



Detroit Metropolitan Credit Union JSP12-69

Detroit Metropolitan Credit Union, JSP12-69

Public hearing at the request of Stucky Vitale Architects for a recommendation to City Council regarding the Preliminary Site Plan, Woodland Permit and Stormwater Management Plan. The subject property is located in Section 23 at the northeast corner of the intersection of Main Street and Novi Road in the TC-1, Town Center District. The development area is 0.83 acres and the applicant is proposing an approximately 3,000 sq. ft. Detroit Metropolitan Credit Union.

REQUIRED ACTION

Recommend approval/denial of the Preliminary Site Plan, Woodland Permit and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	02/28/13	Items to address on the Final Site Plan.
Engineering	Approval recommended	02/28/13	Items to address on the Final Site Plan.
Traffic	Approval recommended	02/11/13	Items to address on the Final Site Plan.
Landscaping	Approval recommended	02/21/13	<ul style="list-style-type: none"> • City Council approval required to permit a decorative fence with brick piers along the rights-of-way in lieu of a brick wall. • Items to address on the Final Site Plan.
Woodlands	Approval recommended	02/27/13	<ul style="list-style-type: none"> • One landmark tree to be removed • Items to address on the Final Site Plan
Facade	Approval recommended	02/27/13	<ul style="list-style-type: none"> • Sample board must be submitted prior to the Planning Commission meeting. • Items to address on the Final Site Plan.
Fire	Approval recommended	02/11/13	Items to address on the Final Site Plan.

Motion sheet

Approval – Preliminary Site Plan

In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to **recommend approval** of the Preliminary Site Plan subject to the following:

- a. City Council approval to permit a decorative fence with brick piers along the rights-of-way in lieu of a brick wall;
- b. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- c. *(additional conditions here if any)*

(because it is otherwise in compliance with Article 16, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Woodland Permit

In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to **recommend approval** of the Woodland Permit, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan submittal;
- b. *(additional comments here if any)*

(because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Approval – Stormwater Management Plan

In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to **recommend approval** of the Stormwater Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Denial – Preliminary Site Plan

In the matter of Detroit Metropolitan Credit Union, JSP12-69 motion to **recommend denial** of the Preliminary Site Plan, for the following reasons...(because the plan is not in compliance with Article 16, Article 24 and Article 25 of the Zoning Ordinance.)

Denial – Woodland Permit

In the matter of Detroit Metropolitan Credit Union, JSP12-69 motion to **recommend denial** of the Woodland Permit, for the following reasons...(because the plan is not in compliance with Chapter 37 of the Code of Ordinances.)

Denial Storm Water Management Plan

In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to **recommend denial** of the Stormwater Management Plan, for the following reasons...(because the plan is not in compliance with Chapter 11 of the Ordinance.)

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

February 28, 2013

Planning Review

Detroit Metropolitan Credit Union

JSP12-69

Petitioner

Stucky Vitale Architects

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Northeast corner of the intersection of Main St. and Novi Rd. (Section 23)
- Site Zoning: TC-1, Town Center
- Adjoining Zoning: North, South, East and West: TC-1
- Current Site Use: Vacant
- Adjoining Uses: North: Vacant; South: Ace Cutting Equipment (across Main St.); West: vacant; East: City Center Plaza (across Novi Rd.)

- School District: Novi Community District
- Existing Site Size: 7.23 acres
- Proposed Site Size: 0.83 acres
- Plan Date: 01-28-13

Project Summary

The applicant is proposing to construct an approximately 3,000 sq. ft. Detroit Metropolitan Credit Union on vacant land located at the northeast corner of Main St. and Novi Rd. The applicant has proposed splitting the parcel off from the existing larger parcel. Associated parking and landscaping would also be constructed. Accessory drive-through banking lanes are proposed.

Recommendation

Staff recommends approval of the Preliminary Site Plan. There are only minor planning related items to be addressed on the Final Site Plan submittal. Prior to proceeding to the Planning Commission, the applicant should submit the require façade materials sample board. See the façade review letter for additional information.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 16 (TC-1, Town Center District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Minor Items: There are minor items noted in the planning review chart. **The applicant should adjust the plans accordingly for the Final Site Plan submittal.**
2. Photometric Plan: **There are minor items to be addressed on the lighting review chart. The applicant should provide a paper copy of the photometric plan with the Final Site Plan submittal.**
3. City Council Approval: In the TC-1 District, proposed developments on parcels over 5 acres in area must be approved by the City Council after the review and recommendation of the Planning Commission.
4. Parcel Split: The applicant has indicated and the plan shows a proposed parcel split. This must be completed before Stamping Sets can be stamped approved by the Planning Division.
5. Shared Access Drive: The main entrance to the subject property is accessed via a shared drive to be located on a parcel separate from the subject property and terminating 175 feet north of Main St. **The applicant should provide additional information regarding where the shared drive will lead or where it will connect to existing drives and buildings and future development sites.**

Planning Review

Detroit Metropolitan Credit Union
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6. Drive-through Lanes: Drive-through lanes are considered a permitted accessory use to a financial institution in the TC-1 District and have been permitted in other locations as a typical complementary use. Please note this standard for drive-through lanes is separate and distinct from Zoning Ordinance regulations for drive-through restaurants in the TC-1 District. The proposed drive-through lanes meet the standards for dimensional requirements, stacking spaces and circulation and buffering.
7. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.3

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

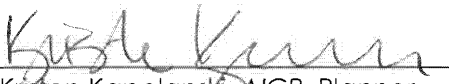
Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me.



Kristen Kapelanski, AICP, Planner
248-347-0586 or kkapelanski@cityofnovi.org

Planning Review Summary Chart

Detroit Metro Credit Union JSP12-69

Plan Dated: 01-28-13

Preliminary Site Plan

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	TC Commercial	No change proposed	Yes	
Zoning	TC-1	TC-1	Yes	
Use (Sec. 1602)	Retail businesses, restaurants, offices and service establishments	Drive-thru credit union	Yes	
Building Height (Sec. 2400)	Maximum 65 feet	21'	Yes	
Building Setbacks (Sec. 2400)				
Front (west)	Between 80 and 137 feet from centerline of Novi Rd.	128 feet	Yes	
Exterior Side (south)	Max. 10 ft. Min. 0 ft.	10 feet	Yes	
Interior Side (north)	0 feet	75 feet	Yes	
Rear (east)	0 feet	81 feet (to canopy)	Yes	
Parking Setbacks (Sec. 2400)				
Front (west)	20 feet and screened by a brick wall or berm	26 feet	Yes	
Exterior Side (south)		20 feet		
Interior Side (north)		10 feet		
Rear (east)		20 feet		
Number of Parking Spaces (Sec. 2505)	Bank: One space for every 150 sq. ft. gross floor area. 3,000 sq. ft. / 150 = 20 spaces required	22 spaces proposed	Yes	
Parking Space Dimensions (Sec. 2506)	90-degree spaces should be 9 feet wide by 19 feet deep with a 24-foot wide aisle; when adj. to landscaping, spaces can be 17 feet deep, with a 2 foot overhang into the landscaped area	9' x 17'	Yes	A 4" curb should be shown wherever 17' spaces are proposed.

Item	Required	Proposed	Meets Requirements?	Comments
Barrier Free Spaces (Barrier Free Code)	1 van accessible required	2 van accessible provided	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)	8' x 17'	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	Signs shown	Yes	
Open Space (Sec. 1603)	15% open space required	42% open space provided	Yes	
Stacking Spaces for Drive-through (Sec. 2506)	3 vehicles inclusive of the vehicle at the window	3 vehicles shown in each lane	Yes	
Drive-through Lane Delineated (Sec. 2506)	Drive-through lanes shall be striped, marked, or otherwise delineated.	Striping provided	Yes	
Bypass Lane for Drive-through (Sec. 2506)	Drive-through facilities shall provide 1 bypass lane. Such bypass lane shall be a minimum of 18' in width, unless otherwise determined by the Fire Marshal.	24' bypass lane shown	Yes	
Width and Centerline Radius of Drive-through Lanes (Sec. 2506)	Drive-through lanes shall have a minimum 9' width and centerline radius of 25'.	9' width Centerline radius of 25'	Yes	
Drive-through Lanes Separation (Sec. 2506)	Drive-through lanes shall be separate from the circulation routes and lanes necessary for ingress to, and egress from, the property.	Drive-through lanes are situated near the center of the site so as not to interfere with the general circulation routes.	Yes	
Dumpster and Refuse	Refuse must be contained	Dumpster set back 6 feet from nearest	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
(Chapter II, Sec. 16-20; Chapter II Sec. 21, division 8; Appendix A Sec. 2520.1; & Appendix A Sec. 2503.1.D)	<p>properly</p> <p>For dumpsters:</p> <p>Screen wall or fence required for all dumpsters, must be at least five feet in height, and provided on three sides. Enclosure to match building materials</p> <p>No detached accessory building shall be located closer than ten (10) feet to any main building nor shall it be located closer than (6) feet to any interior side lot or rear lot line.</p>	<p>property line and 98 feet from building.</p> <p>Screening of 6 feet provided on three sides to match building façade.</p>		
Town Center Features	Decorative features and pedestrian plazas are required	Plaza proposed at the southwest corner of the site.	Yes	See the landscape review letter for additional information.
Exterior Signs	Exterior Signage is not regulated by the Planning Division or Planning Commission.			<u>Please contact Jeannie Niland (248.347.0438) in the neighborhood services division if new signage is proposed.</u>
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan.		N/A	

Prepared by Kristen Kapelanski, (248) 347-0586 or kkapelanski@cityofnovi.org

Lighting Review Summary Chart

Detroit Metropolitan Credit Union JSP12-69

Plan Date: 01-28-13

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation ▪ Photometric plan 	No	The applicant should add the hours of operation to the photometric plan.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.	No	The applicant should add the required notes to the photometric plan.
Required	Average light level of	Yes	

Item	Required	Meets Requirements?	Comments
conditions (Section 2511.3.e)	the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.		
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candles	Yes	
Cut off Angles (Section 2511.3.1 (2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

February 28, 2013

Engineering Review

Detroit Metropolitan Credit Union

JSP12-0069

Petitioner

Stucky Vitale Architects, applicant

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: N. of Main Street E. of Novi Rd
- Site Size: 0.887 acres
- Plan Date: January 28, 2013

Project Summary

- Construction of an approximately 3,000 square-foot building and associated parking. Site access would be provided an ingress/egress easement over the proposed driveway connecting to Main Street.
- Water service would be provided by a 2-inch domestic lead from the existing 12-inch water main on Main Street along with an additional hydrant west of the proposed development.
- Sanitary sewer service would be provided by extending an 8-inch sanitary sewer onto the development as a public utility.
- Storm water would be collected by a single storm sewer collection system and detained in an underground detention system prior to discharging into the storm sewer network on Novi Rd.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Submit IWC Non-Domestic form to the City of Novi.

Water Main

4. Provide a profile for the proposed water main with the pipe invert and stationing of all valves, fittings, flanges, hydrants, blow-offs, high and low points, and any other appurtenances.
5. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

6. Revise the sanitary sewer easement to a 20 ft wide easement centered on the proposed sanitary sewer.
7. Provide a profile of the proposed sanitary sewer showing a minimum cover of 4 feet.
8. Provide the service area and basis of design for the proposed sanitary sewer extension.
9. Five (5) sealed sets of revised utility plans along with the MDEQ permit application (11/07 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

Storm Sewer

10. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet. Indicate all structure types and diameters.

11. Provide hydraulic calculations verifying that the storm sewer network on Novi Rd is capable of accepting the proposed discharge from the site.

Storm Water Management Plan

12. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
13. Denote an overland route for storm water that would occur in the event that the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system. Verify that any structures accepting overland flow are capable of handling the 100-year flood capacity.
14. Provide an underground detention system cross-section with critical elevations (bankfull and 100-year storm hydraulic grade lines) demonstrating that the detention system is 3 feet above ground water and has the required 1 foot of freeboard between the high water elevation and the subgrade below the pavement.
15. Revise the composite 'c' factor calculation to ' $26,227/38,637=0.68$ ' from ' $38,637/26,227=0.68$ ' as shown.

Paving & Grading

16. Provide a minimum of 6 spot elevations where the pathway crosses the driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall also be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
17. No more than ¼" vertical obstacle shall be allowed at each transition between the pathway and the drive approach.
18. Revise the sidewalk cross-section to show 4" thick of 4000 psi concrete (8" thick through commercial/industrial drives) over 6" thick of 21AA crushed limestone. The stone base shall extend a minimum of 1" beyond the forms.

Off-Site Easements

19. All off-site water and sanitary sewer easements must be dedicated as a public easement.

The following must be submitted at the time of Final Site Plan submittal:

20. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
21. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-

of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

22. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
23. An executed copy of the private ingress/egress easement for shared use of the drive entry from Main Street must be submitted to the Community Development Department.
24. An executed copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
25. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
26. An executed copy of the 20-foot wide easement for the sanitary sewer to be constructed off- site must be submitted to the Community Development Department.
27. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

28. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
29. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
30. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
31. A permit for work within the right-of-way of Main Street must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.

32. A permit for work within the right-of-way of Novi Rd must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
33. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
34. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
35. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
36. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
37. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
38. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
39. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

TRAFFIC REVIEW

February 11, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

**SUBJECT: Detroit Metropolitan Credit Union, JSP12-0069,
Traffic Review of Preliminary Site Plan, PSP13-0046**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed on the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing to construct a 3,000-s.f. credit union with three drive-through lanes (one equipped with an ATM). Vehicular access would be provided via a new, two-lane shared access drive along the east side of the site that would (presumably) be shared by others in the future. Pedestrian access would be provided via sidewalk stubs to the Main Street and Novi Road sidewalks.

Trip Generation & Traffic Study

Was a traffic study submitted and was it acceptable? How much new traffic would be generated?

2. A 3,000-s.f. financial institution with three drive-through lanes can be expected to generate 444 one-way vehicular trips per weekday, 36 in the AM peak hour (21 entering and 15 exiting) and up to 100 in the PM peak hour (49 entering and 51 exiting, based on the number of drive-through lanes). Since the maximum number of peak-hour, peak-direction trips would be less than 75, a formal traffic study is not required.

Vehicular Access Locations

Do the proposed "driveway" locations meet City spacing standards?

3. Yes. The proposed shared drive would be 228 ft east of Novi Road, or well in excess of the minimum same-side driveway spacing (105 ft for 25 mph) to both the west and east. The opposite-side spacing standard does not apply to a Non-Residential Collector such as Main.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

4. No. Based on existing PM peak-hour volumes on Main (recently counted for the Panera Drive-Through study), Main adjacent to the subject site appears to now be serving roughly 2,000 vehicles per day. Neither a left-turn passing lane nor a right-turn deceleration lane and/or taper are therefore warranted (based on DCS Figures IX.8 and IX.10).
5. The proposed shared driveway would end 175 ft north of the north curb of Main Street. As also shown on our attached aerial photo, this would end that driveway just a few feet short of existing pavement that connects to Paul Bunyon. **The applicant should either extend the shared drive all the way to Paul Bunyon and equip it with 20-ft corner radii there, or effectively barricade it at the extent of extension currently proposed.**
6. **The owner and the party responsible for operating and maintaining the shared drive (if different than the owner) need to be specified on the site plan. Given that that drive would be on a parcel separate from the credit union, a general-purpose cross access easement acceptable to the City Attorney should be recorded by the owner of the property within which the new drive would lie.**

Access Drive Design & Control

Are the proposed design, pavement markings, and signage satisfactory?

7. The width and south curb returns of the shared drive are acceptably designed. **Per City and standard engineering practice, these elements should be dimensioned to back of curb.**
8. Per our pre-application comments of 1-17-13 and the City's Design and Construction Standards:
 - a. **The width of the site's (enter-only) south drive should be 16 ft, back-of-curb to back-of-curb** (the architectural plan proposes that width face-to-face, and the engineering plan proposes 17.5 ft back-to-back).
 - b. **The curb return radii at the south drive should be 20 ft on the north side and 5 ft on the south side, both referenced to back of curb** (again, the architectural and engineering plans differ from both each other and the standard).
 - c. **The curb return radii at the site's north (two-way) drive should be 20 ft, referenced to back of curb** (the architectural plan provides that dimension to face of curb).
9. **The final site plan should include a Signing and Pavement Marking Plan proposing:**
 - a. **An 18-inch-wide white stop bar on the shared drive, 4 ft in advance of the Main Street sidewalk, accompanied by a 20-ft-long double solid yellow centerline.**

- b. Two 24-inch STOP (R1-1) signs, one on the south end of the shared drive, 4 ft in advance of the Main Street sidewalk, and one on the exiting side of the north drive, 4 ft in advance of the property line.
 - c. Back-to-back (north- and south-facing) ONE WAY (R6-1) signs on the property line on the north side of the south drive (mounted, per the MMUTCD, at a 7-ft height).
 - d. A white pavement arrow pointing generally west from the *center* of the south drive (optional, but if this or any other pavement arrows are proposed, they should be white).
 - e. Signs and markings internal to the site, along with revised details, described below.
 - f. A note indicating that all signs and markings will comply with the *2011 Michigan Manual on Uniform Traffic Control Devices* (MMUTCD).
 - g. A Sign Quantities Table, listing each traffic and parking control sign by standard description, MMUTCD sign code, number of signs required, and number of posts required.
10. We see no need for the stop bar or word STOP on the pavement in the north drive, and recommend that they be deleted to reduce long-term maintenance requirements.

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

- 11. To encourage proper sidewalk use, the 5-ft sidewalk widening behind the planter boxes on Main should be equipped with a 45-degree taper to the old walk at its east end.

Circulation & Parking

Can vehicles safely and conveniently maneuver through the site?

- 12. The landscape island immediately east of the drive-through lanes lacks the 15-ft corner radii generally required by Sec 2506.13 of the Zoning Ordinance. **To address this situation, the plan should:**
 - a. Widen the west island by 5 ft east-to-west and apply a uniform 15-ft radius on the island's south end.
 - b. Shift the 25-ft-wide internal service drive 5 ft closer to the east side of the site.
 - c. Reduce the east island's two westerly curb radii to 15 ft (from the 20 ft proposed).
 - d. Show the dumpster shifted 5 ft east to keep it nominally centered relative to the relocated north-south service drive.

13. **All back-of-curb radii of 5 ft or more should be dimensioned on at least one sheet of the engineering plan. Generally, these radii should be expressed in whole feet (not half foot because the architect dimensioned standard radii to the face rather than back of curb).**
14. **A plan note should be included stating that all parking space dimensions (width as well as length) are referenced to the face of curb.**
15. **To comply with City policy that assumes a 2-ft parking overhang, the curb along the northernmost bank of parking stalls should be reduced in height to 4 inches. This should be indicated by a detail and/or note on sheet SP1.1 as well as revised elevations on sheet C-2. In a related matter, the Curb and Walk detail now appearing on sheet SP1.1 should be corrected to show a 4-inch (not 6-inch) walk height.**
16. Per the MMUTCD and City policy:
 - a. **Drive-through lane striping, undesignated parking space stripes, wheelchair symbols in the barrier-free parking spaces, and optional directional arrows must be white.**
 - b. **Crosshatching of the barrier-free access aisle, and striping of barrier-free spaces, must be blue. Abutting barrier-free and non-barrier-free parking spaces should be separated by abutting blue and white stripes.**
 - c. **Posts supporting the barrier-free signs should be at the back – not face – of the sidewalk.**
 - d. **The main barrier-free sign must be a RESERVED PARKING [wheelchair symbol] ONLY (R7-8) sign. The sign detail now appearing on sheet C-2 is incorrect.**
 - e. **The VAN ACCESSIBLE supplemental sign – to be used for both barrier-free spaces in this case – should be labeled with its MMUTCD code: R7-8P. Although these signs will be just behind the sidewalk, we recommend that a minimum mounting height of 6'-3" be used to enhance pedestrian safety.**

Sincerely,
CLEARZONING, INC.

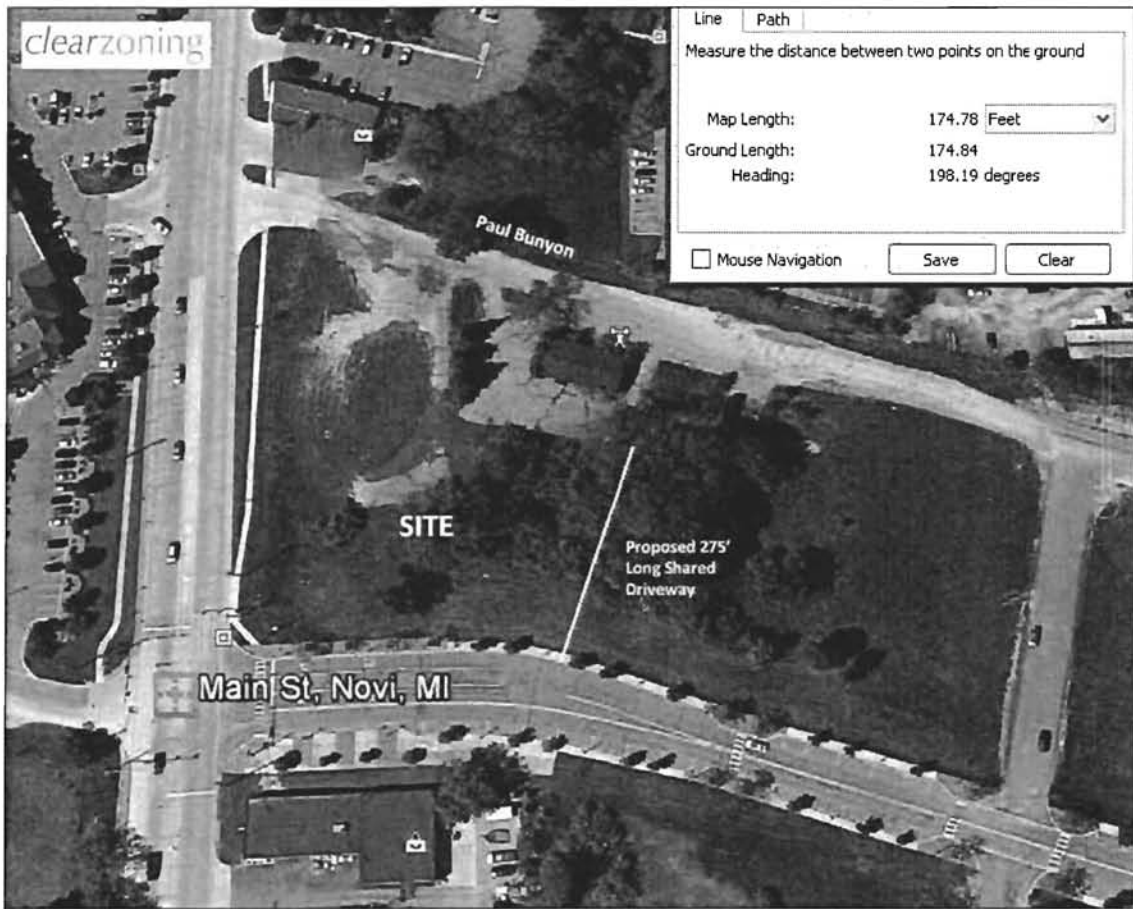


Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attachment: Aerial photo



Vicinity Aerial Photo for Proposed Detroit Metropolitan Credit Union

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

February 21, 2013

Landscape Preliminary Site Plan

Detroit Metro Credit Union JSP#12-69

Petitioner

Stucky Vitale Architects

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Northeast corner of the intersection of Main St. and Novi Rd.
- Site Zoning: TC-1, Town Center
- Adjoining Zoning: North, South, East and West: TC-1
- Current Site Use: Vacant
- Adjoining Uses: North: Vacant; South: (across Main St.); West: vacant; East: City Center Plaza (across Novi Rd.)
- School District: Novi Community District
- Existing Site Size: 7.23 acres
- Proposed Site Size: 0.83 acres
- Plan Date: 01-28-13

Ordinance Considerations

TC-1 District (Sec. 1602)

1. Significant pedestrian orientation is a stated intent of the TC-1 District. Architectural amenities such as decorative paving, pedestrian scale lighting, small scale landscape features and focal points are in keeping with the intent and theme of the district. The Applicant has included a paved and landscape area on the prominent corner. A single bench has been proposed in the center of the space. The Applicant may consider shifting the bench back to sit at the edge of the paved space to make it more useable and pedestrian friendly.

As this is a highly visible location, the Planning Commission may also wish to ask the Applicant to consider a more significant amenity in keeping with the intent of the Town Center District ordinance. Alternatives could be the inclusion of a more prominent feature such as artwork or a fountain to be provided by the Applicant.

Staff has also had discussions with the City of Novi's Parks, Recreation and Cultural Services Department. The Department is interested in a cooperative effort with the Applicant to provide artwork at this corner location. The Applicant is asked to consider making contact with the Parks Foundation and/or the Department, Jason Mangum, in order to initiate a dialogue. The City would seek an easement on the corner property in order to maintain the art. The Applicant would still remain responsible for maintenance of the property and landscape. It is intended that the artwork would be a standing sculpture, much

like those currently located in Fuerst Park. The Fuerst Park sculptures are regularly rotated as part of a lease program. If any sculpture were proposed at this project location, it could be treated in the same manner under the same program.

2. The Applicant has included connecting walkways to the south and west sides of the building. Also added is a 5' wide walkway along Main Street allowing for pedestrians to maneuver around the existing raised tree planters. The planters are to be refurbished and will remain.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall decorative brick wall is required along the Novi Road and Main Street right-of-ways adjacent to parking and vehicular access areas. A decorative fence with brick piers may be used with the consent of the Planning Commission. It should be shown that the goal is to match the overall landscape scheme for development of the area. The Applicant has appropriately proposed decorative fencing with brick piers in areas adjacent to parking. Staff would support the use of the fencing as it is in keeping with the character of the district.
2. Right-of-way greenbelt planting calculations and plantings are required. A 20' wide landscape greenbelt is required. This greenbelt has been adequately provided. Calculations for the required landscape along the greenbelt frontages have been provided and requirements have been met.
3. Twenty five foot clear vision areas must be maintained and depicted on the plan at all vehicular intersections. This requirement has been met.

Street Tree Requirements (Sec. 2509.3.b.)

1. No Street Trees are required in Town Center District.

Parking Landscape (Sec. 2509.3.c.)

1. Interior Parking Landscape Area is required. Adequate landscape area has been provided.
2. Parking Lot Canopy Trees are required. Calculations show that 18 trees are required. This requirement has been met.
3. Please show snow storage areas on the plan as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. This requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. This requirement has been met.
2. A total of 8' x the length of the building foundation landscape area is required. This requirement has been met.

Plant List (LDM)

1. A Plant List per the requirements of the Ordinance and the Landscape Design Manual has been provided.

Planting Notations and Details (LDM)

1. Planting Notations and Details per the requirements of the Ordinance and the Landscape Design Manual have been provided.
2. A note on Sheet L-1 states that the landscape contractor shall maintain the landscape for a period of 1 year. The ordinance requires a guaranteed maintenance period of two years. Please adjust the note accordingly.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan must be provided upon final stamping set submittal. Please provide a cost estimate for the irrigation system.

General

1. Please verify that all underground and overhead utilities, both existing and proposed, on the landscape plan.
2. Please provide details on the proposed signage.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.


Reviewed by: David R. Beschke, RLA

WOODLAND REVIEW



Environmental Consulting & Technology, Inc.

February 27, 2013

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Detroit Metropolitan Credit Union (JSP12-0069)
Woodland Review of the Preliminary Site Plan

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Detroit Metropolitan Credit Union Preliminary Site Plan (Plan) prepared by Stucky Vitale Architects dated January 28, 2013. The Plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The proposed project is located at the northeast corner of Novi Road and Main Street (Section 23). The proposed Plan would construct a 1-story (3,000 square foot) credit union, associated parking and utilities, and underground storm water detention system.

Existing Conditions - Woodlands

Based on our review of Novi aerial photos, Novi GIS, and the City of Novi Official Woodlands Map, this site does not appear to contain any areas that are designated as Regulated Woodlands. However a 40-inch tree has been indicated for removal on the Plan (*Topographic Survey, Sheet C-1*).

Based on the City of Novi Woodland Ordinance this tree is considered a landmark tree and is therefore regulated by the City of Novi Woodland Protection Ordinance. It should be noted that the Woodland Ordinance applies to the following:

"Any individual tree with a diameter at breast height (d.b.h.) of thirty-six (36) inches or greater, irrespective of whether such tree is within a regulated woodland. A woodland use permit shall be required under section 37-26 before the conduct of any activity which has the effect of removing, damaging or destroying a tree with a d.b.h. of thirty-six (36) inches or greater".

Several other relatively-large trees are located on the property but are not large enough to be considered landmark trees.

The species and condition of the existing trees do not appear to be indicated on the Plan.

Proposed Impacts

As stated above, the proposed site plan indicates the removal of one landmark sized tree. This 40" d.b.h. tree is located within the proposed access drive found on the east side of the proposed site.

2200 Commonwealth
Blvd., Suite 300
Ann Arbor, MI
48105

(734)
769-3004

FAX (734)
769-3164

Required Permits

Based on information provided on the Plan, the proposed project will require a City of Novi Woodlands Use Permit.

Comments

1. The Applicant will be required to provide 4 woodland replacement credits for the removal of this tree.
2. Several items must be provided in subsequent Plan submittals in order to comply with site plan standards outlined in the updated Chapter 37 Woodland Protection Ordinance. The following information should be provided on subsequent Plans:
 - a. Condition and/or species of the existing trees;
 - b. The number of replacement credits that will be provided on-site;
 - c. The species/quantities/sizes and locations of replacement trees;
3. Per the City's Woodland Ordinance (Chapter 37, Article I – In General , Section 37-8 - Relocation or replacement of trees):

Where tree relocation or replacement is not feasible... on the project property, the permit grantee shall pay into the city tree fund monies for tree replacement in a per tree amount representing the market value for the tree replacement as approved by the planning commission. The city tree fund shall be utilized for the purpose of woodland creation and enhancement, installation of aesthetic landscape vegetation, provision of care and maintenance for public trees and provision and maintenance of specialized tree care equipment. Tree fund plantings shall take place on public property or within right-of-ways with approval of the agency of jurisdiction.

If suitable replacement locations will not be available on-site, a total of **\$400 per replacement tree that cannot be provided on site** shall be paid to the City Tree Fund. Any proposed payments to the City of Novi Tree Fund should be indicated on the Plan.

Conclusion

ECT believes that one tree (indicated as 40" d.b.h.) on the Plan is regulated under the Woodland Protection Ordinance and therefore the proposed project requires a Woodland Use Permit.

Additional information discussed above must be provided on subsequent Plan submittals in order to meet the site plan standards of the Woodland Protection Ordinance.

Detroit Metropolitan Credit Union (JSP12-0069)
Woodland Review of the Preliminary Site Plan
February 27, 2013
Page 3 of 3

Recommendation

ECT recommends approval of the Preliminary Site Plan for Woodlands contingent on the Applicant addressing the comments noted above.

As always, if you have any questions regarding the contents of this letter, please feel free to contact our office.

Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Peter Hill, P.E.
Senior Associate Engineer

cc: David Beschke, City of Novi, Licensed Landscape Architect
Kristen Kapelanski, AICP, City of Novi Planner
Angela Pawlowski, City of Novi, Senior Customer Service

FACADE REVIEW



February 27, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: FACADE ORDINANCE - Facade Review – Final Site Plan
Detroit Metropolitan Credit Union, PSP13-0046
 Façade Region: 1, Zoning District: TC-1

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Stucky Vitale Architects, dated 1/28/13. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold. This project is located in the TC-1 District and is therefore also subject to Section 1603.9 of the Ordinance.

	West (Front)	South	East	North	Ordinance Maximum (Minimum)
Brick	79%	70%	85%	70%	100% (30%)
Flat Metal Panels	13%	22%	7%	22%	50%
Flat Metal Panels (Roof Screens)	8%	8%	8%	8%	50%
All Flat Metal Panels combined	21%	30%	15%	30%	50%

As shown above the percentages of all materials are in full compliance with the Façade Ordinance, Section 2520. Section 1603.9 of the Ordinance places additional requirements on building located in the TC-1 District; that exterior building facades “shall be primarily of brick and stone.” The proposed design has a minimum of 70% Brick on each façade and therefore complies with this requirement.

Please note that the required sample board was not provided at the time of this review. The sample board should be provided prior to the Planning Commission meeting. It should be noted that ribbed metal panels are not allowed by the Façade Chart. Therefore, the panels used on the roof screens must substantially match the Flat Metal Panels used on the building. This is not clearly noted on the drawings and should be clarified on the sample board.

The Site Plan indicates that a brick dumpster enclosure and decorative fence with brick columns are propose. The Ordinance requires that the dumpster enclosure brick match the main building. It is recommended that brick matching the building also be used on the fence columns. In any case all proposed brick, metal panel and other colors should be represented on the sample board.

In summary, the proposed design appears to be in full compliance with Sections 2520 and 1603.9 of the Ordinance. A Section 9 Waiver is not required for this project. This recommendation is contingent upon submittal of a sample board indicating carefully coordinated harmonious earth tone colors that are consistent with Section 2520.2 of the Ordinance, and roof screens that substantially matching the Flat Metal Panels used on the building.

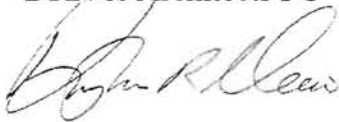
Notes to the Applicant:

1. The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Materials must be approved before installation on the building. Please use the Novi Building Department's Online Inspection Portal by following the link below. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



November 7, 2012

January 18, 2013

February 11, 2013 REVISED

TO: Barbara McBeth, Deputy Director of Community Development
Joseph Shelton, Fire Marshal

RE: Preliminary Site Plan – **Detroit Metro Credit Union**

SP#: JSP12-0069
PSP12-0041
PSP13-0005
PSP13-0046

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager
Clay J. Pearson

Director of Public Safety
Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

Project Description:

New 2,985 Sq Ft. building (B-use group – Credit Union), on 3.8 total acre site.

Comments:

1. **CORRECTED on 1/18/13** - Parking lot turning radius is now acceptable. Fire Dept. requires a 50' outside and 30' inside turning for fire apparatus. Approach lane from Main Street is acceptable; however NW corner and SW corners of building site are not.
2. **CORRECTED on 2/11/13, (see note below)** - Only one Fire Hydrant location is shown on map, and is the existing hydrant for Main Street. Per IFC 2006 (sec 508.5.1), fire hydrants can be required by the fire code official to be located on main approach lanes if building is more than 400' from building. Also note: IFC 2006, Appendix C, section C104. Existing Hydrants shall not be considered if access roads do not connect causing obstructions. Landscape plans show obstructions. **Added Hydrant is now listed on plans and is within 260' of building.**

Recommendation:

The above plan has been reviewed and is now recommended for Approval.

Sincerely,

Andrew Copeland – Inspector II/CFPE
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



March 6, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Detroit Metropolitan Credit Union – New Facility
Case No.: JSP 12-69
Architects' Project No.: 2012.023

Dear Ms. McBeth:

Below are responses to preliminary review comments dated February 28, 2013. Items requiring action are noted below in italics.

Ordinance Requirements

5. Shared Access Drive: *Please see attached Conceptual Development Plan for proposed layout of drives at adjacent properties.*

Lighting Review Summary Chart

Lighting Plan (Section 2511.2.a.2): *Hours of operation will be added to photometric plan.*

Required Notes (Section 2511.3.b): *Required notes will be added to photometric plan.*

In response to the comments provided by **Clear Zoning, Inc.**

Comment #5: *Barricade will be provided at north end of shared drive; to be removed at time of future development.*

Comment #6: *Owner's attorney is currently working on agreement regarding use of shared drive.*

Comment #7: *Curb elements will be dimensioned to back of curb per City standard.*

Comment #9: *Final site plan submittal will include Signing and Pavement Marking Plan depicting items noted in comments 9a through 9g.*

Barbara McBeth, AICP
City of Novi
Project No. 2012.023
March 6, 2013
Page 2 of 2

Comment #10: *Stop bar and word STOP will be removed from plan at north drive.*

Comment #11: *45-degree taper will be added to east end of old walk on Main per comment.*

Comment #15: *Curb height at walk adjacent to parking will be reduced to 4" per comment.*

Façade Review

A sample board indicating exterior materials and colors selected to comply with Section 2520.2 will be submitted prior to Planning Commission meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Blanek", with a stylized flourish extending to the right.

Mike Blanek, AIA
Associate

Attachment: Conceptual Development Plan

March 5, 2013



Mike Blaneck, AIA
Stucky Vitale Architects
27172 Woodward Avenue
Royal Oak, MI 48067-0925

JAMES C. SCOTT & ASSOCIATES, INC.
300 E. Long Lake Rd., Suite 120
Bloomfield Hills, MI 48304
(p) 248/646/6564
(f) 248/646/4838
www.jcsa-la.com

Re: Detroit Metro Credit Union JSP#12-69

Mike,

The following are my responses to the comments provided by the City of Novi (dated 2/21/13) and Environmental Consulting & Technology, Inc. (dated 2/27/13) during their Preliminary Site Plan reviews of the Landscape Plans for the above referenced project. Please note that only those items requiring action are addressed below.

In response to the comments provided by the **City of Novi** (my responses are in *italics*):

Parking Landscape (Sec. 2509.3.c)

Item #3: Please show snow storage areas on the plan as required.
Snow Load areas are indicated on Sheet L-1.

Planting Notations and Details (LDM)

Item #2: A note on Sheet L-1 states that the landscape contractor shall maintain the landscape for a period of 1 year. The ordinance requires a guaranteed maintenance period of two years. Please adjust the note accordingly.
This note has been adjusted as requested. The same note on Sheet L-3 has also been adjusted.

Irrigation (sec. 2509 3.f.(6)(b))

Item #1: An Irrigation Plan must be provided upon final stamping set submittal. Please provide a cost estimate for the irrigation system.
An estimate for the irrigation system has been included in the Cost Estimate on Sheet L-3. An irrigation system will be provided for the stamping set, as requested.

General

Item #1: Please verify that all underground and overhead utilities, both existing and proposed, are shown on the landscape plan.
All utilities have been verified and included on the Landscape Plan, Sheet L-1.

Item #2: Please provide details on the proposed signage.
Please refer to the architectural plans for signage detailing.

In response to the comments provided by **Environmental Consulting & Technology, Inc.** (my responses are in *italics*):

Comment #1: The applicant will be required to provided 4 woodland replacement credits for the removal of this (40" landmark) tree.
Four replacement trees are shown on the landscape plan (Sheet L-1) and the corresponding credits are included in the Planting Calculations presented on Sheet L-2.

Comment #2: Several items must be provided in subsequent Plan submittals in order to comply with the site plan standards outlined in the updated Chapter 37 Woodland Protection Ordinance. The following information should be provided on subsequent Plans:

- a. Condition and/or species of the existing trees;
Please refer to the revised Topographic Survey, Sheet C-1.
- b. The number of replacement credits that will be provided on site;
Four replacement trees are shown on the landscape plan (Sheet L-1) and the corresponding credits are included in the Planting Calculations presented on Sheet L-2.
- c. The species/ quantities/ sizes and locations of replacement trees;
Four replacement trees are shown on the landscape plan (Sheet L-1). The species, quantities and sizes of these four trees are defined in the Proposed Planting Schedule and Cost Estimate shown on Sheet L-3.

Please let me know if you have any questions.

Sincerely,
JAMES C. SCOTT & ASSOCIATES, INC.



Ben Weaver



KEM-TEC

& ASSOCIATES
Professional Engineers
Professional Surveyors

www.kemtecsurvey.com

EAST
22556 Gratiot Avenue
Eastpointe, MI 48021-2312
(586) 772-2222 Fax: (586) 772-4048
(800) 295-7222

WEST
800 E. Stadium
Ann Arbor, MI 48104-4355
(734) 994-0888 Fax: (734) 994-0667
(800) 433-6133

March 6, 2013

City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: DMCU Novi
Engineering Review - JSP12-0069

Dear Adam,

Kem-Tec & Associates is in receipt of the City Engineering Review comments dated February 28, 2013. We acknowledge the comments and they will be addressed on the Final Site Plan drawings. The following items will be shown on the Final Site Plan drawings:

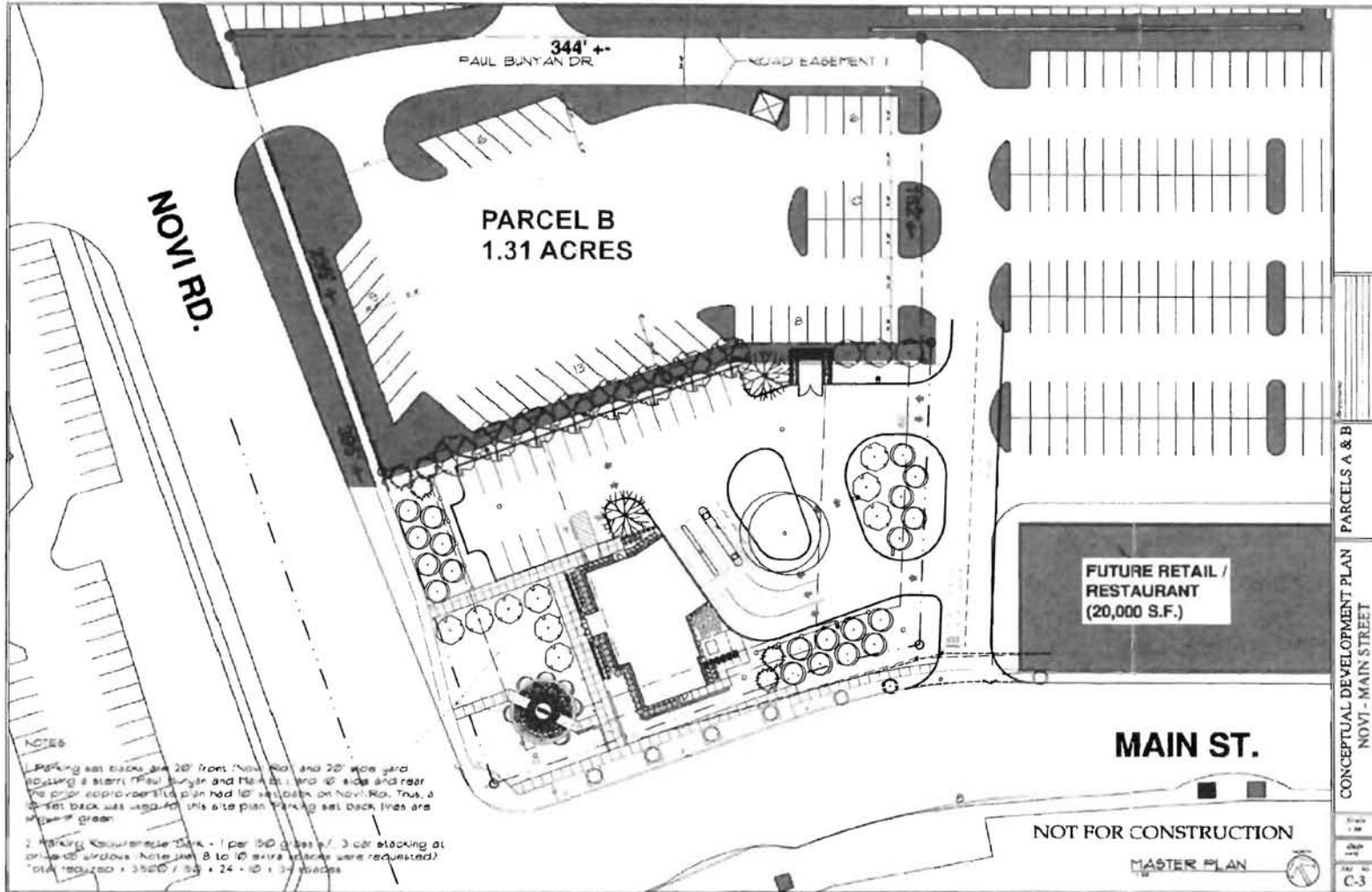
1. City standard notes
2. City standard detail sheets
3. Water main design and permitting
4. Sanitary sewer easement
5. Profile of sanitary sewer
6. Sanitary sewer basis of design
7. Sanitary design and permitting
8. Profiles of storm system
9. Paving and grading plans
10. Offsite easements
11. Cost Estimate

Please contact our office should you have any questions or require additional information.

Sincerely,

Matthew D. Kuehn, PE
Kem-Tec & Associates

SITE PLAN



344' +/-
PAUL BUNYAN DR.

ROAD EASEMENT

NOVI RD.

PARCEL B
1.31 ACRES

FUTURE RETAIL /
RESTAURANT
(20,000 S.F.)

MAIN ST.

NOT FOR CONSTRUCTION

MASTER PLAN

NOTES

1. Parking set backs are 20' from Novi Rd. and 20' side and 10' from Paul Bunyan and Main St. and 10' side and rear. The prior approved plan had 10' set back on Novi Rd. Thus, a 10' set back was required. This site plan parking set back lines are shown in green.
2. Parking Spacemaster Data - 1 per 100 gross sq. ft. 3 car stacking at drive up windows. Note that 8 to 10 extra spaces were requested. *Data required = 3500 / 50 = 70 + 10 = 80 spaces

CONCEPTUAL DEVELOPMENT PLAN
NOVI - MAIN STREET
PARCELS A & B

Scale
1" = 20'
C-3

MAPS
Location
Zoning
Future Land Use
Natural Features

Detroit Metropolitan Credit Union JSP12-69

Location



Novi Road

Subject Property

Main Street

Map Author: Kristen Kapelanski
Date: 03/06/13
Project: Detroit Metro Credit Union JSP12-69
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was prepared in strict accordance with the National Map Accuracy Standards, and uses the most recent available sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager for further source and accuracy information related to this map.



City of Novi

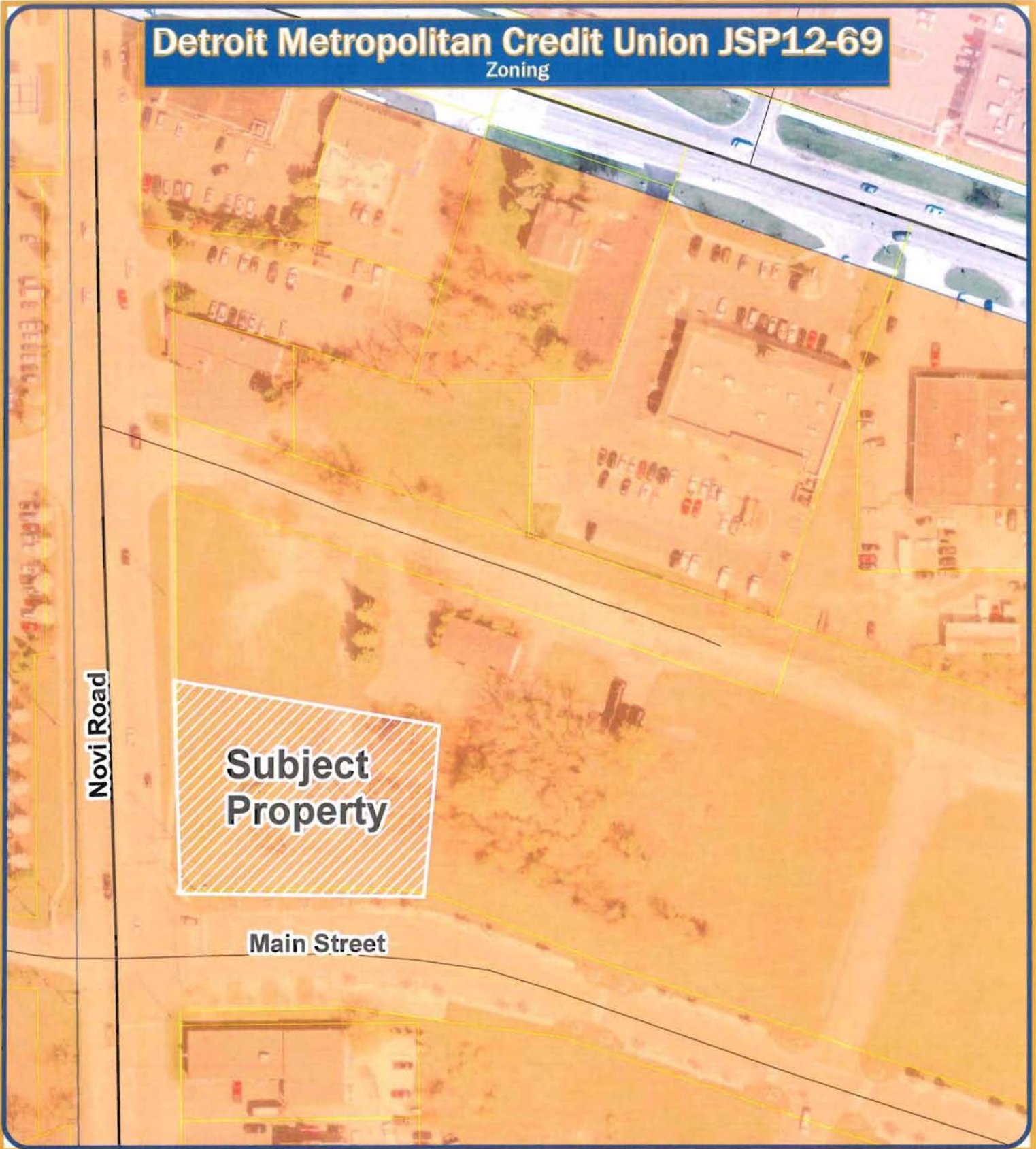
Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

0 20 40 80 120 160
Feet

1 inch = 109 feet

Detroit Metropolitan Credit Union JSP12-69

Zoning





Novi Road

Subject Property

Main Street

Map Author: Kristen Kapelanski
 Date: 03/06/13
 Project: Detroit Metro Credit Union JSP12-69
 Version #: 1.0

Map Legend

-  TC: Town Center District
-  TC-1: Town Center -1 District



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



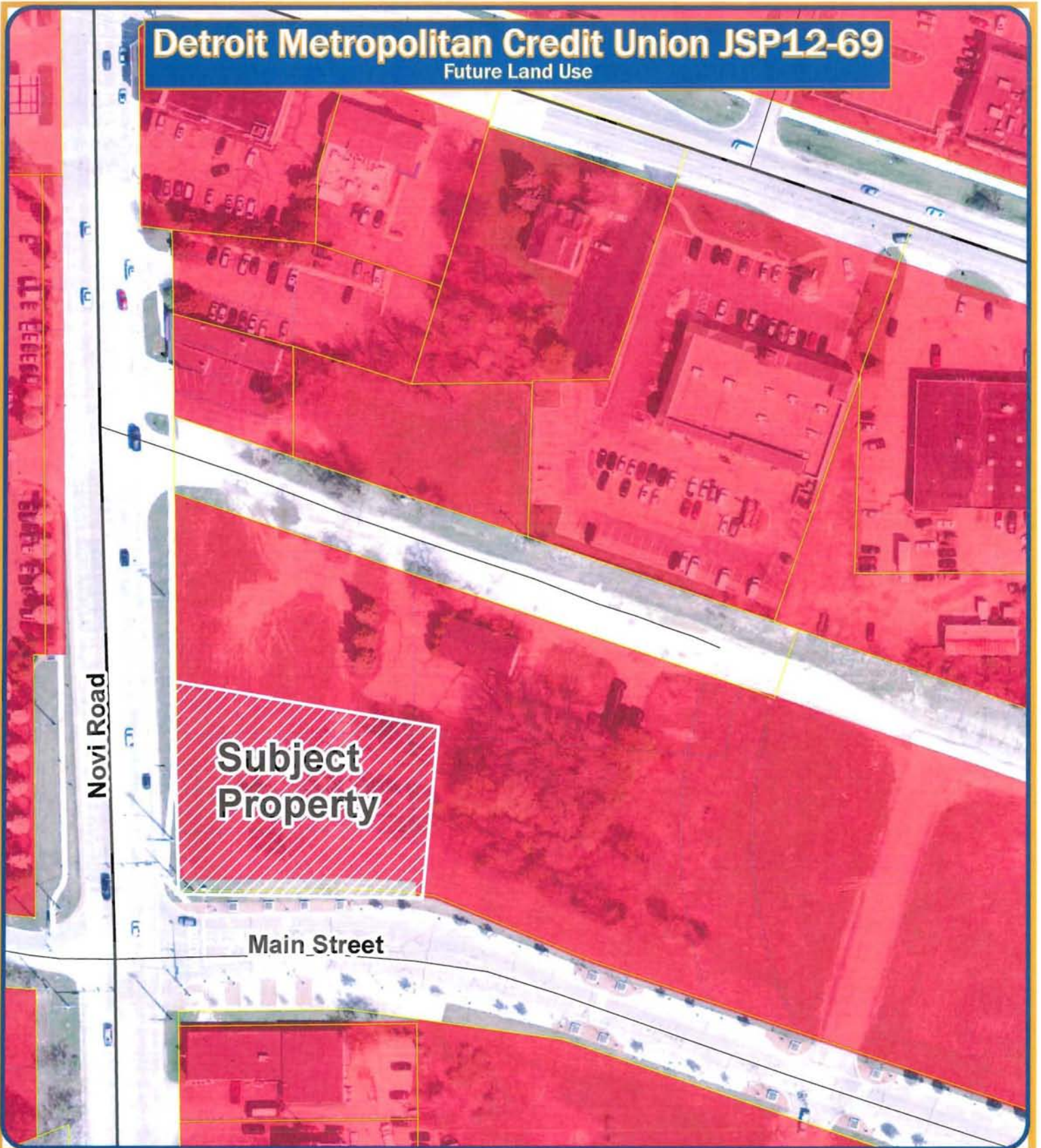
1 inch = 109 feet

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Detroit Metropolitan Credit Union JSP12-69

Future Land Use



Novi Road

Subject Property

Main Street

Map Author: Kristen Kapelanski
Date: 03/06/13
Project: Detroit Metro Credit Union JSP12-69
Version #: 1.0

Map Legend

 TC Commercial



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

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0 20 40 80 120 160
Feet

1 inch = 109 feet

Detroit Metropolitan Credit Union JSP12-69

Natural Features



Map Author: Kristen Kapelanski
 Date: 03/06/13
 Project: Detroit Metro Credit Union JSP12-69
 Version #: 1.0

Map Legend

-  Wetlands
-  Woodlands

MAP INTERPRETATION NOTICE
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City of Novi
 Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
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1 inch = 109 feet