

MEMORANDUM



TO: CITY OF NOVI PLANNING COMMISSION
FROM: DAN COMMER, AICP, STAFF PLANNER
THROUGH: BARBARA MCBETH, AICP, CITY PLANNER
SUBJECT: JSP 22-26 NOBLE VILLAGE FINAL SITE PLAN EXTENSION
DATE: May 2, 2025

The subject site contains 3.85 acres and is located at 42705 Grand River Avenue in the TC-1 Town Center zoning district. The site sits south of Grand River Avenue and east of Novi Road, which is in Section 23. The applicant received Final Stamping Set approval for a range of improvements to the current site of One World Market and the former Library Pub. These improvements include major changes to the façade of the building, landscape changes, and a total of 2,170 square feet in building additions to accommodate a few new uses of the site including an expanded Asian Grocery Store (One World Market), an Asian food hall anchored by Noble Fish Sushi and White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building.

The Planning Commission originally held a public hearing and approved the Preliminary Site Plan at the September 28, 2022 meeting.

The applicant received Final Site Plan approval, and Final Stamping Set approval on June 15, 2023. Final Stamping Set approval is valid for two years. **The applicant is requesting their first one-year extension of Final Site Plan approval until June 15, 2026,** as they are not yet ready to commence construction on the development due to economic conditions. The Zoning Ordinance allows for three, one-year extensions of Preliminary and Final Site Plan approvals.

At this time, the Planning staff is not aware of any changes to the ordinances, or surrounding land uses, which would affect the approval of the requested extension for one year. **Approval of the extension of is recommended.**

Following list of items that are attached to this memo:

1. Letter of request for extension submitted May 2, 2025 from Scott Howard, Owner Representative.
2. A copy of the approved Final Stamping Set.
3. Action Summary from September 28, 2022 Planning Commission meeting
4. Minutes from September 28, 2022 Planning Commission meeting

MAPS

Location

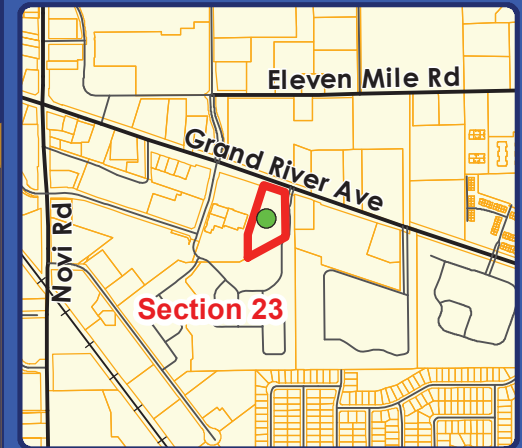
Zoning

Future Land Use


Natural Features

JSP22-26 NOBLE VILLAGE

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
Date: 9/21/22
Project: NOBLE VILLAGE
Version #: 1

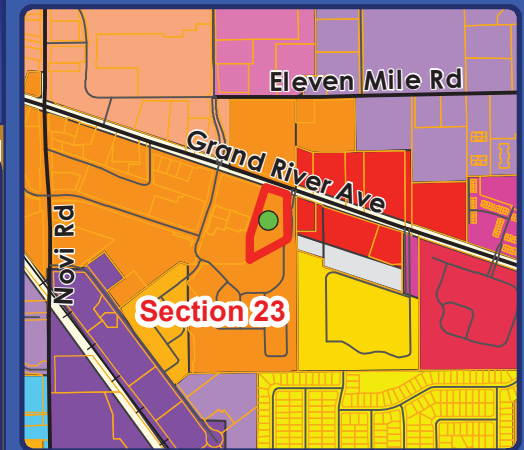
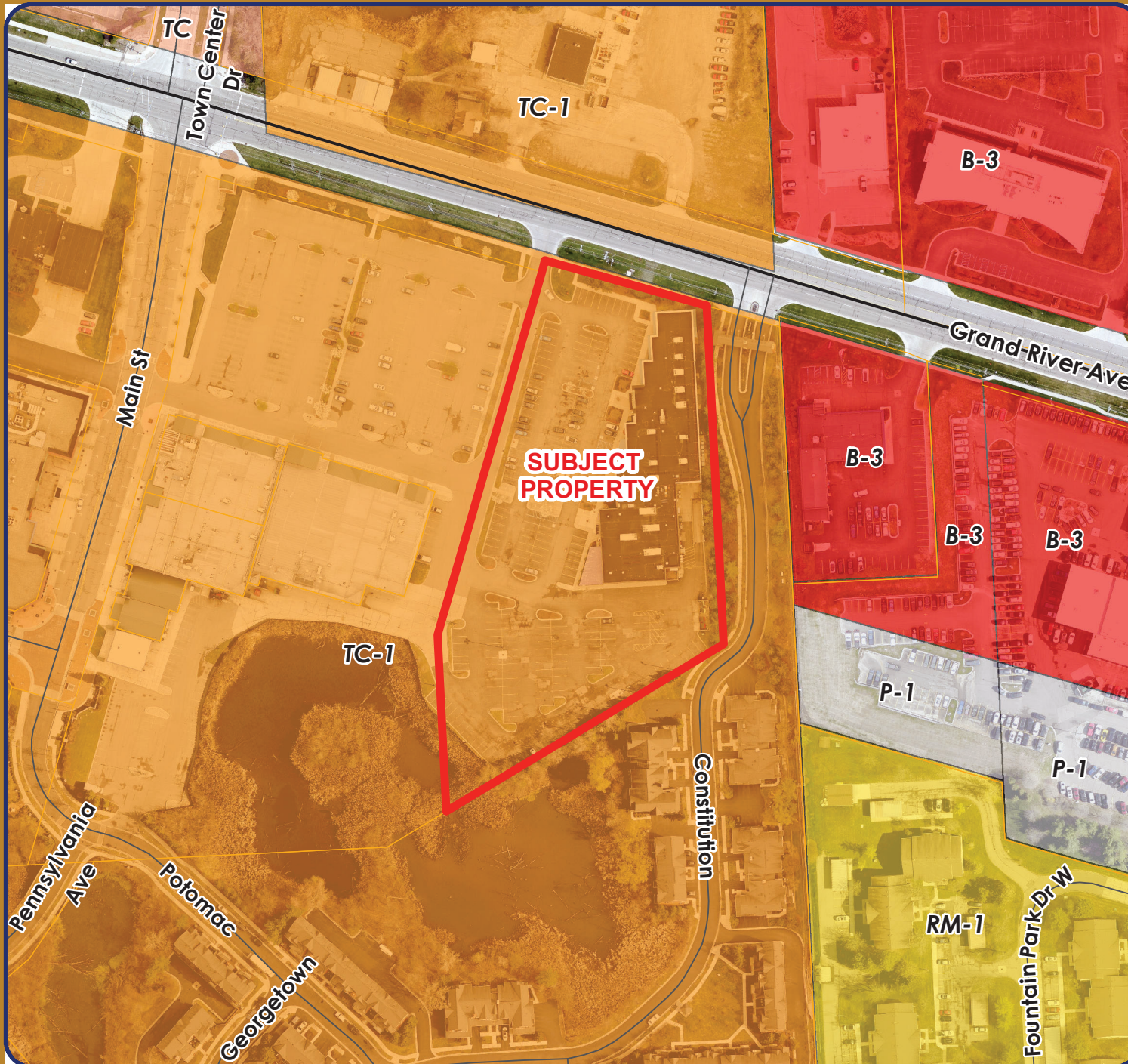
0 40 80 160 240 Feet
1 inch = 182 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP22-26 NOBLE VILLAGE ZONING



LEGEND

	Subject Property
	R-4: One-Family Residential District
	RM-1: Low-Density Multiple Family
	RM-2: High-Density Multiple Family
	B-3: General Business District
	GE: Gateway East District
	I-1: Light Industrial District
	I-2: General Industrial District
	NCC: Non-Center Commercial District
	OS-1: Office Service District
	OSC: Office Service Commercial
	P-1: Vehicular Parking District
	TC: Town Center District
	TC-1: Town Center -1 District



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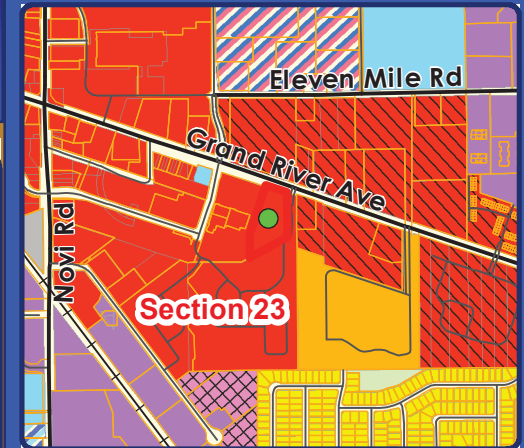
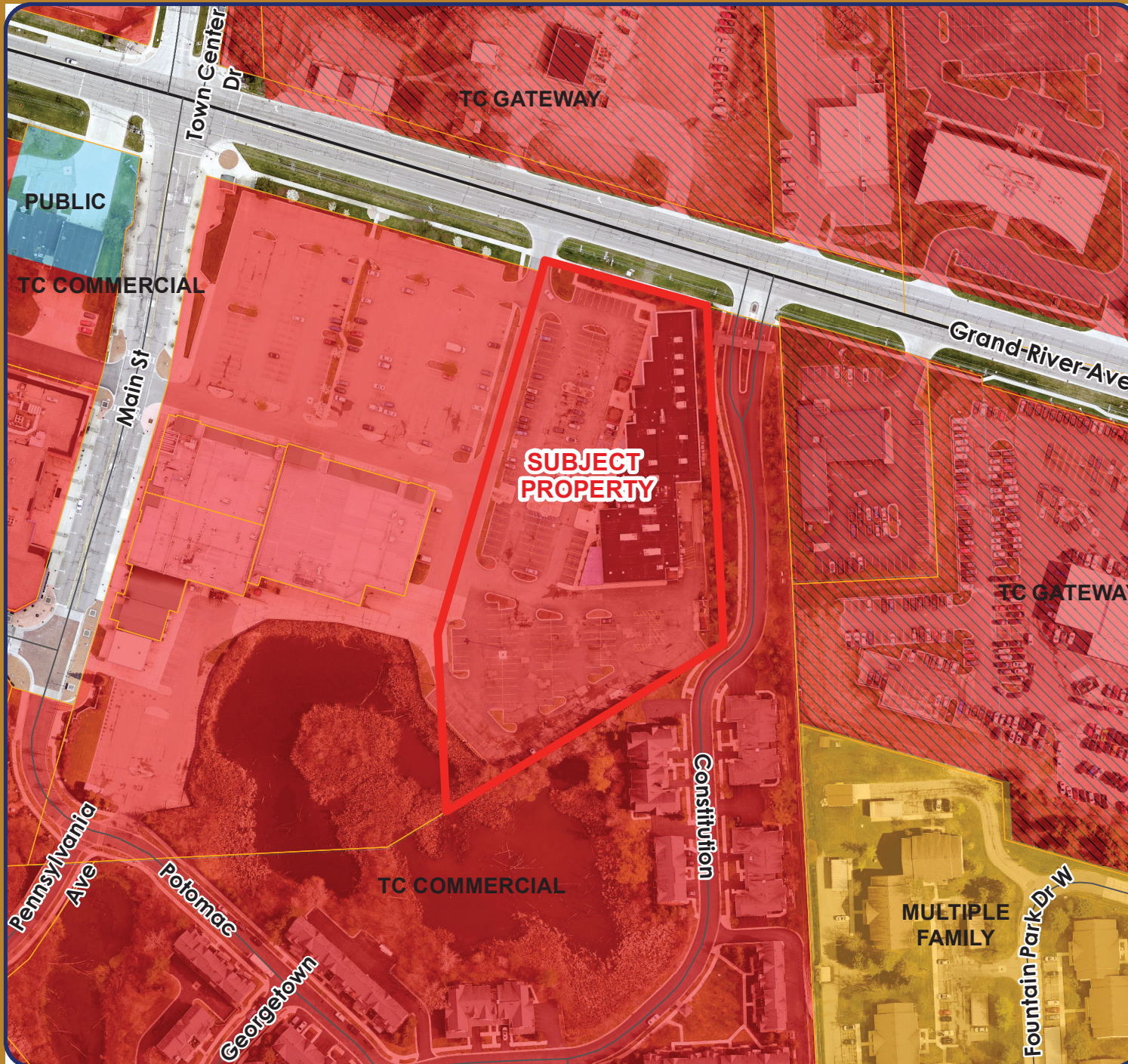


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JSP22-26 NOBLE VILLAGE

FUTURE LAND USE



LEGEND

- Single Family
- Multiple Family
- Community Office
- Office Commercial
- Industrial Research Development Technology
- Heavy Industrial
- TC Commercial
- TC Gateway
- Public
- Private Park
- Cemetery
- Subject Property



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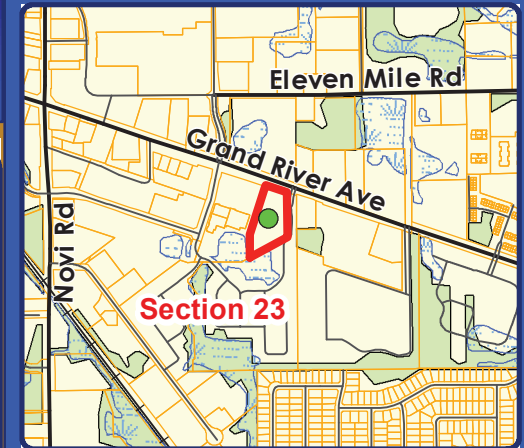


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JSP22-26 NOBLE VILLAGE

NATURAL FEATURES



LEGEND

- WETLANDS
- WOODLANDS
- Subject Property



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APPLICANT LETTER OF REQUEST



NOBLE VILLAGE

Subject: Noble Village Novi
42705 Grand River Ave #102, Novi, MI 48375
Project: JSP22-26

Attention Barb McBeth & Charles Boulard,

First, we would like to thank you and your team for assisting us through this process and recognize that it has taken longer than initially anticipated. As you are likely aware, since this process started, we have subsequently purchased the building and remain invested in the proposed project and plan to be a part of the community for years to come.

Unfortunately, while we are very close to finalizing the approval process, due to unforeseen economic circumstances that include high interest rates, growth slowdown and uncertainty of how tariffs will affect material costs, Noble Village Group is not ready to initiate construction. Once the approvals are completed, we must re-bid the project that reflects those market changes prior to awarding the work.

For this reason, we respectfully request that the previous approval by Planning Commission be extended for one (1) year.

With Sincere Regard,

Scott Howard
Owners Representative

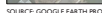
Noble Village Group
42705 Grand River Ave., Ste #201, Novi, MI 48375

SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



SCALE: 1" = 2,000'±



SCALE: 1" = 150'±

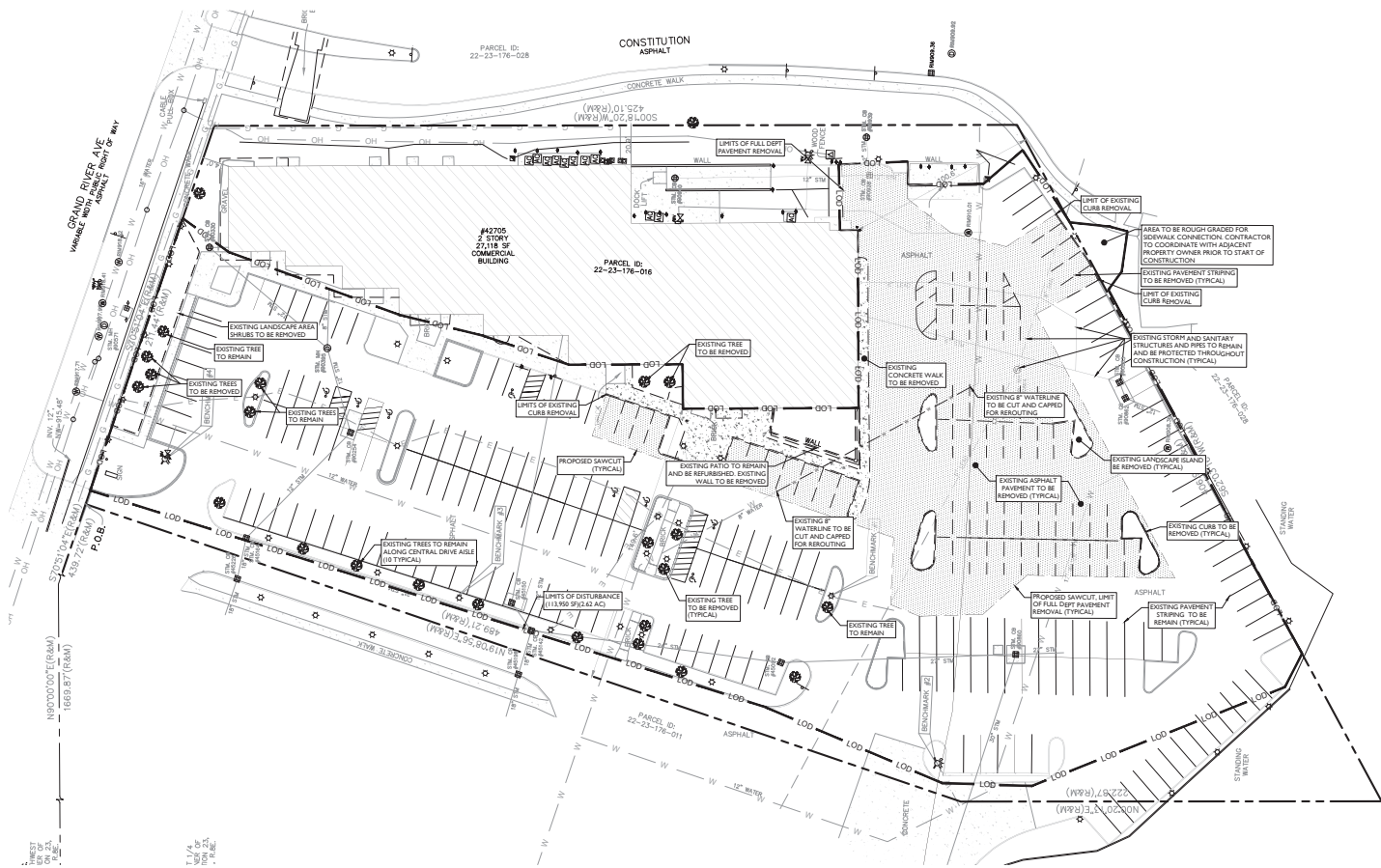
OAKLAND COUNTY, MICHIGAN



SCALE: 1" = 150'±

SEATTLE (ENT) - KATU.NET NOT RECORDED IN CALIFORNIA OR AND IN THE AREA NOW. HE CANNOT BE CONTACTED.

1. EXISTING DEMOLITION NOT ARCHITECTURAL QUALITY AND NOT A PART OF THE PROJECT. DEMOLITION OF EXISTING STRUCTURES IS THE RESPONSIBILITY OF THE OWNER.

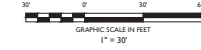


SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED (DEMOLISHED)
---	LIMIT OF DISTURBANCE
---	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
---	CONCRETE PAVEMENT REMOVAL



Know what's below
Call before you dig.

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXISTING PLAN, SET, AND ASSOCIATED REPORTING/RECORDS INCLUDING ALL DISPOSITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXISTING ITEMS SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPOSURE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SIGNS, TESTING AS REQUIRED, AND ANY DAMAGE AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLITION ACTIVITIES SHALL BE PROTECTED AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTES/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
 6. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THEN A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.



ISSUE	DATE	BY	DESCRIPTION
1	06/10/2023	MM	CLIENT REVIEW
2	06/10/2023	MM	PRELIMINARY SITE PLAN APPROVAL
3	06/10/2023	MM	PRELIMINARY SITE PLAN APPROVAL
4	06/10/2023	MM	FINAL SITE PLAN APPROVAL
5	06/10/2023	MM	FINAL STAMPING SET
6	06/10/2023	MM	FINAL STAMPING SET

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
Engineering & Design

Detroit, MI - Romulus, NJ - New York, NY
Princeton, NJ - Tampa, FL - Boston, MA
www.stonefielddesign.com

607 Shady Side, Suite 200, Detroit, MI 48226
Phone: 248.347.1115

SITE IMPROVEMENT PLAN

NOBLE VILLAGE

PROPOSED BUILDING AND SITE RENOVATIONS

PARCEL ID: 22-23-176-016
CITY OF NEW JERSEY
UNLANS COUNTY, NJ

STATE OF MICHIGAN
JEROME J. KIRBY, P.E.
MICHIGAN LICENSE NO. 62009008
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
Engineering & Design

CITY PROJECT #: JP212023

SCALE: 1" = 30' PROJECT ID: DET10476

TITLE: **DEMOLITION PLAN**

DRAWING: **C-2**

LAND USE AND ZONING			
PARCEL ID: 19-22-23-176-016			
TOWN CENTER I (TC-I)			
PROPOSED USE	PERMITTED USE	PERMITTED ACCESSORY USE	PROPOSED
RESTAURANT FAST-FOOD	PERMITTED		
RETAIL BUSINESS	PERMITTED		
OUTDOOR SEATING AREA	PERMITTED		
ZONING REQUIREMENT			
MINIMUM LOT AREA	75A	107,831 SF (3.81 AC)	NO CHANGE
MINIMUM OPEN SPACE	15% (25,142)	15.1% (23,280 SF)	15.5% (24,042)
MAXIMUM BUILDING HEIGHT	5 STORIES (65 FT)	5 STORIES	NO CHANGE
MINIMUM FRONT YARD SETBACK	80 FT	69.0 FT (EN)	NO CHANGE
MINIMUM SIDE YARD SETBACK (INTERIOR)	10 FT	14.9 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK (EXTERIOR)	30 FT	21.0 FT (EN)	NO CHANGE
MINIMUM REAR YARD SETBACK	30 FT	106.7 FT	75A FT
ROW PARKING SETBACK	30 FT	0 FT (EN)	NO CHANGE

(EN) EXISTING NON-CONFORMITY
(*) MEASURED FROM CENTERLINE OF ROAD

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 52.12C	PLANNED COMMERCIAL CENTER (*400,000 SF)	22 SPACES
	1 SPACE PER 300 SF G.A. (55,352 SF G.A.) SPACE / 250 SF = 221 SPACES (*)	4 ADA SPACES
§ 52.12	90' PARKING	9 FT X 19 FT
	9 FT X 19 FT WITH 24 FT AISLE	W/ 24 FT AISLE

(1) REFER TO AREA BREAKDOWN PREPARED BY DETROIT ARCHITECTURAL GROUP FOR TENANT AREAS SURROUNDING BELOW.

BEAUTY PARLOR: 2,332 SF (SALON HEAD WEST)

RETAIL: 1,980 SF (PBAR) (ONE WORLD MARKET)

13,791 SF

CATERER: 7,214 SF (NOBLE ROW (WHITE WOLF))

2,407 SF (OUTDOOR PATIO - 1ST FLOOR)

RESTAURANT: 11,208 SF (ZAKAYA - 2ND FLOOR)

2,502 SF (OUTDOOR PATIO - 2ND FLOOR)

OFFICE: 10,364 SF (PARKSTREET BUSINESS CENTER) *

SUPPORT: 475 SF (PBAR)

2,879 SF (ONE WORLD MARKET)

TOTAL: 55,352 SF

* NOTE THAT SUPPORT AREAS FOR OFFICE SPACE ARE NOT TO BE INCLUDED FOR OFFICE USES

PAVEMENT QUANTITIES	
CONCRETE CURB & GUTTER	780 LF
FULL DEPTH ASPHALT	21,106 SF
CONCRETE SIDEWALK (*)	2,247 SF

FOR MUNICIPAL REFERENCE ONLY. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

OUTDOOR DINING	
1 ST FLOOR DINING	10 SEATS
2 ND FLOOR DINING	64 SEATS

SEATING QUANTITY PER ARCHITECTURAL PLANS SHEET A-111, DATED 01-12-2023

SYMBOL DESCRIPTION

---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED SIGN / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED HANDRAIL
---	PROPOSED BUILDING DOORS

OUTDOOR DINING PERMITTED FROM MARCH 1ST - NOVEMBER 30TH PER CITY ORDINANCE

DEDICATED SNOW STORAGE AREAS ARE LOCATED TO MATCH EXISTING STORAGE AREAS AND ARE TO BE CONFIRMED WITH THE CONTRACTOR

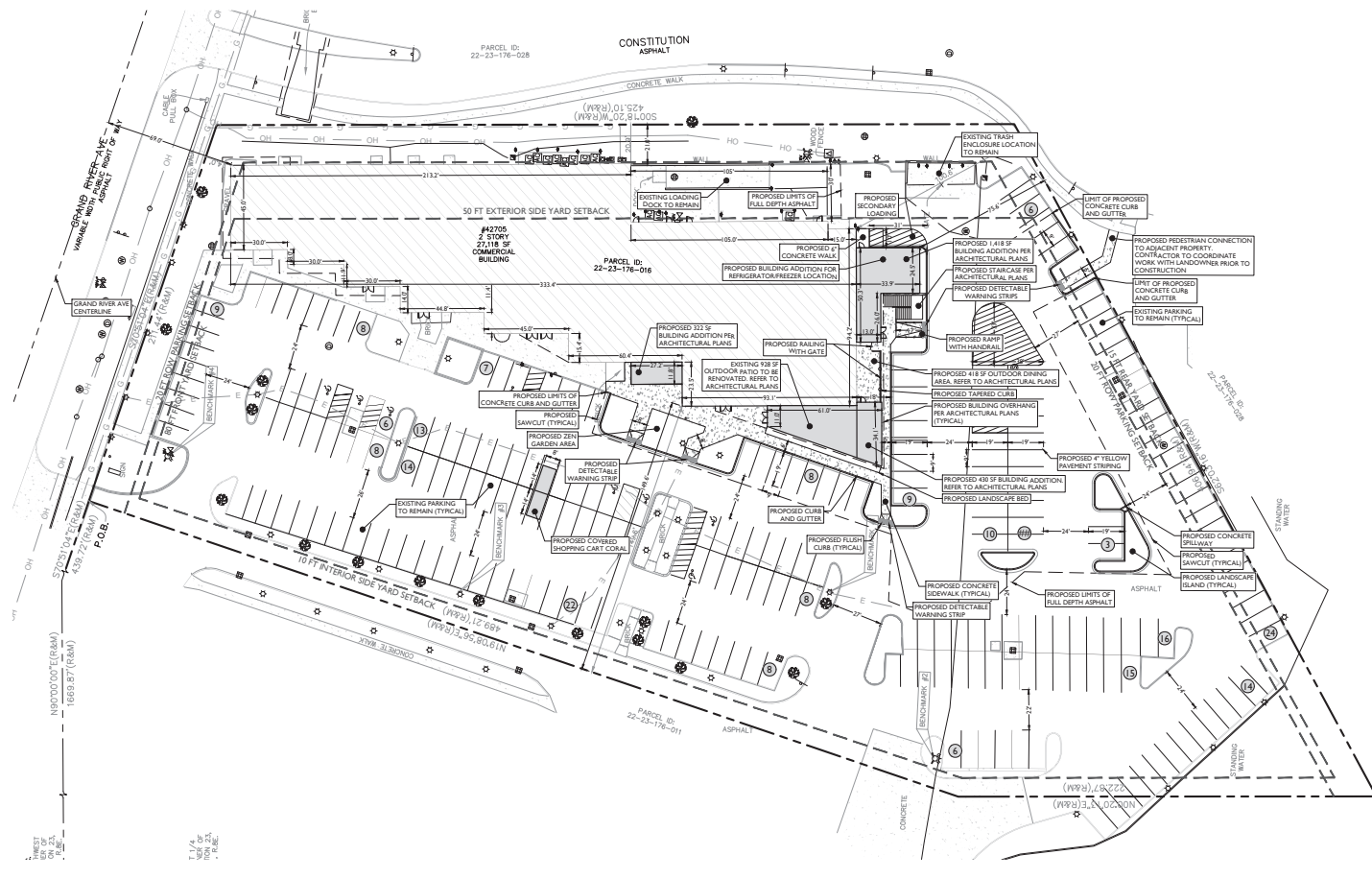
FIRE DEPARTMENT NOTES

- THE CONTRACTOR SHALL NOTIFY THE FIRE DEPARTMENT WHEN THE WATER IS SHUT OFF TO THE BUILDING FOR RELOCATING THE MAIN. DURING THE TIME A FIRE WATCH SHALL BE MAINTAINED UNTIL THE WATER IS RESTORED.
- THE FIRE SUPPRESSION SYSTEM WILL NEED TO BE RENOVATED FOR THE ADDITION OF MEZZANINE.

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS. OBTAINED WITHIN THESE DOCUMENTS SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS SHALL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS' FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT REPAIR ANY WORK OR CAUSE DETURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS DETERMINED TO BE DAMAGED OR UNDERMINED BY THE WORK. THE CONTRACTOR SHALL RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MINIMUM ON-UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO REPAIR ANY WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AGENCY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET CLOSING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION OF DISPOSITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
- CONTRACTOR TO PROVIDE SMOOTH TRANSITIONS BETWEEN ALL EXISTING AND PROPOSED SURFACES AND TO PROVIDE SMOOTH TRANSITIONS.
- ALL NEW PAVEMENT SHALL MATCH EXISTING PAVEMENT ON SITE.
- ALL PROPOSED PAVEMENT SHALL MEET THE CITY OF NEW ORLEANS STANDARD PAVING DETAILS. CONTRACTOR TO REFER TO CITY STANDARDS FOR REQUIRED CROSS SECTIONS.
- 15.1. PROPOSED 4" THICK SIDEWALK SHALL HAVE 21AA AGGREGATE BASE.

GRAPHIC SCALE IN FEET
1" = 30'



DATE	BY	ISSUE	DESCRIPTION
6/1/2023	KTH	1	FINAL STAMPING SET
8/1/2023	KTH	2	FINAL STAMPING SET
11/1/2023	KTH	3	FOR FINAL SITE PLAN APPROVAL
11/1/2023	KTH	4	PRELIMINARY SITE PLAN APPROVAL
11/1/2023	KTH	5	PRELIMINARY SUBMITTAL
11/1/2023	KTH	6	CLIENT REVIEW

NOT APPROVED FOR CONSTRUCTION

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Princeton, NJ - Tampa, FL - Boston, MA
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607 Shady Side, 200, Detroit, MI 48226
Phone: 248.347.1115

SITE IMPROVEMENT PLAN

NOBLE VILLAGE

PROPOSED BUILDING AND SITE RENOVATIONS

PARCEL ID: 19-22-23-176-016
CITY OF NEW ORLEANS
ORLEANS COUNTY, LA

STATE OF MISSISSIPPI
MICHAEL J. STONEFIELD, P.E.
MICHAEL J. STONEFIELD, P.E.
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
Engineering & Design

CITY PROJECT #: JP212023

SCALE: 1" = 30' PROJECT ID: DET-1076

TITLE:

DRAWING:

SITE PLAN

C-3

BENCHMARK

SITE BENCHMARK #1
CHISELED SQUARE ON TOP OF CONIC LIGHT POLE BASE
ELEVATION = 914.01 (NAVD 83)

SITE BENCHMARK #2
ARROW ON FIRE HYDRANT
ELEVATION = 914.40 (NAVD 83)

SITE BENCHMARK #3
CHISELED SQUARE ON TOP OF CONIC LIGHT POLE BASE
ELEVATION = 914.30 (NAVD 83)

SITE BENCHMARK #4
ARROW ON FIRE HYDRANT
ELEVATION = 913.72 (NAVD 83)

SYMBOL

PROPERTY LINE

PROPOSED GRADING CONTOUR

PROPOSED GRADING RIDGELINE

PROPOSED DIRECTION OF DRAINAGE FLOW

PROPOSED GRADE SPOT SHOT

PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

PROPOSED FLUSH CURB SPOT SHOT

PROPOSED FINISH FLOOR SPOT SHOT

PROPOSED EXPOSED FOUNDATION

DESCRIPTION

PROPERTY LINE

PROPOSED GRADING CONTOUR

PROPOSED GRADING RIDGELINE

PROPOSED DIRECTION OF DRAINAGE FLOW

PROPOSED GRADE SPOT SHOT

PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

PROPOSED FLUSH CURB SPOT SHOT

PROPOSED FINISH FLOOR SPOT SHOT

PROPOSED EXPOSED FOUNDATION

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE REVIEWED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOIL.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADE UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONERIDGE ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO CURBING.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - a. CURB GUTTER: 0.50%
 - b. CONCRETE SURFACES: 1.00%
 - c. ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONERIDGE ENGINEERING & DESIGN, LLC IF THE CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/REAPPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.
7. CONTRACTOR TO PROVIDE SMOOTH TRANSITIONS BETWEEN ALL EXISTING AND PROPOSED LIMITS OF PAVEMENT AND CURB.
8. PROPOSED DRIVEWAYS WITHIN THE ROAD RIGHT-OF-WAY SHALL MATCH EXISTING GRADES AT BOTH ENDS OF PAVEMENT.

ADDITIONAL NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 3.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDANCE.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 3.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 3.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALK-UP ATD, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 48 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 0.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERNATE, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 37 IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHEN A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN LEVEL IS BRIDLED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY DRAINAGE GAPS OR HORIZONTAL SEPARATION ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

STONEFIELD
Engineering & Design

SITE IMPROVEMENT PLAN
NOBLE VILLAGE
PROPOSED BUILDING AND SITE
RENOVATIONS

PAUL D. LUDWIG, P.E.
MICHIGAN LICENSE NO. 62009008
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
Engineering & Design

CITY PROJECT #: 15P12023

SCALE: 1" = 30' PROJECT ID: DET-10476

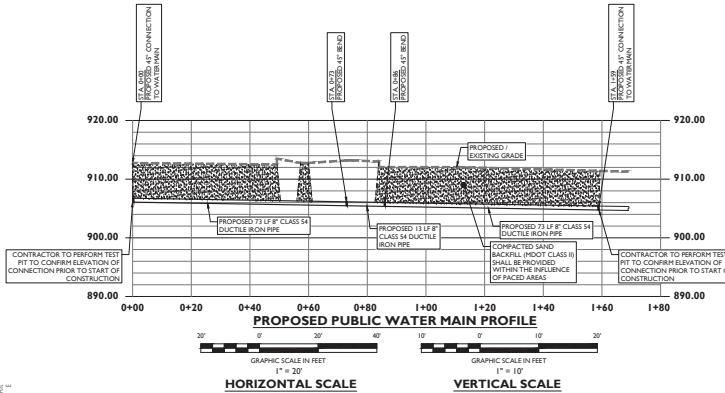
TITLE: GRADING & STORMWATER
MANAGEMENT PLAN

DRAWING:

C-4

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/CAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CORNER THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 18 INCHES IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL UTILITIES SHALL BE VERTICALLY SEPARATED BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC, AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CARRIED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DERIVED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
11. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NEW JERSEY STANDARDS AND SPECIFICATIONS.
12. NO NEW PERMANENT TRAFFIC CONTROL SIGNS ARE PROPOSED AS PART OF THIS REDEVELOPMENT. IF ANY SIGNS ARE TO BE DERIVED SUBSTANDARD AND ARE REPLACED DURING CONSTRUCTION, ALL SIGNS SHALL CORRELATE WITH CURRENT PHOTOCOPY STANDARDS, AND THE CONTRACTOR SHALL NOTIFY THE CITY OF NEW JERSEY ENGINEERING DEPARTMENT.
13. ALL COMPACTED SAND BACKFILL (POOT SAND CLASS B) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.



SYMBOL DESCRIPTION



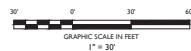
QUANTITY TABLE	
MATERIAL	QUANTITY
8" CLASS 54 DUCTILE IRON WATERMAIN	159 LF
4" BEND	4 UNITS

MANHOLE SCHEDULE

#	TYPE	INVERT (FT)	SIZE (IN)	DIRECTION	INVERT (FT)
45092	CATCH BASIN	910.14	24"	N	905.54
			27"	S	905.19
			18"	W	903.94
45142	CATCH BASIN	910.69	21"	N	905.89
			24"	S	905.69
			12"	NE	906.47
			18"	W	904.79
45150	CATCH BASIN	910.33	8"	E	906.63
			18"	W	906.13
45164	CATCH BASIN	913.83	12"	SE	906.68
			21"	SW	906.48
			18"	W	906.34
45198	CATCH BASIN	910.79	18"	W	906.47
			18"	E	906.42
45226	CATCH BASIN	913.72	18"	W	906.47
			12"	NE	906.92
90254	CATCH BASIN	912.17	12"	NW	906.52
			12"	NE	906.92
90330	BEEHIVE CATCH BASIN	912.99	12"	SW	907.49
90395	STORM MANHOLE	912.71	12"	NE	907.40
			8"	E	907.19
90571	STORM MANHOLE	918.00	FULL OF WATER		913.09
			27"	N	905.23
90860	CATCH BASIN	910.10	27"	S	905.30
			18"	W	906.34
90862	CATCH BASIN	907.46	FULL OF WATER		904.02
90863	CATCH BASIN	907.52	12"	W	904.12
			6"	NE	904.12
90864	SANITARY MANHOLE	909.48	8"	SE	899.40
90938	CATCH BASIN	911.30	12"	N	905.12
			12"	E	905.08
			12"	S	904.77
90939	BEEHIVE CATCH BASIN	910.35	12"	W	905.60
90940	CATCH BASIN	909.50	12"	S	905.40
			18"	W	905.20

DRAINAGE AND UTILITY NOTES

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13. ALL COMPACTED SAND BACKFILL (POOT SAND CLASS B) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
14. PER THE TYPICAL STANDARDS ARTICLE 8.1.1, ONE FULL 30-FOOT LENGTH OF WATER MAIN SHALL BE USED WHEREVER STORM SEWER OR SANITARY SEWER IS CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING, IN ORDER TO INSURE PROPER SEPARATION BETWEEN WATER MAIN AND SEWERS.



STONEFIELD
Engineering & Design

SITE IMPROVEMENT PLAN
NOBLE VILLAGE
PROPOSED BUILDING AND SITE
RENOVATIONS

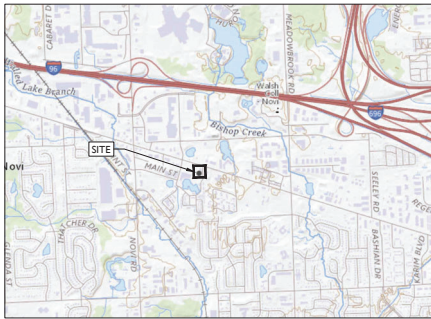


STONEFIELD
Engineering & Design

CITY PROJECT #: JP21-0031
SCALE: 1" = 30' PROJECT ID: DET-1076

TITLE: UTILITY PLAN

DRAWING: C-5



LOCATION MAP

SCALE: 1" = 2,000'

PROPERTY DESCRIPTION

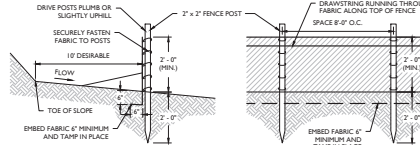
THE LAND SITUATED IN NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:
T1N, R6E, SEC 23 PART OF NW 1/4 BEG AT PT DGT S 735.88 FT E 168.87 FT S 5 70-51-01 E 437.27 FT FROM NW SEC COR, TH S 70-51-01 E 311.44 FT, TH S 60-18-30 W 420.10 FT, TH S 62-51-14 W 465.44 FT, TH S 62-11-12 E 223.87 FT, TH S 64-56-48 E 312.17 FT TO BEG.

PARCEL AREA

12,785 SQUARE FEET - 1,333 ACRES

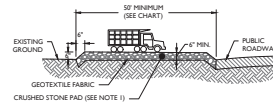
BENCHMARK

SITE BENCHMARK #1
CHERRY POLE ON TOP OF
CONC. LIGHT POLE BASE
ELEVATION = 91.43' (NAVD 88)
SITE BENCHMARK #2
ARROW ON TREE TRUNK
ELEVATION = 91.46' (NAVD 88)
SITE BENCHMARK #3
CHERRY POLE ON TOP OF
CONC. LIGHT POLE BASE
ELEVATION = 91.46' (NAVD 88)
SITE BENCHMARK #4
ARROW ON TREE TRUNK
ELEVATION = 91.37' (NAVD 88)



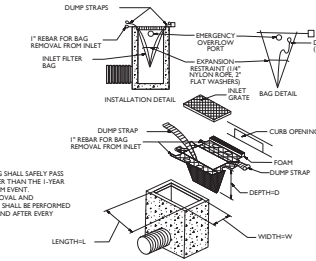
SILT FENCE DETAIL

NOT TO SCALE



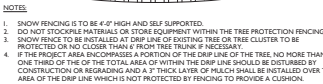
STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE



INLET FILTER BAG DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE

PERMANENT SEEDING SPECIFICATIONS:

1. PRIOR TO SEEDING, TOP OF LAYER OF TOPSOIL WITH FERTILIZER AND LIME. LIME APPLICATION RATES FOR FERTILIZER AND LIME ARE STANDARD RATES AND SHALL BE ADJUSTED BASED ON SITE SPECIFIC SOIL TESTS. FERTILIZER FOR PERMANENT SEEDING AREAS SHOULD BE 10-10-10.
2. TOPSOIL SHALL BE TILLED (PINE GRADES) AND RAKED FREE OF ALL DEBRIS LARGER THAN 1" IN DIAMETER. ALL LAWN AREAS SHALL BE SOLOPED TO DRAIN OR PER THE APPROVED GRADING PLAN. REFER TO THE TOPSOILING NOTE ON SHEET C-8.
3. CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS AND IMPLEMENT AS REQUIRED PRIOR TO APPLICATION OF SEED.
4. SPECIFICATIONS & GRADE SEED MIX (PER 100-20-80-50):
SEED MIXTURE:
PERENNIAL RYEGRASS 4.0
FIRE FESCUE 4.0
SHAMROCK KBG 4.0
OPTIONAL PLANTING DATA:
ZONE SA = 8-15-15/15
ZONE SA = 8-15-15/15
ZONE SA = 8-15-15/15
MAINTENANCE LEVEL:
(C) PERIODIC MOWING (7-14 DAYS), OCCASIONAL FERTILIZATION AND LIME THE FIRST YEAR OF ESTABLISHMENT
(D) MOWING OR NO MOWING, FERTILIZATION AND LIME THE FIRST YEAR OF ESTABLISHMENT
5. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDING OR CULTIPACKED SEEDING, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING. INCORPORATION TO A DEPTH OF 1/4 TO 1/2 INCH BY HAND OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COME TEXTURED SOIL AFTER SEEDING. FIRMING THE SOIL WITH A COMBATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, REDUCE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD WHEN PERFORMED ON THE CONTRAINT. SEED BROADCASTING WILL BE PERFORMED AND WATER CONSERVATION ON SITE WILL BE MAINTAINED.
6. AFTER UNMULCHED SHALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO ALL SEEDING AREAS AT THE RATE OF 1/2 - 2 TONS PER ACRE OR 70-90 POUNDS PER 1,000 SF. SPREAD MULCH SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED. ANCHORING OF MULCH SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS: PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH-CHANDER.
7. IRRIGATE NEWLY SEEDING AREAS WITH A MINIMUM OF 1/4 INCH OF WATER TWICE A DAY (NOT DURING PERIODS OF INTENSE SUN) UNTIL VEGETATION IS WELL ESTABLISHED.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL AIR QUALITY STANDARDS.
4. THE CONTRACTOR IS RESPONSIBLE TO INSURE ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND SUBMIT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.
5. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND SUBMIT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.
6. THE CONTRACTOR IS RESPONSIBLE TO INSURE ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND SUBMIT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.
7. VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DETERMINED AREAS WILL REMAIN UNGRADED FOR 30 DAYS OR GREATER, THREE TO FOUR (3-4) INCHES OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
8. SLOPE STEEPER THAN 1:1 H:1 V:1 SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.
9. DUST CONTROL SHALL BE A RESPONSIBILITY OF THE CONTRACTOR.
10. DIVERSION BERM OR TERRACING SHALL BE PERFORMED WHERE NECESSARY.
11. ALL CULVERT END SECTIONS MUST CONTAIN GROUTED RIPRAP IN ACCORDANCE WITH ORDINANCE SPECIFICATIONS.

SOIL CHARACTERISTICS CHART

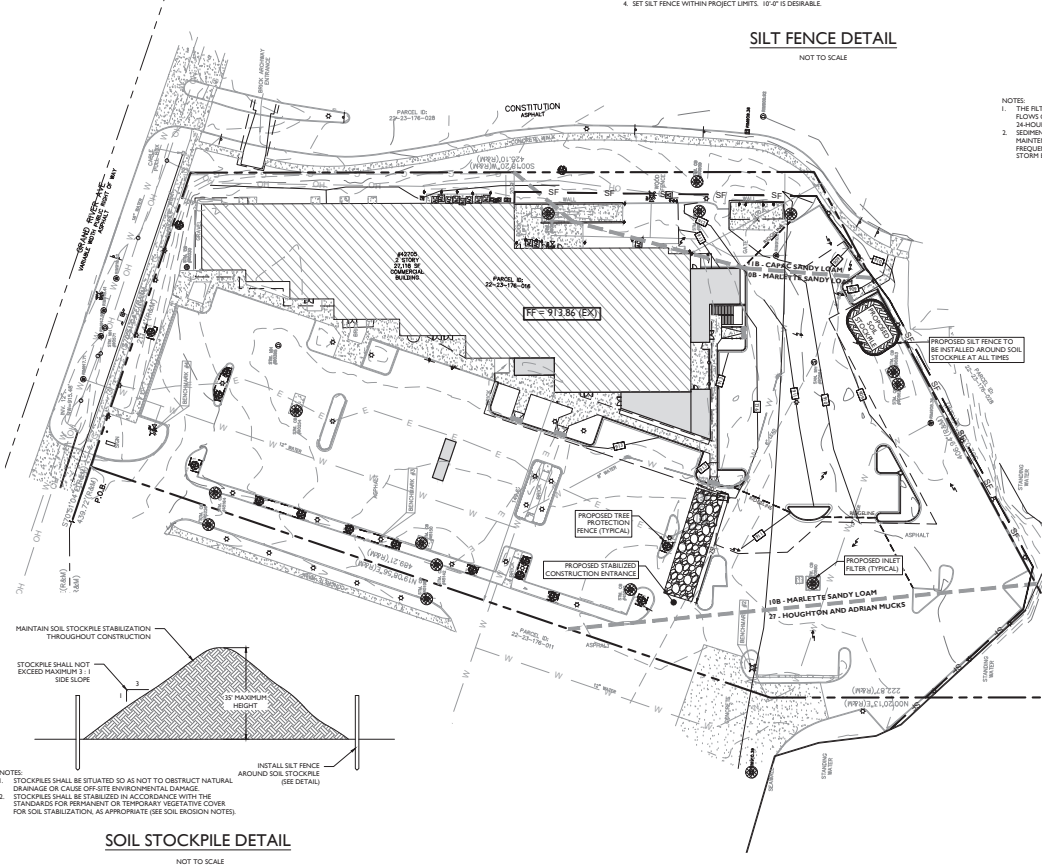
TYPE OF SOIL	HALETTE SANDY LOAM (11B)
PERCENT OF SITE COVERAGE	82.7%
HYDROLOGIC SOIL GROUP	C/D
DEPTH TO RESTRICTIVE LAYER	>48 INCHES
SOIL PERMEABILITY	0.25 TO 0.57 IN/HR
DEPTH TO WATER TABLE	30 TO 70 INCHES

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	HOUGHTON AND ADRIAN MUCK (21)
PERCENT OF SITE COVERAGE	10.8
HYDROLOGIC SOIL GROUP	A/D
DEPTH TO RESTRICTIVE LAYER	>48 INCHES
SOIL PERMEABILITY	0.25 TO 0.57 IN/HR
DEPTH TO WATER TABLE	ABOUT 10 INCHES

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	CARAC SANDY LOAM (11B)
PERCENT OF SITE COVERAGE	6.5%
HYDROLOGIC SOIL GROUP	C/D
DEPTH TO RESTRICTIVE LAYER	>48 INCHES
SOIL PERMEABILITY	0.25 TO 0.57 IN/HR
DEPTH TO WATER TABLE	12 TO 24 INCHES



SOIL STOCKPILE DETAIL

NOT TO SCALE



NOBLE VILLAGE PROPOSED BUILDING AND SITE RENOVATIONS



CITY PROJECT #: SP21-2021

SCALE: 1" = 40' PROJECT ID: DET-1491A

TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING: C-6

DATE: 11/15

ISSUE: 1

BY: [Signature]

DATE: 11/15

ISSUE: 1

DATE: 11/15

ISSUE: 1

DATE: 11/15

ISSUE: 1

DATE: 11/15

ISSUE: 1

DATE: 11/15

ISSUE: 1

DATE: 11/15

ISSUE: 1

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	HAILETTES SANDY LOAM (11B)
PERCENT OF SITE COVERAGE	94%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	MORE THAN 80 INCHES
SOIL PERMEABILITY	0.30 TO 0.37 IN / HR
DEPTH TO WATER TABLE	30 TO 72 INCHES
TYPE OF SOIL	CAPAC SANDY LOAM (11B)
PERCENT OF SITE COVERAGE	17%
HYDROLOGIC SOIL GROUP	C-2
DEPTH TO RESTRICTIVE LAYER	MORE THAN 80 INCHES
SOIL PERMEABILITY	0.30 TO 0.37 IN / HR
DEPTH TO WATER TABLE	10 INCHES TO 18 INCHES
TYPE OF SOIL	C-2
PERCENT OF SITE COVERAGE	3.9%
HYDROLOGIC SOIL GROUP	A-2
DEPTH TO RESTRICTIVE LAYER	MORE THAN 80 INCHES
SOIL PERMEABILITY	0.30 TO 0.37 IN / HR
DEPTH TO WATER TABLE	9 INCHES

TREES SHALL BE PLANTED:
• 10 FEET FROM HYDRAULIC AND UTILITY STRUCTURES
• 5 FEET FROM UTILITY LINES
• 3 FEET FROM CURBS

CITY MUST APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION

NO EXISTING OR PROPOSED OVERHEAD UTILITY LINES ON SITE

ANY TREE ON SITE WHICH IS REMOVED THAT IS NOT PERMITTED MUST BE REPLACED.

SEAD OR DECLINING TREES ON SITE SHALL BE REPLACED. REAR TREES SHALL BE REPLACED WITH A LARGE SHADE TREE AS SPECIFIED ON THE PLANT SCHEDULE.

SHOULD THE RIGHT-OF-WAY GREENBELT SCREENING NOT BE ROBUST ENOUGH TO EFFECTIVELY SCREEN THE PARKING LOT, THEN ADDITIONAL PLANT MATERIAL MAY BE REQUIRED. IF WALL IS OF MASONRY OR CONCRETE, GREENBELT WIDTH 30 FT GRAND RIVER AVENUE 2:11 SF ONE CANOPY OR EVERGREEN TREE PER 35 LF (2:11 FRONTAGE 23 LF) + REQUIRED TREES

THE SITE SHALL BE SURVEYED FOR ANY POPULATIONS OF PHRAGMITES AUSTRALIS AND JAPANESE KNOWNOT. IF ANY ARE FOUND, IT IS TO BE SHOWN ON THE SURVEY AND ADDED TO PLANS FOR REMOVAL.

THE EXISTING IRRIGATION SYSTEM IS TO REMAIN WHERE FEASIBLE AND BE MODIFIED AND/OR EXTENDED TO SERVICE NEWLY PROPOSED LANDSCAPE AREAS. NO NEW WATER MAIN CONNECTION IS TO BE INSTALLED, UNLESS APPROVED BY CITY REVIEWER.

LANDSCAPE WAIVERS GRANTED BY THE PLANNING COMMISSION ON 9/28/2021:
1. LANDSCAPE WAIVER FOR DISCREPANCY IN PARKING LOT INTERIOR AND PERIMETER TREE COUNTS
2. LANDSCAPE WAIVER FOR DISCREPANCY IN PARKING LOT INTERIOR AND PERIMETER TREE COUNTS
3. LANDSCAPE WAIVER FOR DISCREPANCY IN PARKING LOT INTERIOR AND PERIMETER TREE COUNTS
4. LANDSCAPE WAIVER FOR DISCREPANCY IN PARKING LOT INTERIOR AND PERIMETER TREE COUNTS
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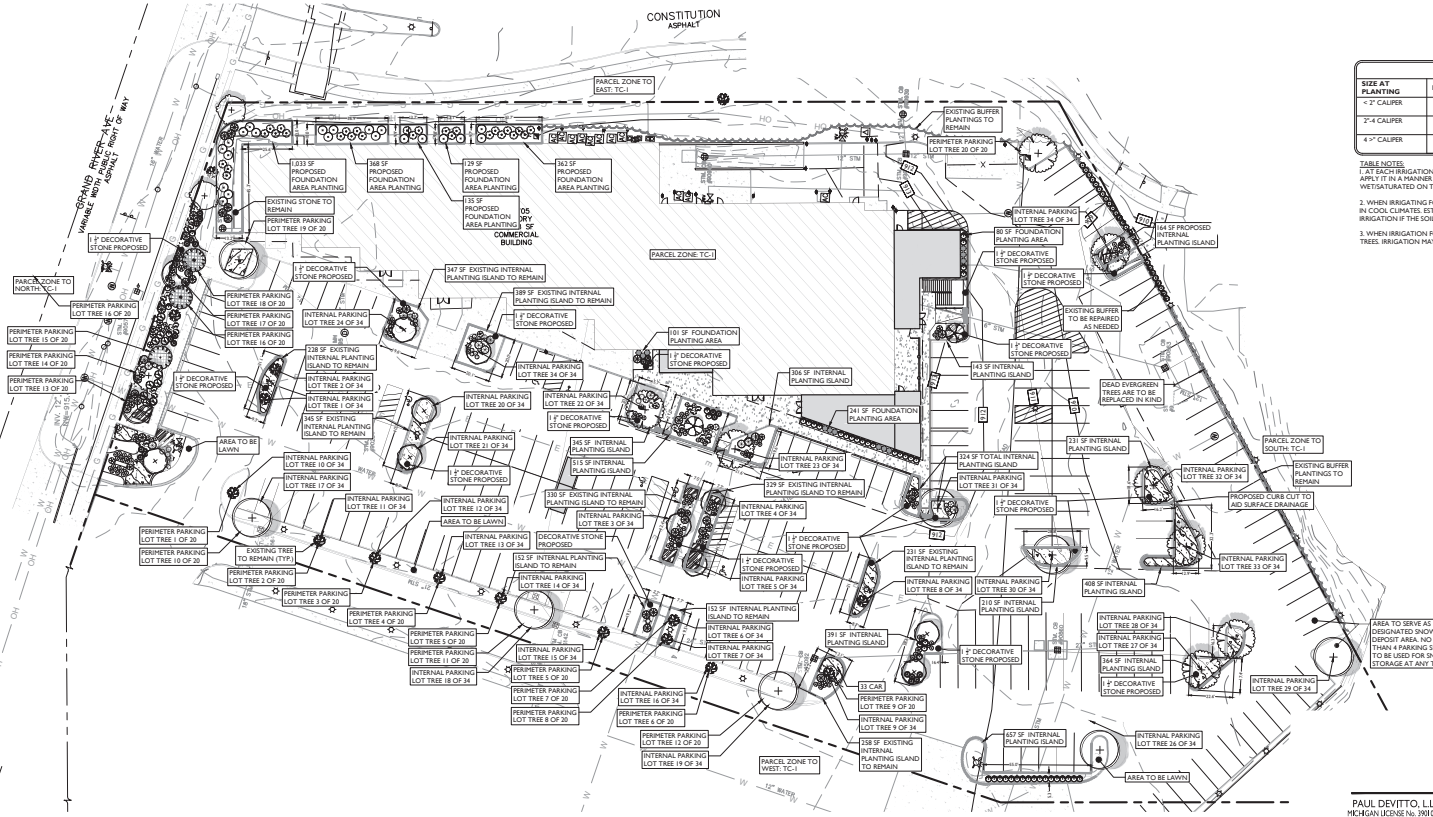
LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.3.1.b.1	GREENBELT REQUIREMENTS: 3-1/2 FOOT MASONRY OR DECORATIVE WALL REDUCTION OF 1/2 GREENBELT PLANTINGS MAY BE REDUCED IF WALL IS OF MASONRY OR CONCRETE. GREENBELT WIDTH 30 FT GRAND RIVER AVENUE 2:11 SF ONE CANOPY OR EVERGREEN TREE PER 35 LF (2:11 FRONTAGE 23 LF) + REQUIRED TREES	WALL NOT PROPOSED (2N) (WV) 14 FT (2N) (WV) 4 SUB CANOPY TREES 2 EXISTING SHADE TREES 1 LARGE EVERGREEN TREES (WV)
§ 5.3.1.c.2	PARKING LOT LANDSCAPE REQUIREMENTS: BACK ISLAND: MINIMUM 360 SF WITH 10 FT WIDTH MINIMUM 3 FT BACK OF CURB TO TREE TRUNK	COMPLIES COMPLIES
§ 5.3.1.c.3	INTERIOR PARKING AREA REQUIREMENTS: TOTAL INTERIOR PARKING LOT ISLAND AREA AND CANOPY TREE CHART: CATEGORY 1, TC ZONE A. 15,000 SF OF PARKING STALLS (1,075) = 1,750 SF B. 15,000 SF OF ADDITIONAL PAVED AREA (OVER 50,000 SF) = 384 SF C. TOTAL SF OF ADDITIONAL ISLANDS REQUIRED A+B = TOTAL SF OF ISLANDS (1,750 + 384 = 2,134 SF) D. NUMBER OF CANOPY TREES REQUIRED C / 280 = TOTAL CANOPY TREES (2,134 / 280 = 7.62 TREES)	4,381 SF 34 TREES
§ 5.3.1.c.4	PARKING LOT PERIMETER TREES: ONE PERIMETER CANOPY TREE PER 35 LF REQUIRED ACCESS DRIVE EUA PERIMETER - 8 FT LINEAR FEET / 35 SUB PERIMETER - 1.68 LF 8 FT LINEAR FEET = 59 LF ACCESS DRIVES - 188 LF (1.68 * 557 = 935.16 LF) (35) = 24 TREES (5) TREES + 4 TREES IN GREENBELT WITHIN (5 FT OF CURB) = 30 ADDITIONAL TREES REQUIRED	12 TREES PROPOSED 8 EXISTING PERIMETER TREES TO REMAIN
§ 5.3.2.a.1	BUILDING FOUNDATION LANDSCAPE: MINIMUM FOUNDATION LANDSCAPE SQUARE FOOTAGE IS 8 FT MULTIPLIED BY BUILDING PERIMETER (NOT INCLUDING INGRESS/EGRESS) (239 FT * 8 FT = 1,912 SF REQUIRED)	2,027 SF
§ 5.3.2.a.2	LANDSCAPE PLANTING BEDS MINIMUM 75% OF BUILDING FOUNDATION AREA WITH 4 FT WIDTH (239 LF * 75% = 179 LF REQUIRED PLANTING BEDS) PACKAGED ADJACENT TO PUBLIC STREET SHALL HAVE MINIMUM 60% PERIMETER AS GREENSPACE (56 LF OF BUILDING FRONTAGE AT GRAND RIVER AVENUE * 1.68 = 93.92 LF OF GREENSPACE)	179 LF 45 LF (100%)
§ 5.3.2.a.3	(WV) WAIVER (2N) EXISTING NONCONFORMITY (V) PROPOSED LANDSCAPING TO PROVIDE CONTINUOUS EVERGREEN SCREEN WITH DECORATIVE BOLLARDS	

PLANT SCHEDULE									
SYMBOLS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	COEFFICIENT	QTY	UNIT COST	TOTAL	REMARKS
1	GL1	GEODIEA TRACANTHOSUS SUBSP. SHADBLIND	SHADBLIND	10" - 12" CAL.	800	4	\$400	\$3,200	NATIVE
2	GL2	GEODIEA TRACANTHOSUS SUBSP. SHADBLIND	KENTUCKY CORNETREE	10" - 12" CAL.	800	4	\$400	\$3,200	NATIVE
3	FR1	FRAXILIS OBLIQUEA VANDERHOE	AMERICAN JAPANESE FLOWERING CHERRY	10" - 12" CAL.	800	2	\$175	\$350	NOT NATIVE
4	FR2	FRAXILIS OBLIQUEA VANDERHOE	ORANGE FLOWERING CHERRY	10" - 12" CAL.	800	4	\$175	\$3,500	NOT NATIVE
5	CR1	CRYPTOMERIA JAPONICA BLACK DRAGON	BLACK DRAGON JAPANESE CEDAR	4" - 5" WT.	100	12	\$175	\$3,300	NOT NATIVE
6	FR1	FRAXILIS OBLIQUEA VANDERHOE	THUNDERBOLT JAPANESE BLACK PINE	12" - 14" WT.	800	2	\$175	\$1,100	NOT NATIVE
7	TH1	THEA OCCIDENTALIS SHADBLIND	EMERALD GREEN ARBUSTIVE	4" - 7" WT.	800	24	\$175	\$15,120	NATIVE
8	AC1	ACER PALMATUS SUBSPECIES ATROPURPUREUM	PURPLE THUNDERBOLT JAPANESE PINE	2" - 12" CAL.	800	2	\$400	\$1,300	NATIVE
9	CO1	CORNUS FLORIDA VIBURNUM DRYOID	AMERICAN BUSH DOGWOOD	2" - 12" CAL.	800	1	\$400	\$1,300	NATIVE
10	AD1	ADONIS A. RUBRA SHADBLIND	SHADE SHED ADONIS	1" CAL.	100	21	\$80	\$1,680	NOT NATIVE
11	CA1	CAMPTOSYRIS AMERICANA	NAVY BLUE TEA	3" - 4" WT.	800	22	\$50	\$1,100	NATIVE
12	RO1	ROSA CANADENSIS	CANADIAN ROSE	3" - 4" WT.	800	21	\$50	\$1,050	NATIVE
13	CO1	CORNUS FLORIDA	CONIFER	3" - 4" WT.	800	21	\$50	\$1,050	NATIVE
14	CO1	CORNUS FLORIDA	CONIFER	3" - 4" WT.	800	21	\$50	\$1,050	NATIVE
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78	CO1	CORNUS FLORIDA	CONIFER	3" - 4" WT.	800	21	\$50	\$1,050	NATIVE



Know what's below
Call before you dig.

MAINTENANCE TASK	MONTH											
	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
SITE INSPECTION			X	X	X	X	X	X	X	X	X	
IRRIGATION AND WEED CONTROL - AS NEEDED				X								
IRRIGATION MAINTENANCE				X								
MULCHING					X							
SEASONAL PLANTINGS					X	X	X	X	X	X	X	
MOWING OF TURF			X	X	X	X	X	X	X	X	X	
MOWING OF WILDOFLOWERS												
PRUNING											X	
FERTILIZER AND AMENDMENTS			X	X	X	X	X	X	X	X	X	
INSECT AND DISEASE CONTROL					X	X	X	X	X	X	X	
PLANTING RENOVATION												
LANDSCAPE STRUCTURES INSPECTION			X	X						X		
LIGHTING MAINTENANCE												
PAVED SURFACE MAINTENANCE			X	X								

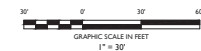


IRRIGATION DURING ESTABLISHMENT		
SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
2" CALIPER	DAILY FOR TWO WEEKS EVERY OTHER DAY FOR TWO MONTHS WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2-4" CALIPER	DAILY FOR ONE MONTH EVERY OTHER DAY FOR THREE MONTHS WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4" CALIPER	DAILY FOR SIX WEEKS EVERY OTHER DAY FOR FIVE MONTHS WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR FOUR TO FIVE MONTHS

TABLE NOTES:
1. EACH IRRIGATION APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATE. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
3. WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRY IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY HAZARD ON SITE DYNAMIC WATER PRESSURE AVAILABLE REQUIRED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET DRYER PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVE, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SENSORS WITHIN LANDSCAPE AREAS.
FOR COMMON AREA IRRIGATION SYSTEMS CONNECTED TO PUBLIC WATER SUPPLIES, INSTALL A BACKFLOW PREVENTION REDUCED PRESSURE ZONE ASSEMBLY (RPZ) WITH AN AIR RELEASE VALVE APPROVAL AT EACH TAP TO THE PUBLIC WATER SUPPLY. A MINIMUM CLEARANCE OF 12-INCHES REQUIRED FROM THE BOTTOM OF PRESSURE RELIEF VALVE TO THE FINISHED LANDSCAPE GRADE SHALL BE REQUIRED. PROVIDE A DETAIL SHOWING THE RPZ INSTALLATION SETUP AND HEIGHT ABOVE GRADE. IF BACKFLOW PREVENTER IS TO BE ENCLOSED, PROVIDE A DETAIL OF THE ENCLOSURE WITH REQUIRED DRAINAGE OUTLETS. SHOW ALL LOCATIONS ON A SITE PLAN. A PLUMBING PERMIT IS REQUIRED FOR THE INSTALLATION OF THE BACKFLOW PREVENTER. INSTALLATION OF THE BACKFLOW PREVENTER SHALL BE IN SUCH A MANNER AS TO NOT REQUIRE BLOWING OUT THE SYSTEM THROUGH THE BACKFLOW PREVENTER. DRAIN PORTS AND BLOW OUT PORTS SHALL BE INCLUDED. ANY DEVIATIONS FROM THESE REQUIREMENTS MUST BE APPROVED THROUGH THE NOW WATER & SEWER DIVISION CROSS CONNECTION CONTROL SPECIALIST (848-755-5641).

- LANDSCAPING NOTES
1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 1/2 INCH LAYER OF TOPSOIL AND SEED.
 3. THE CONTRACTOR SHALL RESTORE PLANTING AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1) SLOPES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREAS OF LANDSCAPED DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS. RECEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPED AREAS.



PAUL DEVITTO, L.L.A.
MICHIGAN LICENSE NO. 386167
LICENSED LANDSCAPE ARCHITECT

DATE	BY	ISSUE	DESCRIPTION
6/10/2023	KTH	1	FINAL STAMPING SET
8/1/2023	KTH	2	FINAL STAMPING SET
11/07/2023	KTH	3	FOR FINAL SITE PLAN APPROVAL
8/10/2023	KTH	4	PRELIMINARY SITE PLAN APPROVAL
8/10/2023	MMN	5	PRELIMINARY SUBMITTAL
8/10/2023	MMN	6	CLIENT REVIEW

NOT APPROVED FOR CONSTRUCTION

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SITE IMPROVEMENT PLAN
NOBLE VILLAGE
PROPOSED BUILDING AND SITE
RENOVATIONS

PAUL DEVITTO, L.L.A.
MICHIGAN LICENSE NO. 386167
LICENSED PROFESSIONAL ENGINEER

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CITY PROJECT #: SP212031
SCALE: 1" = 30' PROJECT ID: DET-CH076
TITLE: LANDSCAPE NOTATION PLAN
DRAWING: C-8

EVERGREEN TREE PLANTING DETAIL

TREE STAKING DETAIL

GROUND COVER/PERENNIAL/ANNUAL
PLANTING DETAIL

TRANSFORMER SCREENING DETAIL

DECIDUOUS TREE PLANTING DETAIL

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

TREE PROTECTION DETAIL

6

GENERAL LANDSCAPING NOTES

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THE SPECIFICATIONS APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, AND THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL. THE PROJECT LANDSCAPE CONTRACTOR SHALL FOLLOW ALL INSTRUCTIONS AND EXECUTE WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY. THE PROJECT LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE CONTRACTOR. THE PROJECT LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE CONTRACTOR.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR BEFORE ORDERING OR PURCHASING MATERIALS TO PROVIDE THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL WITH A LIST OF ALL MATERIALS TO BE ORDERED, IF SO REQUESTED.
4. IF SO REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
5. THE PROJECT LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL'S ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING THE PROJECT LANDSCAPE CONTRACTOR'S NAME, ADDRESS, PHONE NUMBER, AND THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, SHALL BE SUBMITTED WITH THE PLANT MATERIALS. THE PROJECT LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RECEIVING THE RIGHT TO TRANSFER AND REBET PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- [illegible]

SOIL PREPARATION AND MULCH NOTES

- [illegible]

HEALTHY START MACRO TABS 12-8-8

- * FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- * TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALSAM & BURLEAPED (8&8) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

- CITY OF NEW GENERAL NOTES:
9. ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY THE CITY OF NEW RICHMOND PRIOR TO INSTALLATION.
 10. TREES, SHRUBS AND GUYTS MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
 11. LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DISEASES AND PESTS AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
 12. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
 13. PLANT MATERIALS EXCEPT SOO, GROUND COVERS AND CREEPING VINE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
 14. TREES/SHRUBS ARE TO BE SCREENED IN ACCORDANCE WITH THE CITY OF NEW ORLEANS AND SO AS TO NOT CONFLICT WITH DIST RESTRICTIONS, SEE DETAIL SHEET.
 15. THE TRIMMER RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE PLAN AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 3-YEAR GUARANTEE PERIOD.
 16. THE TRIMMER SHALL BE THE MAINTENANCE GUARANTEE FOR THE LANDSCAPE INSTALLATION MUST BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.
 17. A MINIMUM OF ONE CULTIVATION IN JUNE, JULY, AND AUGUST DURING THE (2) TWO YEAR WARRANTY PERIOD SHALL

-

PLANT QUALITY AND HANDLING NOTE

- [illegible]

PLANT MATERIAL GUARANTEE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS (2 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR RUMAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTALMENT OF WATER BY LOCAL AUTHORITIES SHALL BE PAID FOR BY THE OWNER.
4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

1. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.

4. SEEDING SHALL NOT BE PERFORMED IN PERMANENT ESTABLISHMENT TEMPORARY

- SEEDING PRESCRIPTION:**
- SEEDING SHALL BE CONFINED TO PREVENTING WAYSIDE TRESPASSING WHILE THE SEED IS GERMINATING, PLUMING AND INITIAL PLANTS ESTABLISH. SEEDS, BARKERS, OR ANY OTHER NECESSARY PROTECTIVE DEVICES, DAMAGE RESULTING FROM TRESPASS, BRIGAND, PIRACY, OR OTHER CRIMINAL ACTS SHALL BE THE RESPONSIBILITY OF THE SEEDER. SEEDING SHALL BE CONFINED TO PREVENTING WAYSIDE TRESPASSING WHILE THE SEED IS GERMINATING, PLUMING AND INITIAL PLANTS ESTABLISH. SEEDS, BARKERS OR OTHER NECESSARY PROTECTIVE DEVICES OR OTHER PLANTS WHICH CAUSE LAWN DAMAGE SHALL BE REMOVED.
- CITY OF NOVA: NON-LIVING DURABLE MATERIAL, NOTES:**
- NON-LIVING DURABLE MATERIAL:**
1. MULCH FOR ALL PLANTINGS SHALL BE PREMIUM SHREDED HARDWOOD AND SHALL NOT BE ARTIFICIALLY COLORED; NO REDDISH WOOD MULCH OR RUBB MULCH IS TO BE USED.
2. TREES SHALL BE MULCHED TO A 3 INCHES DEEP RING DURING PLANTING.
3. MULCH SHALL BE APPLIED TO A MINIMUM OF 12 INCHES AROUND EACH PLANTING, EXCEPT OVERHEAD DEPTH AT PLANTING.
4. ALL LAWN TREES SHALL BE PLANTED WITH A 4 FOOT DIAMETER CIRCLE OF THE SHREDED HARDWOOD BARK MULCH.
5. MULCH SHALL BE APPLIED TO A MINIMUM OF 12 INCHES AROUND EACH PLANTING, EXCEPT OVERHEAD DEPTH AT PLANTING.
6. THE ROOT COLLAR TO LAWN OR "VOLCANO" MULCHING IS ALLOWED AT PLANTING OR IN INFILL PLANTINGS OF MULCH.
7. MULCH SHALL BE APPLIED TO A MINIMUM OF 12 INCHES AROUND EACH PLANTING, EXCEPT OVERHEAD DEPTH AT PLANTING.
8. FOR FIRE SAFETY, SHREDED HARDWOOD BARK IS NOT TO BE INSTALLED ADJACENT TO OR WITHIN 4 FEET OF BUILDINGS OR STRUCTURES.
9. MULCH SHALL BE APPLIED TO A MINIMUM OF 12 INCHES AROUND EACH PLANTING, EXCEPT OVERHEAD DEPTH AT PLANTING.
10. MULCHING WITH A NON-COMBUSTIBLE MATERIAL, TYPICALLY MANUFACTURED AS LANDSCAPE MULCH, THE COLOR OF WHICH IS NOT BLACK, IS PERMITTED.
11. GRAVE, TREE MULCHES ARE NOT PERMITTED WITHIN OR IMMEDIATELY ADJACENT TO PARKING LOTS OR ROADWAYS.
12. MULCHING WITH A SPECIFICATED MATERIAL, TYPICALLY MANUFACTURED AS LANDSCAPE MULCH, THE COLOR OF WHICH IS NOT BLACK, IS PERMITTED.
13. SHALLOW PATIO/DECK SET IS HARVESTED FROM FUNCTIONING WETLANDS SO IT SHALL NOT BE USED FOR LANDSCAPE MULCH.
14. PLASTIC OR OTHER ARTIFICIAL ROLLS OF PLANT MATERIAL ARE PROHIBITED.

[illegible]
De

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SITE

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76-016
AVENUE
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IMPROVE
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POSED
OVATION

SITE ID: **NO** **PROPOSED** **RENOVATION**



STATE OF MICHIGAN
JONATHAN REID
Michigan.gov



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MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER

 **STONEFIELD**

CITY PROJECT #: JSP12-0026

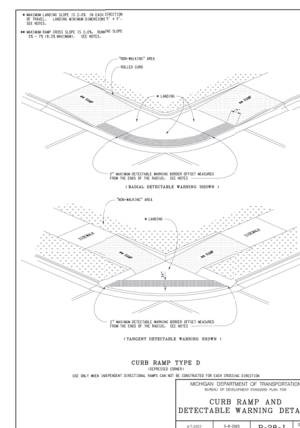
SCALE: AS SHOWN	PROJECT ID: DET-210476
TITLE:	
LANDSCAPING DETAILS	

DRAWING:

C-9



- NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



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PARCEL ID: 50-22-23-176-016
42705 GRAND RIVER AVENUE
CITY OF NOVI
OAKLAND COUNTY, MI



CITY PROJECT #: JSP22-0026

SCALE:	AS SHOWN	PROJECT ID: DET-210476
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TITLE:

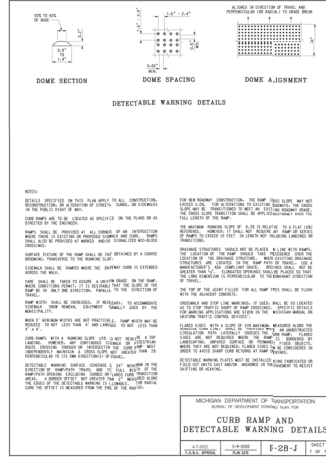
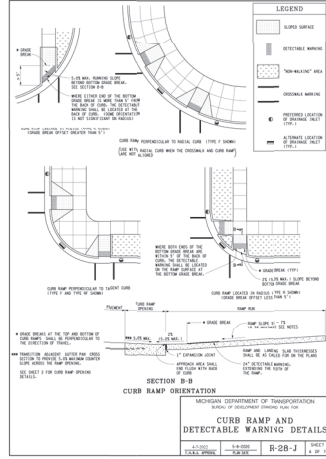
CONCLUSION

CONSTRUCTION DETAILS

DETAILS

DRAWING:

C-10



MDOT CURB RAMP & DETECTABLE WARNING DETAILS (R-28-J) (CONT.)

NOT TO SCALE

NOBLE VILLAGE

PROPOSED BUILDING AND SITE RENOVATIONS

PARCEL ID: 50-22-23-176-016
42705 GRAND RIVER AVENUE
CITY OF NOVI
OAKLAND COUNTY, MI



CITY PROJECT #: JSP22-0026

SCALE: AS SHOWN PROJECT ID: DET-210476

TITLE:

CONCLUSION

CONSTRUCTION DETAILS

DETAILS

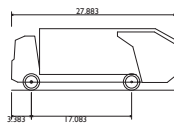
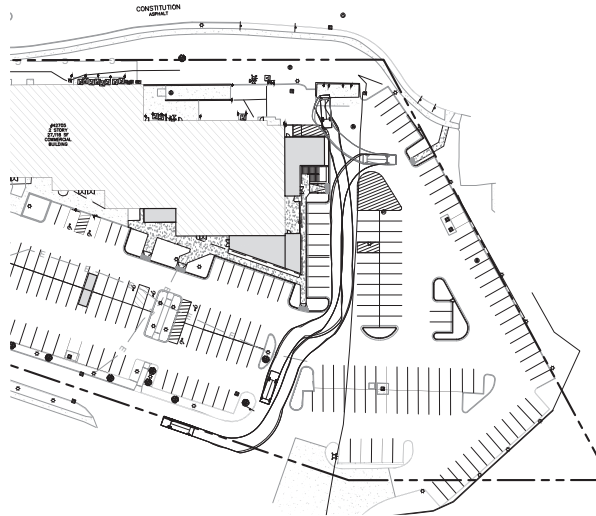
DRAWING:

C-II

ISSUE	DATE	BY	DESCRIPTION
1	6/11/2021	HON	CLIENT REVIEW
2	6/11/2021	HON	PREAPPLICATION SUBMITTAL
3	11/07/2021	KTH	PRELIMINARY SITE PLAN APPROVAL
4	11/07/2021	KTH	FINAL SITE PLAN APPROVAL
5	6/12/2023	KTH	FINAL STAMPING SET
6	6/12/2023	KTH	FINAL STAMPING SET

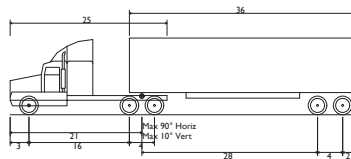
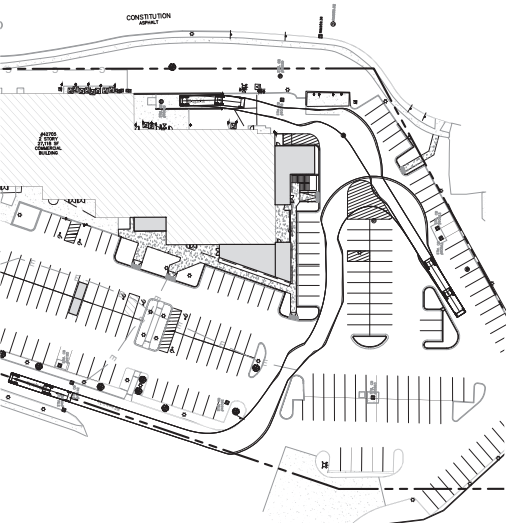
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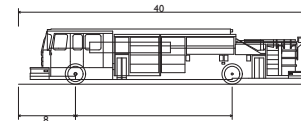
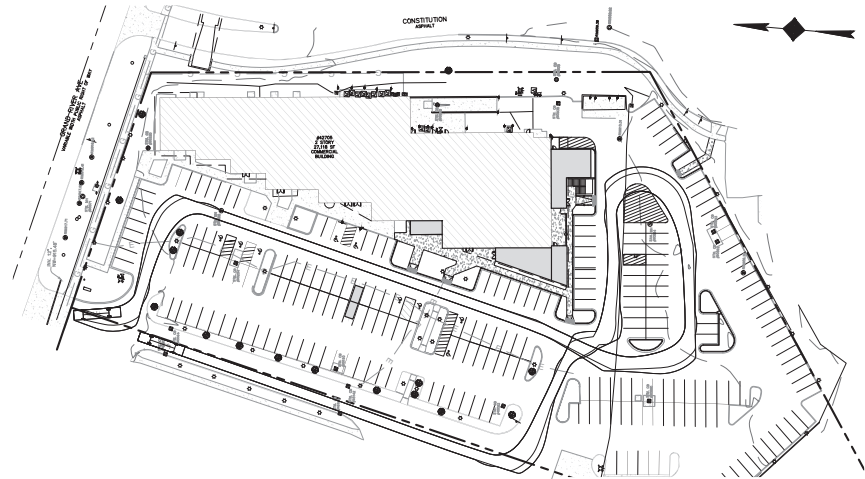
Garbage Truck
 Overall Length 27.883ft
 Overall Width 8.042ft
 Overall Body Height 10.488ft
 Min Body Ground Clearance 1.318ft
 Track Width 8.042ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 27.400ft

GARBAGE TRUCK TRUCK TURN
 50' 0' 50' 100'
 GRAPHIC SCALE IN FEET
 1" = 50'



WB-50 - Large Semi-Trailer
 Overall Length 55.000ft
 Overall Width 8.500ft
 Overall Body Height 12.227ft
 Min Body Ground Clearance 1.422ft
 Track Width 8.500ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 45.000ft

WB-50 TRUCK TRUCK TURN
 50' 0' 50' 100'
 GRAPHIC SCALE IN FEET
 1" = 50'



Pumper Fire-TRUCK TRUCK TURN
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

PUMPER FIRE-TRUCK TRUCK TURN
 50' 0' 50' 100'
 GRAPHIC SCALE IN FEET
 1" = 50'

NO.	DATE	BY	DESCRIPTION
1	06/10/2021	MM	CLIENT REVIEW
2	06/10/2021	MM	PRELIMINARY SUBMITTAL
3	06/10/2021	MM	PRELIMINARY SITE PLAN APPROVAL
4	11/07/2021	KTH	FOR FINAL SITE PLAN APPROVAL
5	01/12/2021	KTH	FINAL STAMPING SET
6	06/17/2021	KTH	FINAL STAMPING SET

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SITE IMPROVEMENT PLAN

NOBLE VILLAGE
 PROPOSED BUILDING AND SITE
 RENOVATIONS

PARTIAL L.D. 05-23231-P-011
 CITY OF NOBLE
 OAKLAND COUNTY, MI

STATE OF MICHIGAN
 PROFESSIONAL ENGINEER
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 MICHIGAN LICENSE NO. 62009PGB
 LICENSED PROFESSIONAL ENGINEER

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CITY PROJECT #: JSP12-0231
 SCALE: 1" = 50' PROJECT ID: DET-110476
 TITLE:
VEHICLE TURNING PLAN

DRAWING:
C-12

9-28-22 PLANNING COMMISSION ACTION SUMMARY



PLANNING COMMISSION ACTION SUMMARY

CITY OF NOVI

Regular Meeting

September 28, 2022 7:00 PM

Council Chambers | Novi Civic Center
45175 W. Ten Mile (248) 347-0475

CALL TO ORDER

The meeting was called to order at 7:01 PM.

ROLL CALL

Present: Member Avdoulos, Member Becker, Member Dismondy, Member Lynch, Chair Pehrson, Member Roney, Member Verma

Staff: Barbara McBeth, City Planner; Beth Saarela, City Attorney; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Rick Meader, Landscape Architect; Humna Anjum, Plan Review Engineer; Douglas Repen, Environmental Consultant

APPROVAL OF AGENDA

Motion to approve the September 28, 2022 Planning Commission Agenda. Motion carried 7-0.

CONSENT AGENDA - REMOVALS AND APPROVALS

1. NOVI CORPORATE CAMPUS PARCEL 1, JSP18-43

Approval of the request of Dembs Development, LLC, for the third one-year extension of the Preliminary Site Plan approval. The subject property is located north of Twelve Mile Road, east of West Park Drive in the I-1 Light Industrial zoning district. The applicant proposed a 93,320 square foot industrial spec building on the 6.6-acre parcel. Planning Commission approved the Preliminary Site Plan in November of 2018.

Motion to approve the third one-year extension of the Preliminary Site Plan for JSP18-43 Novi Corporate Campus Parcel 1. Motion carried 7-0.

2. SRI VENKATESWARA CULTURAL CENTER, JSP18-32

Approval of the request of Manyam Group LLC for the third one-year extension of the Preliminary Site Plan. The subject property is located at 26233 Taft Road, on the west side of Taft Road, south of Grand River Avenue in Section 16 of the City. The site plan proposes phase 2 of the project: a 24,136 square foot, 2-story Cultural Center on the eastern portion of the site.

Motion to approve the third one-year extension of the Preliminary Site Plan for JSP18-32 Sri Venkateswara Cultural Center. Motion carried 7-0.

PUBLIC HEARINGS

1. PARC VISTA JSP21-47, (FKA COVINGTON ESTATES)

Public hearing at the request of Toll Brothers, LLC for Preliminary Site Plan with Site Condominium and Stormwater Management Plan. The subject property is in Section 31 north of Eight Mile Road and west of Garfield Road in the RA, Residential Acreage District. The applicant has received City Council approval of a Residential Unit Development (RUD) Agreement on a 54.3-acre parcel to construct 44 single-family residential units.

In the matter of Parc Vista, JSP21-47, motion to approve the Preliminary Site Plan with Site Condominium subject to and based on the following:

- a. Compliance with the terms and conditions of the approved Residential Unit Development Plan and Agreement;**
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.**

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Parc Vista, JSP21-47, motion to approve the Stormwater Management Plan subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

2. MONTESSORI DEI BAMBINI JSP22-25

Public hearing at the request Montessori Dei Bambini for Special Land Use and Preliminary Site Plan approval. The subject property contains 5.01 acres and is located in Section 26, west of Meadowbrook Road, south of Ten Mile Road. The applicants would like to operate a Montessori based daycare center in an existing church for up to forty children, which is a Special Land Use in the R-4 Zoning District.

In the matter of Montessori Dei Bambini, JSP22-25, motion to approve the Special Land Use Permit based on the following findings:

- a. Relative to other feasible uses of the site:**
 - i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service because the proposed use will not conflict with the peak hours of the church and sufficient parking is provided;**
 - ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area because the proposed use does not result in a major increase in utility usage;**
 - iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats because the proposed use does not impact any regulated features;**
 - iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the**

surrounding neighborhood because the outside use of the recreational area has been in place for several years and is not proposed to be expanded;

- v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use because it promotes the establishment of a compatible use in the R-4 Zoning District adjacent to residential properties;
 - vi. The proposed use will promote the use of land in a socially and economically desirable manner because it promotes the establishment of a new business;
 - vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. A screening fence, which is a qualifying condition for the proposed use, shall be provided around the recreational area to comply with Section 4.12.1.B.i.c of the Zoning Ordinance in order to provide sufficient screening for nearby residents and provide security for the recreational area.

This motion is made because the plan is otherwise in compliance with Article 3.1.5, Article 4, Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Montessori Dei Bambini, JSP22-25, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. A screening fence, which is a qualifying condition for the proposed use shall be provided around the recreational area to comply with Section 4.12.1.B.i.c of the Zoning Ordinance in order to provide sufficient screening for nearby residents and provide security for the recreational area.
- b. The daycare center shall accommodate no more than 50 children;
- c. The hours of operation shall be limited to 7:00 a.m. to 6:00 p.m.;
- d. The applicant shall resolve all outstanding review comments listed in the Fire Review prior to occupancy of the space;
- e. The applicant shall comply with the requirements of Section 5.14.10.B. of the Zoning Ordinance as listed in the provided Noise Impact Statement;
- f. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

3. NOVI CONCRETE PLANT JSP22-08

Public hearing at the request of Crown Enterprises, LLC, for Preliminary Site Plan, Wetland Permit, Woodland Permit, and Storm Water Management Plan approval for a new 8,700 square foot concrete plant with two silos. The subject property is approximately 20 acres and is located at 46844 Twelve Mile Road in Section 9, north of Twelve Mile Road and west of West Park Drive. The southern portion of the site is zoned I-1, Light Industrial District and the northern portion is zoned I-2, General Industrial District.

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. Zoning Board of Appeals Variance from Section 3.1.19.D for a maximum building height of 90 feet (60 foot maximum in I-2 District) as recommended by staff because the building is a sufficient distance from the surrounding properties and

- impacts the overall function of the proposed project;
- b. Zoning Board of Appeals Variance from Section 5.4.3 for the placement of a loading area in the front yard as recommended by staff because the site has sufficient screening from Twelve Mile Road;
 - c. Landscape Waiver for a lack of building foundation landscaping contingent upon the applicant planting vines that can climb the 12-foot-tall screening wall because it will help soften the screening as intended in the ordinance, which is hereby granted;
 - d. The applicant shall comply with the ordinance requirement and provide perimeter trees in the planting strip between the parking lot and the operations area to meet the ordinance requirement;
 - e. Landscape Waiver for a lack of screening berms or walls provided on the east, west, and north sides of the site because a majority of the woods are proposed to be preserved and a 12-foot-tall screening wall is proposed, which is hereby granted;
 - f. Landscape Waiver for a lack of screening around the transformer because the transformer will be adequately screened by the building, which is hereby granted;
 - g. Same Side Driveway Spacing Waiver of 107.6 feet to the west (122.4 feet proposed, 230 feet required) because the site could not be accessed from Twelve Mile Road without a waiver, which is hereby granted;
 - h. Section 9 Façade Waiver for an overage of metal panels on all elevations because the proposed screening wall obscures the site and the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;
 - i. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Wetland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Woodland Permit based on and subject to the following:

- a. Any proposed woodland replacement trees shall be placed in a Woodland Conservation Easement as indicated in the Woodland Protection Ordinance;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in

those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

MATTERS FOR CONSIDERATION

1. NOBLE VILLAGE JSP22-26

Consideration of Noble Village at the request of Detroit Architectural Group for approval of the Preliminary Site Plan. The subject site contains 3.85 acres and is located at 42705 Grand River Avenue, east of Novi Road, and south of Grand River Avenue, which is in Section 23. The applicant is proposing a range of improvements to the current site of One World Market and the former Library Pub. These improvements include major changes to the façade of the building, landscape changes, and a total of 2,170 square feet in building additions to accommodate a few new uses of the site including an expanded Asian Grocery Store (One World Market), an Asian food hall anchored by Noble Fish Sushi and White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building.

In the matter of Noble Village, JSP22-26, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. Landscape waiver for lack of a decorative wall or fence along Grand River in front of the parking area because the area will be heavily landscaped with a mix of plantings aimed at enhancing an Asian theme, which is hereby granted;
- b. Landscape waiver for a deficiency in parking lot interior and perimeter trees contingent upon additions and changes in the landscape review chart being implemented because the applicant is proposing significant improvements to the existing site, which is hereby granted;
- c. Landscape waiver for a minor deficiency in greenbelt trees provided because the applicant is proposing significant improvements to the existing site, which is hereby granted;
- d. Landscape waiver for undersized trees used as parking lot interior trees because it will enhance the Asian appearance of the site, which is hereby granted;
- e. Landscape waiver for a painted end island because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;
- f. Landscape waiver for three parking bays with 15 or more contiguous spaces because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;
- g. Section 9 Façade Waiver for a minor overage of Fiber Cement Panel on the West and South Elevations because the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;
- h. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-1.*

2. APPROVAL OF THE SEPTEMBER 14, 2022 PLANNING COMMISSION MINUTES

Motion to approve the September 14, 2022 Planning Commission minutes. *Motion carried 7-0.*

ADJOURNMENT

Motion to adjourn the September 28, 2022 Planning Commission meeting. *Motion carried 7-0.*

The meeting adjourned at 8:33 PM.

*Actual language of the motion sheet subject to review.

9-28-22 PLANNING COMMISSION MEETING MINUTES



PLANNING COMMISSION MINUTES

CITY OF NOVI

Regular Meeting

September 28, 2022 7:00 PM

Council Chambers | Novi Civic Center

45175 W. Ten Mile (248) 347-0475

CALL TO ORDER

The meeting was called to order at 7:01 PM.

ROLL CALL

Present: Member Avdoulos, Member Becker, Member Dismondy, Member Lynch, Chair Pehrson, Member Roney, Member Verna

Staff: Barbara McBeth, City Planner; Beth Saarela, City Attorney; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Rick Meader, Landscape Architect; Humna Anjum, Plan Review Engineer; Douglas Repen, Environmental Consultant

PLEDGE OF ALLEGIANCE

Chair Pehrson led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Motion made by Member Lynch and seconded by Member Avdoulos.

VOICE VOTE TO APPROVE THE SEPTEMBER 28, 2022 PLANNING COMMISSION AGENDA MOVED BY MEMBER LYNCH AND SECONDED BY MEMBER AVDOULOS.

Motion to approve the September 28, 2022 Planning Commission Agenda. Motion carried 7-0.

AUDIENCE PARTICIPATION

Chair Pehrson invited members of the audience who wished to address the Planning Commission during the first audience participation to come forward. Seeing that nobody wished to participate, Chair Pehrson closed the first public participation.

CORRESPONDENCE

There was not any correspondence.

COMMITTEE REPORTS

There were not any Committee reports.

CITY PLANNER REPORT

City Planner McBeth informed the Commission that the next Master Plan Steering Committee meeting will be held next Wednesday, October 5th, in the activities room. The topics covered will

ROLL CALL VOTE TO APPROVE THE WETLAND PERMIT FOR JSP22-08 NOVI CONCRETE PLANT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER RONEY.

Motion to approve the Wetland Permit for JSP22-08 Novi Concrete Plant. Motion carried 7-0.

Motion made by Member Avdoulos and seconded by Member Roney.

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Woodland Permit based on and subject to the following:

- a. Any proposed woodland replacement trees shall be placed in a Woodland Conservation Easement as indicated in the Woodland Protection Ordinance;**
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.**

ROLL CALL VOTE TO APPROVE THE WOODLAND PERMIT FOR JSP22-08 NOVI CONCRETE PLANT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER RONEY.

Motion to approve the Woodland Permit for JSP22-08 Novi Concrete Plant. Motion carried 7-0.

Motion made by Member Avdoulos and seconded by Member Roney.

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

ROLL CALL VOTE TO APPROVE THE STORMWATER MANAGEMENT PLAN FOR JSP22-08 NOVI CONCRETE PLANT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER RONEY.

Motion to approve the Stormwater Management Plan for JSP22-08 Novi Concrete Plant. Motion carried 7-0.

MATTERS FOR CONSIDERATION

1. NOBLE VILLAGE JSP22-26

Consideration of Noble Village at the request of Detroit Architectural Group for approval of the Preliminary Site Plan. The subject site contains 3.85 acres and is located at 42705 Grand River Avenue, east of Novi Road, and south of Grand River Avenue, which is in Section 23. The applicant is proposing a range of improvements to the current site of One World Market and the former Library Pub. These improvements include major changes to the façade of the building, landscape changes, and a total of 2,170 square feet in building additions to accommodate a few new uses of the site including an expanded Asian Grocery Store (One World Market), an Asian food hall anchored by Noble Fish Sushi and White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building.

Planner Carroll said this 3.85-acre site is located at 42705 Grand River Avenue. It is south of Grand River Avenue and east of Novi Road in Section 23 of the City. The site is near Main Street and the future Sakura Novi development. It is zoned TC-1, Town Center-1, and the surrounding area is also zoned TC-1 with some B-3 and RM-1 to the east. The Future Land Use map indicates TC Commercial for the site and surrounding areas. The subject property does not contain regulated

wetlands or woodlands. As indicated on the site plan, the applicant is proposing several improvements to the current site of One World Market and the former Library Pub. These improvements include major changes to the façade and appearance of the building, landscape changes to provide more of an Asian theme, and a total of 2,170 square feet in building additions to accommodate a few new uses of the site. These uses include an expanded One World Market (which is an Asian grocery store), an Asian food hall anchored by Noble fish Sushi & White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building. The applicant has indicated that over \$10 million will be invested in the project, and it will create over 100 new jobs. Based on the applicant's response letter, there will be an increase from 38 to 160 employees.

Mr. Carroll went on to say the preliminary site plan mostly complies with the requirements of the Zoning Ordinance, with some exceptions noted in the review letters. Some exceptions include:

- A landscape waiver for a lack of a decorative wall or fence along Grand River in front of the parking area, which is required in the Town Center-1 district. It is supported by staff as it is an existing condition;
- A landscape waiver for a deficiency in parking lot interior and perimeter trees, which is supported by staff if suggestions for additions and change on the landscape chart are implemented;
- A landscape waiver for a painted end island, which is supported by staff if three end islands are provided in the parking bays with 15 or more contiguous spaces;
- A landscape waiver for three parking bays with 15 or more contiguous spaces, which is not supported by staff;
- A landscape waiver for a minor deficiency in greenbelt trees provided, which is supported by staff;
- A landscape waiver for undersized trees used as parking lot interior trees, which is supported by staff as it supports the Asian theme.
- A Section 9 Façade Waiver for the minor overage of fiber cement panels on the west and south elevations. It is supported by the City's façade consultant because it meets the intent of the ordinance.

All other items identified in the review letters are to be addressed with the next submittal if this plan were to be approved by the Planning Commission tonight.

Mr. Carroll concluded by saying the Planning Commission is asked tonight to consider the matter and approve or deny the Preliminary Site Plan. Representing the project tonight is Brandon Kritzman from Detroit Architectural Group. Staff is available to answer any questions.

Chair Pehrson invited the applicant to address the Planning Commission.

Brandon Kritzman, with Detroit Architectural Group, said I also have Kevin Heffernan here with me tonight representing Stonefield Engineering, and we are here to answer any questions that may come up. We understand that this is not the typical sort of renovation of an existing facility. It has been a great challenge to us, but at the same time it has been a welcomed opportunity to inject some new life into an existing structure in the City.

Chair Pehrson turned it over to the Planning Commission for their consideration.

Member Lynch said the only issue I see here are the two landscape waivers for parking lot trees. I don't understand the issue with this requirement considering the high budget for this project.

Brandon Kritzman, applicant, said I believe those items are speaking to landscaping on a parking lot end island in the back corner of the site. The island is wedge-shaped on the south end of the building going west to east. Our proposal includes a painted parking lot island rather than a

raised landscaped island simply to help facilitate the truck dock function that exists in the back half of the building. We are trying to activate the south end of the building which never got that much attention. That brought a lot of truck traffic back to that existing loading dock. Our concern is that adding a raised curb back there, we will make operations more difficult for truck drivers. From a cost standpoint, we have no problem whatsoever adding a concrete island and adding trees. To your point, it is inconsequential in the overall scheme of the project. Our greater concern, understanding the City has a traffic engineer that reviews these things, was to help facilitate the truck traffic and access to the dumpster enclosure.

Member Lynch asked Landscape Architect Meader whether he agreed with the applicant's explanation.

Landscape Architect Meader said one of the plan sheets has the truck movement plan. To me, it looked like there would be room for a small island to act as an endcap. I think it would be beneficial for the cars parked there to be protected and use the island to make the truck go around it.

Mr. Kritzman said it is our assumption, based on the anticipated uses and truck arrivals, they won't coincide with each other. We don't have any fears from an operational standpoint that there will be an interference of these two elements. However, to facilitate truck movement, we were trying to proactively alleviate some of the traffic stresses.

Member Becker said every time we look at applications that ask for a variance, waiver, or modification, we must be careful about how it sets precedent for future applications. Tonight, it seems to be the night for 5- or 6-page applicant responses and a list of requests. I came across six areas in the DAG response where it looks as if they don't intend to meet our requirements. Rather than go through each one, would staff care to identify those they'd like to stand firm on, and which are more feasible for the Commission to grant?

Planner Carroll said I would note that there are three parking bays that do not have end islands as an existing condition of the lot. If they were to provide those end islands, we might be comfortable with a painted end island in the other location. That is how the motion was structured, but it is ultimately up to the Planning Commission to make the decision.

Member Becker said it looks like the number of parking spaces the applicant plans to provide is 19 spaces below the requirement. The City requirement is 246 parking spaces, and the applicant is stating only 227 will be provided because they calculate square footage differently than the City does. In a landlocked facility, where would we be asking the applicant to provide 19 more spaces?

Mr. Carroll said in the applicant's response letter, staff was looking for clarification on how much outdoor seating was being proposed in comparison to what is existing since it was unclear in the previous submittal. The addition of parking spaces was based on an estimation, but after receiving the response letter it was clear they would meet the intent of the parking ordinance.

Member Becker said I believe that this building was built before the Main Street Village residential areas. This proposal includes additional outdoor seating areas on the south side of the building, at ground level and on the second floor. Toward the southeast part of this area are two story residences, some of which back up close to the property line. There is virtually no existing screening between these residences and the subject property parking lot. This may have not been an original concern, but now the applicant is planning to change the nature of this area by adding a significant amount of outdoor dining. The outdoor dining space would be accessible up to 9 months of the year and 7 days of the week which include evening hours. Is there any part of the outdoor restaurant governing ordinances that restricts or prohibits the

playing of music in an outdoor restaurant seating area?

Planner Carroll said I am not aware of any. The City does have noise standards in the Zoning Ordinance. They are not explicitly called out in the outdoor seating area, but the applicant would have to comply with the overarching noise requirements of the Ordinance.

Member Becker said the applicant's response letter also notes there is very little room to add trees or bushes on the strip of land between the residences and the subject parking area. Such screening would reduce noise and light pollution for the nearest residences. As the applicant acknowledges, this narrow, often steeply-sloped strip of land is owned by the residential owners – not by Noble Village. If this were a completely new building development, I think we would probably be requiring some type of screening between a commercial parking lot and an abutting residential development. We don't seem to be doing that at this time, and I would rather the Commission require the applicant to use some of the parking spaces for screening. Of course, that again begs the question as to whether there are enough parking spaces to meet the other requirements. If the residences to the south were built after the existing commercial building, then the families who live in them knew what they were getting. However, the addition of outdoor dining and potential for more evening parking will bring more light and noise late into the evening. These are not reasonable things these families should have expected prior to moving into their homes. These homeowners were here first. I believe the applicant should be asked to be a good neighbor and develop the plan to truly mitigate the noise and light effects for the residents to the south.

Member Verma said I think Novi has needed a development like this for a while. I think it will be a great addition to the City, so I am in support of it.

Member Roney agreed with Member Verma and noted that it would be exciting to see the project come together.

Member Avdoulos said I, too, appreciate the effort put into this project that will invigorate the area. Hopefully that will spread outward to the rest of the Main Street development and reach across the street to the new Sakura development as well. Regarding the parking lot landscape waivers, there are about 32 spaces in the rear of the lot that are contiguous. Is the staff's request to break those up?

Landscape Architect Meader said yes.

Member Avdoulos asked if those were broken up, they would lose a space or two, correct?

Mr. Meader said they could potentially lose three spaces.

Member Avdoulos said I see it both ways. Much of what the applicant is developing is already existing, but they are renovating it. My inclination is to leave the parking as it is. I understand where Member Becker was coming from, but I also feel that people moved into those homes with the idea that future development could come in to build on the more urban setting. Otherwise, I am in favor of the project.

Chair Pehrson said the only thing I'll add is that I am in favor of the striped end island at the rear of the lot. While I usually like to include trees where possible, I can't help but think of the Starbucks site at Grand River and Beck where we required a similar end island, and it has created a traffic nightmare. I don't want to see a parking island in this location on the subject property when a truck is trying to pull in because it will get run over. I would also encourage the developer to spend a little more time thinking about noise abatement and lighting considering the amount of work being put into this project.

Motion made by Member Avdoulos and seconded by Member Dismondy.

In the matter of Noble Village, JSP22-26, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. Landscape waiver for lack of a decorative wall or fence along Grand River in front of the parking area because the area will be heavily landscaped with a mix of plantings aimed at enhancing an Asian theme, which is hereby granted;
- b. Landscape waiver for a deficiency in parking lot interior and perimeter trees contingent upon additions and changes in the landscape review chart being implemented because the applicant is proposing significant improvements to the existing site, which is hereby granted;
- c. Landscape waiver for a minor deficiency in greenbelt trees provided because the applicant is proposing significant improvements to the existing site, which is hereby granted;
- d. Landscape waiver for undersized trees used as parking lot interior trees because it will enhance the Asian appearance of the site, which is hereby granted;
- e. Landscape waiver for a painted end island because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;
- f. Landscape waiver for three parking bays with 15 or more contiguous spaces because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;
- g. Section 9 Façade Waiver for a minor overage of Fiber Cement Panel on the West and South Elevations because the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;
- h. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.

ROLL CALL VOTE TO APPROVE THE PRELIMINARY SITE PLAN FOR JSP22-26 NOBLE VILLAGE MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER DISMONDY.

Motion to approve the Preliminary Site Plan for JSP22-26 Noble Village. *Motion carried 6-1.*

Brandon Kritzman, applicant, said as a final note, we have engaged in conversations with staff about the potential of including a pathway and additional screening to the residential. We will continue to pursue this and hope to include it on our final submittal.

2. APPROVAL OF THE SEPTEMBER 14, 2022 PLANNING COMMISSION MINUTES

Motion made by Member Lynch and seconded by Member Dismondy.

ROLL CALL VOTE TO APPROVE THE SEPTEMBER 14, 2022 PLANNING COMMISSION MINUTES MADE BY MEMBER LYNCH AND SECONDED BY MEMBER DISMONDY.

Motion to approve the September 14, 2022 Planning Commission minutes. *Motion carried 7-0.*

CONSENT AGENDA REMOVALS FOR COMMISSION ACTION

There were not any consent agenda items.

SUPPLEMENTAL ISSUES/TRAINING UPDATES

There were not any supplemental issues or training updates.

AUDIENCE PARTICIPATION

Chair Pehrson invited members of the audience who wished to address the Planning Commission during the final audience participation to come forward. Seeing that nobody wished to participate, Chair Pehrson closed the final public participation.

ADJOURNMENT

Motion to adjourn made by Member Lynch.

VOICE VOTE ON THE MOTION TO ADJOURN MADE BY MEMBER LYNCH.

Motion to adjourn the September 28, 2022 Planning Commission Meeting. Motion carried 7-0.

The meeting adjourned at 8:33 PM.