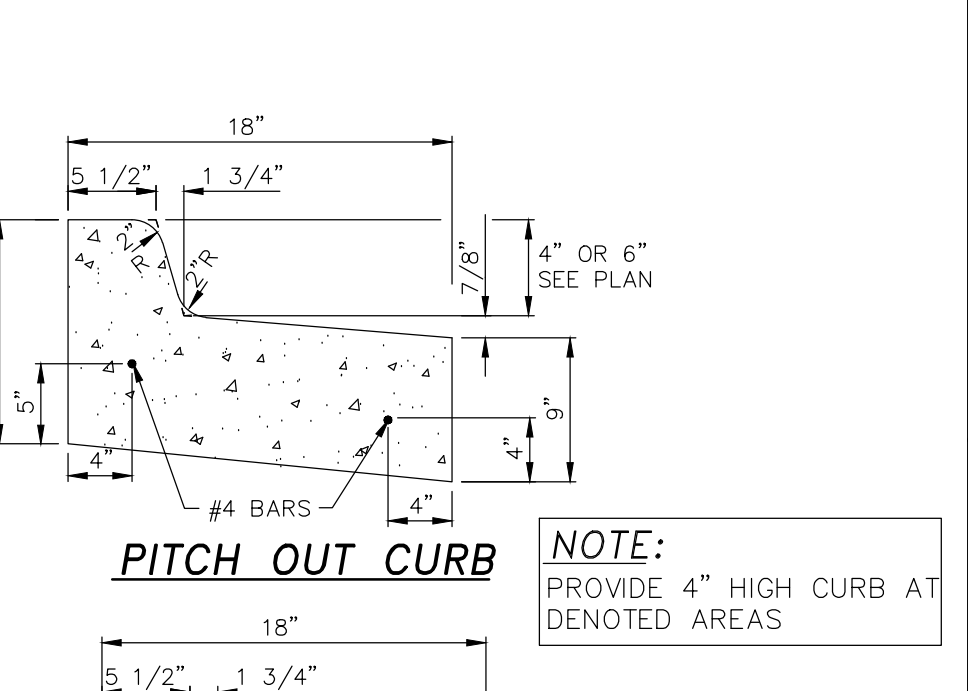
TYPICAL ON-SITE SIDEWALK CROSS-SECTION



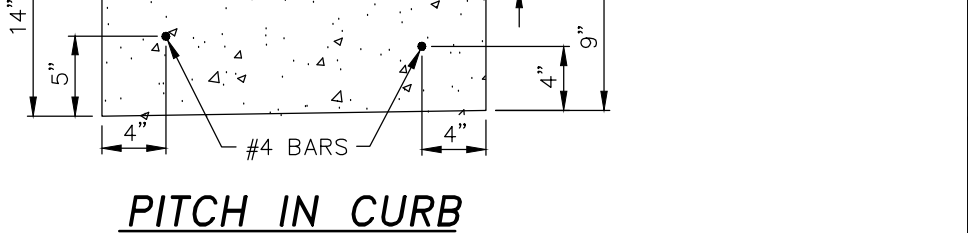
**TYPICAL SIDEWALK CROSS-SECTION
WITHIN RIGHT-OF-WAY**



**ASPHALT APRON FOR CATCH
BASIN IN PARKING LOT**



PITCH OUT CURB



PITCH IN CURB

CONCRETE CURB & GUTTER - ON-SITE

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SUBDIVISIONS
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NOVI TOWN CENTER PLAZA, LLC
TOWN CENTER GARDENS
SECTION: 14
TOWNSHIP: 1N
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

RANGE: 8E

DETAIL SHEET

REVISED
2016-03-29 PSP SUBMITTAL
2016-05-06 PSP SUBMITTAL

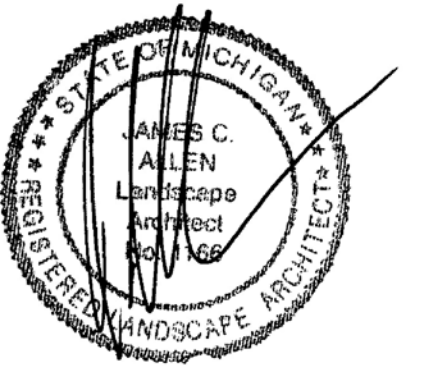
DATE: 2016-03-29
DRAWN BY: TG
CHECKED BY: SD/TG

FBK:
CHF:

SCALE: HOR 1" = 10' FT.
VER 1" = 1' FT.

16-100

Seal:



Title:

Landscape Plan

Project:

Town Center Gardens
 Novi, Michigan

Prepared for:

Keystone Commercial
 31000 Northwestern Highway, Suite 200
 Farmington Hills, Michigan 48334
 248.356.8000

Revision: Issued:

Submission: March 29, 2016

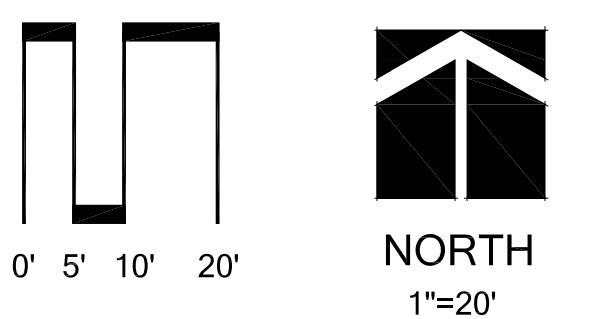
Job Number:

16-019

Drawn By: Checked By:

jca

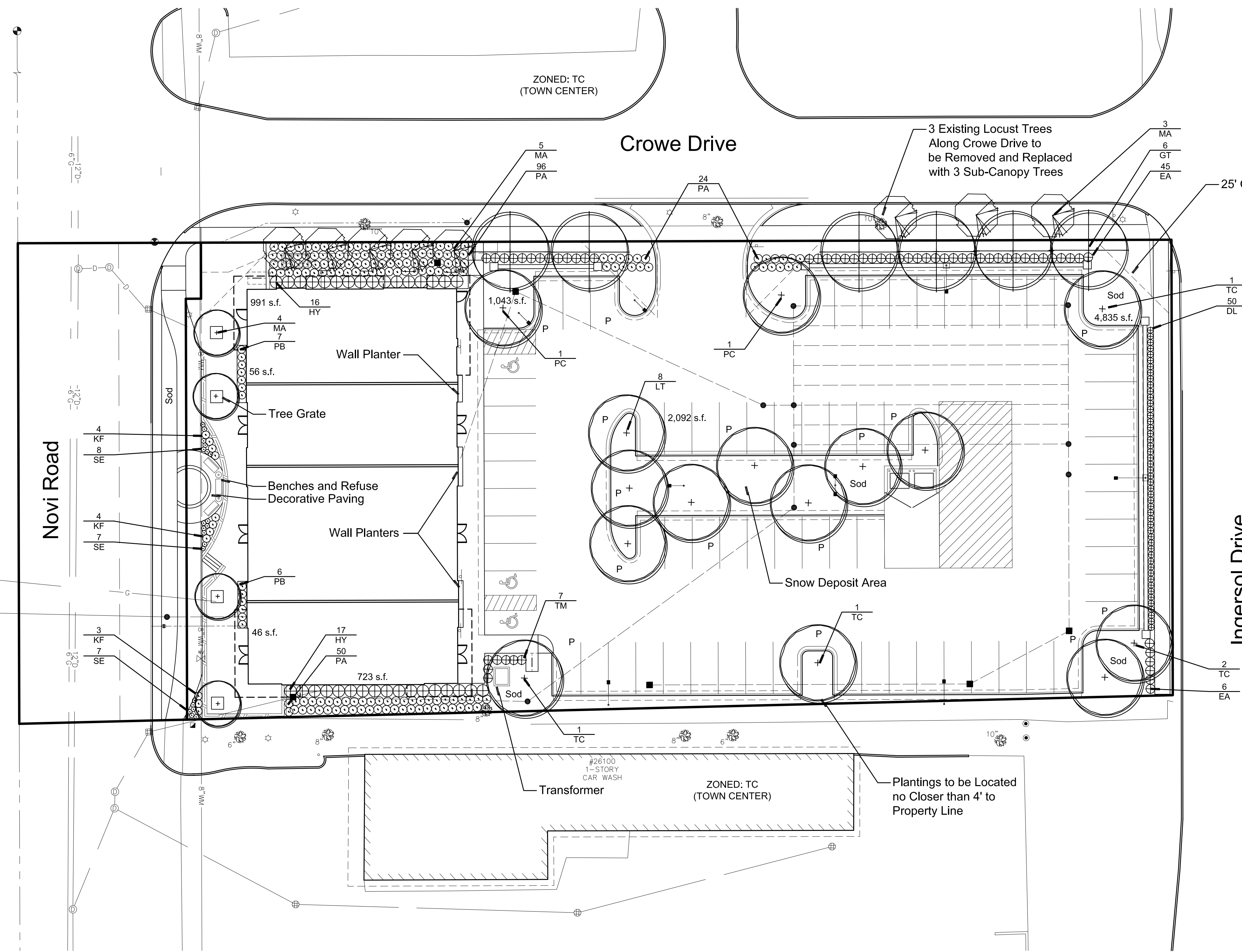
jca



Sheet No.



L-1



Landscape Summary

Existing Zoning	TC
Parking Lot Landscaping	
Parking Space Area	11,487 s.f.
Vehicular Use Area	13,933 s.f.
Landscape Area Required	1,083 s.f.
11,487 s.f. x 7% = 804 s.f.	
13,933 s.f. x 2% = 279 s.f.	
Landscape Area Shown	2,092 s.f.
Canopy Trees Required	15 Trees (1,083 / 75)
Canopy Trees Shown	15 Trees
Parking Lot Perimeter	
Perimeter	391 l.f.
Trees Required	11 Trees (391 l.f. / 35')
Trees Shown	13 Trees
Building Foundation Landscaping	
Perimeter of Building	406 l.f.
Landscape Area Required	3,248 s.f. (406 l.f. x 8')
Landscape Area Shown	1,714 s.f.
Greenbelt Plantings	
Crowe and Ingersol	
Street Frontage	467 l.f.
Trees Required	12 Trees (467 l.f. / 40')
Trees Shown	6 Trees
Sub-Canopy Trees Required	13 Trees (467 l.f. / 35')
Sub-Canopy Trees Shown	5 Trees
Site Open Space	
Net Site Area	48,559 s.f.
Open Space Required	7,283 s.f. (48,559 x 16%)
Open Space Provided	8,961 s.f. (18%)

Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root	height	price	total
DL	50	Hemerocallis 'Stella D'Oro'	Stella D'Oro Day Lilly			Full, well rooted	1 gal.	\$ 15.00	\$ 750.00
EA	51	Eucrymus alata 'Compacta'	Compact Burning Bush			as shown	36"	\$ 50.00	\$ 2,550.00
GT	6	Gleditsia L. var. inermis	Honeylocust	3.0"	as shown	B&B		\$ 400.00	\$ 2,400.00
HY	33	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea		as shown		36"	\$ 50.00	\$ 1,650.00
KF	11	Calamagrostis x a. 'Karl Forester'	Karl Forester Grass		as shown		No. 2 Cont.	\$ 15.00	\$ 165.00
LT	8	Liriodendron tulipifera	Tulip Tree	3.0"	as shown	B&B		\$ 400.00	\$ 3,200.00
MA	12	Makus 'Adirondack'	Adirondack Crab		as shown	B&B		\$ 250.00	\$ 3,000.00
PA	170	Pennisetum alopecuroides 'Hamlin'	Dwarf Fountain Grass		as shown		No. 2 Cont.	\$ 15.00	\$ 2,550.00
PB	13	Pennisetum a. 'Little Bunnies'	Little Bunnies Grass		as shown		No. 2 Cont.	\$ 15.00	\$ 195.00
PC	2	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	3.0"	as shown	B&B		\$ 400.00	\$ 800.00
SE	22	Sedum 'Autumn Joy'	Autumn Joy Sedum		as shown		No. 2 Cont.	\$ 15.00	\$ 330.00
TC	5	Tilia cordata 'Greenspire'	Greenspire Linden	3.0"	as shown	B&B		\$ 400.00	\$ 2,000.00
TM	7	Taxus x. media 'Hicksii'	Hicks Yew		as shown		36"	\$ 50.00	\$ 350.00
	550	Kentucky Blue Grass, (S.Y.)						\$ 6.00	\$ 3,300.00
Mulch									
	90 s.y.	4" Deep Shredded Hardwood Bark Mulch						\$35/s.y.	\$ 3,150.00
	300	Sod						\$6/ s.y.	\$ 1,800.00
Irrigation									\$ 9,000.00
								Total	\$ 37,190.00

Notes:

No Regulated Woodlands Exist on this Property.

Soils Information is Located on the Storm Water Management Plan.

Wall Planters



Wall Planters to Match Building.
 Planters to Have Annual Flowers.

Bench and Refuse Detail



Scarborough Bench and Refuse by
 Landscape Forms

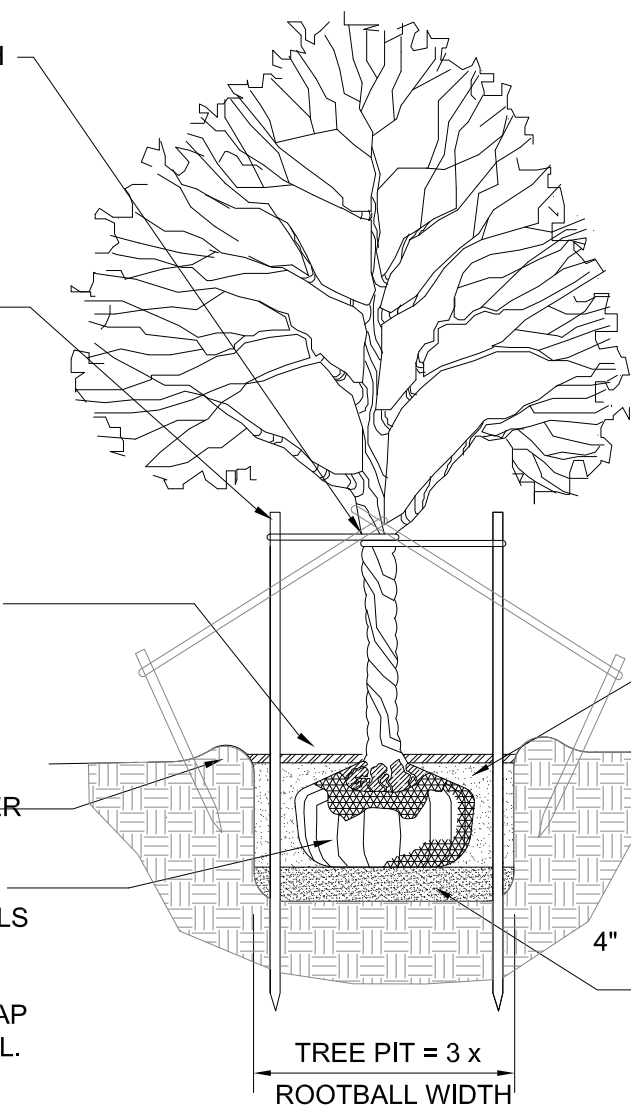
NOTE:
GUY DECIDUOUS TREES ABOVE
3" CAL. STAKE DECIDUOUS
TREES BELOW 3" CAL.

STAKE TREES AT FIRST BRANCH
USING 2"-3" WIDE BELT-LIKE
NYLON OR PLASTIC STRAPS.
ALLOW FOR SOME MINIMAL
FLEXING OF THE TREE.
REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES,
MIN. 36" ABOVE GROUND FOR
UPRIGHT, 18" IF ANGLED. DRIVE
STAKES A MIN. 18" INTO
UNDISTURBED GROUND
OUTSIDE ROOTBALL. REMOVE
AFTER ONE YEAR.

MULCH 4" DEPTH WITH
SHREDDED HARDWOOD BARK.
NATURAL IN COLOR. LEAVE 3"
CIRCLE OF BARE SOIL AT BASE
OF TREE TRUNK.

MOUND EARTH TO FORM SAUCER
REMOVE ALL
NON-BIODEGRADABLE MATERIALS
COMPLETELY FROM THE
ROOTBALL. CUT DOWN WIRE
BASKET AND FOLD DOWN BURLAP
FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME
RELATION TO FINISH GRADE AS
IT BORE ORIGINALLY OR
SLIGHTLY HIGHER THAN FINISH
GRADE UP TO 6" ABOVE GRADE.
IF DIRECTED BY LANDSCAPE
ARCHITECT FOR HEAVY CLAY
SOIL AREAS.

DO NOT PRUNE TERMINAL
LEADER. PRUNE ONLY DEAD OR
BROKEN BRANCHES.

REMOVE ALL TAGS, STRING,
PLASTICS AND OTHER
MATERIALS THAT ARE
UNSIGHTLY OR COULD CAUSE
GIRDLING.

PLANTING MIXTURE:
AMEND SOILS PER
SITE CONDITIONS
AND REQUIREMENTS
OF THE PLANT
MATERIAL.

SCARIFY SUBGRADE
AND PLANTING PIT
SIDES. RECOMPACT
BASE OF TO 4"
DEPTH.

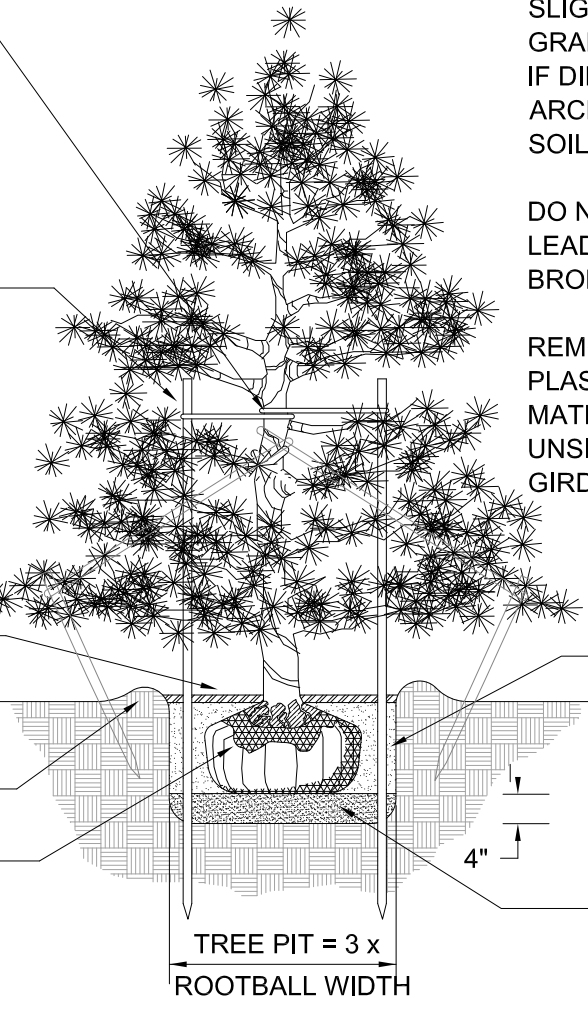
NOTE:
GUY EVERGREEN TREES ABOVE
12' HEIGHT. STAKE EVERGREEN
TREE BELOW 12' HEIGHT.

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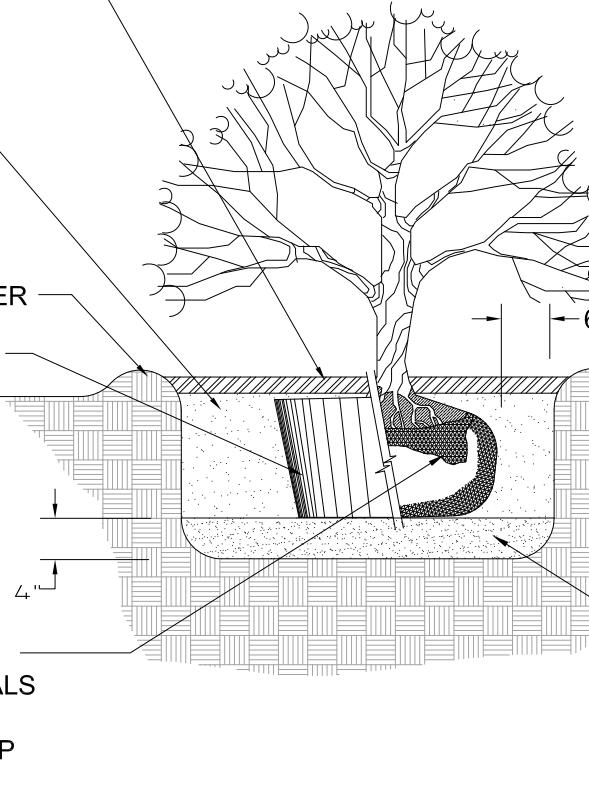
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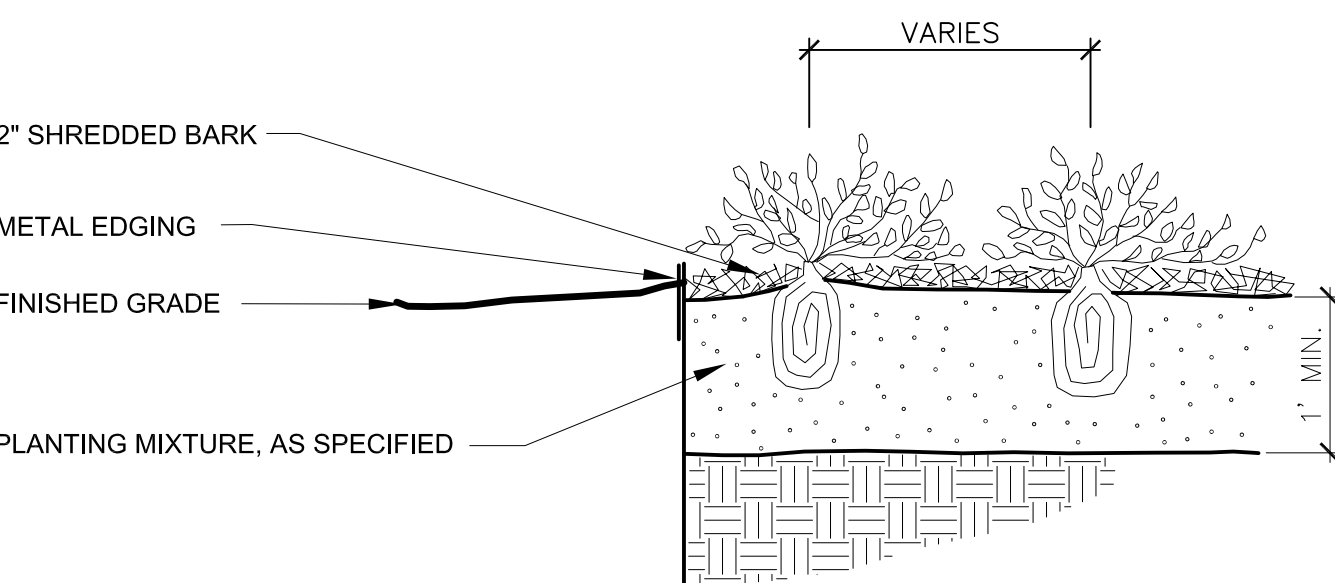
MULCH 3" DEPTH WITH
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NATURAL IN COLOR.

PLANTING MIXTURE:
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MATERIAL.
MOUND EARTH TO FORM SAUCER

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ROOTBALL. FOLD DOWN BURLAP
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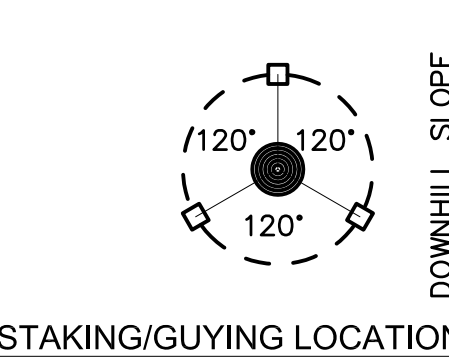


DECIDUOUS TREE PLANTING DETAIL

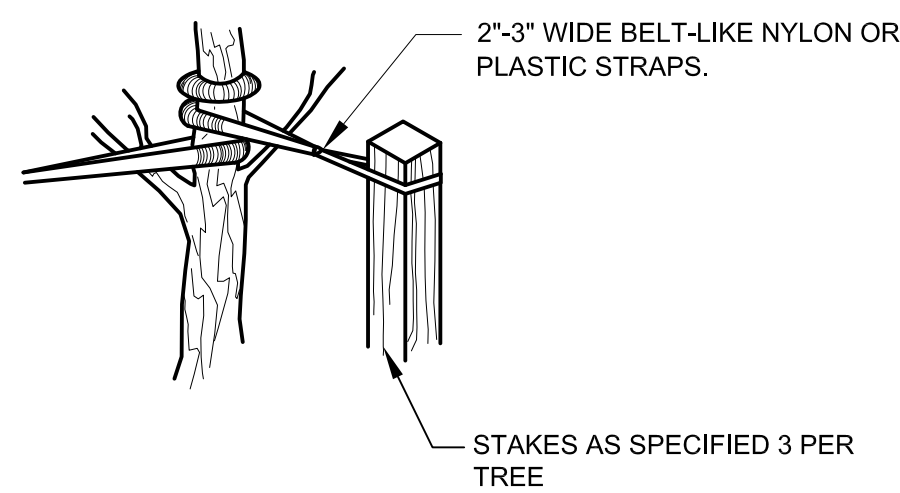
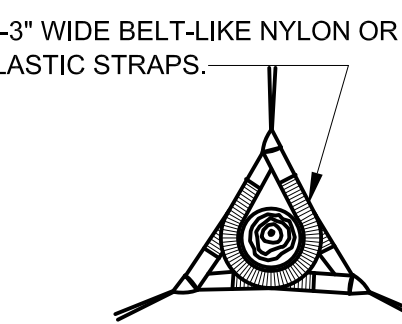


PERENNIAL PLANTING DETAIL

Not to scale



NOTE:
ORIENT STAKING/GUYING TO PREVAILING
WINDS, EXCEPT ON SLOPES GREATER
THAN 3:1 ORIENT TO SLOPE.
USE SAME STAKING/GUYING
ORIENTATION FOR ALL PLANTS WITHIN
EACH GROUPING OR AREA



GUYING DETAIL

STAKING DETAIL

TREE STAKING DETAIL

Not to scale

EVERGREEN TREE PLANTING DETAIL

SHRUB PLANTING DETAIL

NOT TO SCALE

LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheridaphelphi" Kentucky Blue Grass grown in a sod nursery on loam soil.

CITY OF NOVI NOTES

- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material During the Next Appropriate Planting Period.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4' diameter circle of shredded hardwood mulch 3' away from trunk. All perennial, annual and ground cover beds shall receive 2" of dark colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size.
- All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their Installation.

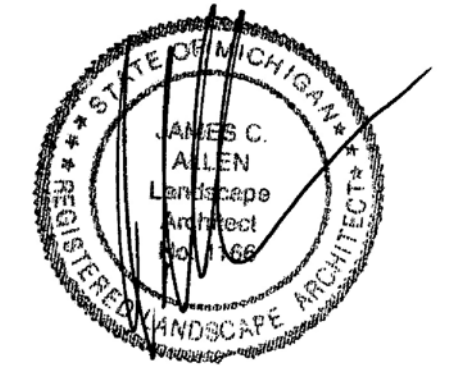
NOTES:
THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE FALL OF 2016 OR SPRING OF 2016.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THIS WARRANTY PERIOD.

Seal:



Title:

Landscape Details

Project:

Town Center Gardens
Novi, Michigan

Prepared for:

Keystone Commercial
31000 Northwestern Highway, Suite 200
Farmington Hills, Michigan 48334
248.356.8000

Revision:

Submission
Revised

Issued:

March 29, 2016
May 6, 2016

Job Number:

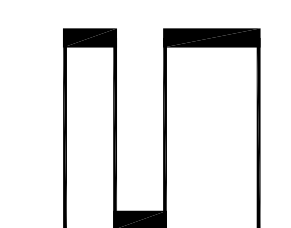
16-019

Drawn By:

jca

Checked By:

jca



NORTH

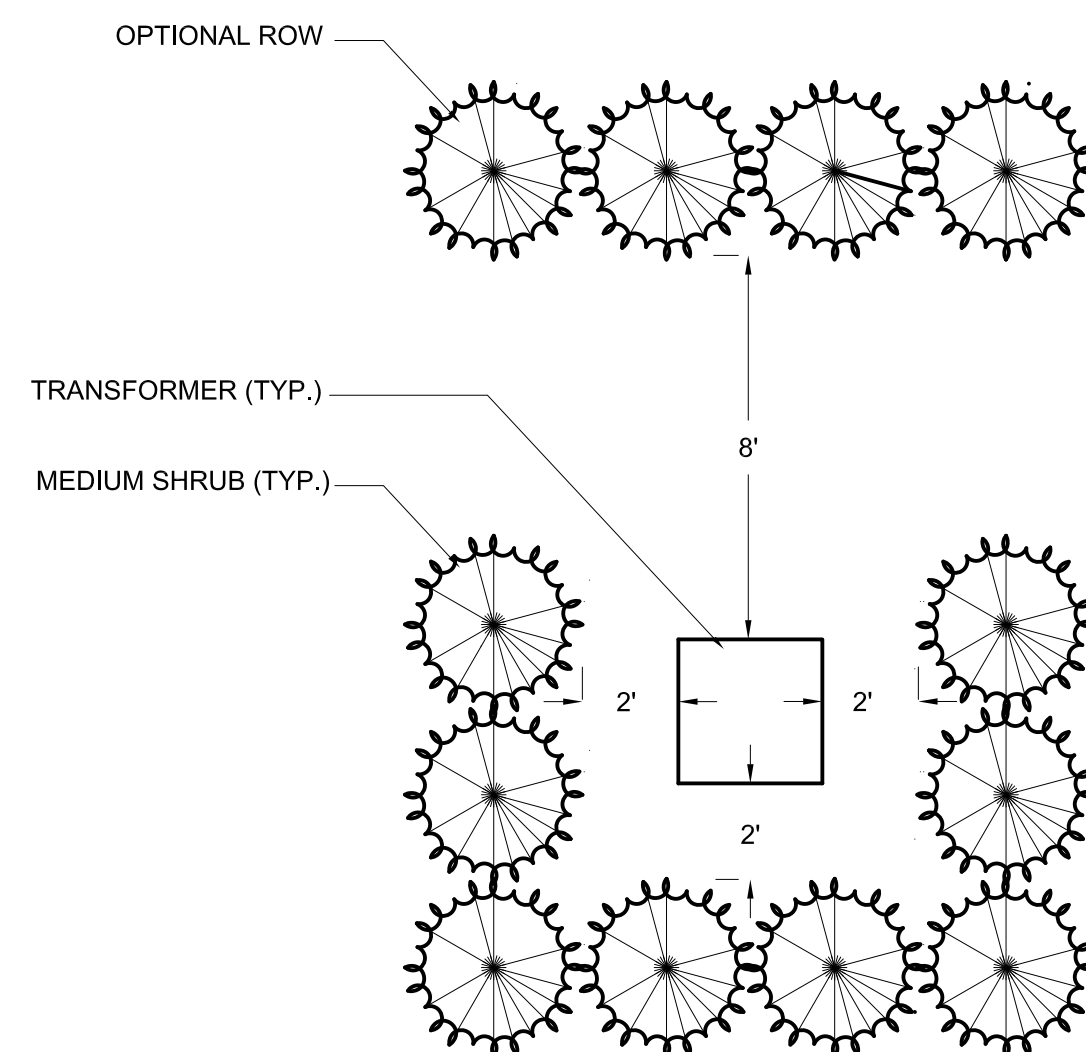
Sheet No.



L-2

TRANSFORMER SCREENING DETAIL

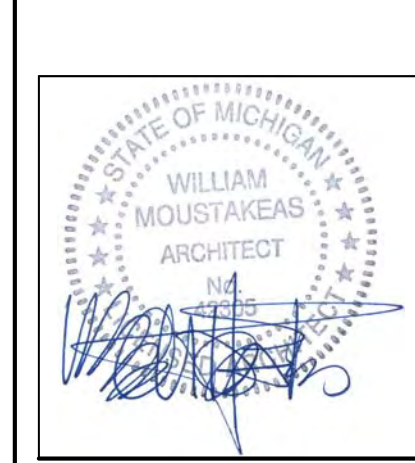
Not to scale



ISSUED FOR	DATE
PRE-APP REVIEW	11.19.2015
SPA REVIEW	03.30.2016
SPA REVIEW	05.05.2016

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API
 PLANNING DESIGN BUILD GCM
 5101 Williams Lake Road • Waterford, MI 48329
 Ph: 248.674.1340 • Fax: 248.481.6461
 www.apiplan.com



JOB NAME:
 SITE AND BUILDING IMPROVEMENTS FOR:
 TOWN CENTER GARDENS

LOCATION:
 26150 NOVI ROAD (NORTH OF GRAND RIVER AVE.)
 NOVI, MICHIGAN 48375

DRAWN BY:
 BCD

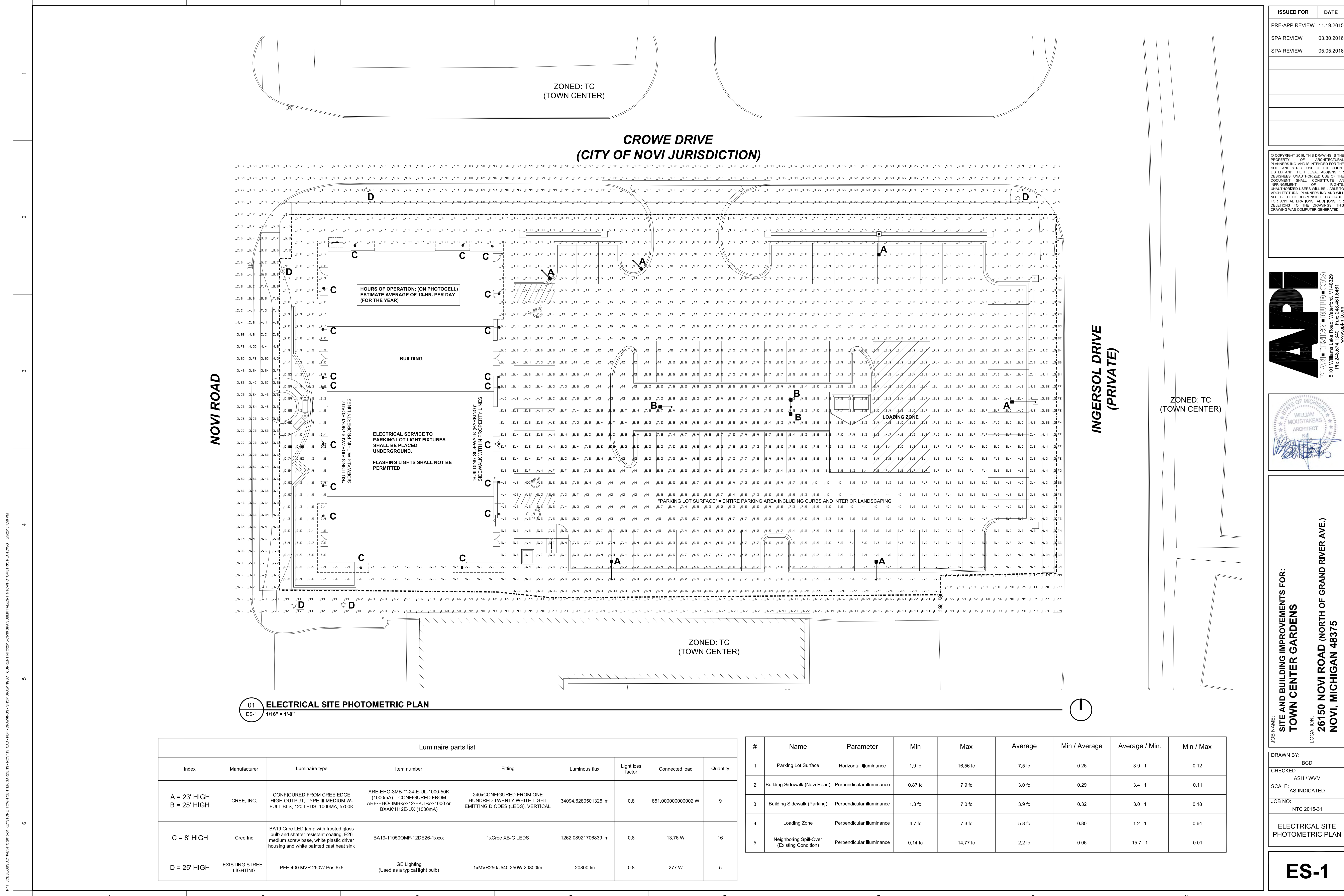
CHECKED:
 ASH / WVM

SCALE:
 AS INDICATED

JOB NO.:
 NTC 2015-31

**ELECTRICAL SITE
 PHOTOMETRIC PLAN**

ES-1



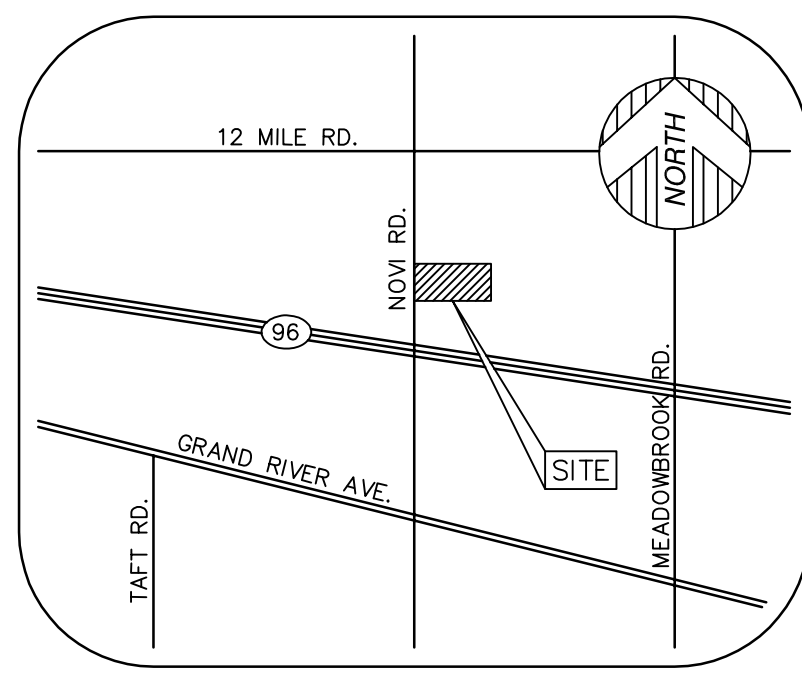
P:\1_085008\ACTIV\NTC 2015-31\KEYSTONE_TOWN CENTER GARDENS - NOVI.MI5_CAD - PDF_DRAWINGS - SHOP_DRAWINGS\1_CURRENT\NTC2015-31\SUBMITTALS\NTC_PHOTO\METRIC PLAN.DWG_1552016.156.PM

01 ELECTRICAL SITE PHOTOMETRIC PLAN
 ES-1 1/16" = 1'-0"

Luminaire parts list									
Index	Manufacturer	Luminaire type	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity	
A = 23' HIGH B = 25' HIGH	CREE, INC.	CONFIGURED FROM CREE EDGE HIGH OUTPUT, TYPE III MEDIUM W-FULL BLS, 120 LEADS, 1000MA, 5700K	ARE-EHO-3MB-**-24-E-UL-1000-50K (1000mA) CONFIGURED FROM ARE-EHO-3MB-xx-12-E-UL-xxx-1000 or 8XAK*H12E-UX (1000mA)	240xCONFIGURED FROM ONE HUNDRED TWENTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL	34094.6280501325 lm	0.8	851.0000000000000 W	9	
C = 8' HIGH	Cree Inc	BA19 Cree LED lamp with frosted glass bulb and shatter resistant coating, E26 medium screw base, white plastic driver housing and white painted cast heat sink	BA19-110500MF-12DE26-1xxxx	1xCree XB-G LEADS	1262.08921706839 lm	0.8	13.76 W	16	
D = 25' HIGH	EXISTING STREET LIGHTING	PFE-400 MVR 250w Pos 6x6	GE Lighting (Used as a typical light bulb)	1xMVR250IU/40 250W 20800lm	20800 lm	0.8	277 W	5	

#	Name	Parameter	Min	Max	Average	Min / Average	Average / Min.	Min / Max
1	Parking Lot Surface	Horizontal Illuminance	1.9 fc	16.56 fc	7.5 fc	0.26	3.9 : 1	0.12
2	Building Sidewalk (Novi Road)	Perpendicular Illuminance	0.87 fc	7.9 fc	3.0 fc	0.29	3.4 : 1	0.11
3	Building Sidewalk (Parking)	Perpendicular Illuminance	1.3 fc	7.0 fc	3.9 fc	0.32	3.0 : 1	0.18
4	Loading Zone	Perpendicular Illuminance	4.7 fc	7.3 fc	5.8 fc	0.80	1.2 : 1	0.64
5	Neighboring Spill-Over (Existing Condition)	Perpendicular Illuminance	0.14 fc	14.77 fc	2.2 fc	0.06	15.7 : 1	0.01

TOPOGRAPHIC SURVEY



VICINITY MAP
(NOT TO SCALE)

PARCEL AREA

49,249± SQUARE FEET = 1.131± ACRES

BASIS OF BEARING

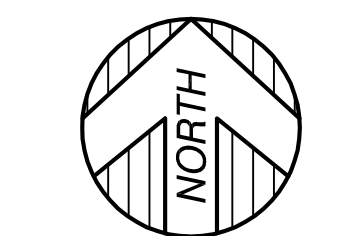
NORTH 02°40'33" WEST, BEING THE WEST LINE OF SECTION 14 AND THE CENTERLINE OF NOVI ROAD, AS DESCRIBED.

BENCHMARK

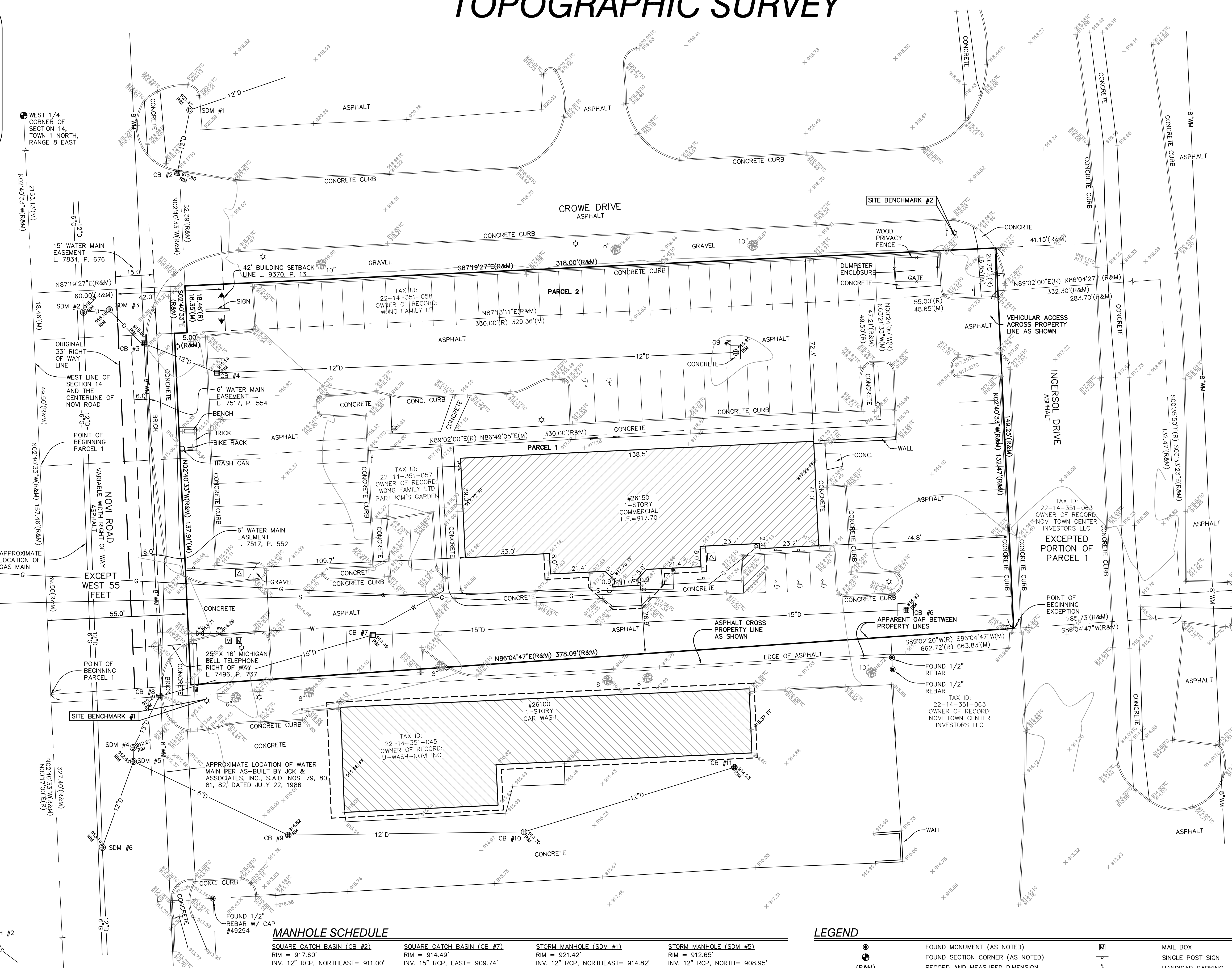
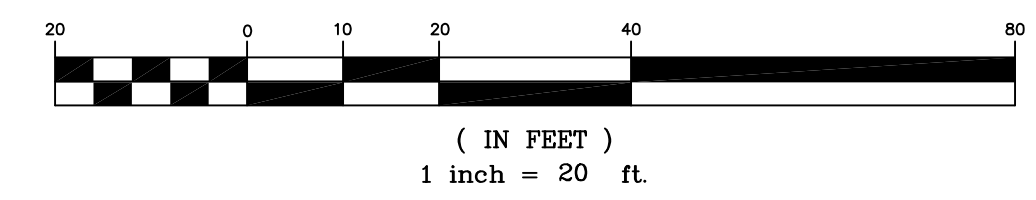
SITE BENCHMARK #1:
OUT "X" NORTH SIDE OF CONCRETE LIGHT POLE BASE, SOUTHWEST CORNER OF PROPERTY.
ELEVATION = 915.85' (NAVD88)

SITE BENCHMARK #2:
OUT "X" SOUTH SIDE OF CONCRETE LIGHT POLE BASE, NORTHEAST CORNER OF PROPERTY.
ELEVATION = 919.55' (NAVD88)

CITY BENCHMARK #1542:
OUT "X" NORTH RIM OF SANITARY MANHOLE, EAST OF PROPERTY.
ELEVATION = 915.10' (NAVD88)



GRAPHIC SCALE



PROPERTY DESCRIPTION

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND AND STATE OF MICHIGAN, TO-WIT:

PARCEL 1
TOWN 1 NORTH, RANGE 8 EAST, SECTION 14 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, BEGINNING AT A POINT DISTANCE NORTH 00 DEGREES 17 MINUTES 00 SECONDS EAST 330 FEET AND NORTH 00 DEGREES 02 MINUTES 00 SECONDS EAST 330 FEET; THENCE NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 330 FEET; THENCE NORTH 00 DEGREES 24 MINUTES 00 SECONDS WEST 47.21 FEET; THENCE NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 332.30 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 50 SECONDS EAST 132.47 FEET; THENCE SOUTH 89 DEGREES 02 MINUTES 20 SECONDS WEST 662.72 FEET TO THE POINT OF BEGINNING, EXCEPT WEST 55 FEET TAKEN FOR ROAD PURPOSES, ALSO EXCEPT BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 327.40 FEET AND NORTH 86 DEGREES 04 MINUTES 47 SECONDS EAST 378.09 FEET FROM SOUTHWEST SECTION CORNER; THENCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 132.47 FEET; THENCE NORTH 86 DEGREES 04 MINUTES 27 SECONDS EAST 283.70 FEET; THENCE SOUTH 03 DEGREES 33 MINUTES 23 SECONDS EAST 132.47 FEET; THENCE SOUTH 86 DEGREES 04 MINUTES 47 SECONDS WEST 285.73 FEET TO THE POINT OF BEGINNING, ALSO BEGINNING AT A POINT DISTANCE NORTH 416.90 FEET FROM SOUTHWEST SECTION CORNER; THENCE NORTH 49.50 FEET; THENCE EAST 330 FEET; THENCE SOUTH 49.50 FEET; THENCE WEST 330 FEET TO THE POINT OF BEGINNING, EXCEPT WEST 55 FEET TAKEN FOR ROAD PURPOSES.

PARCEL 2
TOWN 1 NORTH, RANGE 8 EAST, SECTION 14 ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES NORTHERLY OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 00 DEGREES 17 MINUTES 00 SECONDS EAST 416.90 FEET AND NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 330 FEET AND NORTH 00 DEGREES 24 MINUTES 00 SECONDS WEST 47.21 FEET FROM SOUTHWEST SECTION CORNER; THENCE NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 55 FEET TO THE POINT OF ENDING, ALSO ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES NORTH OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 466.40 FEET FROM SOUTHWEST SECTION CORNER; THENCE EAST 330 FEET TO THE POINT OF ENDING, ALSO ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES SOUTH OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 484.86 FEET AND NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST 60 FEET AND NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 52.39 FEET AND NORTH 87 DEGREES 15 MINUTES 12 SECONDS EAST 313.22 FEET AND NORTH 11 DEGREES 07 MINUTES 24 SECONDS EAST 14.17 FEET AND NORTH 10 DEGREES 09 MINUTES 38 SECONDS WEST 114.32 FEET AND NORTH 24 DEGREES 20 MINUTES 17 SECONDS WEST 255.62 FEET AND NORTH 76 DEGREES 56 MINUTES 44 SECONDS WEST 50.63 FEET AND NORTH 52 DEGREES 24 MINUTES 49 SECONDS EAST 104.37 FEET AND SOUTH 04 DEGREES 00 MINUTES 03 SECONDS WEST 48.39 FEET AND SOUTH 24 DEGREES 31 MINUTES 23 SECONDS WEST 275.22 FEET AND SOUTH 08 DEGREES 12 MINUTES 32 SECONDS EAST 188.28 FEET AND SOUTH 87 DEGREES 19 MINUTES 27 SECONDS WEST 41.15 FEET FROM SOUTHWEST SECTION CORNER; THENCE SOUTH 87 DEGREES 19 MINUTES 27 SECONDS WEST 318 FEET TO THE POINT OF ENDING AND ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES EASTERLY OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 484.86 FEET AND NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST 60 FEET FROM SOUTHWEST SECTION CORNER; THENCE SOUTH 02 DEGREES 40 MINUTES 33 SECONDS EAST 18.46 FEET TO THE POINT OF ENDING AND ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES WESTERLY OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 484.86 FEET AND NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST 378 FEET FROM SOUTHWEST SECTION CORNER; THENCE SOUTHERLY 20.75 FEET MORE OR LESS TO THE POINT OF ENDING.

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

Anthony T. Sycko, Jr.
ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976



MANHOLE SCHEDULE

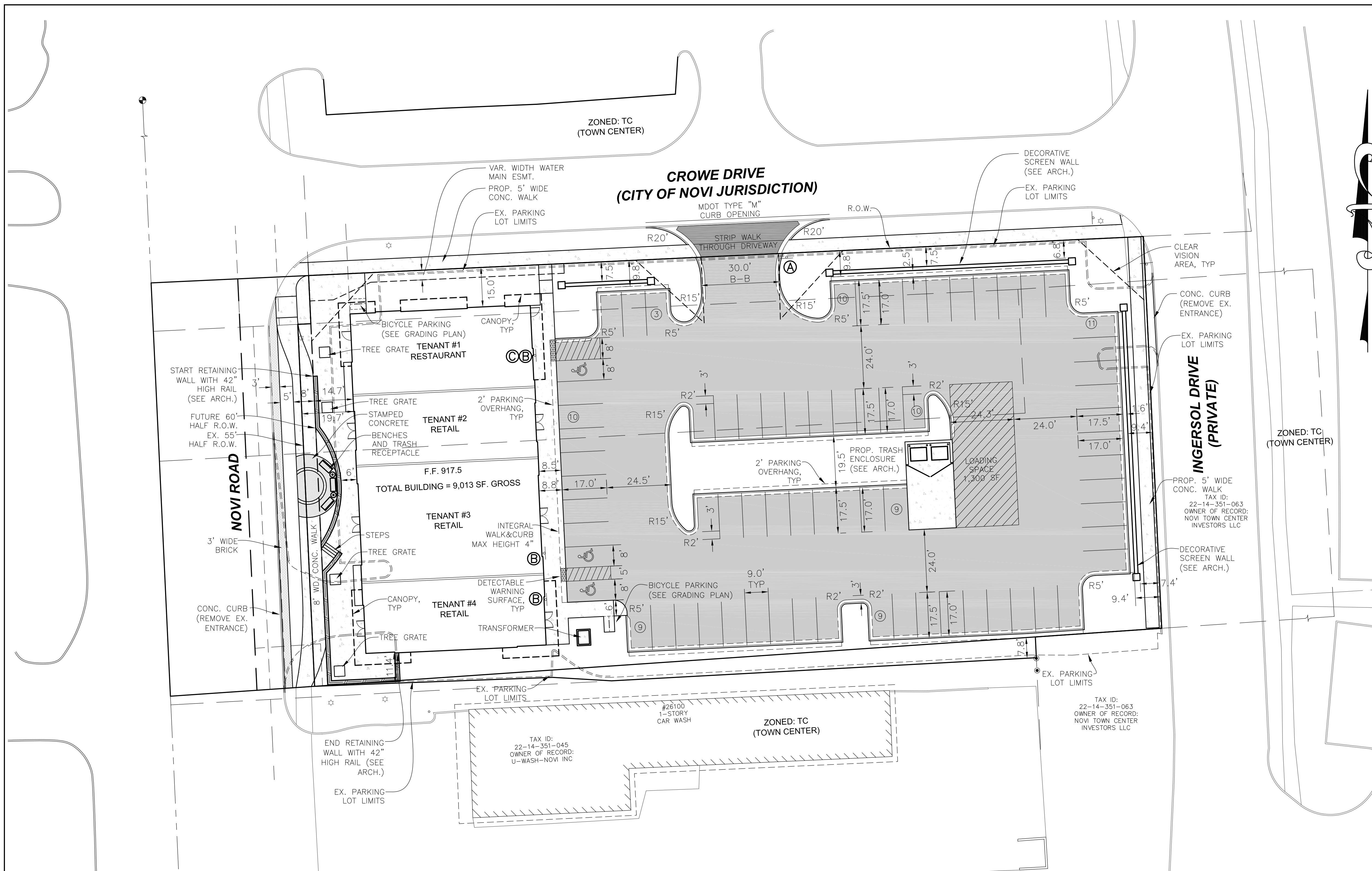
SQUARE CATCH BASIN (CB #2) RIM = 917.60' INV. 12" RCP, NORTHEAST= 911.00' INV. 12" RCP, SOUTHWEST= 910.92'	SQUARE CATCH BASIN (CB #7) RIM = 914.49' INV. 15" RCP, EAST= 909.74' INV. 15" RCP, SOUTHWEST= 909.74'	STORM MANHOLE (SDM #1) RIM = 921.42' INV. 12" RCP, NORTHEAST= 914.82' INV. 12" RCP, SOUTHWEST= 914.74'	STORM MANHOLE (SDM #5) RIM = 912.65' INV. 12" RCP, NORTH= 908.95' INV. 12" RCP, SOUTHWEST= 908.75' INV. 6", SOUTHEAST= 909.15'
SQUARE CATCH BASIN (CB #3) RIM = 915.50' UNABLE TO ACCESS	SQUARE CATCH BASIN (CB #8) RIM = 912.29' INV. 15" RCP, NORTHEAST= 909.59' INV. 15" RCP, SOUTHWEST= 909.59'	STORM MANHOLE (SDM #2) RIM = 916.36' UNABLE TO ACCESS	STORM MANHOLE (SDM #6) RIM = 916.72' UNABLE TO ACCESS
SQUARE CATCH BASIN (CB #4) RIM = 915.14' INV. 12" RCP, EAST= 912.64' INV. 12" RCP, NORTHWEST= 912.64'	ROUND CATCH BASIN (CB #9) RIM = 914.82' INV. 6", NORTHWEST= 909.52' INV. 12", EAST= 909.82'	STORM MANHOLE (SDM #3) RIM = 916.18' UNABLE TO ACCESS	SANITARY MANHOLE (SMH #1) RIM = 916.72' UNABLE TO ACCESS
ROUND CATCH BASIN (CB #5) RIM = 915.82' INV. 12" RCP, WEST= 913.67'	ROUND CATCH BASIN (CB #10) RIM = 914.70' TOP OF DEBRIS= 910.70'	STORM MANHOLE (SDM #4) RIM = 912.67' INV. 15" RCP, NORTHEAST= 909.27' INV. 12" RCP, SOUTH= 909.07'	SANITARY MANHOLE (SMH #2) RIM = 912.90' UNABLE TO ACCESS
SQUARE CATCH BASIN (CB #6) RIM = 914.93' INV. 15" RCP, WEST= 911.33'	ROUND CATCH BASIN (CB #11) RIM = 914.23' INV. 12" RCP, SOUTHWEST= 911.13'		

LEGEND

● (R&M)	FOUND SECTION CORNER (AS NOTED)	□	MAIL BOX
(R)	RECORD AND MEASURED DIMENSION	+	SINGLE POST SIGN
(M)	RECORD DIMENSION	—	HANDICAP PARKING
+000.00	MEASURED DIMENSION	—	PARCEL BOUNDARY LINE
△	GROUND POINT	—	PLATTED LOT LINE
□	TRANSFORMER	—	SECTION LINE
□	GAS METER	—	EASEMENT (AS NOTED)
□	CABLE TV RISER	—	BUILDING
□	CLEANOUT	—	BUILDING OVERHANG
□	ROUND CATCH BASIN	—	BUILDING HATCH
□	SQUARE CATCH BASIN	—	CONCRETE CURB
□	STORM DRAIN MANHOLE	—	EDGE OF CONCRETE
□	SANITARY MANHOLE	—	EDGE OF BRICK
□	FIRE DEPARTMENT CONNECTION	—	EDGE OF GRAVEL
×	WATER VALVE	—	FENCE (AS NOTED)
+	FLAGPOLE	—	WALL (AS NOTED)
+	FLOOD LIGHT	—	GAS LINE
+	TREE	—	SANITARY LINE
+	LIGHTPOST/LAMP POST	—	D
		—	STORM LINE
		—	W
		—	WATER LINE

KEM-TEC & ASSOCIATES
PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS
2256 GRATIOT AVE. • EASTPOINTE, MICHIGAN 48021
(586)772-2222 • (800)295-7222 • FAX (586)772-4048

PREPARED FOR: KEYSTONE COMMERCIAL REAL ESTATE, LLC	
DATE: FEBRUARY 22, 2016	JOB #: 15-029B3
SCALE: 1" = 20'	SHEET: 1 OF 1
DRW. BY: DLD	REV.:



SITE DATA:

ZONING: TC TOWN CENTER DISTRICT

SITE AREA DATA:
 TOTAL SITE AREA: 1.13 ACRES±
 PARCEL ID: 22-14-351-058 & 22-14-351-057

BUILDING DATA:
 RESTAURANT #1: 2,340 SF
 RETAIL #2: 1,704 SF
 RETAIL #3: 3,074 SF
 RETAIL #4: 1,895 SF
 TOTAL BUILDING AREA: 9,013 SF

BUILDING SETBACKS:

	REQUIRED	PROPOSED
FRONT (NOVI RD)	50 FT	14.7 FT
EXTERIOR SIDE (CROWE/INGERSOL DR)	50 FT	15 FT N., 233.9 FT E
SIDE (SOUTH)	50 FT	11.4 FT

PARKING SETBACKS:

	REQUIRED	PROPOSED
FRONT (NOVI RD)	20 FT	90.6 FT
EXTERIOR SIDE (CROWE DR)	20 FT	9.8 FT
EXTERIOR SIDE (INGERSOL DR)	20 FT	9.4 FT
SIDE (SOUTH)	20 FT	0 FT

TRASH ENCLOSURE SETBACKS:

	REQUIRED	PROPOSED
REAR ROW	50 FT	76.3 FT

PARKING CALCULATIONS:
 PARKING REQUIRED:
 RETAIL 1 SPACE / 200 S.F. OF GROSS LEASABLE AREA
 (6,673 / 200) = 33 SPACES
 RESTAURANT (SIT-DOWN TYPE) 1 SPACE / 70 S.F. OF GROSS FLOOR AREA
 (2,340 / 70) = 33 SPACES
 PARKING REQUIRED = 66 SPACES REQUIRED
 PARKING PROVIDED = 71 SPACES ON-SITE (INCLUDES 3 H.C. SPACES)

REQUIRED BICYCLE PARKING:
 REQUIRED: 5% OF REQUIRED AUTO SPACES
 = 71 x .05 = 4 BICYCLE PARKING SPACES
 PROVIDED: 4 BICYCLE PARKING SPACES

- FIRE DEPARTMENT NOTES:**
1. WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
 2. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3" HIGH ON A CONTRASTING BACKGROUND.
 3. FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS.
 4. IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER OBJECT FOR A MINIMUM OF 3 FEET.
 5. IN ANY BUILDING OR STRUCTURE REQUIRED TO BE EQUIPPED WITH A FIRE DEPARTMENT CONNECTION, THE CONNECTION SHALL BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT.

- GENERAL SITE NOTES:**
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2. ROOFTOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
 3. EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
 4. RIGHT OF WAY PERMIT IS REQUIRED FROM THE ROAD COMMISSION FOR OAKLAND COUNTY AND CITY OF NOVI FOR ANY WORK IN THE 12 MILE ROAD RIGHT-OF-WAY.
 5. ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TYPICAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
 6. ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE "2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (2011 MMUTCD).
 7. NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 8. CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 9. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
 10. ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDOT).
 11. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
 12. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
 13. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

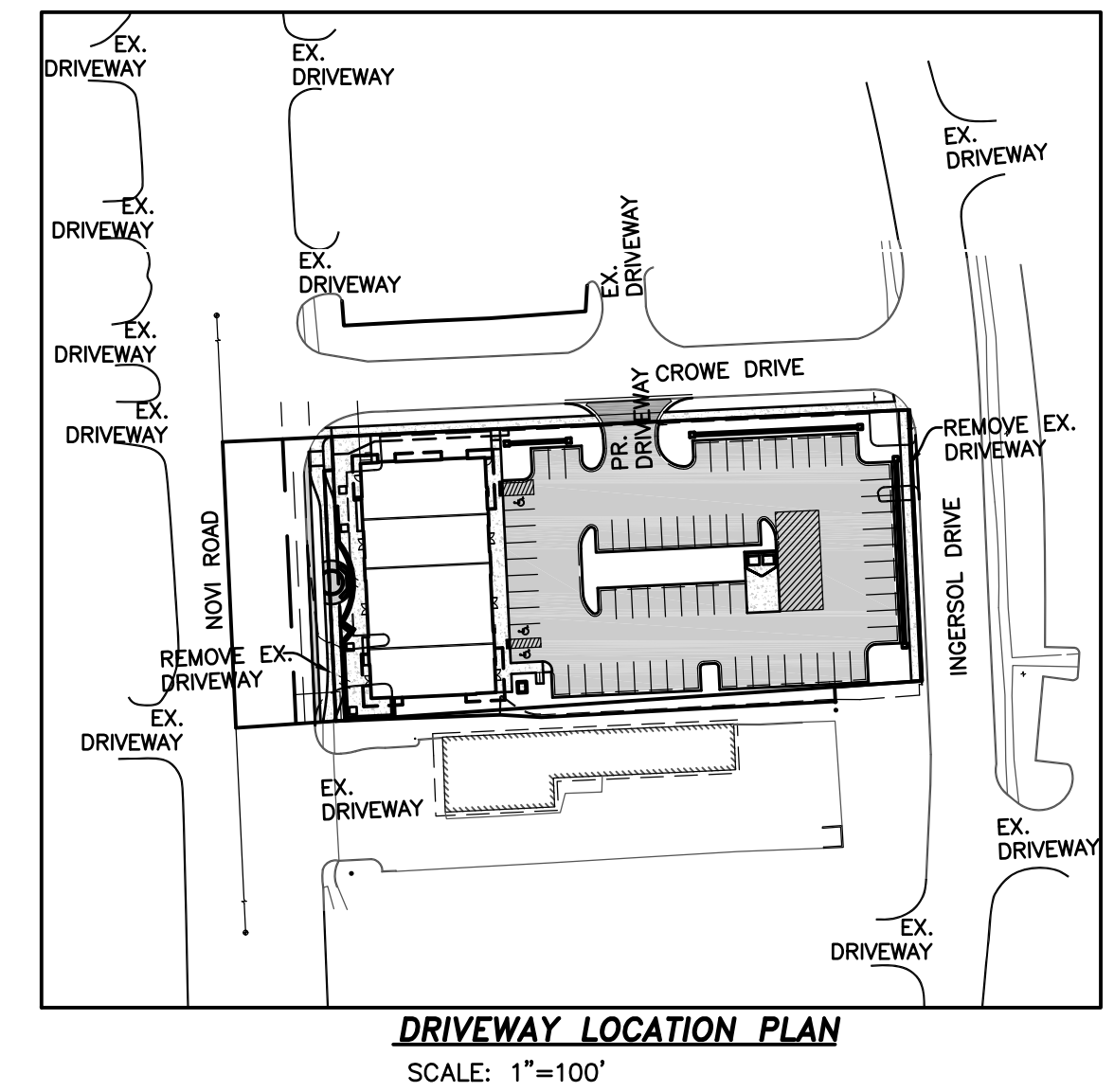
NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

TRAFFIC SIGNING REQUIREMENTS

ITEM	MMUTCD CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R7-1	1	24"x24"	STOP
(B)	R7-8	3	12"x18"	RESERVED PARKING ONLY
(C)	R7-8P	1	12"x6"	VAN ACCESSIBLE

TRAFFIC SIGNING AND STRIPING REQUIREMENTS

1. ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MMUTCD.
2. SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL OR FENCE MOUNTED AS INDICATED ON THE PLANS, LOCATE AND INSTALL IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
3. STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ABUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
4. AN END PARKING SPACE ABUTTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPACE OR 9 FEET WIDE IF NOT. THESE WIDTHS ARE REFERENCED TO THE FACE OF CURB OR WALK.
5. EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.
6. SOLID ARROWS INDICATE WHERE ARROWS ARE PROPOSED AS PART OF THE STRIPING PLAN; HOLLOW ARROWS ARE PROVIDED TO DENOTE TRAFFIC FLOW DIRECTION.



COMMERCIAL
 SITE PLANNING
 SURVEYING
 INDUSTRIAL & MULTI-UNIT
 LAND SURVEYING
 CONSTRUCTION LAYOUT

SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 PARCEL SPLITS
 CONSTRUCTION LAYOUT

RESIDENTIAL
 SUBDIVISIONS
 SINGLE-FAMILY
 MULTI-FAMILY
 PLOT PLANS
 CONSTRUCTION LAYOUT

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

46892 WEST ROAD
 SUITE 108
 NOVI, MICHIGAN 48377
 (248) 928-3701 (BUS)
 (248) 928-3765 (FAX)
 WWW.ALPINE-INC.NET

811
 Know what's below
 Call before you dig.

NOVI TOWN CENTER PLAZA, LLC
 CLIENT:

PRELIMINARY SITE PLAN

TOWN CENTER GARDENS
 SECTION 14
 RANGE: BE
 TOWNSHIP: IN
 CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN

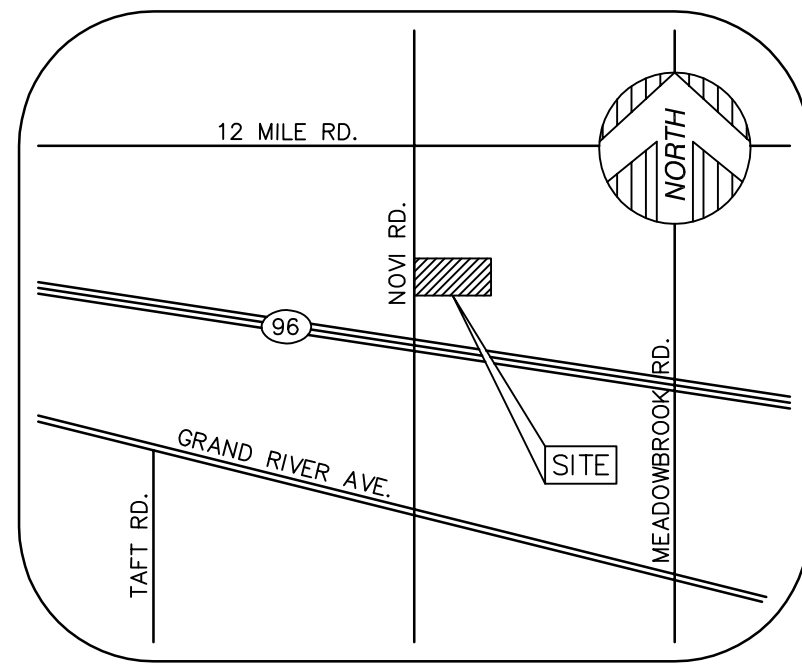
REVISED
 2016-03-29 PSP SUBMITTAL
 2016-05-06 PSP SUBMITTAL

DATE: 2016-03-29
 DRAWN BY: TG
 CHECKED BY: SD/TG

FBK:
 CHF:
 SCALE: HOR 1"=20 FT.
 VER 1"=10 FT.

2
 16-160

TOPOGRAPHIC SURVEY

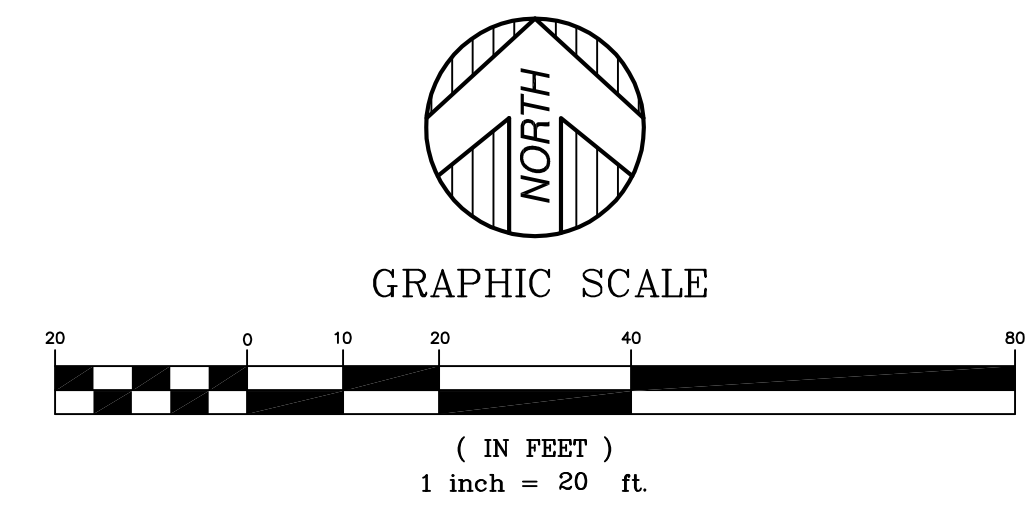


VICINITY MAP
(NOT TO SCALE)

PARCEL AREA
49,249± SQUARE FEET = 1.131± ACRES

BASIS OF BEARING
NORTH 02°40'33" WEST, BEING THE WEST LINE OF SECTION 14 AND THE CENTERLINE OF NOVI ROAD, AS DESCRIBED.

BENCHMARK
SITE BENCHMARK #1:
OUT "X" NORTH SIDE OF CONCRETE LIGHT POLE BASE, SOUTHWEST CORNER OF PROPERTY.
ELEVATION = 915.85' (NAVD88)
SITE BENCHMARK #2:
OUT "X" SOUTH SIDE OF CONCRETE LIGHT POLE BASE, NORTHEAST CORNER OF PROPERTY.
ELEVATION = 919.55' (NAVD88)



PROPERTY DESCRIPTION

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND AND STATE OF MICHIGAN, TO-WIT:

PARCEL 1
TOWN 1 NORTH, RANGE 8 EAST, SECTION 14 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, BEGINNING AT A POINT DISTANCE NORTH 00 DEGREES 17 MINUTES 00 SECONDS EAST 330 FEET AND NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 330 FEET; THENCE NORTH 00 DEGREES 17 MINUTES 00 SECONDS EAST 330 FEET; THENCE NORTH 00 DEGREES 24 MINUTES 00 SECONDS WEST 47.21 FEET; THENCE NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 332.30 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 50 SECONDS EAST 132.47 FEET; THENCE SOUTH 89 DEGREES 02 MINUTES 20 SECONDS WEST 662.72 FEET TO THE POINT OF BEGINNING, EXCEPT WEST 55 FEET TAKEN FOR ROAD PURPOSES, ALSO EXCEPT BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 327.40 FEET AND NORTH 86 DEGREES 04 MINUTES 47 SECONDS EAST 378.09 FEET FROM SOUTHWEST SECTION CORNER; THENCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 132.47 FEET; THENCE NORTH 86 DEGREES 04 MINUTES 27 SECONDS EAST 283.70 FEET; THENCE SOUTH 03 DEGREES 33 MINUTES 23 SECONDS EAST 132.47 FEET; THENCE SOUTH 86 DEGREES 04 MINUTES 47 SECONDS WEST 285.73 FEET TO THE POINT OF BEGINNING, ALSO BEGINNING AT A POINT DISTANCE NORTH 416.90 FEET FROM SOUTHWEST SECTION CORNER; THENCE NORTH 49.50 FEET; THENCE EAST 330 FEET; THENCE SOUTH 49.50 FEET; THENCE WEST 330 FEET TO THE POINT OF BEGINNING, EXCEPT WEST 55 FEET TAKEN FOR ROAD PURPOSES.

PARCEL 2
TOWN 1 NORTH, RANGE 8 EAST, SECTION 14 ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES NORTHERLY OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 00 DEGREES 17 MINUTES 00 SECONDS EAST 416.90 FEET AND NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 330 FEET AND NORTH 00 DEGREES 24 MINUTES 00 SECONDS WEST 47.21 FEET FROM SOUTHWEST SECTION CORNER; THENCE NORTH 89 DEGREES 02 MINUTES 00 SECONDS EAST 55 FEET TO THE POINT OF ENDING, ALSO ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES SOUTH OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 327.40 FEET AND NORTH 87 DEGREES 15 MINUTES 12 SECONDS EAST 313.22 FEET AND NORTH 11 DEGREES 07 MINUTES 24 SECONDS EAST 14.17 FEET AND NORTH 10 DEGREES 09 MINUTES 38 SECONDS WEST 114.32 FEET AND NORTH 24 DEGREES 20 MINUTES 17 SECONDS WEST 255.62 FEET AND NORTH 76 DEGREES 56 MINUTES 44 SECONDS WEST 50.63 FEET AND NORTH 52 DEGREES 24 MINUTES 49 SECONDS EAST 104.37 FEET AND SOUTH 04 DEGREES 00 MINUTES 03 SECONDS WEST 48.39 FEET AND SOUTH 24 DEGREES 31 MINUTES 23 SECONDS EAST 275.22 FEET AND SOUTH 08 DEGREES 12 MINUTES 32 SECONDS EAST 188.28 FEET AND SOUTH 87 DEGREES 19 MINUTES 27 SECONDS WEST 41.15 FEET FROM SOUTHWEST SECTION CORNER; THENCE SOUTH 87 DEGREES 19 MINUTES 27 SECONDS WEST 318 FEET TO THE POINT OF ENDING AND ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES EASTERLY OF LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 484.86 FEET AND NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST 60 FEET FROM SOUTHWEST SECTION CORNER; THENCE SOUTH 02 DEGREES 40 MINUTES 33 SECONDS EAST 18.46 FEET TO THE POINT OF ENDING AND ALL THAT PART OF SOUTHWEST 1/4 OF SOUTHWEST 1/4 WHICH LIES WESTERLY OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST 484.86 FEET AND NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST 378 FEET FROM SOUTHWEST SECTION CORNER; THENCE SOUTHERLY 20.75 FEET MORE OR LESS TO THE POINT OF ENDING.

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

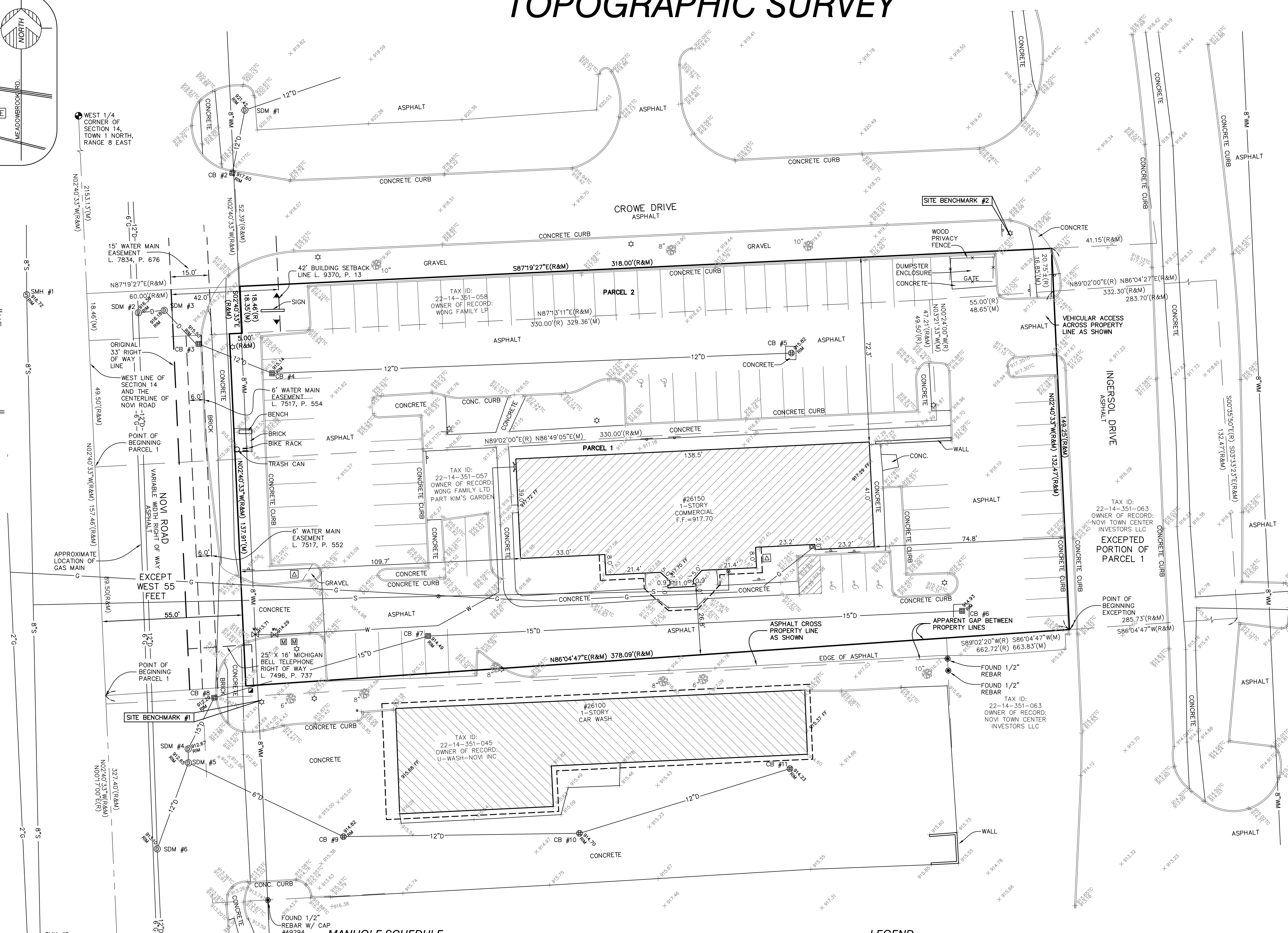
SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976

KEM-TEC & ASSOCIATES
PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS
22556 GRATIOT AVE. • EASTPOINTE, MICHIGAN 48021
(586)772-2222 • (800)295-7222 • FAX (586)772-4048

PREPARED FOR: KEYSTONE COMMERCIAL REAL ESTATE, LLC
DATE: FEBRUARY 22, 2016 JOB #: 15-029B3
SCALE: 1" = 20' SHEET: 1 OF 1
DRW. BY: DLD REV.:



MANHOLE SCHEDULE

SQUARE CATCH BASIN (CB #2) RIM = 917.60' INV. 12" RCP, NORTHEAST= 911.00' INV. 12" RCP, NORTHWEST= 910.92'	SQUARE CATCH BASIN (CB #7) RIM = 914.49' INV. 15" RCP, EAST= 909.74' INV. 15" RCP, WEST= 909.74'	STORM MANHOLE (SDM #1) RIM = 921.42' INV. 12" RCP, NORTHEAST= 914.82' INV. 12" RCP, SOUTH= 914.74'	STORM MANHOLE (SDM #5) RIM = 912.65' INV. 12" RCP, NORTH= 908.95' INV. 6", SOUTHWEST= 909.15'
SQUARE CATCH BASIN (CB #3) RIM = 915.50' UNABLE TO ACCESS	SQUARE CATCH BASIN (CB #8) RIM = 912.29' INV. 15" RCP, NORTHEAST= 909.59' INV. 15" RCP, SOUTH= 909.59'	STORM MANHOLE (SDM #2) RIM = 916.36' UNABLE TO ACCESS	STORM MANHOLE (SDM #6) RIM = 913.10' UNABLE TO ACCESS
SQUARE CATCH BASIN (CB #4) RIM = 915.14' INV. 12" RCP, EAST= 912.64' INV. 12" RCP, NORTHWEST= 912.64'	ROUND CATCH BASIN (CB #9) RIM = 914.82' INV. 6", NORTHWEST= 909.52' INV. 12", EAST= 909.82'	STORM MANHOLE (SDM #3) RIM = 916.18' UNABLE TO ACCESS	SANITARY MANHOLE (SMH #1) RIM = 916.72' UNABLE TO ACCESS
ROUND CATCH BASIN (CB #5) RIM = 915.82' INV. 12" RCP, WEST= 913.67'	ROUND CATCH BASIN (CB #10) RIM = 914.70' TOP OF DEBRIS= 910.70'	STORM MANHOLE (SDM #4) RIM = 912.67' INV. 15" RCP, NORTHEAST= 909.27' INV. 12" RCP, SOUTH= 909.07'	SANITARY MANHOLE (SMH #2) RIM = 912.90' UNABLE TO ACCESS
SQUARE CATCH BASIN (CB #6) RIM = 914.93' INV. 15" RCP, WEST= 911.33'	ROUND CATCH BASIN (CB #11) RIM = 914.23' INV. 12" RCP, SOUTH= 911.13'		

LEGEND

● (R&M)	FOUND SECTION CORNER (AS NOTED)	□	MAIL BOX
(R)	RECORD AND MEASURED DIMENSION	+	SINGLE POST SIGN
(M)	RECORD DIMENSION	—	HANDICAP PARKING
+XXXXXX	MEASURED DIMENSION	—	PARCEL BOUNDARY LINE
△	GROUND POINT	—	PLATTED LOT LINE
□	TRANSFORMER	—	SECTION LINE
□	GAS METER	—	EASEMENT (AS NOTED)
□	CABLE TV RISER	—	BUILDING
□	CLEANOUT	—	BUILDING OVERHANG
□	ROUND CATCH BASIN	—	BUILDING HATCH
□	SQUARE CATCH BASIN	—	CONCRETE CURB
□	STORM DRAIN MANHOLE	—	EDGE OF CONCRETE
□	SANITARY MANHOLE	—	EDGE OF BRICK
□	FIRE DEPARTMENT CONNECTION	—	EDGE OF GRAVEL
□	WATER VALVE	—	FENCE (AS NOTED)
□	FLAGPOLE	—	WALL (AS NOTED)
□	FLOOD LIGHT	—	GAS LINE
□	TREE	—	SANITARY LINE
□	LIGHTPOST/LAMP POST	—	D
		—	STORM LINE
		—	W
		—	WATER LINE

ZONED: TC
(TOWN CENTER)

**CROWE DRIVE
(CITY OF NOVI JURISDICTION)**

TOTAL BUILDING = 9,013 SF.

NOVI ROAD

**INGERSOL DRIVE
(PRIVATE)**

69'-4"

TENANT #1
RESTAURANT
LEASE SPACE = 2,340 SF.

33'-9"

TENANT #2
RETAIL
LEASE SPACE = 1,704 SF.

24'-8"

130'-0"

TENANT #3
RETAIL
LEASE SPACE = 3,074 SF.

44'-4"

TENANT #4
RETAIL
LEASE SPACE = 1,895 SF.

27'-4"

71 PARKING SPACES

1,300 SF. LOADING ZONE

