



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

MEETING DATE: October 14, 2025

REGARDING: 24730 Sarah Fynn #50-22-21-328-012 (PZ25-0049)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

John and Callie Moylan

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: this property is zoned One-Family Residential (R-4)

Location: north of Ten Mile Road, east of Beck Road

Parcel #: 50-22-21-328-012

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.1.5 for an aggregate side yard setback of 21 ft (25 ft required, variance of 4 ft). This property is zoned One-Family Residential (R-4).

II. STAFF COMMENTS:

The applicant is seeking a dimensional variance to allow a 4-Foot reduction to the side yard setback accumulative requirement. This will accommodate a new first and second floor addition. The new footprint change is aligned with the original home which its existing layout already has this same condition.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ25-0049**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ25-0049** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

Zoning Board of Appeals

John and Callie Moylan

Case # PZ25-0049

September 9, 2025

Page 4 of 4



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ZONING BOARD OF APPEALS APPLICATION

RECEIVED

AUG 28 2025

APPLICATION MUST BE FILLED OUT COMPLETELY

CITY OF NOVI
COMMUNITY DEVELOPMENT

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: \$220.00	
PROJECT NAME / SUBDIVISION <u>Moylan Addition</u>				Meeting Date: <u>10/14/25</u>	
ADDRESS <u>24730 Sarah Flynn</u>		LOT/SUITE/SPACE #		ZBA Case #: <u>PZ 25-0049</u>	
SIDWELL # <u>50-22-</u>		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS		CELL PHONE NO.	
NAME <u>John & Callie Moylan</u>				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS <u>24730 Sarah Flynn</u>		CITY <u>Novi</u>		STATE ZIP CODE	
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE ZIP CODE	
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3.1.5</u> Variance requested <u>Required Aggregate 25' Proposed 21' Requesting 4' Reduction</u>					
2. Section Variance requested					
3. Section Variance requested					
4. Section Variance requested					
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none">• Dimensioned Drawings and Plans• Site/Plot Plan• Existing or proposed buildings or addition on the property• Number & location of all on-site parking, if applicable• Existing & proposed distance to adjacent property lines• Location of existing & proposed signs, if applicable• Floor plans & elevations• Any other information relevant to the Variance application					



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☐ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

Date

8/27/2025

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED

☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
☒ Not Applicable ☐ Applicable If applicable, describe below:

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
☒ Not Applicable ☐ Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
☒ Not Applicable ☐ Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Our existing house meets zone R-4 side setback requirement of not less than 10ft from either side. However, it doesn't meet the required aggregate of 25ft. We kindly request a 4' reduction, proposing 21ft in order to be able to build an addition (within existing house limits).

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

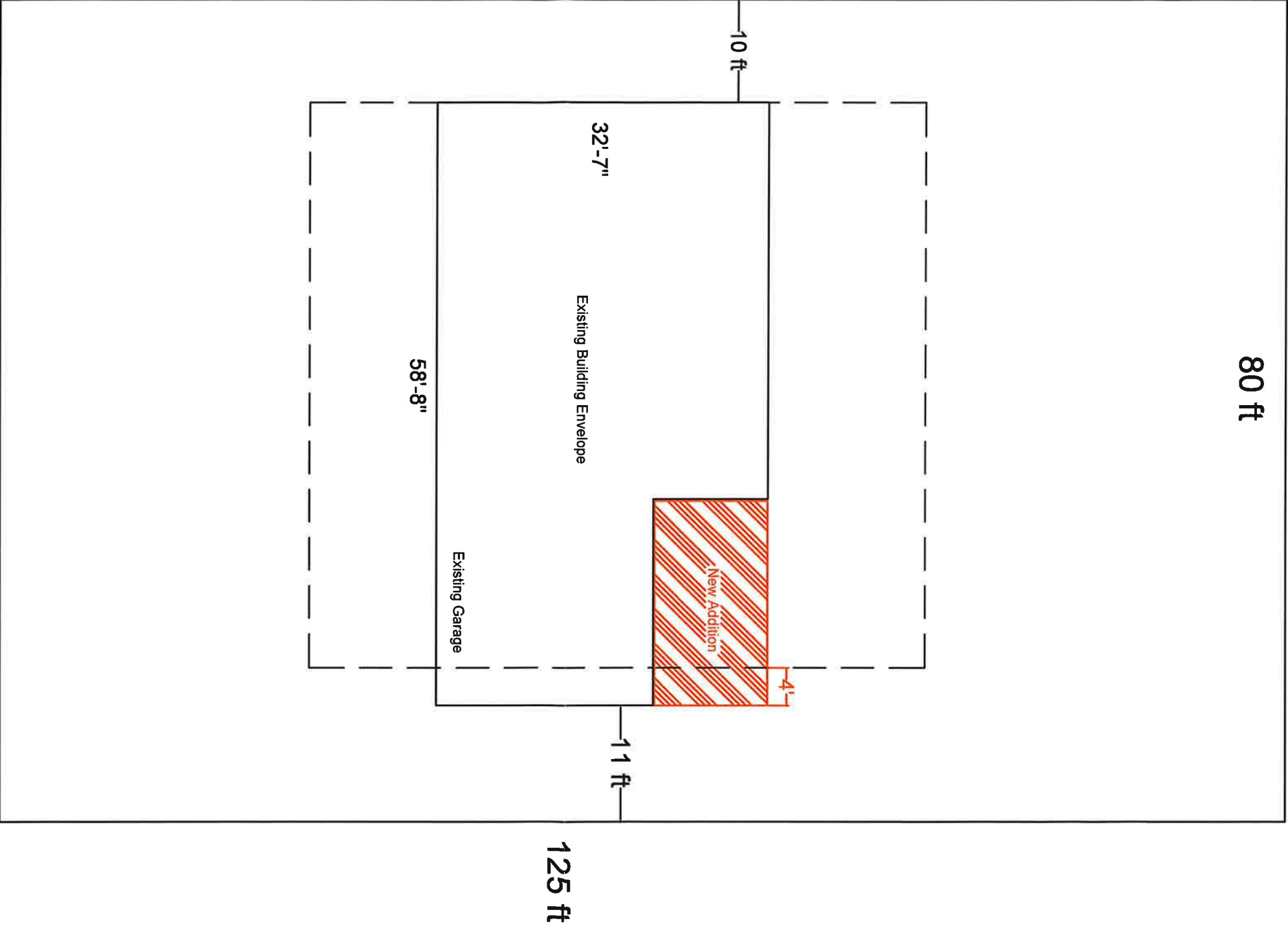
as shown
in RED.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.



Sarrah Flynn Road

R-4 One-Family Residential District

3.1.5

D. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area^{§D}: 10,000 sq ft
Minimum lot width^{§D}: 80 ft

Lot Coverage^{§D}

Maximum lot coverage: 25%

Setbacks^{§D}

Minimum front yard setback: 30 ft
Minimum rear yard setback: 35 ft
Minimum side yard setback: 10 ft one side
25 ft total two sides

Building Height^{§D}

Maximum building height: 35 ft or 2.5 stories, whichever is less

Floor Area^{§D}

Minimum floor area per unit^{§D}: 1,000 sq ft

Dwelling Unit Density

Maximum density
DU's/Net Site Area: 3.3

1 Purpose and Introduction

2 Definitions

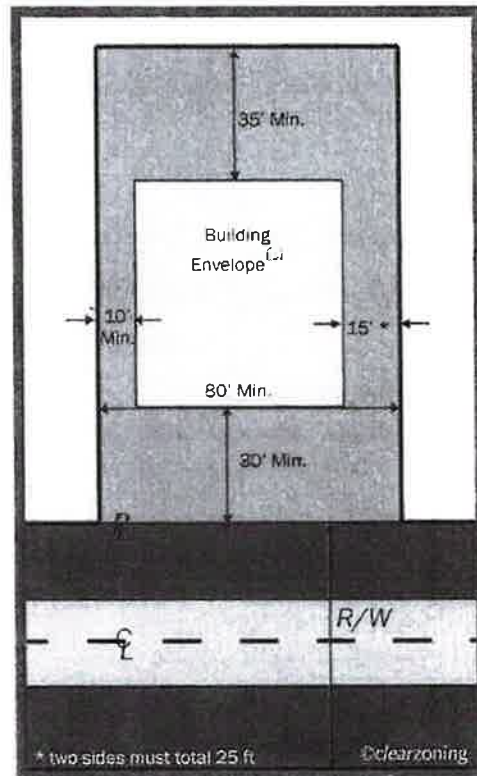
3 Zoning Districts

4 Use Standards

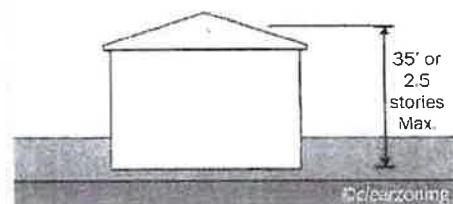
5 Site Standards

6 Development Procedures

7 Administration and Enforcement



How do I calculate height?



The above drawings are not to scale.

NOTES

- For additions to the above requirements, refer to Section 3.6.2 Notes to District Standards: A, B, C, and M
- See Selected References below for applicability

ACCESSORY 6' SIDE + BACK
10' FROM HOUSE

GARAGE 850 sq ft
MEAN 14' ft

SELECTED REFERENCES

3. Zoning Districts

- RA, R-1, R-2, R-3, and R-4 Required Conditions § 3.7
- One-Family Clustering Option § 3.28
- Open Space Preservation Option § 3.30

4. Use Standards

- Keeping of Cats and Dogs § 4.83
- Uses Not Otherwise Included § 4.86
- Unlisted Use Determination § 4.87

5. Site Standards

- Commercial and Recreational Vehicle Parking § 5.1
- Off-street Parking Requirements § 5.2
- Off-street Parking Layout, Standards... § 5.3
- Off-street Loading and Unloading § 5.4
- Landscape Standards § 5.5
- Signs § 5.6
- Exterior Lighting § 5.7
- Residential Entryways § 5.8
- Corner Clearance § 5.9
- Additional Road Design § 5.10

- Fences § 5.11
- Frontage on a Public Street § 5.12
- Performance Standards § 5.14
- Exterior Building Wall Facade Materials § 5.15
- Bike Parking Facility Requirements § 5.16

6. Development Procedures

- Site Plan Review § 6.1
- Public Hearing § 6.2

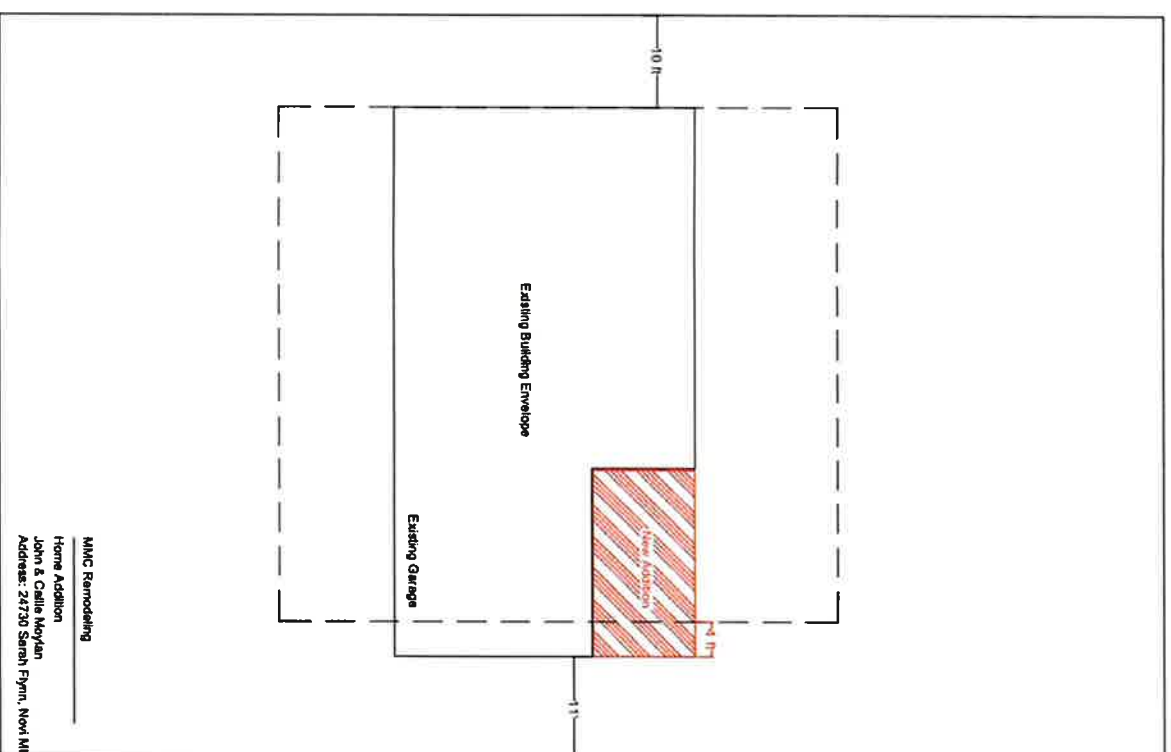
7. Admin. and Enforcement

- Nonconformities § 7.1
- Planned Rezoning Overlay § 7.13.2



ADDITION IN RED

Requesting 4ft reduction in the required aggregate



Road

Front Elevation



Architectural drawing of the exterior elevation of a building. The drawing shows a long facade with multiple windows and a central entrance area. Key features and labels include:

- Dimensions:**
 - Overall width: 22' 0" (6.70m)
 - Overall height: 10' 0" (3.05m)
 - Window heights: 4' 0" (1.22m), 6' 0" (1.83m), 8' 0" (2.44m), 10' 0" (3.05m), 12' 0" (3.66m), 14' 0" (4.27m), 16' 0" (4.88m), 18' 0" (5.49m), 20' 0" (6.10m), 22' 0" (6.71m), 24' 0" (7.32m), 26' 0" (7.93m), 28' 0" (8.54m), 30' 0" (9.14m), 32' 0" (9.75m), 34' 0" (10.36m), 36' 0" (10.97m), 38' 0" (11.58m), 40' 0" (12.19m), 42' 0" (12.80m), 44' 0" (13.41m), 46' 0" (14.02m), 48' 0" (14.63m), 50' 0" (15.24m), 52' 0" (15.85m), 54' 0" (16.46m), 56' 0" (17.07m), 58' 0" (17.68m), 60' 0" (18.29m), 62' 0" (18.90m), 64' 0" (19.51m), 66' 0" (20.12m), 68' 0" (20.73m), 70' 0" (21.34m), 72' 0" (21.95m), 74' 0" (22.56m), 76' 0" (23.17m), 78' 0" (23.78m), 80' 0" (24.38m), 82' 0" (24.99m), 84' 0" (25.60m), 86' 0" (26.21m), 88' 0" (26.82m), 90' 0" (27.43m), 92' 0" (28.04m), 94' 0" (28.65m), 96' 0" (29.26m), 98' 0" (29.87m), 100' 0" (30.48m), 102' 0" (31.09m), 104' 0" (31.70m), 106' 0" (32.31m), 108' 0" (32.92m), 110' 0" (33.53m), 112' 0" (34.14m), 114' 0" (34.75m), 116' 0" (35.36m), 118' 0" (35.97m), 120' 0" (36.58m), 122' 0" (37.19m), 124' 0" (37.80m), 126' 0" (38.41m), 128' 0" (39.02m), 130' 0" (39.63m), 132' 0" (40.24m), 134' 0" (40.85m), 136' 0" (41.46m), 138' 0" (42.07m), 140' 0" (42.68m), 142' 0" (43.29m), 144' 0" (43.90m), 146' 0" (44.51m), 148' 0" (45.12m), 150' 0" (45.73m), 152' 0" (46.34m), 154' 0" (46.95m), 156' 0" (47.56m), 158' 0" (48.17m), 160' 0" (48.78m), 162' 0" (49.39m), 164' 0" (50.00m), 166' 0" (50.61m), 168' 0" (51.22m), 170' 0" (51.83m), 172' 0" (52.44m), 174' 0" (53.05m), 176' 0" (53.66m), 178' 0" (54.27m), 180' 0" (54.88m), 182' 0" (55.49m), 184' 0" (56.10m), 186' 0" (56.71m), 188' 0" (57.32m), 190' 0" (57.93m), 192' 0" (58.54m), 194' 0" (59.15m), 196' 0" (59.76m), 198' 0" (60.37m), 200' 0" (60.98m), 202' 0" (61.59m), 204' 0" (62.20m), 206' 0" (62.81m), 208' 0" (63.42m), 210' 0" (64.03m), 212' 0" (64.64m), 214' 0" (65.25m), 216' 0" (65.86m), 218' 0" (66.47m), 220' 0" (67.08m), 222' 0" (67.69m), 224' 0" (68.30m), 226' 0" (68.91m), 228' 0" (69.52m), 230' 0" (70.13m), 232' 0" (70.74m), 234' 0" (71.35m), 236' 0" (71.96m), 238' 0" (72.57m), 240' 0" (73.18m), 242' 0" (73.79m), 244' 0" (74.40m), 246' 0" (75.01m), 248' 0" (75.62m), 250' 0" (76.23m), 252' 0" (76.84m), 254' 0" (77.45m), 256' 0" (78.06m), 258' 0" (78.67m), 260' 0" (79.28m), 262' 0" (79.89m), 264' 0" (80.50m), 266' 0" (81.11m), 268' 0" (81.72m), 270' 0" (82.33m), 272' 0" (82.94m), 274' 0" (83.55m), 276' 0" (84.16m), 278' 0" (84.77m), 280' 0" (85.38m), 282' 0" (85.99m), 284' 0" (86.60m), 286' 0" (87.21m), 288' 0" (87.82m), 290' 0" (88.43m), 292' 0" (89.04m), 294' 0" (89.65m), 296' 0" (90.26m), 298' 0" (90.87m), 300' 0" (91.48m), 302' 0" (92.09m), 304' 0" (92.70m), 306' 0" (93.31m), 308' 0" (93.92m), 310' 0" (94.53m), 312' 0" (95.14m), 314' 0" (95.75m), 316' 0" (96.36m), 318' 0" (96.97m), 320' 0" (97.58m), 322' 0" (98.19m), 324' 0" (98.80m), 326' 0" (99.41m), 328' 0" (100.02m), 330' 0" (100.63m), 332' 0" (101.24m), 334' 0" (101.85m), 336' 0" (102.46m), 338' 0" (103.07m), 340' 0" (103.68m), 342' 0" (104.29m), 344' 0" (104.90m), 346' 0" (105.51m), 348' 0" (106.12m), 350' 0" (106.73m), 352' 0" (107.34m), 354' 0" (107.95m), 356' 0" (108.56m), 358' 0" (109.17m), 360' 0" (109.78m), 362' 0" (110.39m), 364' 0" (111.00m), 366' 0" (111.61m), 368' 0" (112.22m), 370' 0" (112.83m), 372' 0" (113.44m), 374' 0" (114.05m), 376' 0" (114.66m), 378' 0" (115.27m), 380' 0" (115.88m), 382' 0" (116.49m), 384' 0" (117.10m), 386' 0" (117.71m), 388' 0" (118.32m), 390' 0" (118.93m), 392' 0" (119.54m), 394' 0" (120.15m), 396' 0" (120.76m), 398' 0" (121.37m), 400' 0" (121.98m), 402' 0" (122.59m), 404' 0" (123.20m), 406' 0" (123.81m), 408' 0" (124.42m), 410' 0" (125.03m), 412' 0" (125.64m), 414' 0" (126.25m), 416' 0" (126.86m), 418' 0" (127.47m), 420' 0" (128.08m), 422' 0" (128.69m), 424' 0" (129.30m), 426' 0" (129.91m), 428' 0" (130.52m), 430' 0" (131.13m), 432' 0" (131.74m), 434' 0" (132.35m), 436' 0" (132.96m), 438' 0" (133.57m), 440' 0" (134.18m), 442' 0" (134.79m), 444' 0" (135.40m), 446' 0" (136.01m), 448' 0" (136.62m), 450' 0" (137.23m), 452' 0" (137.84m), 454' 0" (138.45m), 456' 0" (139.06m), 458' 0" (139.67m), 460' 0" (140.28m), 462' 0" (140.89m), 464' 0" (141.50m), 466' 0" (142.11m), 468' 0" (142.72m), 470' 0" (143.33m), 472' 0" (143.94m), 474' 0" (144.55m), 476' 0" (145.16m), 478' 0" (145.77m), 480' 0" (146.38m), 482' 0" (146.99m), 484' 0" (147.60m), 486' 0" (148.21m), 488' 0" (148.82m), 490' 0" (149.43m), 492' 0" (150.04m), 494' 0" (150.65m),

