



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: May 12, 2015

REGARDING: HOMEWOOD SUITES (CASE NO. PZ15-0001)

BY: Thomas M. Walsh, Building Official

I. GENERAL INFORMATION:

Applicant

Jimmy Asmar on the behalf of Homewood Suites

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:

OSC, Office Service Commercial District

Site Location:

Vacant Parcel, on the north side of 11 Mile Road and east of Town Center Road (Section 11)

Parcel #:

50-22-14-376-018

Request

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Sections 3.1.23D to allow construction of a five story extended stay hotel: 1) a variance of 10.0 feet in the required north yard setback (20.0 feet required, 10.0 feet proposed); 2) a variance of 14.0 feet in the required rear (east) yard setback (20.0 feet required, 6.0 feet proposed); 3) a variance from Section 5.4.1, a variance from the required loading/unloading zone; and 4) a variance from Section 4.19.2 F to allow dumpster located within the parking setback.



II. ZONING AND LAND USE:

The table below lists the zoning district, existing land use and future land use for the subject site and surrounding parcels.

Parcel	Zoning District	Existing Land Use	Future Land Use
Subject Property	OSC, Office Service Commercial District	Vacant	Office Commercial
North	OSC, Office Service Commercial District	Autodesk (Town Center)	Office Commercial
South	OSC, Office Service Commercial District	Vacant	Office Commercial
East	OSC, Office Service Commercial District	Courtyard By Marriott	Office Commercial
West	TC, Town Center	Walmart	TC Commercial

III. STAFF COMMENTS:

Existing Condition

The subject property consists of one- (1) lot (vacant) located on the east side of Town Center Drive and north of 11 Mile Road. The parcel has approximately 227.65 feet of frontage on Town Center Drive and approximately 356.6 feet deep as measured along north side yard lot line.

Proposed Changes

The applicant is proposing to construct a five story extended stay hotel with 88 rooms along with associated parking, loading and landscape. The new building would result in a setback of 69 feet from the front (west side) yard lot line, 35.1 feet from the rear (east side) yard lot line, 51 feet from the north side yard lot line, and 35 feet from the south side yard lot line.

The proposed parking would result in a setback of 10 feet from the north side yard lot line, 6 feet from the rear (east side) yard lot line, 22 feet from the south side yard lot line, and 35 feet from the front (west side) yard lot line. ***This requires a variance of 10 feet in the required north side yard setback and a variance of 14 feet in the required rear yard setback.***

IV. USE STANDARDS:

1. Dumpster (Section 4.19.2.F): The dumpster cannot be located within the parking setbacks. As proposed a corner of the dumpster encroaches into the parking setback. ***A variance is required for the encroachment into the parking setbacks.***

V. SITE STANDARDS:

1. Loading Spaces (Section 5.4.1) Within the OS districts, loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) square feet per front foot of building up to a total area of three hundred sixty (360) square feet per building. ***A variance is required for absence of loading space.***

VI. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. Grant I move that we **grant** the variance(s) in Case No. PZ15-0001, sought by _____, for _____ because the Petitioner has established that _____ causes a practical difficulty relating to the property, including some or all of the following criteria:

(a) Petitioner has established that the property is unique because _____, or that the physical condition of the property creates the need for a variance because _____.

And, the condition is not a personal or economic hardship.

(b) The need for the variance is not self-created, **because** _____.

(c) Strict compliance with dimensional regulations of the Zoning Ordinance, including _____, will (either):

1. unreasonably prevent Petitioner from using the property for the permitted purpose as a _____, because _____, and/or,
2. will make it unnecessarily burdensome to comply with the regulation because _____.

(d) Petitioner has established that variance is the minimum variance necessary because a lesser variance would not _____.

(e) The requested variance will not cause adverse impact on surrounding property, property values, or the enjoyment of property in the neighborhood or zoning district, because _____.

(f) The variance granted is subject to the conditions that:

1. _____,
2. _____,
3. _____,
4. _____.

2. Deny I move that we **deny** the variance in Case No. PZ15-0001, sought by _____, for _____ because the Petitioner has **not** established a practical difficulty because:

(a) Petitioner has shown no unique circumstance or physical condition of the property because petitioner can reasonably comply with the ordinance by _____.

(b) The difficulty described by the Petitioner is a personal or economic difficulty only in that Petitioner stated _____.

(c) The need for the variance is self-created because Petitioner _____.

(d) Conforming to the ordinance would not (either):

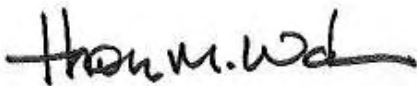
1. be unnecessarily burdensome because _____, or,

2. unreasonably prevent petitioner from using the property for _____, because _____.

(e) A lesser variance consisting of _____ would do substantial justice to Petitioner and surrounding property owner's because _____.

(f) The proposed variance would have adverse impact on surrounding property because _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417



Thomas M. Walsh
Building Official
City of Novi



45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
 www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: _____

Meeting Date: _____

ZBA Case #: PZ 15-0001

I. PROPERTY INFORMATION (Address of subject ZBA Case)	
PROJECT NAME / SUBDIVISION Homewood Suites	
ADDRESS N/A (Vacant Parcel)	LOT/SIUTE/SPACE #
SIDWELL # 50-22-14 - 376 - 018	May be obtain from Assessing Department (248) 347-0485

CROSS ROADS OF PROPERTY East of Town Center Road and north of 11 Mile Road	
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO	

II. APPLICANT INFORMATION

A. APPLICANT		EMAIL ADDRESS	CELL PHONE NO.
NAME Jimmy Asmar		jimmy@asmarcapital.com	248-892-4050
ORGANIZATION/COMPANY Stellar Hospitality Novi, LLC			TELEPHONE NO. 248-419-5555
ADDRESS 32825 Northwestern Highway		CITY Farmington Hills	STATE MI
			ZIP CODE 48334

B. PROPERTY OWNER CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property:	EMAIL ADDRESS avi@singhmail.com	CELL PHONE NO.
NAME Avi Grewal		TELEPHONE NO. 248-865-1600
ORGANIZATION/COMPANY Singh IV LP		FAX NO.
ADDRESS 7125 Orchard Lake Road, Suite 200	CITY West Bloomfield	STATE MI
		ZIP CODE 48322

III. ZONING INFORMATION

A. ZONING DISTRICT
 R-A R-1 R-2 R-3 R-4 RM-1 RM-2 MH
 I-1 I-2 RC TC TC-1 OTHER OSC: Office Service Commercial

B. VARIANCE REQUESTED
 INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section <u>3.1.23.D</u>	Variance requested	<u>Side (north) and Rear (east) parking setback</u>
2. Section <u>5.4.1</u>	Variance requested	<u>No loading/unloading space</u>
3. Section <u>4.19.2.F.iv</u>	Variance requested	<u>Portion of dumpster in parking setback</u>
4. Section _____	Variance requested	_____

IV. FEES AND DRAWINGS

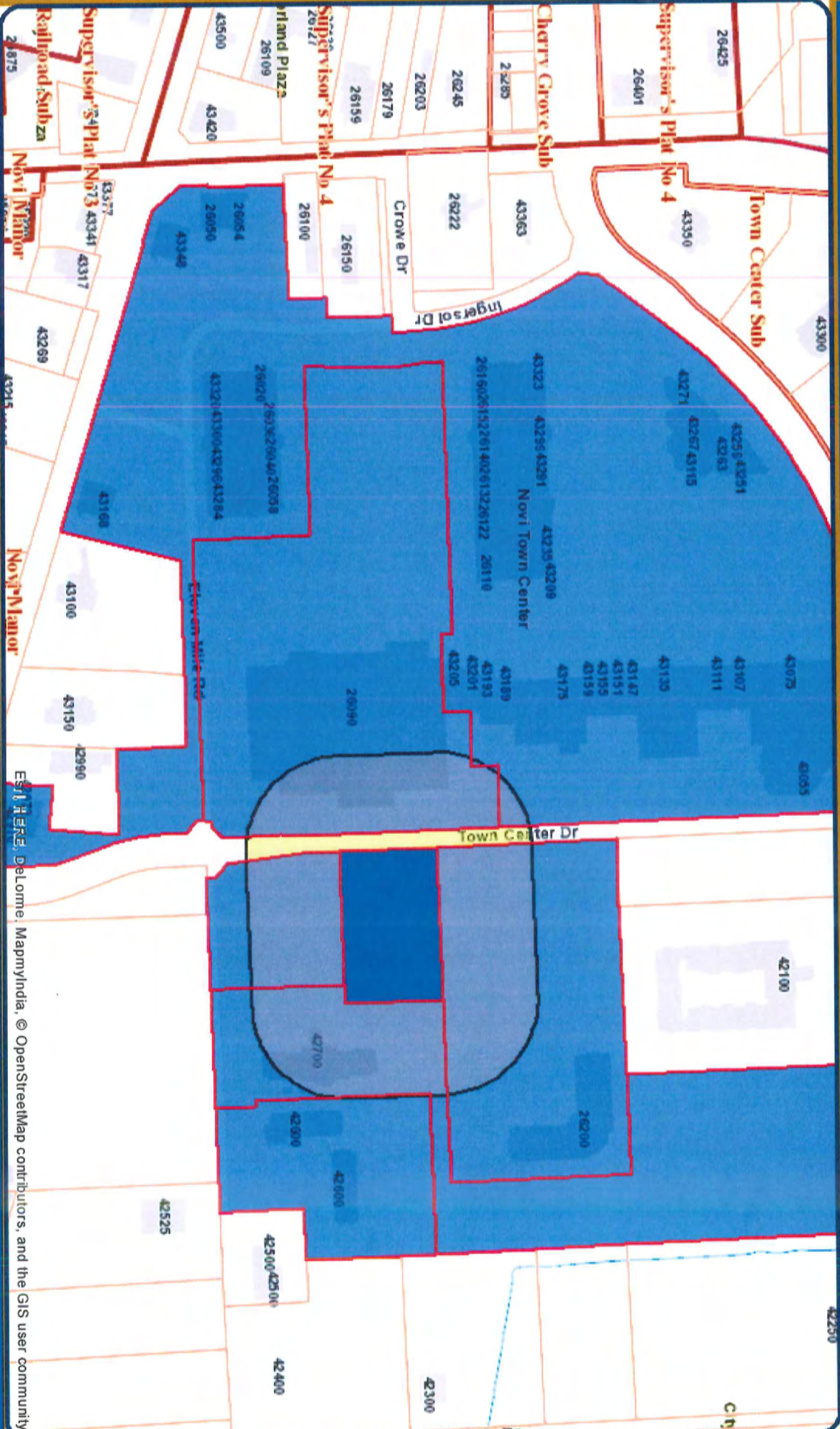
A. FEES
 Single Family Residential (Existing) \$200 (With Violation) \$250 Single Family Residential (New) \$250
 Multiple/Commercial/Industrial \$300 (With Violation) \$400 Signs \$300 (With Violation) \$400
 House Moves \$300 Special Meetings (At discretion of Board) \$600

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

Parcel 50-22-14-376-018

PZ15-0001



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary, measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City Manager to confirm source and accuracy information related to this map. This map was produced under the terms of the City's Internet Site Use Policy available at <http://cityofnovi.org/Resources/StandardSiteUsePolicy.asp>



Author:
Date: 4/17/2015

Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal





PLAN REVIEW CENTER REPORT

April 14, 2015

Planning Review

Homewood Suites

JSP14-31

Petitioner

Stellar Hospitality, LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: Section 14 ; North of 11 Mile Road and East of Town Center Rd
- Site School District: Novi Schools
- Site Zoning: OSC, Office Service Commercial
- Adjoining Zoning: West: Town Center; Rest: OSC, Office Service Commercial
- Site Use(s): Vacant
- Adjoining Uses: North: Office; East: Hotel; South: Vacant; West: Commercial
- Site Size: 1.87 acres
- Building Size: Building footprint 15,777 SF; Total 5 floors: 69,543 square feet
- Plan Date: 04/03/2015

Project Summary

The applicant is proposing a five story extended stay hotel with 88 rooms along with associated parking, loading and landscape on 1.87 acres of the total site.

Recommendation

Approval of the *Preliminary Site Plan is recommended*. The plan conforms to the requirements of the Zoning Ordinance. Planning Commission approval of the Preliminary Site Plan subject to Zoning Board of Appeals approval of Variances is required.

Town Center Area Study Recommendations:

The overall intent of the Town Center area is to serve as a mixed-use, pedestrian-oriented focal point for the City of Novi. An extended stay hotel is a preferred land use for this property in Town Center Area Study recommendations. The study recommends developing Pedestrian Amenities such as benches and internal landscape such as welcoming color/flowers along Town Center Drive. Please refer to the Town Center Area study for further design recommendations. The study also recommends shared parking lots within the area to improve efficiency and enhance the pedestrian experience.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the final site plan submittal. Items in **bold and underline** require **Planning Commission waivers or variances from Zoning Board of Appeals**

1. Zoning Board of Appeals Variances: Please note that following variances are required from Zoning Board of Appeals. **It is our understanding that the applicant has already submitted the ZBA application for the following variances.**
 - a. Parking Setback (Sec 3.1.23.D): The Parking setbacks do not meet the minimum setback requirements for OSC district. **A variance is required to be approved by Zoning Board of Appeals for the reduction of the minimum parking setbacks.**
 - b. Loading Spaces (Sec. 5.4.1) *Within the OS districts, loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.* **A variance is required to be approved by Zoning Board of Appeals for absence of loading space.**
 - c. Dumpster (Sec. 4.19.2.F): The dumpster cannot be located within the parking setbacks. A corner of the dumpster encroaches into the paring setback. **A variance is required to be approved by Zoning Board of Appeals required for the encroachment into the parking setbacks.**
2. Bicycle parking (Sec 5.16): Provide details for the plan view of Bicycle parking according to Section 5.16.6
3. Lighting (Sec 5.7): The applicant is asked to provide the following on the Final Site Plan:
 - a. The applicant has indicated that the hotel will open 24 hours a day. Provide information, if any, of measures being taken to reduce the maximum usage of exterior site lighting during off-peak hours.
 - b. Provide the ratio of average light level of the surface being lit to the lowest light of the surface being lit. It shall not exceed 4:1. **The applicant indicated in the response letter that the ration does not exceed the maximum allowed. Provide the same on the site plan.**
 - c. ***Sec. 5.7.3.K: Where a site abuts a nonresidential district, maximum illumination at the property line shall not exceed one (1) footcandle. The city may modify these levels if such modifications are deemed necessary and appropriate for the use and surrounding area.*** **The illumination exceeds the maximum allowed at multiple locations along north and east property line. A Planning Commission waiver is required for this deviation. Staff understands the layout of the subject property and the surrounding properties that lead to the deviation and would support a request for waiver. The applicant is asked to review if there is a means to reduce the illumination at some locations at the least.**
4. Other: Please refer to the chart for other minor comments. **Address other comments from the review chart.**
5. Other Reviews:
 - a. Landscape Review: Landscape review has identified waivers that may be required if the requirements are not met. Refer to review letter for more comments. Landscape recommends approval.
 - b. Traffic Review: Additional Comments to be addressed with Final Site Plan submittal. Traffic recommends approval

- c. Engineering Review: Additional Comments to be addressed with Final Site Plan submittal. Engineering recommends approval
- d. Facade Review: A “No Revision Façade Affidavit” was submitted as part of the revised site plan submittal no changes are made to the plan since the initial submittal. Façade review dated February 6, 2015 still applies.
- e. Fire Review: Additional Comments to be addressed with Final Site Plan submittal. Fire recommends approval

Response Letter

This Site Plan is scheduled to go before Planning Commission on April 22, 2015. Please provide the following **no later than April 16, 2015** if you wish to keep the schedule.

1. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.
2. A PDF version of the all Site Plan drawings that were submitted for the revised Preliminary review. **NO CHANGES MADE.**
3. A color rendering of the Site Plan, if any.
4. A sample board of building materials as requested by our Façade Consultant

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department. Please contact Jeannie Niland (248.347.0438 or jniland@cityofnovi.org) in with any specific questions regarding addressing of sites.

Signage

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner

PLANNING REVIEW SUMMARY CHART

Review Date: 10 April 2015
Project Name: JSP14 – 0031: Homewood Suites
Plan Date: 03 April 2015
Prepared by: Sri Komaragiri, Planner **E-mail:** skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted August 25, 2010)</i>	Office Commercial	Office	Yes	The Preliminary Site Plan will require a Planning Commission approval
Town Center Area Study <i>(approved March 26, 2014)</i>	Hotel/Office Area	Extended Stay Hotel	Yes	
Zoning <i>(Effective December 25, 2013)</i>	OSC: Office Service Commercial Article 12	OSC	Yes	
Uses Permitted (Sec 3.1.22.B & C)	Sec 3.1.23.B & C - Principal Uses Permitted.	5 story 88-room hotel	Yes	
Height, bulk, density and area limitations (Sec 3.1.23)				
Frontage on a Public Street. <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Town Center Drive	Yes	
Minimum Zoning Lot Size for each Unit in Ac <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
Minimum Zoning Lot Size for each Unit: Width in Feet			NA	
Open Space Area	----	---	---	---
Maximum % of Lot Area Covered (By All Buildings)	<i>(Sec 3.6.2.D)</i>	19.4% (15,777 SF)	Yes	
Building Height <i>(Sec. 3.1.23.D)</i>	65 feet or 5 stories whichever is less	63' -10" and 5 stories	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Building Setbacks (Sec 3.1.23.D)				
Front @ Town Center Drive	35 ft.	Approx. 66 ft	Yes	
Side North	35 ft.	Approx. 60ft.	Yes	
Side South	35 ft.	Approx. 80ft.	Yes	
Rear East	35 ft.	Approx. 35ft.	Yes	
Parking Setback (Sec 3.1.23.D) Refer to applicable notes in Sec 3.6.2				
Front @ Town Center Drive	35 ft. (See 3.6.2.E)	20 ft.	No	A variance from the Zoning Board of Appeals is required to reduce the minimum required setbacks. Refer to the letter for further details.
Side North	20 ft.	Approx. 10 ft.	No	
Side South	20 ft.	Approx. 22 ft.	Yes	
Rear East	20 ft.	Approx. 6 ft.	No	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	Refer to Sec 3.6.2 for more details	Not abutting a street	NA	
F. Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Refer to Sec 3.6.2 for more details	Not adjacent to residential districts	NA	
Setback from Residential District (Sec 3.6.2.H)	Refer to Sec 3.6.2 for more details	Not abutting a residential district	NA	
Wetland/Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details		NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.		No	Refer to landscape comments in berm requirement
Modification of parking setback requirements (Sec 3.6.2.Q)	Planning Commission may modify Parking setback requirements based on its determination according to Sec. 3.6.2.Q	The total area of setbacks is below the minimum setback requirements	NA	

Item	Required Code	Proposed	Meets Code	Comments
Off-Street Parking in Front Yard (Sec 3.6.2.E)				
Min. Site Area	2 Acres		NA	
Required Parking Setback	Parking does not extend into min front yard setback unless - Site in OSC - Fronting on a private road - At least 100 ft. away from public road - Parking Screening Then then the minimum parking area front yard requirement may be reduced to 25 feet	-	NA	
Maximum area covered by parking	Parking Area does not occupy more than 50 percent of area between the minimum front yard setback line and the building facade setback line		NA	
Parking Area Screening <i>Sec 5..3.B.ii</i>	- It is screened from all public rights-of-way by an ornamental brick-on-brick wall, or landscaped berm that is two and one-half (2½) feet in height (as measure from the parking lot surface)		NA	
Planning Commission finding	- The parking area and lighting is compatible with surrounding development.		NA	

Parking, Loading and Dumpster Requirements

Number of Parking Spaces Professional Office <i>(Sec.5.2.12.C)</i>	- One (1) for each one (1) occupancy unit - For a total of 88 units = 88 spaces - plus one (1) for each one (1) employee, 2 spaces - plus parking for accessory uses. Total = 90 Spaces	- Proposed = 88 spaces - No. of Employees in Largest shift = 2 - No accessory structures proposed Proposed = 90 spaces	Yes	Applicants note: Maintenance staff will be on-call from other locations and will not be stationed at this hotel. The housekeeping staff will be shuttled from location to location. Therefore, the need for dedicated parking for staff members is limited to 2.
---	---	---	-----	--

Item	Required Code	Proposed	Meets Code	Comments
Parking Space Dimensions and Maneuvering Lanes <i>(Sec. 5.3.2)</i>	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	9' x 19' regular spaces 8' x 19' handicap spaces	No	A Planning Commission waiver is required to propose more than 15 spaces in a bay. Applicant has indicated his intent to apply.
Parking stall located adjacent to a parking lot entrance (public or private) <i>(Sec. 5.3.13)</i>	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA		
End Islands <i>(Sec. 5.3.12)</i>	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	End Islands are proposed Varied radii from 5' to 15'	Yes	
Barrier Free Spaces <i>Barrier Free Code</i>	3 barrier free parking spaces (for total 76 to 100)& 1 van barrier free parking space	2 regular barrier free spaces 2 van barrier free spaces	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces	Two types of accessible spaces are provided	Yes	
Barrier Free Signs <i>Barrier Free Design Graphics Manual</i>	One sign for each accessible parking space.	Individual signs are proposed	Yes	
Minimum number of Bicycle Parking <i>Sec. 5.16.1</i>	For hotels, a minimum of 4 bicycle parking spaces are required	4 bicycle parking spaces are proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking General requirements <i>Sec. 5.16</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	<ul style="list-style-type: none"> -Yes -Yes -5' sidewalk 	Yes	
Bicycle Parking Lot layout <i>Sec 5.16.6</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	The stall as shown on plan measures approximately 8' x 10'	Yes	Refer to section 5.16.6 for further details and provide bike racks accordingly
Loading Spaces <i>Sec. 5.4.1</i>	Within the OS districts, loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.	No Loading area is proposed	No	A variance from the Zoning Board of Appeals is required for absence loading space. Applicant has indicated his intent to apply.

Item	Required Code	Proposed	Meets Code	Comments
Dumpster <i>Sec. 4.19.2.F</i>	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Yes No Greater than 10ft Located within the parking setback Yes. Located away from barrier free spaces	Yes No	A variance from the Zoning Board of Appeals is required to allow the proposed dumpster to remain in the parking setbacks. Applicant has indicated his intent to apply.
Dumpster Enclosure <i>Sec. 21-145. (c)</i>	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	<ul style="list-style-type: none"> - An enclosure is shown on the plans - 6' wall. - A concrete surface is indicated - Split faced scored CMU and white vinyl fence gate 	Yes	
Lighting and Other Equipment Requirements				
Exterior lighting <i>Sec. 5.7</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting plan is provided	No	
Roof top equipment and wall mounted utility equipment <i>Sec. 4.19.2.E.ii</i>	<ul style="list-style-type: none"> - All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building 	No Roof top equipment proposed	NA	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	No Roof top equipment is proposed	NA	

Item	Required Code	Proposed	Meets Code	Comments
Sidewalks Requirements				
<p>Sidewalks Article XII <i>Sec. 11-276(b)& Sec. 11-279</i></p> <p>Town Center Area Study</p>	<p>- A 6' -10' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts</p> <p>- All pedestrian safety paths shall be concrete and four (4) inches thick except residential driveway crossings which shall be six (6) inches thick, and industrial/commercial driveway crossings which shall be eight (8) inches thick.</p>	<p>A 6' sidewalk is existing along Town Center Drive</p>	<p>Yes</p>	
<p>Pedestrian Connectivity</p>	<p>The Planning Commission shall consider the following factors in exercising its discretion over site plan approval Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets</p>	<p>Sidewalks are proposed throughout the site for convenient and safe pedestrian access</p>	<p>Yes</p>	
Building Code and other design standard Requirements				
<p>Building Code</p>	<p>Building exits must be connected to sidewalk system or parking lot.</p>	<p>All exits are connected to internal sidewalk</p>	<p>Yes</p>	
<p>Design and Construction Standards Manual</p>	<p>Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).</p>	<p>Provided</p>	<p>Yes</p>	

Item	Required Code	Proposed	Meets Code	Comments
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).		Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	Anticipated cost of building: \$4,500,000 Anticipated cost of site improvements: \$850,000 Total number of employees:8 Total number of temporary jobs created during construction: 75	Yes	
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

A lighting plan is required for final site plan approval.

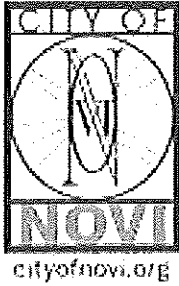
LIGHTING REVIEW SUMMARY CHART

Review Date: 28 January 2015
Project Name: JSP14 – 0031: Homewood Suites
Plan Date: 16 January 2015
Prepared by: Sri Komaragiri, Planner **E-mail:** skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code?	Comments
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Yes	Yes	
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Yes	Yes	
Lighting Plan (Sec. 5.7.A.2)	Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type & color rendition of lamps ▪ Hours of operation Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	<ul style="list-style-type: none"> ▪ Yes ▪ Yes ▪ Yes ▪ Yes ▪ Yes ▪ 24 Hrs 	Yes	
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	20 ft.	Yes	
Required Conditions (Sec. 5.7.3.B)	<ul style="list-style-type: none"> ▪ Electrical service to light fixtures shall be placed underground ▪ Flashing light shall not be permitted ▪ Only necessary lighting for 	Yes	Yes	

Item	Required Code	Proposed	Meets Code?	Comments
	security purposes & limited operations shall be permitted after a site's hours of operation			
Required Conditions <i>(Sec. 5.7.3.E)</i>	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Applicant indicated in the response letter that the ratio is kept below 4:1	Yes	Provide the maximum ratio on the sheet under Site Information
Required Conditions <i>(Sec. 5.7.3.F)</i>	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Yes	Yes	
Min. Illumination <i>(Sec. 5.7.3.k)</i>	<ul style="list-style-type: none"> ▪ Parking areas: 0.2 min ▪ Loading & unloading areas: 0.4 min ▪ Walkways: 0.2 min ▪ Building entrances, frequent use: 1.0 min ▪ Building entrances, infrequent use: 0.2 min 	<ul style="list-style-type: none"> ▪ 0.2 min ▪ 0.4 min ▪ 0.2 min ▪ 1.0 min ▪ 0.2 min 	Yes	
Max. Illumination adjacent to Non-Residential <i>(Sec. 5.7.3.K)</i>	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Exceeds 1 foot candle	No	A Planning Commission waiver is required for exceeding the maximum allowed illumination at property line.
Cut off Angles <i>(Sec. 5.7.3.L)</i>	<ul style="list-style-type: none"> ▪ All cut off angles of fixtures must be 90° when adjacent to residential districts ▪ maximum illumination at the property line shall not exceed 0.5 foot candle 		Yes	



PLAN REVIEW CENTER REPORT

04/13/2015

Engineering Review

Homewood Suites

JSP14-0031

Applicant

STELLAR HOSPITALITY NOVI, LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: N. of 11 Mille Rd. and E. of Town Center Dr.
- Site Size: 1.87 acres
- Plan Date: 04/03/15

Project Summary

- Construction of an approximately 69,543 square-foot 5 story building and associated parking. Site access would be provided from a private drive connecting to Town Center Dr.
- Water service would be provided by a 12-inch extension from the existing 12-inch water mains running north south at the east and west ends of the site. A 2-inch domestic lead and a 6-inch fire lead would be provided to serve the building, along with 2 additional hydrants.
- Sanitary sewer service would be provided 6-inch lead from the existing 8-inch sanitary sewer at the south east corner of the site.
- Storm water would be collected by a single storm sewer collection system and detained in the Bishop Regional Basin.

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).
3. Consider providing a sidewalk easement over the existing sidewalk along Town Center Drive.

Water Main

4. Provide a profile for all proposed water main 8-inch and larger.
5. Provide a 20 foot wide easement for the existing water main along the east side of the site. The existing water main may have to be relocated to accommodate easement.
6. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Storm Sewer

7. Provide profile for all proposed storm sewer.
8. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
9. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
10. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
11. Show and label all roof conductors, and show where they tie into the storm sewer.

Storm Water Management Plan

12. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
- 13.
14. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
15. Provide a soil boring in the vicinity of the storm water detention to determine soil conditions and to establish the high water elevation of the groundwater table.

Paving & Grading

16. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

The following must be submitted at the time of Final Site Plan submittal:

17. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

18. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
19. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.

The following must be addressed prior to construction:

20. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
21. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

22. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
23. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
24. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
25. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
26. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
27. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
28. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Sri Komaragiri, Community Development
Sabrina Lilla Water & Sewer



PLAN REVIEW CENTER REPORT

April 10, 2015

Landscape Review

Homewood Suites

JSP14-31

Petitioner

Stellar Hospitality, LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: Section 14 ; North of 11 Mile Road and East of Town Center Rd
- Site School District: Novi Schools
- Site Zoning: OSC, Office Service Commercial
- Adjoining Zoning: West: Town Center; Rest: OSC, Office Service Commercial
- Site Use(s): Vacant
- Adjoining Uses: North: Office; East: Hotel; South: Vacant; West: Commercial
- Site Size: 1.87 acres
- Building Size: Building footprint 15,777 SF; Total 5 floors: 69,543 square feet
- Plan Date: 01/16/2015

Recommendation

Approval of the *Preliminary Site Plan is recommended*. The plan generally conforms to the requirements of the Zoning Ordinance;

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 5 (Site Standards) Sec.5.5. - Landscape Standards, Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the next submittal.

1. Planning Commission Waivers: **Please note that the following waivers are required from the Planning Commission. The applicant has expressed his intent to apply for waivers for the following requirements.**

- a. ROW Landscape Screening Requirements Chart (Sec 5.5.3.B. ii)

According to the applicant, the existing water easement and the sidewalk provide a practical difficulty to propose trees within ROW.

- i. 7 Canopy deciduous or large evergreen trees are required along Town Center Drive. 5 trees are proposed along Town Center and 2 are proposed elsewhere on the site.
 - ii. 13 Sub-canopy deciduous trees are required along Town Center Drive. 7 trees are proposed along Town Center and 6 are close to the building.

- iii. 7 Canopy deciduous trees are required in area between the sidewalk and curb along Town Center Drive. As there is no room between the existing sidewalk and the road for trees, the applicant is proposing to keep 2 existing pine trees near the front and proposes 5 new pine trees along the site perimeter. A site visit revealed that the two existing pine trees are in declining health and cannot be counted on to survive another 5 years. Also, the proposed trees are all evergreen, whereas the ordinance calls for canopy trees. **Please replace all of the proposed plantings for this requirement with deciduous canopy trees. Placement around the site, not along Town Center, is acceptable, or a waiver from the Planning Commission to not provide those trees can be sought if desired.**
- iv. A 20 foot green belt is required along Town Center Drive. A 35 foot greenbelt is provided.
- v. A 3 ft high berm with a 2 ft wide crest is required adjacent to parking along Town Center Drive. According to the applicant, it is not provided due to inadequate space and grading considerations between the ROW and the building/parking lot. A water easement provides further difficulty with regard to landscaping a berm in that location. A decorative fence and landscaping along ROW is proposed. **A waiver for this would be supported by staff, but details and sections of the wall and front greenbelt grading must be provided.**
- b. Maximum of 15 contiguous space limit (Sec 5.5.3.C.ii i) One bay is greater than 15 parking spaces in length but all others are less than the maximum. A waiver is being sought to allow the extra space in that bay.
- c. Building Foundation Landscape Requirements (Sec 5.5.3.D): 5,697 SF of building foundation landscape is required. 7,034 SF is provided. **While this requirement is fulfilled, the applicant is asked to consider adding landscape planters on the west end of the building to soften the appearance of that wall from Town Center. The sidewalk could be expanded to the curb to provide the space required for pedestrian traffic and the planters.**
2. Parking Lot Trees –
 - a. Interior – all interior parking lot trees need to be deciduous canopy trees. Please revise the plan to change evergreen trees that are intended to meet this requirement to canopy trees.
 - b. Perimeter – no calculations or trees are provided to meet this requirement. If the applicant does not intend to fulfill this requirement, a waiver will be required.
3. Transformer Screening (LDM 1.e)

Provide 8 to 10 feet of clear space in front of the doors. 24" clear on sides. Refer to LDM 1.e for more information. **Provide an enlarged plan view detail of the transformer area to demonstrate compliance with the requirements. An elevation view was provided, but not the required plan view detail. Please provide a dimensioned plan view detail of the transformer and screening.**
4. Irrigation (LDM 2.s.): All landscape areas are required to be irrigated. A note calling for irrigation was added to the plans. Provide actual irrigation plan with final landscape plan.
5. Clear Vision Zone (LDM 2.3.(5)) The landscaping provides the required clear vision.

6. Other: Please refer to the chart for other minor comments regarding existing tree sizes and identities, details, notes, plantings, etc. **Address other comments from the review chart.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART

Review Date: April 9, 2015
Project Name: JSP14 – 0031: Homewood Suites Revised Pre-Application
Plan Date: April 3, 2015
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Yes	Yes	1"=30' scale is acceptable
Project Information <i>(LDM 2.d.)</i>	<ul style="list-style-type: none"> ▪ Name and Address 	Yes	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	<ul style="list-style-type: none"> ▪ Name, address and telephone number of the owner and developer or association 	Yes	Yes	1. On cover sheet 2. Please add to L1.0
Landscape Architect contact information <i>(LDM 2.b.)</i>	<ul style="list-style-type: none"> ▪ Name, Address and telephone number of RLA/LLA 	No	No	Designer was not identified as RLA/LLA
Sealed by LA. <i>(LDM 2.g.)</i>	<ul style="list-style-type: none"> ▪ Requires original signature 	No	No	<u>Required for Final Site Plan</u>
Miss Dig Note (800) 482-7171 <i>(LDM.3.a.(8))</i>	<ul style="list-style-type: none"> ▪ Show on all plan sheets 	Yes	Yes	
Zoning <i>(LDM 2.f.)</i>	<ul style="list-style-type: none"> ▪ Include all adjacent zoning 	Yes	Yes	
Survey information <i>(LDM 2.c.)</i>	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	Yes	Yes	
Existing plant material Existing woodlands or wetlands <i>(LDM 2.e.(2))</i>	<ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. 	No	No	1. Add sizes, tree IDs to existing trees. 2. Add note stating that woodland is not on site

Item	Required	Proposed	Meets Code	Comments
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Yes	Yes	
Existing and proposed improvements (LDM 2.e.(4))	<ul style="list-style-type: none"> Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W 	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants 	Yes	Yes	No overhead utilities on site
Proposed grading. 2' contour minimum (LDM 2.e.(1))	<ul style="list-style-type: none"> Provide proposed contours at 2' interval 	Yes	Yes	
Snow deposit (LDM.2.q.)	<ul style="list-style-type: none"> Show snow deposit areas on plan 	Yes		Proposed snow deposit area may not be sufficient for site.
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	<ul style="list-style-type: none"> As proposed on planting islands 	Yes	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> A minimum of 300 SF to qualify 6" curbs Islands minimum width 10' BOC to BOC 	Yes	Yes	
Curbs and Parking stall reduction (c)	<ul style="list-style-type: none"> Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft. 	Yes	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	Yes	Yes	1. 1 bay has 16 spaces 2. Please show space striping on L1.0
Plantings around Fire Hydrant (d)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants 	Yes	Yes	
Landscaped area (g)	<ul style="list-style-type: none"> Areas not dedicated to parking use or driveways exceeding 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	100 sq. ft. shall be landscaped			
Clear Zones (LDM 2.3.(5))	<ul style="list-style-type: none"> ▪ 25 ft corner clearance required. Refer to Zoning Section 5.5.9 	Yes	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of parking spaces not including access aisles x 10%	<ul style="list-style-type: none"> ▪ A = x 10% = sf ▪ 1400 sf 	Yes	Yes	
B = Total square footage of additional paved vehicular use areas (not including A) under 50,000 SF) x 5%	<ul style="list-style-type: none"> ▪ B = x 5% = sf ▪ Paved Vehicular access area includes loading areas ▪ 946sf 	Yes	Yes	
C= Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> ▪ C = x 1% = sf ▪ 0sf 	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of parking spaces not including access aisles x 7%	<ul style="list-style-type: none"> ▪ A = 7% x xx sf = xx sf 	NA		
B = Total square footage of additional Paved vehicular use areas (not including A) under 50,000 SF) x 2%	<ul style="list-style-type: none"> ▪ B = 2% x xx sf = xx sf 	NA		
C= Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 0.5%	<ul style="list-style-type: none"> ▪ C = 0.5% x 0 sf = 0 SF 	NA		
All Categories				
D = A+B or A+C Total square footage of landscaped islands	1400 + 946 = 2347 SF	2668 sf	Yes	
E = D/75 Number of canopy trees required	<ul style="list-style-type: none"> ▪ xxx/75=xx Trees ▪ 2346/75 = 32 	33	Yes	1. All parking lot trees are to be canopy trees. 2. Please replace proposed evergreens with

Item	Required	Proposed	Meets Code	Comments
				canopy trees.
Perimeter Green space	<ul style="list-style-type: none"> 1 Canopy tree per 35 lf ; $xx/35=x$ trees Perimeter green space canopy Plantings required at 1 per 35 LF. Sub-canopy trees can be used under overhead utility lines. 	0	No	None proposed No calculations given
Parking land banked	<ul style="list-style-type: none"> NA 	No		
Berms, Walls and ROW Planting Requirements				
Berms				
	<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of top soil. 	NA		
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	<ul style="list-style-type: none"> Refer to Residential Adjacent to Non-residential berm requirements chart 	NA		
Planting requirements (LDM 1.a.)	<ul style="list-style-type: none"> LDM Novi Street Tree List 	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	<ul style="list-style-type: none"> Refer to ROW landscape screening requirements chart for corresponding requirements. 	No	Yes, with waiver	<ol style="list-style-type: none"> Due to space limitations, grading and utility easement, decorative wall with landscaping is proposed. Waiver would be supported.
Planting requirements (LDM 1.a.)	<ul style="list-style-type: none"> LDM Novi Street Tree List 	Yes	Yes	
Street tree requirements (Zoning Sec 5.5.3.B.ii)	<ul style="list-style-type: none"> No street trees within 25 ft. clear vision triangle 	Yes	Yes	No space is available between sidewalk and street for street trees.
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Min. 5 feet flat horizontal area 	NA	No	Cross section of front setback area, including wall and landscaping, should be provided.
Type of Ground Cover		Sod, mulch, shrubs	Yes	
Setbacks from Utilities	<ul style="list-style-type: none"> Overhead utility lines and 15 ft. setback 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	from edge of utility or 20 ft. setback from closest pole			
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	<ul style="list-style-type: none"> Freestanding walls should have brick or stone exterior with masonry or concrete interior 	Yes	No	Detail and elevation of landscape wall should be provided.
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer				See above
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> Parking: 20 ft. 	35'	Yes	
Min. berm crest width	<ul style="list-style-type: none"> Parking: 2 ft. 	NA		No berm provided
Minimum berm height (9)	<ul style="list-style-type: none"> Parking: 3 ft. 	NA		No berm provided
3' wall	<ul style="list-style-type: none"> (4)(7) 	Yes		Detail and elevation of landscape wall should be provided.
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> Parking: 1 tree per 35 l.f.; $227.65/35=7$ trees 	7	Yes	<ol style="list-style-type: none"> Insufficient space in front setback for all of trees due to easement so full number is not proposed for front buffer. Remaining 2 are proposed along side perimeter. This is acceptable.
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> Parking: 1 tree per 20 l.f.; $227.65/20=13$ trees 	13	Yes	<ol style="list-style-type: none"> Insufficient space in front setback for all of trees due to easement so full number is not proposed for front buffer. Remaining 6 are proposed near front of building. This is acceptable.
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> Parking: 1 tree per 35 l.f. $227.65/35=7$ trees 	0	Yes	No space is available between sidewalk and street for street trees.

Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Interior Street to Industrial subdivision <i>(LDM 1.d.(2))</i>	<ul style="list-style-type: none"> ▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW ▪ No evergreen trees closer than 20 ft. ▪ 3 sub canopy trees per 40 l.f. of total linear frontage ▪ Plant massing for 25% of ROW 	NA		
Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		NA		No loading zone is proposed.
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	Yes		Provide detail showing spacing of shrubs from utility boxes to ensure requirements are met.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ 712 lf x 8ft = 5696 SF 	7034 sf	Yes	
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	<ul style="list-style-type: none"> ▪ If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space 	67% of eastern end of building is landscaped.	Yes	1. Ordinance is met, but there is no landscaping on end closest to road. 2. Consider adding planters/flower pots on west end of building to soften view.
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements <i>(Sec. 5.5.3.E.iv)</i>	<ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	NA		
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				

Landscape Notes - Utilize City of Novi Standard Notes				
Installation date (LDM 2.l. & Zoning Sec 5.5.5.B)	▪ Provide intended date	Yes	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.	Yes		Add note regarding cultivation of planting beds for 2-year warranty period
Plant source (LDM 2.n & LDM 3.a.(2))	▪ Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	▪ A fully automatic irrigation system and a method of draining is required with Final Site Plan	Yes	Yes	<u>Need for final site plan</u>
Other information (LDM 2.u)	▪ Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	▪ City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) - Include all cost estimates				
Quantities and sizes	▪ Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	Add cultivar names for <i>Viburnum dentatum</i> and <i>Cornus sericea</i> to ensure proper size for small space.
Type and amount of lawn		Yes	Yes	
Cost estimate (LDM 2.t)		▪ For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details				
Canopy Deciduous Tree	▪ Refer to LDM for detail drawings	Yes	Yes	Need to add multi-stem tree detail. Available from me upon request.
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		NA		

Tree stakes and guys. (Wood stakes, fabric guys)		Yes/No/NA	Yes/No	Need to add guying detail. Available from me upon request.
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	No	Please revise tree protection fencing detail, location to show at 1' outside of tree dripline.
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	<ul style="list-style-type: none"> Plant materials shall not be planted within 4 ft. of property line 	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	<ul style="list-style-type: none"> Clearly show trees to be removed and trees to be saved. 	Yes	Yes	<ol style="list-style-type: none"> Note that evergreen tree to be saved at southwest corner of site is in area to be graded. Please indicate how tree will be preserved during grading. I noticed on a site visit that pines to be saved may be in declining health. Add callouts on grading plan for tree protection fencing
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	NA		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	NA		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	<ul style="list-style-type: none"> Label the distance from the overhead utilities 	NA		No overhead utilities on site.
Collected or Transplanted trees		No		

<i>(LDM 3.f)</i>				
Nonliving Durable Material: Mulch <i>(LDM 4)</i>	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 4" depth and shrubs, groundcovers to 3" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 	Yes	Yes	Please revise all notes/details to indicate natural colored, shredded hardwood bark mulch

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

April 13, 2015

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. 10 Mile Road
Novi, MI 48375

**SUBJECT: Homewood Suites
Traffic Review for Revised Preliminary Site Plan
JSP14-0031**

Dear Ms. McBeth,

AECOM has completed our review of the revised preliminary site plan submitted for the above referenced development. Our comments are as follows:

1. General Comments

- a. The applicant, Stellar Hospitality Novi, LLC, is proposing the development of a 1.87 acre parcel with an 88-room Homewood Suites hotel near Eleven Mile Road and Town Center Drive.
- b. Town Center Drive and Eleven Mile Road are within the City's jurisdiction having speed limits of 30 miles per hour (mph) and 35 mph, respectively.
- c. To the north of the site exists an office complex, to the east of the site exists a Courtyard hotel, to south of the site exists a vacant parcel and to the west of the site, across Town Center Drive, exists a shopping center. The proposed site will have a shared private drive with the Courtyard hotel.

2. Potential Traffic Impacts

The proposed 88-room hotel is not expected to generate more than 100 peak-hour, peak direction trips or more than 750 daily (non-directional) trips; therefore, further traffic impact studies are not recommended at this time.

3. External Site Access and Operations

- a. The driveway in the southwest corner of the site has been removed and replaced with a grasspaver secondary emergency access driveway. The following could be considered with regard to the secondary access driveway:
 - i. The proposed secondary access driveway is dimensioned as being 15' wide. City of Novi Ordinance, Section 11-194(19), states that the "a secondary access driveway shall be a minimum of eighteen (18) feet in width." The applicant should consider increasing the driveway width to be in compliance with the ordinance.
 - ii. The applicant could review the curb design on either entry point to the secondary access driveway and could consider the possibility for incorporating mountable curb, as necessary.
 - iii. The proposed signing along the secondary access driveway is acceptable, except that the signs along the east side of the driveway could face south to deter vehicles who may enter from the south access point.

- b. The applicant could provide dimensions for the driveway located in the southeast corner of the site to confirm compliance with City standards.
- c. The applicant could consider providing a stop sign on the southbound approach of the driveway in the southeast corner of the site to reduce the potential for unnecessary conflicts with vehicles on the private drive.

4. Internal Site Access and Operations

- a. The parking space layout is in general compliance with City standards:
 - i. The parking space quantities are acceptable with the employee staffing schedule description provided in the response letter from the applicant dated April 3, 2015.
 - ii. The parking space dimensions and revised curb heights are acceptable.
- b. The end island designs are in generally in compliance with City standards.
- c. The applicant provided fire truck pathways throughout the site. It appears as though the internal site turns are able to accommodate the large vehicle; however, **the applicant should confirm with the City that the outside turning radius of 49' is acceptable** given that the City's largest fire truck typically requires a 50' minimum outside turning radius.

5. Signing and Pavement Marking

- a. Directional arrow pavement markings have been added to sheet C3.0 and detailed on sheet C6.0.
- b. The applicant has indicated where the handicap parking signs shall be located within the site; however, the van accessible parking signing is not compliant, as follows:
 - i. The applicant should consider installing an R7-8 sign as well as an R6-7P sign in front of the van accessible space, instead of just the R7-8P sign as indicated on the plan.
 - ii. The applicant should update the Traffic Control Sign Table on sheet C3.0 to include four (4) R7-8 signs.

6. Bicycle and Pedestrian Master Plan

- a. The applicant relocated the proposed crosswalk that connects the hotel with the existing sidewalk along Town Center Drive farther to the north. The relocation of the crosswalk is acceptable; however, the following details should be provided:
 - i. The applicant should consider detailing the width of the proposed sidewalk(s) at this location.
 - ii. The applicant should consider detailing the ramps, as necessary, at this location.
 - iii. The applicant should consider detailing the crosswalk pavement marking details at this location.
- b. The applicant provided details regarding the bicycle parking facilities on site, which are acceptable.

The revised preliminary site plans as submitted were reviewed to the level of detail provided and additional information is required to complete the final review of traffic-related elements. AECOM **recommends approval** of the revised preliminary site plan with the condition that the comments



stated up are adequately addressed and satisfy City ordinances or receive variances where ordinances are not met.

Sincerely,

AECOM

A handwritten signature in blue ink, appearing to read "Matthew G. Klawon".

Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS Engineering Services



February 6, 2014

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan (second review)**
Homewood Suites, PSP14-0201

Façade Region: 1, Zoning District: OSC, Building Size: 69,500 S.F.

Dear Ms. McBeth:

The following is the Façade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Bud Design and Engineering, dated 1/16/15. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in **bold**. A façade material sample board was not provided at the time of this review.

	North	East	South	West	Ordinance Maximum (Minimum)
Brick	48%	38%	48%	38%	100% (30% Min)
Stone	32%	37%	32%	37%	50%
EIFS (Includes "Dover White")	16%	16%	16%	16%	25%
Standing Seam Metal (Canopy)	0%	4%	0%	4%	25%
Molded Cornice	4%	5%	4%	5%	15%

The applicant has made changes since our first review, significantly increasing the percentages of Brick and Stone and reducing the percentage of EIFS. We believe this has significant improvement in the overall aesthetic value of the building. As shown above the design is now in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project. The dumpster enclosure detail on sheet C6.0 has been revised to indicate face brick to match the building and is therefore in full compliance.

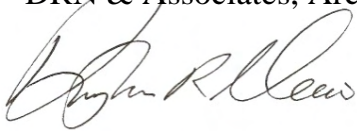
The drawings show no roof equipment screening. It is assumed that parapets are raised sufficiently to screen any roof top equipment. The applicant should note the all roof equipment must be screened from view from all vantage points both on and off- site, using compliant materials.

Notes to the Applicant: Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. Also the visibility of roof top equipment will be checked. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA



December 5, 2014

January 27, 2015

April 9, 2015

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Doreen Poupard

Wayne Wrobel

Laura Marie Casey

City Manager
Pete Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

TO: Barbara McBeth- Deputy Director of Community Development
Kristen Kapelanski- Plan Review Center
Sri Komaragiri- Plan Review Center

RE: Home wood Suites

PSP#14-0201

PSP#15-0049

Project Description: A five Story hotel on Town Center Drive.

Comments:

- 1) **Corrected 4/9** - An unobstructed outside turning radius of 50 feet minimum and an inside turning radius of 30 feet maximum are to be provided at intersections of private or public roadways and cul-de-sacs. (*International Fire Code*)
- 2) **Corrected 4/9** - Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. (*Fire Prevention Ord. Sec. 15-17*)
- 3) **Corrected 4/9** - For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. (*D.C.S. Sec.11-68(a)(9)*)
- 4) **Corrected 4/9** - The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. (*D.C.S. Sec. 11-68 (a)*)
- 5) **Corrected 4/9** - Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane - no parking" signs are to be shown on the site plans. (*Fire Prevention Ord.*)

- 6) **STILL OUTSTANDING** - The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. (*Fire Prevention Ord.*)

NOTE for Item #6 - the secondary access road is listed at 15'. This must be extended to 20' per city ordinance.

- 7) **Added item 4/9 - landscape page #L1.0 shows approx.6 bushes blocking new fire hydrant new main entrance. Per IFC 2006, 3' of clearance must be maintained in all directions around fire hydrants.**

Recommendation:

- 1) Improve turning radiuses in the parking lot areas to meet FD standards. **Corrected**
- 2) Locate an additional hydrant within 100' of the FDC. **Corrected**
- 3) Provide a separate gate valve for the fire protection water lead. **Corrected**
- 4) Additional Hydrants may be needed to meet required fire flows. **Corrected**
- 5) Fire Lanes must be posted in the canopy area and along hotel side of curbs. Note fire lanes and signage on future site plan submittals. **Corrected**
- 6) Provide a minimum of 14' of clearance under canopy and note on all plans. **Corrected**

Sincerely,



Andrew Copeland - FPO/Inspector II - CFPE
City of Novi - Fire Dept.



Bud Design & Engineering Services, Inc.

10775 S. Saginaw St. Suite B | Grand Blanc, MI 48439 | Ph: 810.695.0793 | Fax: 810.695.0569 | www.buddesign.com

April 9, 2015

City of Novi
Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

**RE: Vacant Property – Town Center Drive
50-22-14-376-018 / Zoned OSC**

As the architect and engineer of record for the project and on behalf of the applicant Stellar Hospitality Novi, LLC, Bud Design & Engineering Services, Inc. (BDE) is requesting consideration of zoning variances.





Bud Design & Engineering Services, Inc.

10775 S. Saginaw St. Suite B | Grand Blanc, MI 48439 | Ph: 810.695.0793 | Fax: 810.695.0569 | www.buddesign.com

Parking Setbacks – 3.1.23.D

Setback	Required (ft)	Proposed (ft)	Variance (ft)
Side (North)	20	12	8
Rear (East)	20	6	14

- The side (north) abuts an existing property that has a driveway along the length of the property. The parking in this area would not pose an issue with the adjacent property and there is significant landscaping proposed along the side setback area that provides buffering.
- The rear (east) is adjacent to a shared ingress-egress drive that provides cross-access for multiple parcels. The parking in this area is consistent with adjacent parking. A practical difficulty is created in meeting the rear parking setback requirement and the proposed parking would be consistent with the parking on the adjacent property with the cross-access agreement.

***Off-Street Loading and Unloading– 5.4.1
Loading Space***

With the OS districts, loading space shall be provided in the rear yard in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred six (360) square feet of building.

- It is proposed to not have a loading and unloading space for the development because of the nature of the business. The hotel will serve only breakfast and the food delivery is anticipated that one (1) weekly delivery will be made to the property. The applicant has made arrangements with the food service group on other properties of similar nature that only smaller box trucks (sizes of UPS/Fed Ex) will be the delivery trucks. The applicant will follow a similar procedure at this property. Periodic deliveries of linens are also made with similar size smaller box trucks.
- It should be noted that there are several existing hotels in the immediate vicinity of this proposed project and it would appear that there may be a lack of dedicated loading space as well.



Bud Design & Engineering Services, Inc.

10775 S. Saginaw St. Suite B | Grand Blanc, MI 48439 | Ph: 810.695.0793 | Fax: 810.695.0569 | www.buddesign.com

Dumpster – 4.19.2.F.iv

The dumpster cannot be located within the parking setbacks. A corner of the dumpster encroaches into the parking setback.

- The dumpster location is situated such that it is located in the rear of the proposed development. It is also adjacent to the existing access drive that incorporates a cross-access easement with the neighboring property. The location provides the most viable position for access by trash vehicles.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Andrew Andre', with a long, sweeping horizontal stroke extending to the right.

Andrew Andre



Bud Design & Engineering Services, Inc.

10775 S. Saginaw St. Suite B | Grand Blanc, MI 48439 | Ph: 810.695.0793 | Fax: 810.695.0569 | www.buddesign.com





Bud Design & Engineering Services, Inc.

10775 S. Saginaw St. Suite B | Grand Blanc, MI 48439 | Ph: 810.695.0793 | Fax: 810.695.0569 | www.buddesign.com



Vacant Property – Town Center Drive
50-22-14-376-018 / Zoned OSC

HOMEWOOD SUITES

TOWN CENTER DRIVE, NOVI, MI PRELIMINARY SITE PLAN

APPLICANT

STELLAR HOSPITALITY NOVI, LLC
32825 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

CONTACT: JIMMY ASMAR
PHONE: (248) 419-5555

ARCHITECT

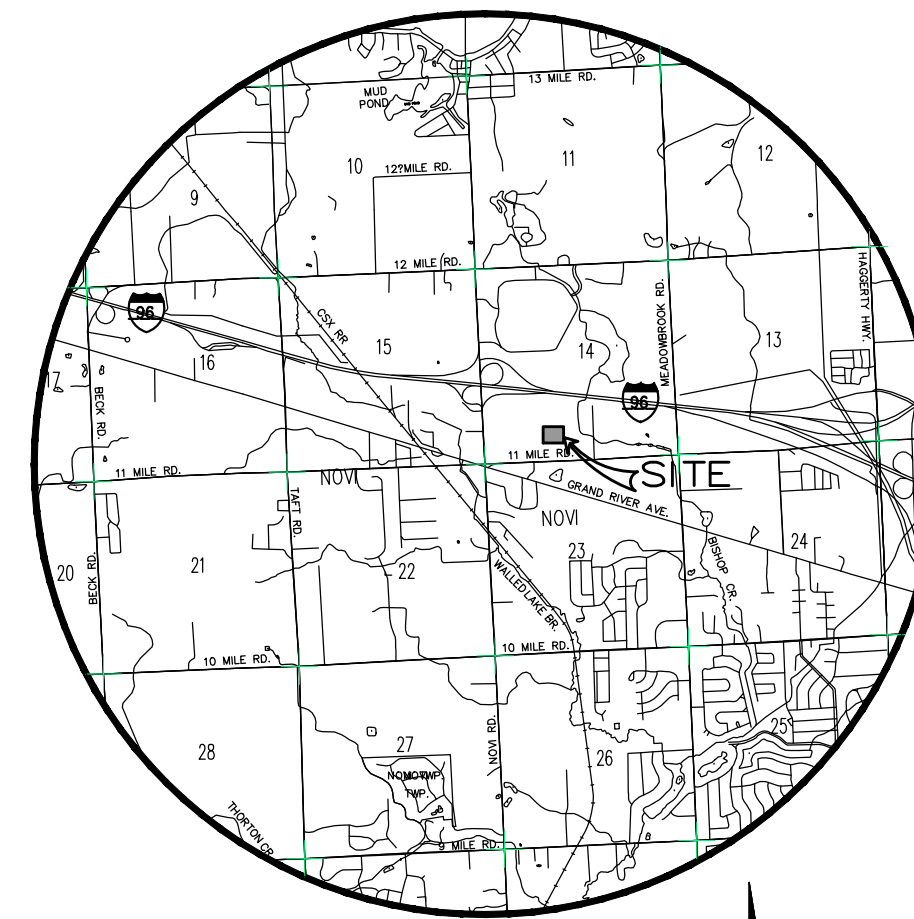
BUD DESIGN & ENGINEERING SERVICES, INC.
10755 S. SAGINAW ST., SUITE B
GRAND BLANC, MI 48439

CONTACT: JEFF PELTIER, RA
PHONE: (810) 695-0793
FAX: (810) 695-0569

CIVIL ENGINEER

BUD DESIGN & ENGINEERING SERVICES, INC.
10755 S. SAGINAW ST., SUITE B
GRAND BLANC, MI 48439

CONTACT: ANDREW ANDRE, P.E.
PHONE: (810) 695-0793
FAX: (810) 695-0569



LOCATION MAP
SCALE: 1"=1' MILE ±

STANDARD LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING		
STORM SEWER		
SANITARY SEWER		
WATER		
GAS LINE		
ELECTRIC LINE		
TELEPHONE LINE		
MANHOLE		
CATCH BASIN		
ENDSECTION		
FIRE HYDRANT		
GATE VALVE & WELL		
UTILITY POLE		
UTILITY RISER		
SIGN		
LIGHT POLE		
CURB & GUTTER		
FENCE		
SILT FENCE		
TREE - DECIDUOUS	AS NOTED ON PLANS	
TREE LINE		
SPOT ELEVATION		
CONTOUR LINE		
SECTION CORNER		
FOUND PROPERTY IRON		
SET PROPERTY IRON		
GAS METER		
ELECTRICAL METER		
TELEPHONE RISER		
MAILBOX		
SOIL BORING LOCATION		

DRAWING INDEX

- C1.0 COVER SHEET
- C2.0 TOPOGRAPHIC SURVEY
- C3.0 SITE LAYOUT PLAN
- C3.1 SITE LIGHTING AND PHOTOMETRIC PLAN
- C4.0 GRADING PLAN
- C4.1 ENLARGED GRADING PLAN
- C5.0 UTILITY PLAN
- C5.1 STORM MANAGEMENT PLAN
- C5.2 STORM DETAILS
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN AND DETAILS
- A1.02 FIRST FLOOR PLAN
- A1.03 SECOND FLOOR PLAN
- A1.04 THIRD FLOOR PLAN
- A1.05 FOURTH FLOOR PLAN
- A1.06 FIFTH FLOOR PLAN
- A1.09 EXTERIOR ELEVATIONS
- A1.10 EXTERIOR ELEVATIONS

ANDREW ANDRE, P.E.
MICHIGAN PE 47380
BUD DESIGN & ENGINEERING SERVICES, INC.

UTILITY CONTACTS	
TELEPHONE	GAS AND ELECTRIC
SBC PONTIAC/SOUTHFIELD ENG. 54 N. MILL ST. PONTIAC, MI 48342 GREG HILLS (248) 456-0808	CONSUMERS ENERGY GAS INFORMATION MGMT. 530 W. WILLOW ST. LANSING, MI 48906 MIGNON KEZELE (877) 240-9602
ZONING	WATER/SEWER
CITY OF NOVI PLANNING & BUILDING 45175 WEST 10 MILE RD NOVI, MICHIGAN 48375 (248) 347-0456	CITY OF NOVI PUBLIC WORKS 45175 WEST 10 MILE RD NOVI, MICHIGAN 48375 (248) 347-0456

ZONING INFORMATION
ZONED = OSC (OFFICE SERVICE COMMERCIAL)
SETBACKS:- FRONT:- 35' REAR:- 35' SIDE:- 35' EACH SIDE
MAXIMUM BUILDING HEIGHT:- SIDE:- 5 STORIES OR 65'

BENCHMARKS
B.M. #1 - CHISELED "X" ON TOP OF NORTH SIDE OF CONCRETE OF MOST EASTERLY LIGHT POLE ON OUR PROPERTY NEAR THE SE COR. ELEV. 911.25 NAVD88
B.M. #2 BOLT IN WORD ALBERTVILLE ON HYD. W. SIDE OF TOWN CENTER DR. ACROSS FROM THE SW PROP. COR. ELEV. 923.05 NAVD88

UTILITY NOTE
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

LEGAL DESCRIPTION
FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO.: 660464 EFFECTIVE DATE: MAY 05, 2014 @ 8:00 AM
THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF OAKLAND, CITY OF NOVI, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:
PARCEL B: A PART OF THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN; BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 28 MINUTES 51 SECONDS WEST, 1002.41 FEET ALONG THE SOUTH LINE OF SAID SECTION 14 AND THE CENTERLINE OF ELEVEN MILE ROAD; THENCE NORTH 02 DEGREES 31 MINUTES 09 SECONDS WEST, 20.00 FEET; THENCE NORTH 48 DEGREES 53 MINUTES 45 SECONDS WEST, 45.59 FEET; THENCE NORTH 07 DEGREES 41 MINUTES 19 SECONDS WEST, 177.40 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF TOWN CENTER DRIVE; THENCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST, 87.22 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST, 227.65 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF TOWN CENTER DRIVE; THENCE NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST, 356.60; THENCE SOUTH 02 DEGREES 31 MINUTES 09 SECONDS EAST, 228.62 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 51 SECONDS WEST, 355.98 FEET TO THE POINT OF BEGINNING.
PARCEL CONTAINS 1.87 ACRES TAX ITEM NO. 22-14-376-017

FLOODPLAIN INFORMATION
CITY OF NOVI OAKLAND COUNTY, MICHIGAN MAP NUMBER: 26125C0626F / 26125C0627F EFFECTIVE DATE: 09/29/2006 FLOOD ZONE: X AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN

SOIL INFORMATION
10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES (ENTIRE PARCEL)
SOIL INFORMATION FROM USDA-NRCS WEB SOIL SURVEY

CONSTRUCTION & OPERATIONAL INFORMATION
PROJECTED BUILDING CONSTRUCTION COST: \$4,500,000.00 PROJECTED SITE CONSTRUCTION COST: \$850,000.00 NUMBER OF EMPLOYEES IN LARGEST SHIFT: 2 NUMBER OF EMPLOYEES TOTAL: 8

Bud Design & Engineering Services, Inc.
Architecture | Engineering | Interior Design
10775 S. Saginaw St., Suite B
Grand Blanc, MI 48439
PH: 810.695.0793
FAX: 810.695.0569
Web: www.buddesign.com

HOMEWOOD SUITES
TOWN CENTER DRIVE
NOVI, OAKLAND COUNTY, MI
SW 1/4, SEC 14, T1N, R8E

THIS DRAWING IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN & ENGINEERING SERVICES, INC. ALL RIGHTS RESERVED.

ISSUED FOR	DATE
PRE-APPLICATION	11/10/14
PRELIM SPA	01/16/15
PRELIM SPA	04/03/15

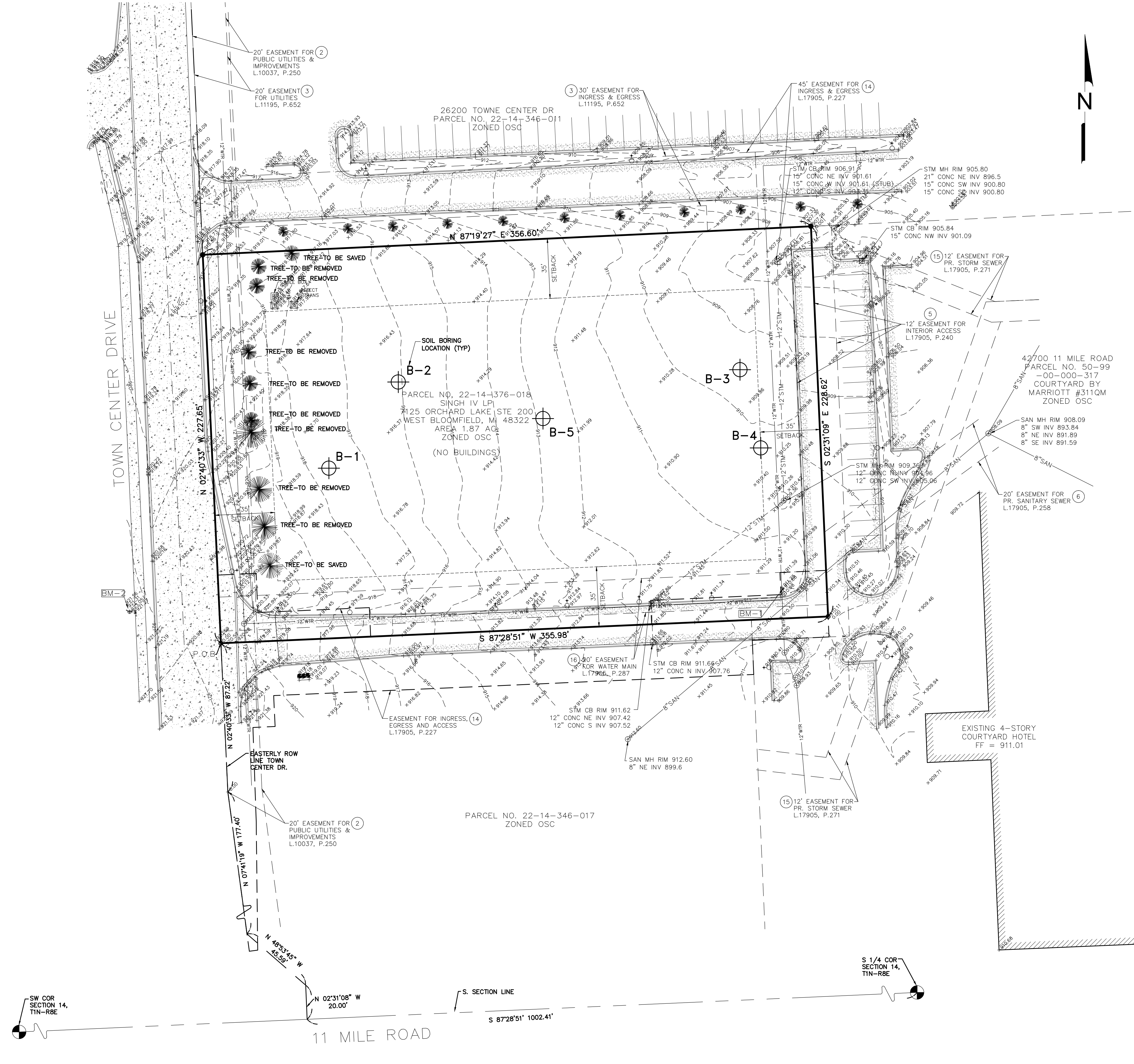
DATE :
DRAWN : ACA
CHECKED : JP
SCALE : AS NOTED
JOB NO : BD-14-235
SHEET TITLE :
COVER SHEET
SHEET



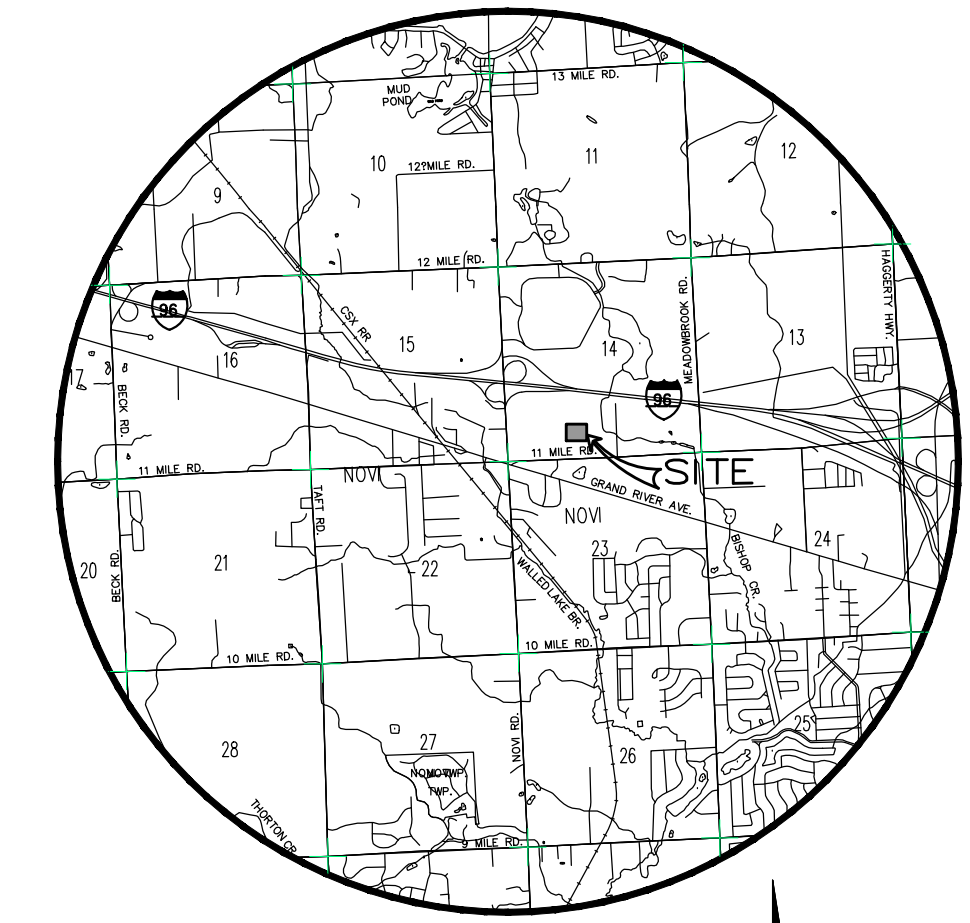
THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

PRELIMINARY SITE PLAN

C1.0



STANDARD LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING	[Symbol]	[Symbol]
STORM SEWER	— 12" —	— 12" —
SANITARY SEWER	S	S
WATER	W	W
GAS LINE	G	G
ELECTRIC LINE	E	E
TELEPHONE LINE	T	T
MANHOLE	●	○
CATCH BASIN	⊠	⊠
ENDSECTION	[Symbol]	[Symbol]
FIRE HYDRANT	⊙	⊙
GATE VALVE & WELL	⊕	⊕
UTILITY POLE	⊙	⊙
UTILITY RISER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
LIGHT POLE	⊙	⊙
CURB & GUTTER	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
SILT FENCE	[Symbol]	[Symbol]
TREE - DECIDUOUS	[Symbol]	[Symbol]
TREE LINE	[Symbol]	[Symbol]
SPOT ELEVATION	+ 100.00	[Symbol]
CONTOUR LINE	100	100
SECTION CORNER	[Symbol]	[Symbol]
FOUND PROPERTY IRON	[Symbol]	[Symbol]
SET PROPERTY IRON	[Symbol]	[Symbol]
GAS METER	[Symbol]	[Symbol]
ELECTRICAL METER	[Symbol]	[Symbol]
TELEPHONE RISER	[Symbol]	[Symbol]
MAILBOX	[Symbol]	[Symbol]
SOIL BORING LOCATION	[Symbol]	[Symbol]



LOCATION MAP
SCALE: 1"=1 MILE ±

LEGAL DESCRIPTION

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO.: 660464
EFFECTIVE DATE: MAY 05, 2014 @ 8:00 AM

THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF OAKLAND, CITY OF NOVI, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PARCEL B:
A PART OF THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN; BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 28 MINUTES 51 SECONDS WEST, 1002.41 FEET ALONG THE SOUTH LINE OF SAID SECTION 14 AND THE CENTERLINE OF ELEVEN MILE ROAD; THENCE NORTH 02 DEGREES 31 MINUTES 09 SECONDS WEST, 20.00 FEET; THENCE NORTH 48 DEGREES 53 MINUTES 45 SECONDS WEST, 45.59 FEET; THENCE NORTH 07 DEGREES 41 MINUTES 19 SECONDS WEST, 177.40 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF TOWN CENTER DRIVE; THENCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST, 87.22 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST, 227.68 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF TOWN CENTER DRIVE; THENCE NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST, 356.60; THENCE SOUTH 02 DEGREES 31 MINUTES 09 SECONDS EAST, 228.62 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 51 SECONDS WEST, 355.98 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1.87 ACRES
TAX ITEM NO. 22-14-376-017

SOIL INFORMATION

10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES (ENTIRE PARCEL)

SOIL INFORMATION FROM USDA-NRCS WEB SOIL SURVEY

UTILITY CONTACTS

TELEPHONE	GAS AND ELECTRIC
SBC PONTIAC/SOUTHFIELD ENG. 54 N. MILL ST PONTIAC, MI. 48342 ORFEG HILLS (248) 456-0808	CONSUMERS ENERGY GAS INFORMATION MGMT. 530 W. WILLOW ST. LANSING, MI 48906 MIGNON KEZELE (877) 240-9602
ZONING	WATER/SEWER
CITY OF NOVI PLANNING & BUILDING 45175 WEST 10 MILE RD NOVI, MICHIGAN 48375 (248) 347-0456	CITY OF NOVI PUBLIC WORKS 45175 WEST 10 MILE RD NOVI, MICHIGAN 48375 (248) 347-0456

ZONING INFORMATION

ZONED = OSC (OFFICE SERVICE COMMERCIAL)

SETBACKS:
FRONT: - 35'
REAR: - 35'
SIDE: - 35' EACH SIDE

MAXIMUM BUILDING HEIGHT - SIDE: - 5 STORIES OR 65'

BENCHMARKS

B.M. #1 -
CHISELED "X" ON TOP OF NORTH SIDE OF CONCRETE OF MOST EASTERLY LIGHT POLE ON OUR PROPERTY NEAR THE SE COR.
ELEV. 911.25 NAVD88

B.M. #2 BOLT IN WORD ALBERTVILLE ON HYD. W. SIDE OF TOWN CENTER DR. ACROSS FROM THE SW PROP. COR.
ELEV. 923.05 NAVD88

UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

SCHEDULE B 'EXCEPTIONS'

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO.: 660464
EFFECTIVE DATE: MAY 05, 2014 @ 8:00 AM

- UNDERGROUND RIGHT OF WAY AGREEMENT IN FAVOR OF THE DETROIT EDISON COMPANY AND THE COVENANT CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 10029, PAGE 803. (ROUTES SHOWN IN DOCUMENT DO NOT APPEAR TO CROSS SUBJECT PROPERTY)
- TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 10037, PAGE 250. (EASEMENT SHOWN PER DOCUMENT)
- TERMS AND CONDITIONS CONTAINED IN DECLARATION OF EASEMENT FOR UTILITIES AND INGRESS AND EGRESS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 11195, PAGE 652. (EASEMENTS SHOWN PER DOCUMENT)
- TERMS AND CONDITIONS CONTAINED IN MAINTENANCE AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17905, PAGE 213, AMENDED BY AMENDMENT RECORDED IN LIBER 20827, PAGE 207. (REFERS TO DETENTION POND ON ADJACENT LAND)
- TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT (INTERIOR ACCESS ROAD) AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17905, PAGE 240. (EASEMENTS SHOWN PER DOCUMENT)
- TERMS AND CONDITIONS CONTAINED IN SANITARY SEWER EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17905, PAGE 258. (EASEMENT SHOWN PER DOCUMENT)
- TERMS AND CONDITIONS CONTAINED IN DECLARATION OF RESTRICTIONS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17905, PAGE 199, AMENDED BY AMENDMENT RECORDED IN LIBER 20827, PAGE 215. (PERTAINS TO DETENTION POND LOCATED ON ADJACENT LAND)
- TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT (ACCESS ROAD) AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17905, PAGE 227. (EASEMENT SHOWN PER DOCUMENT)
- TERMS AND CONDITIONS CONTAINED IN STORM DRAINAGE EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17905, PAGE 271. (EASEMENTS SHOWN PER DOCUMENT)
- TERMS AND CONDITIONS CONTAINED IN DECLARATION OF EASEMENT FOR WATER MAIN AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 17905, PAGE 287. (EASEMENT SHOWN PER DOCUMENT)

CITY OF NOVI BENCHMARK

BENCHMARK: 1432
NORTHING 358893.4653 / EASTING 13365370.93
ELEVATION: 920.7161
SITE LOCATION: "X" ON NORTH RIM OF GATEWELL LOCATED IN THE NORTHEAST QUAD OF INTERSECTION OF TOWN CENTER AND 11 MILE ROAD

SURVEY COMPLETED BY:

D&M SITE INC.
Surveying • Inspection • Testing • Engineering
401 BALSAM STREET PO BOX 159, CARROLLTON, MICHIGAN 48724
PHONE (989) 752-6500 • FAX (989) 752-6600

Bud Design & Engineering Services, Inc.
Architecture | Engineering | Interior Design
10775 S. Saginaw St., Suite B
Grand Blanc, MI 48408
PH 810.695.0793
FAX 810.695.0569
Web: www.budesign.com

HOMEWOOD SUITES
TOWN CENTER DRIVE
NOVI, OAKLAND COUNTY, MI

SW 1/4, SEC 14, T1N, R8E

ISSUED FOR DATE
PRE-APPLICATION 11/12/14
PRELIM SPA 01/16/15
PRELIM SPA 04/03/15

DATE :
DRAWN : ACA
CHECKED : JP
SCALE : 1"=30'
JOB NO : BD-14-235
SHEET TITLE :
TOPOGRAPHIC SURVEY
SHEET

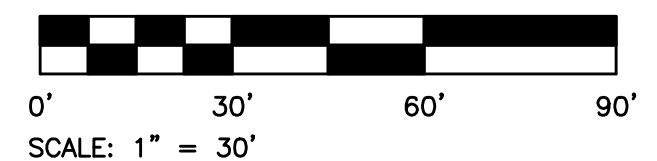
THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

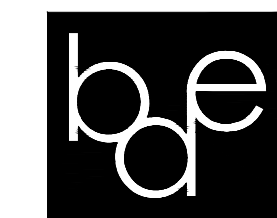


CERTIFICATION

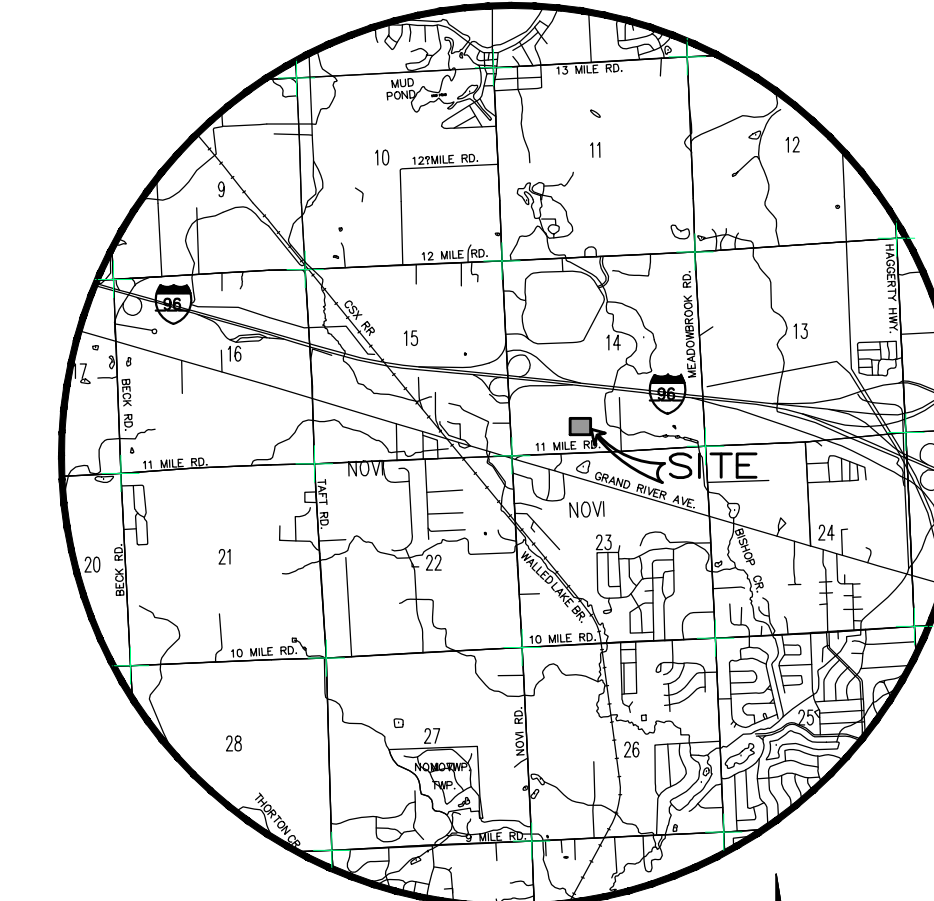
I, BRIAN D FERGUSON A PROFESSIONAL SURVEYOR, BEING DULY LICENSED BY THE STATE OF MICHIGAN, DO HEREBY CERTIFY THAT I HAVE CAUSED THE PROPERTY HEREON SHOWN, TO BE SURVEYED AND MAPPED IN ACCORDANCE WITH ALL LOCAL AND STATE ACCEPTED PRACTICES FOR THE ACCURACY OF A SURVEY OF THIS TYPE. I ALSO CERTIFY THAT THE EXISTING CONDITIONS OF THE PROPERTY ARE AS SHOWN HEREON.

Brian D Ferguson
11/10/2014
DATE





Bud Design & Engineering Services, Inc.
 Architecture | Engineering | Interior Design
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 PH: 810.695.0793
 FAX: 810.695.0569
 Web: www.budesign.com



LOCATION MAP
 SCALE: 1"=1 MILE ±

**HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, OAKLAND COUNTY, MI**

- GENERAL NOTES**
- REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
 - THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
 - DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
 - ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - PARKING STALL SPACES TO BE 4" SOLID WHITE PAINT STRIPES. HANDICAP PARKING TO BE 4" SOLID BLUE PAINT STRIPES W/ BARRIER FREE STRIPPING OF 4" SOLID BLUE @ 2' O.C. ON 45° ANGLE.
 - FROM REVIEW OF THE CITY OF NOVI WOODLAND MAP, IT DOES NOT APPEAR THAT REGULATED WOODLANDS EXIST ON THE SITE.
 - FROM REVIEW OF THE CITY OF NOVI WETLANDS MAP, IT DOES NOT APPEAR THAT REGULATED WETLANDS EXIST ON THE SITE.
 - ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION OF FOUNDATION.
 - THE BUILDING ADDRESS SHALL BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS SHALL BE AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
 - ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

SITE INFORMATION

PROPERTY INFORMATION:
 SOWELL NO: 22-14-376-018
 LOT AREA = 1.87 ACRES (GROSS) [81,457.2 S.F.]

ZONING:
 OSC

BUILDING DATA:
 GROSS FLOOR AREA = 69,543 S.F.
 1ST FLOOR = 15,777 S.F.
 2ND FLOOR = 12,240 S.F.
 3RD FLOOR = 13,842 S.F.
 4TH FLOOR = 13,842 S.F.
 5TH FLOOR = 13,842 S.F.
 BUILDING HEIGHT = 63'-10" HIGHEST PARAPET
 PERMITTED HEIGHT = 5-STORIES OR 65-FEET
 BUILDING/LOT COVERAGE = 15,777 / 81,457 = 19.4%

OPERATIONAL DATA:
 NUMBER OF EMPLOYEES IN LARGEST SHIFT: 2
 NUMBER OF EMPLOYEES TOTAL: 8

PARKING DATA:
 REQUIRED
 1 SPACE PER ROOM
 ROOMS = 88
 1 / 88 = 88 SPACES
 NUMBER OF EMPLOYEES IN LARGEST SHIFT: 2
 TOTAL REQUIRED = 88 + 2 = 90 SPACES

PROVIDED
 STANDARD SPACES = 86
 HANDICAP SPACES = 4
 TOTAL = 90 SPACES

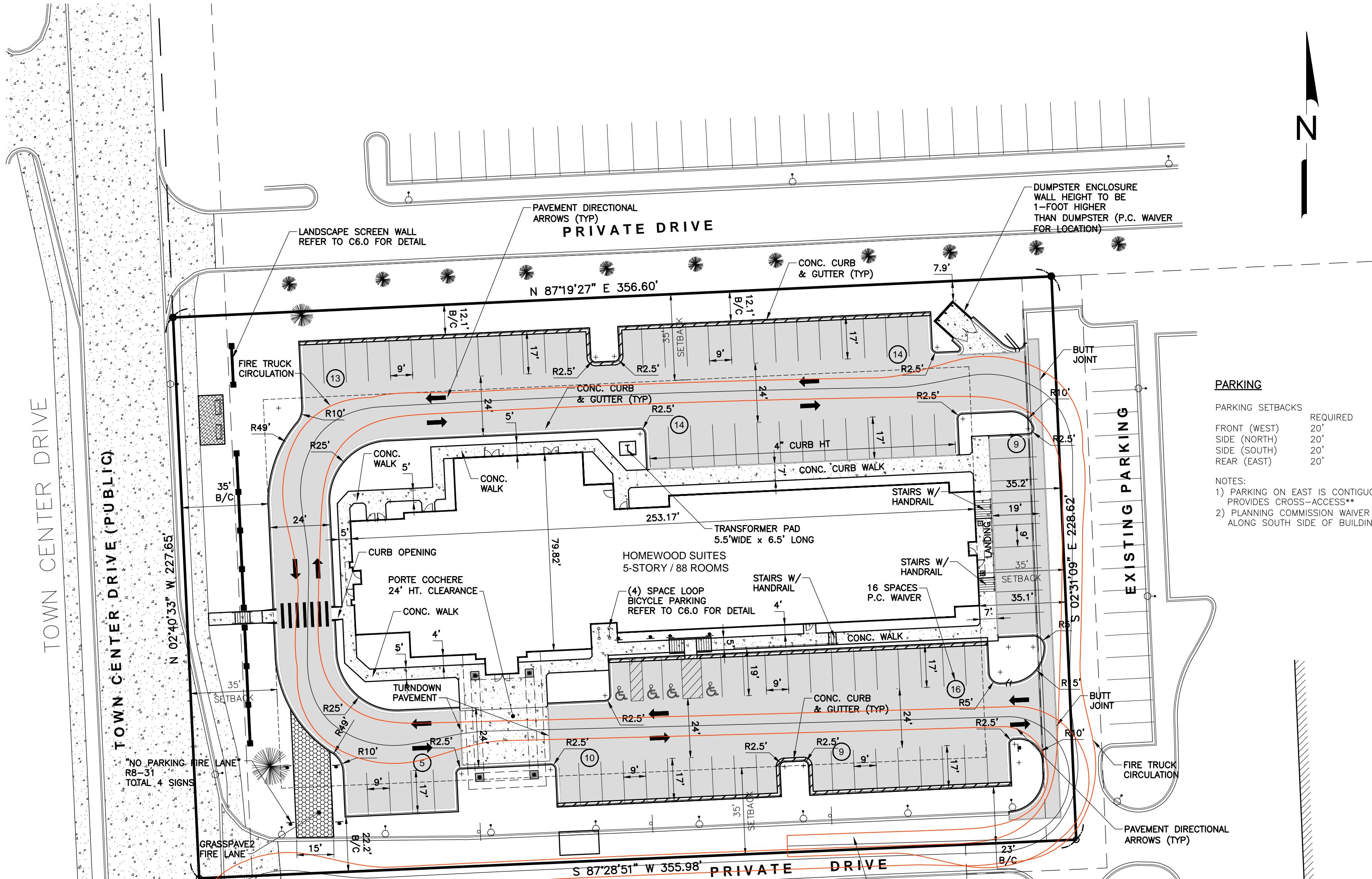
MAXIMUM AREA COVER BY PARKING WITHIN MINIMUM FRONT YARD SETBACK LINE AND THE BUILDING FACADE SETBACK LINE
 MAX = 50%
 PROPOSED = 435 S.F. / 7,517 S.F. = 5.8%

SETBACKS:
 BUILDING
 FRONT = 35- FEET
 SIDE = 35- FEET
 REAR = 35- FEET

ISSUED FOR DATE

PRE-APPLICATION	11/10/14
PRELIM SPA	01/16/15
PRELIM SPA	04/03/15

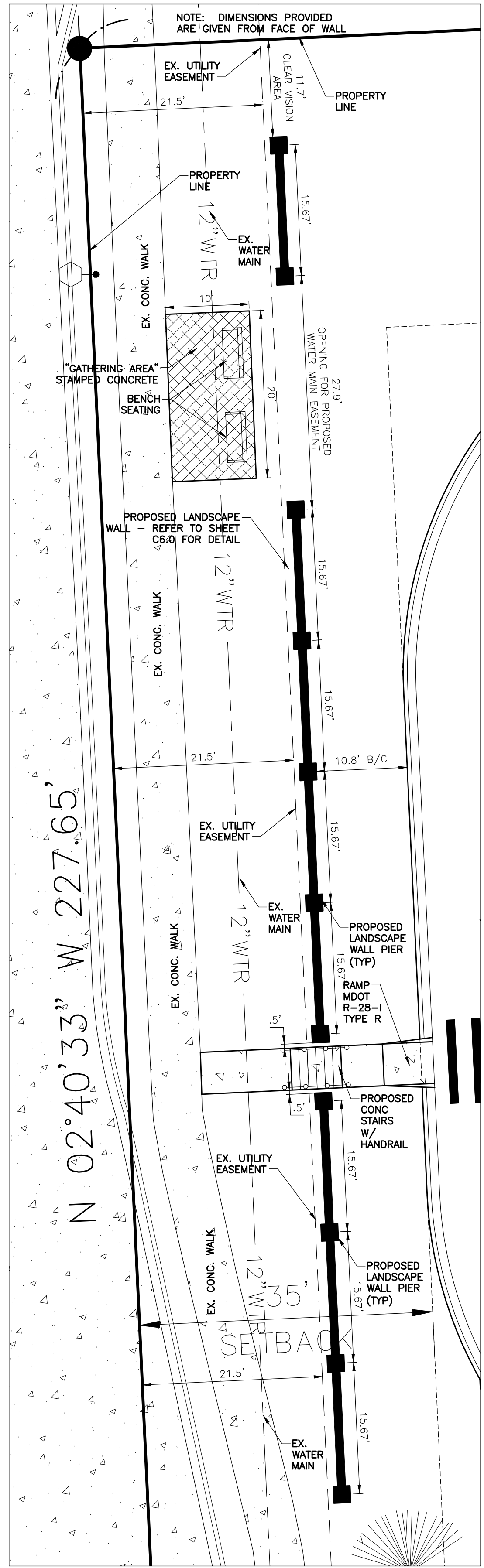
DATE
DRAWN : ACA
CHECKED : JP
SCALE : 1"=30'
JOB NO : BD-14-235
SHEET TITLE
SITE LAYOUT AND PAVING PLAN
SHEET



PARKING

PARKING SETBACKS	REQUIRED	PROPOSED	VARIANCE REQ.
FRONT (WEST)	20'	35'	N/A
SIDE (NORTH)	20'	12'	8'
SIDE (SOUTH)	20'	22'	N/A
REAR (EAST)	20'	6'	14'

NOTES:
 1) PARKING ON EAST IS CONTIGUOUS WITH ADJACENT PROPERTY AND PROVIDES CROSS-ACCESS**
 2) PLANNING COMMISSION WAIVER REQUEST FOR 16 PARKING SPACES ALONG SOUTH SIDE OF BUILDING.

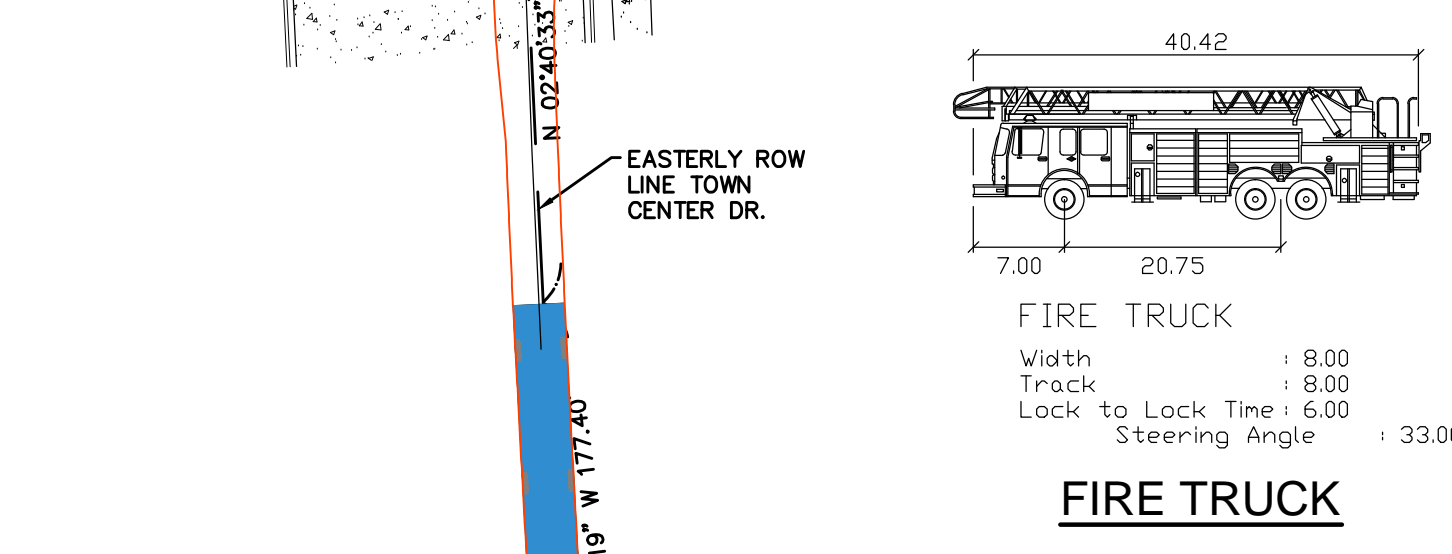


NOTE: DUE TO THE PRESENCE OF THE EXISTING SIDEWALK, WATER MAIN, AND UTILITY EASEMENTS, THE INSTALLATION OF A LANDSCAPE BERM FOR RIGHT-OF-WAY SCREENING WOULD BE POSE ISSUES WITH THE EXISTING CONDITIONS. THEREFORE, A FREESTANDING 3-FOOT WALL IS BEING UTILIZED.

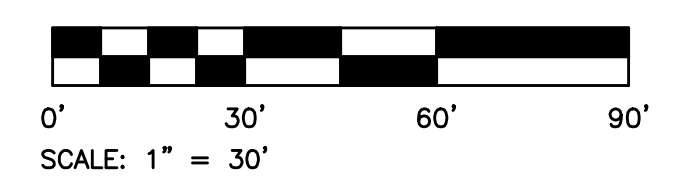
LANDSCAPE SCREEN WALL
 SCALE: 1" = 10'

ZONING INFORMATION

ZONED = OSC (OFFICE SERVICE COMMERCIAL)
 SETBACKS:
 FRONT: - 35'
 REAR: - 35'
 SIDE: - 35' EACH SIDE
 MAXIMUM BUILDING HEIGHT - SIDE: - 5 STORIES OR 65'

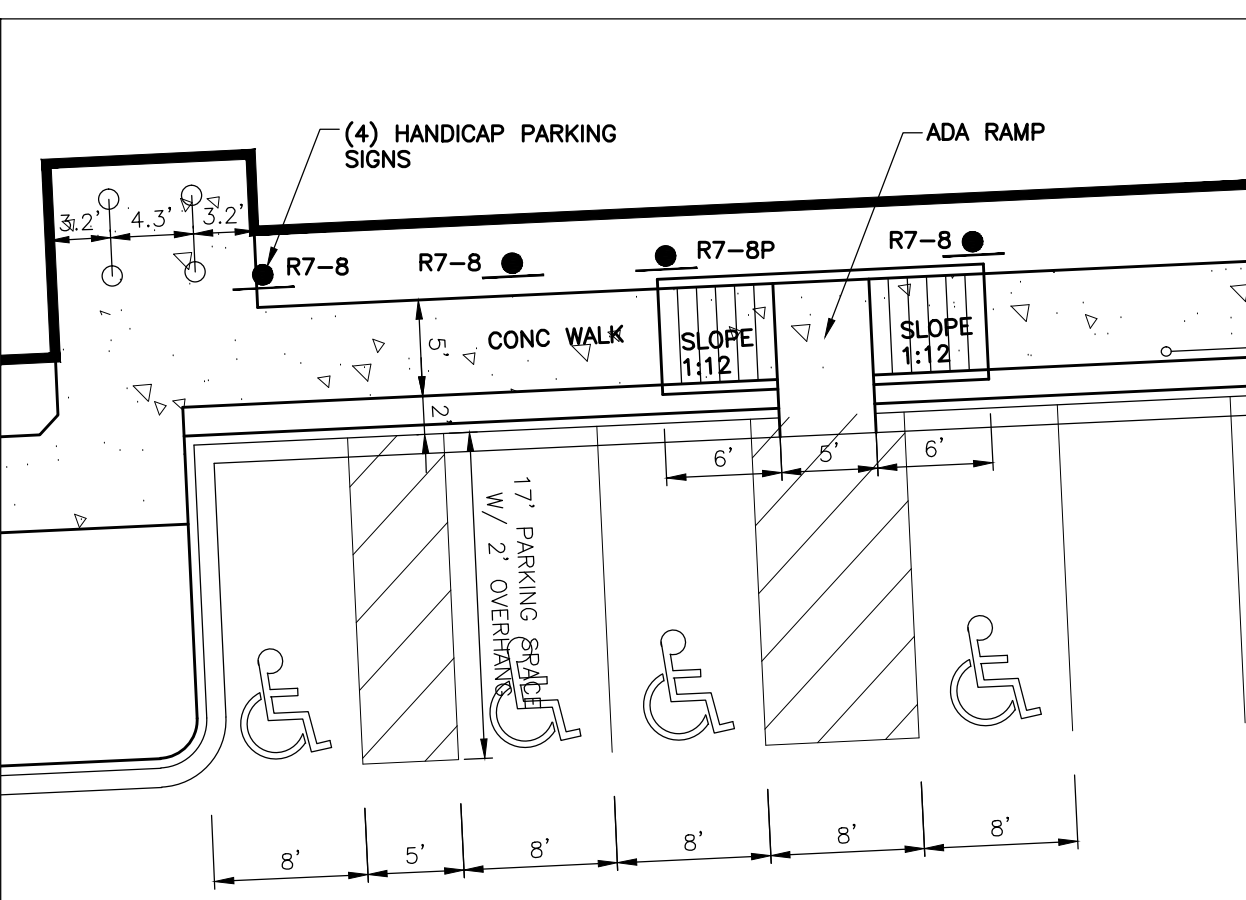


THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

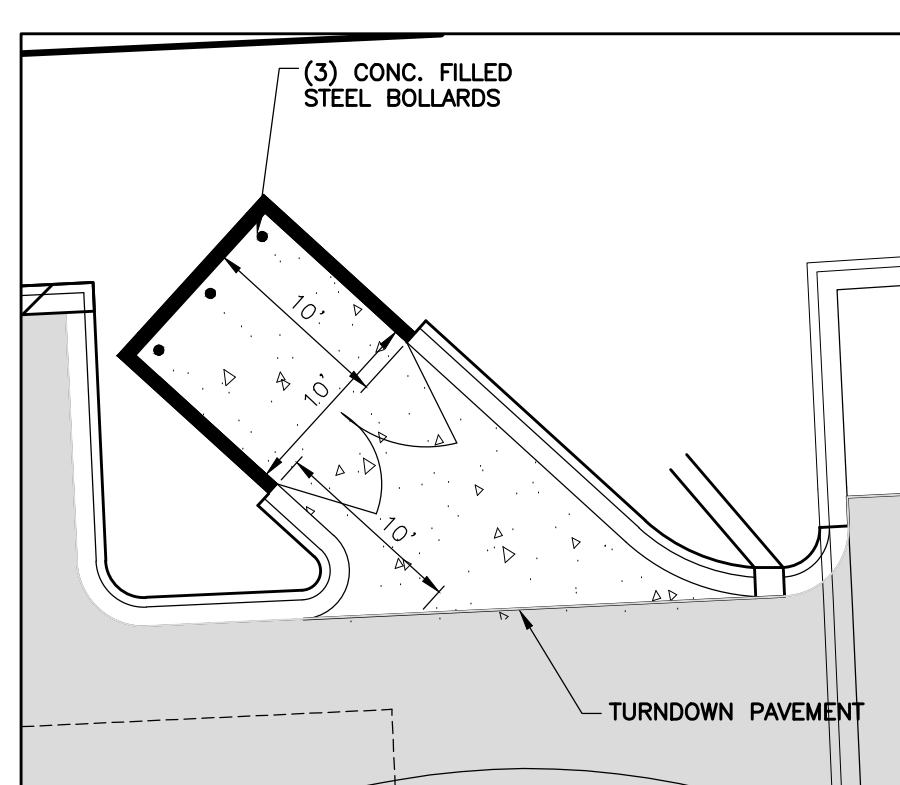


PAVEMENT INFORMATION

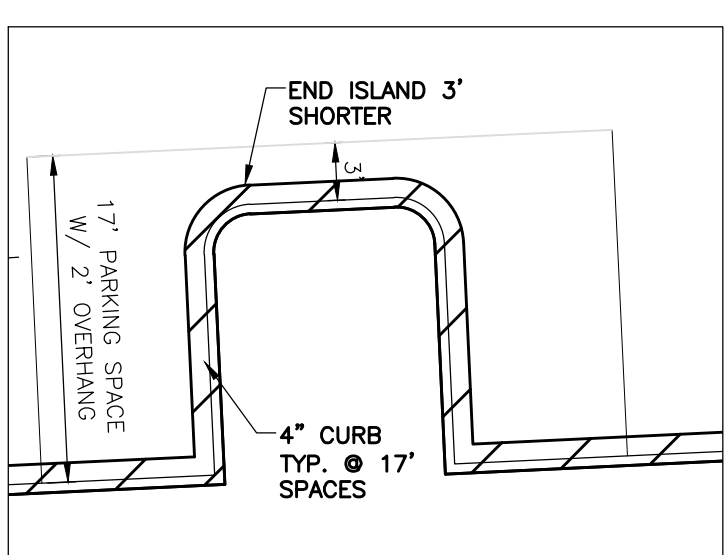
[Symbol]	BITUMINOUS PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	4" CURB ADJACENT TO 17' PARKING



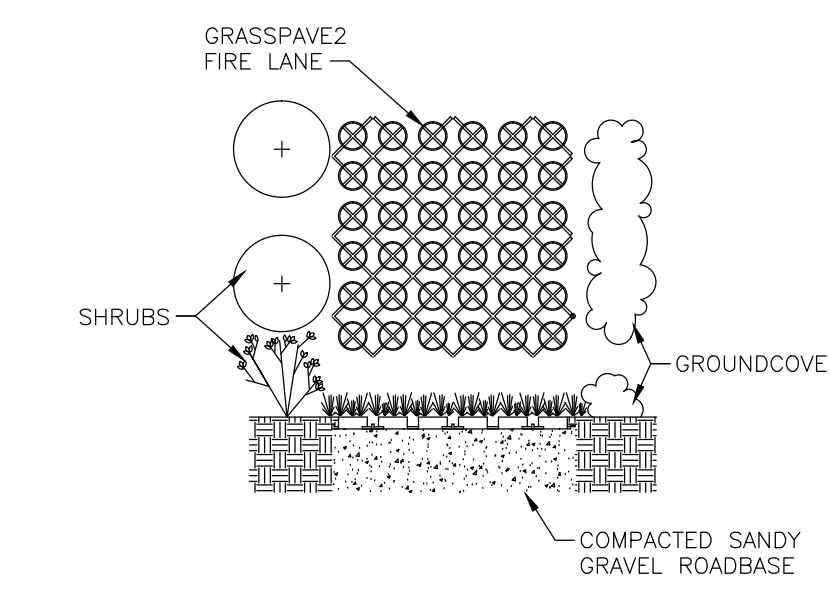
HANDICAP PARKING
 SCALE: 1" = 10'



DUMPSTER ENCLOSURE
 SCALE: 1" = 10'



ISLAND DETAIL
 SCALE: 1" = 10'



GRASSPAVE2 FIRE LANE
 SCALE: NTS

PRELIMINARY SITE PLAN

C3.0

SANITARY USE CALCULATION

PROPOSED BUILDING USAGE	ROOMS	UNIT FACTOR	R.E.U.
Hotel	88	0.38 units per	1 room 33.44
	Total = 88		Rounded= 34.00

POPULATION EQUIVALENT = 3.5	Persons per R.E.U.
POPULATION = 119.0	Persons
AVERAGE FLOW RATE = 90	Gallons per capita per day
AVERAGE FLOW = 10,710.00 GPD	
PEAK FACTOR = 4	
PEAK FLOW = 42,840.00 GPD	0.064 CFS
	6" @ 1.00% (cb) = 0.73

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF NOVI WATER AND SANITARY STANDARDS AND SPECIFICATIONS.
- MAINTAIN A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND ANY OTHER UTILITY OF 10- FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN A WATER MAIN AND A SEWER SHALL BE 18-INCHES.
- NO GROUNDWATER, STORM WATER, CONSTRUCTION WATER, DOWNSPOUT DRAINAGE OR WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
- REFER TO PLUMBING PLANS TO VERIFY BUILDING UTILITY CONNECTION LOCATIONS. SITE UTILITY LOCATIONS TO TERMINATE 5' OUTSIDE OF BUILDING.
- SANITARY CLEANOUT ASSEMBLIES TO BE ZURN 1402-HD, OR OTHERWISE APPROVED EQUAL.
- ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION OF FOUNDATION.
- ALL WATER MAIN AND FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE CONSTRUCTION OF THE FOUNDATION.
- THE BUILDING ADDRESS SHALL BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS SHALL BE AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
- CONTRACTOR SHALL ENGAGE A PRIVATE UTILITY LOCATING SERVICE TO IDENTIFY ALL UTILITIES WITHIN THE INFLUENCE OF WORK ASSOCIATED WITH THE PROJECT. ALL FINDINGS SHALL BE REPORTED, IN WRITTEN FORM, TO THE ENGINEER.
- COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

SANITARY SEWER QUANTITIES

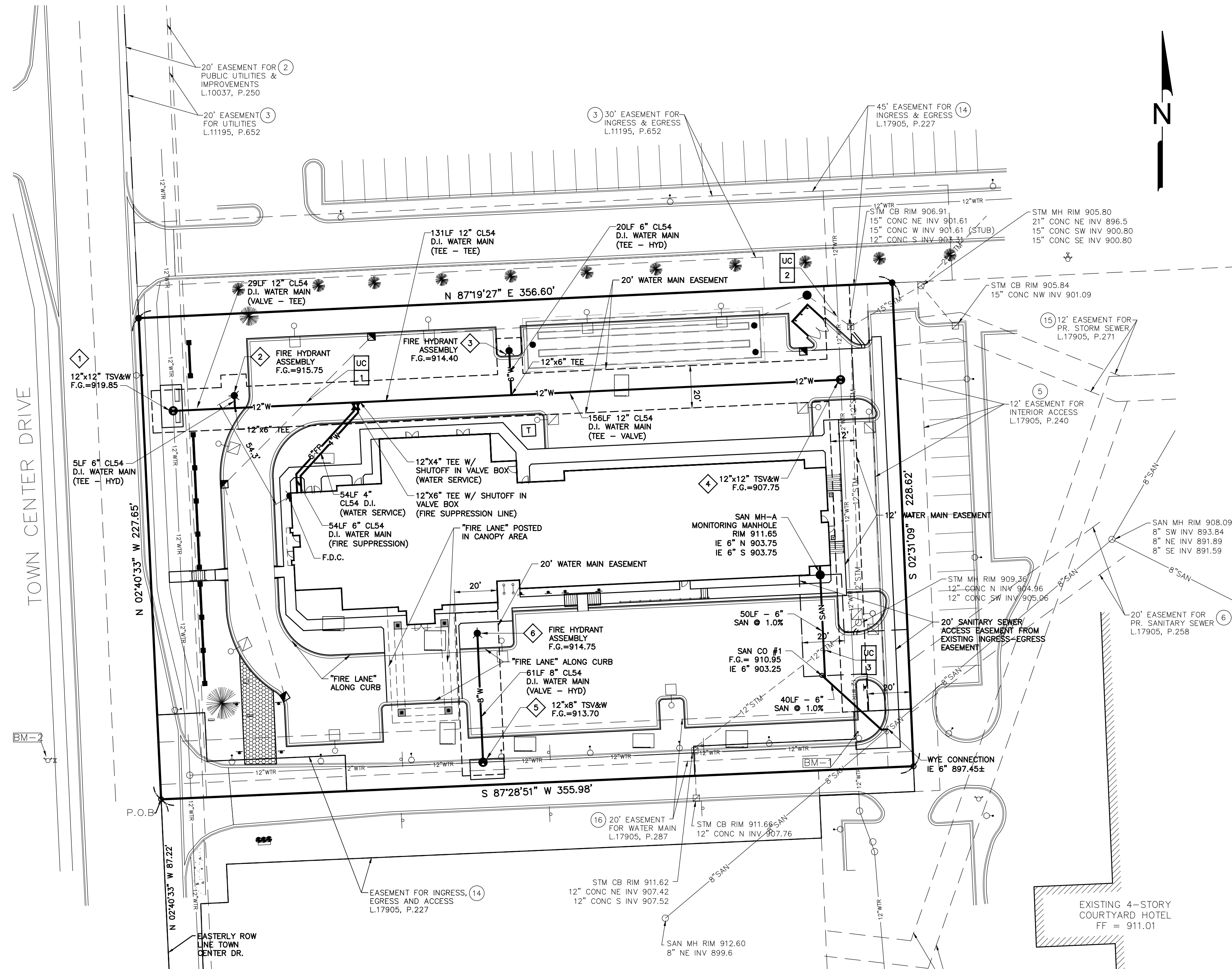
6" PVC SDR 26	90 LF
6" CLEAN OUT	1 EA
MONITORING MANHOLE	1 EA

WATER MAIN QUANTITIES

12" CL 54 D.I.	316 LF
8" CL 54 D.I.	61 LF
6" CL 54 D.I.	79 LF
4" CL 54 D.I.	54 LF
12"x12" TS&V IN WELL	2 EA
12"x8" TS&V IN WELL	1 EA
12"x6" TEE	3 EA
12"x4" TEE	1 EA
6" SHUTOFF IN BOX (FIRE PROTECTION)	1 EA
4" SHUTOFF IN BOX (WATER SERVICE)	1 EA
FIRE HYDRANT ASSEMBLY	3 EA

UTILITY CROSSINGS

UC 1	BOTTOM OF STORM	= 908.12
	TOP OF WATER	= 906.62 (DEFLECT WATER MAIN)
UC 2	BOTTOM OF STORM	= 901.52
	TOP OF WATER	= 900.02 (DEFLECT WATER MAIN)
UC 3	BOTTOM OF STORM	= 905.38
	TOP OF SANITARY	= 903.88



HOMEWOOD SUITES
TOWN CENTER DRIVE
NOVI, OAKLAND COUNTY, MI

SW 1/4, SEC 14, T1N, R8E

THIS DRAWING IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES SHOWN HEREON. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SANITARY SEWER SYSTEM SHOWN HEREON. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF ANY UTILITIES NOT SHOWN HEREON. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES NOT SHOWN HEREON. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SANITARY SEWER SYSTEM SHOWN HEREON. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF ANY UTILITIES NOT SHOWN HEREON.

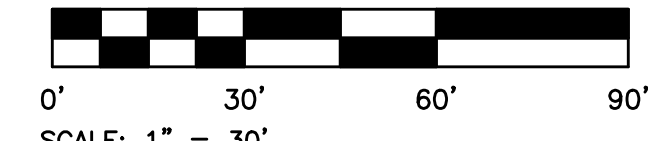
UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

UTILITY CONTACTS

TELEPHONE	GAS AND ELECTRIC
SBC PONTIAC/SOUTHFIELD ENG. 54 N. MILL ST PONTIAC, MI. 48342 GREG HILLS (248) 456-0808	CONSUMERS ENERGY GAS INFORMATION MGMT. 530 W. WILLOW ST. LANSING, MI 48906 MIGNON KEZELE (877) 240-9602
ZONING	WATER/SEWER
CITY OF NOVI PLANNING & BUILDING 45175 WEST 10 MILE RD NOVI, MICHIGAN 48375 (248) 347-0456	CITY OF NOVI PUBLIC WORKS 45175 WEST 10 MILE RD NOVI, MICHIGAN 48375 (248) 347-0456

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.



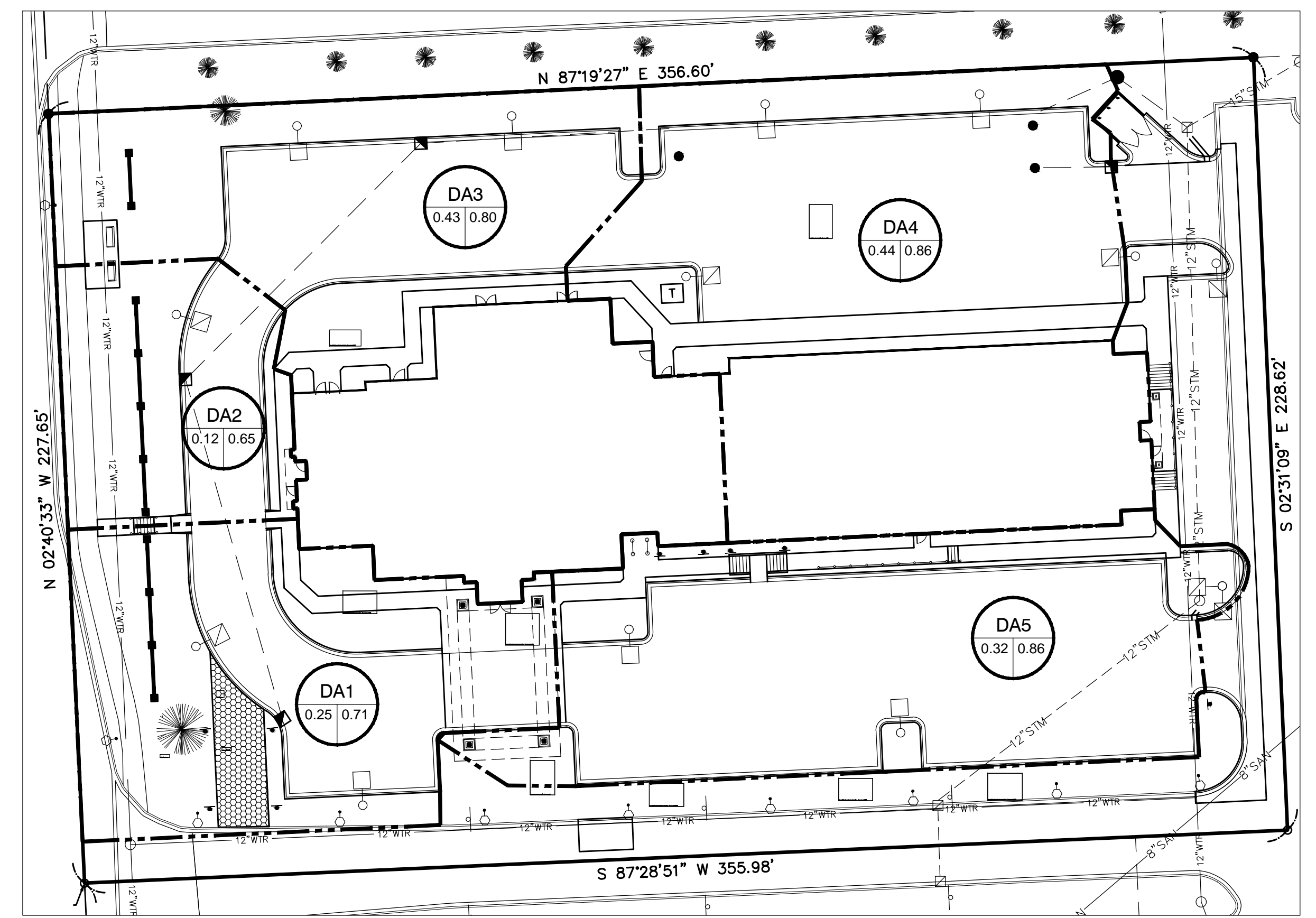
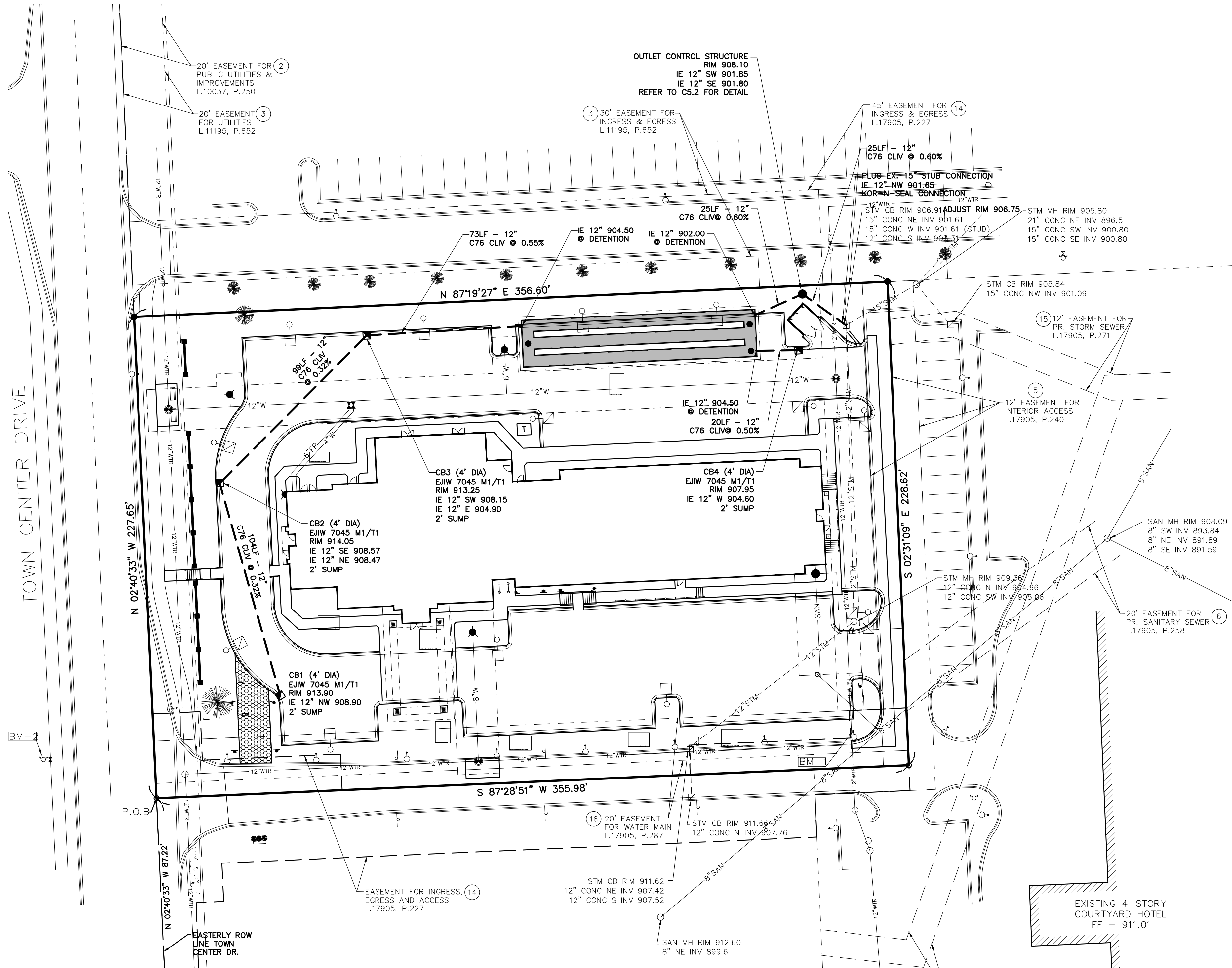
ISSUED FOR	DATE
PRE-APPLICATION	11/12/14
PRELIM SPA	01/16/15
PRELIM SPA	04/03/15

DATE :
DRAWN : ACA
CHECKED : JP
SCALE : 1"=30'
JOB NO : BD-14-235
SHEET TITLE :
UTILITY PLAN

SHEET

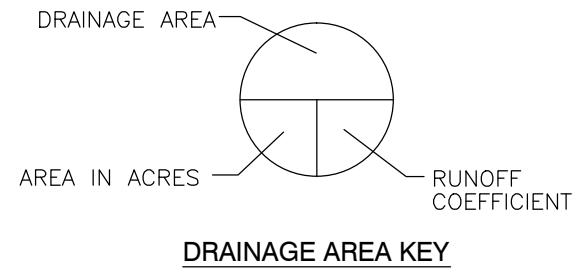
PRELIMINARY SITE PLAN

C5.0



DRAINAGE AREA MAP

SCALE: 1" = 30'



TASK:

TASK	STREETS	STORM SEWER SYSTEM	CATCH BASIN INLET CASINGS	CHANNELS	OUTFLOW CONTROL STRUCTURES	RIP-RAP	STORM DETENTION AREAS	SCHEDULE:
INSPECT FOR SEDIMENT ACCUMULATION		X	X	X	X	X	X	ANNUALLY
REMOVAL OF SEDIMENT ACCUMULATION		X	X	X	X	X	X	EVERY 5-10 YEARS AS NEEDED
INSPECT FOR FLOATABLES AND DEBRIS		X	X	X	X	X	X	ANNUALLY
CLEANING OF FLOATABLES AND DEBRIS		X	X	X	X	X	X	ANNUALLY
INSPECTION FOR EROSION		X	X	X	X	X	X	ANNUALLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES			X				X	AS NEEDED
REPLACEMENT OF GRAVEL JACKETS				X				EVERY 3-5 YEARS AS NEEDED
CLEAN STREETS	X							SEMI-ANNUALLY
MOWING	X	X	X	X	X	X	X	0-2 TIMES PER YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY PROFESSIONAL ENGINEER REPORTING TO THE CITY)		X	X	X	X	X	X	ANNUALLY
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION		X	X	X	X	X	X	AS NEEDED
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES ARE REPORT TO CITY		X	X	X	X	X	X	ANNUALLY
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO CITY		X	X	X	X	X	X	ANNUALLY
CITY REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES ADJUSTMENTS AS NEEDED		X	X	X	X	X	X	ANNUALLY
CITY TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS		X	X	X	X	X	X	AS NEEDED

MAINTENANCE SCHEDULE

DRAINAGE AREA CALCULATIONS

Drainage Area	Area Total (S.F.)	Impervious Area (S.F.)	Pervious Area (S.F.)	C Imperv	C Perv	Area Total (acres)	Cw
DA1	10842.95	6440.68	4402.27	0.95	0.35	0.25	0.71
DA2	5086.28	2582.35	2503.93	0.95	0.35	0.12	0.65
DA3	18544.23	14003.34	4540.89	0.95	0.35	0.43	0.80
DA4	18949.37	16072.86	2876.51	0.95	0.35	0.44	0.86
DA5	13866.97	11802.42	2064.55	0.95	0.35	0.32	0.86

BANKFULL DETENTION

BANKFULL FLOOD VOLUME

V = 5160 x acreage x the relative imperviousness factor C
 A = 1.54 acres
 Cw = 0.80

V = 6,408 cf - REQUIRED

UNDERGROUND DETENTION - BANKFULL FLOOD VOLUME

Total Storage (Lateral) = 19.63 cubic feet per linear foot of storage
 Total Storage (Header) = 19.63 cubic feet per linear foot of storage
 Lateral Length = 300 linear feet
 Header Length = 43.48 linear feet
 Storage = 6,743 cf - PROVIDED

Outlet Orifice Elevation = 900.80
 Underground Invert Elevation = 902.00
 Bankfull Flood Elevation = 906.75
 Underground Inside Top Pipe = 907.00
 Underground Outside Top Pipe = 907.29

$Q = V / T$
 $V = 6,408 \text{ cf}$
 $T = 24 \text{ hr} = 86,400 \text{ sec}$
 $Q = 0.07 \text{ cfs}$
 $h_{AVE} = (ELEV_{BF} - ELEV_{BOT})$
 $h_{AVE} = 5.95 \text{ FT}$
 $A = Q / (0.62 \cdot (2 \cdot g \cdot h_{AVE})^{0.5})$
 $A = 0.01 \text{ FT}^2$
 $D = 1.1 \text{ in} @ 900.80$

STORM SEWER CALCULATION

$Q_p = C \cdot I \cdot A$
 $Q_p = A \times 1.486 / n \times R^{2.49} \times S^{1/2}$
 $I = 175 / (t + 25)$ for 10 year storm event

AREA NO.	FROM MH/CB	TO MH/CB	AREA A	COEFF. C*	AREA TOTAL At	COEFF. Cw	TIME t _c	INT. I	n	FLOW Q _s	PIPE CAP. Q _p	PIPE LENGTH	PIPE DIA.	PIPE SLOPE	VEL. FULL	TIME FLOW	RIM ELEV. HIGH	RIM ELEV. LOW	INVERT ELEV. HIGH	INVERT ELEV. LOW		
																					INVERT ELEV.	INVERT ELEV.
DA1	1	2	0.25	0.71	0.18	0.25	0.71	0.18	15.00	4.38	0.013	0.77	2.02	104	12	0.32%	2.57	0.68	913.90	914.05	908.90	908.57
DA2	2	3	0.12	0.65	0.08	0.37	0.69	0.25	15.68	4.30	0.013	1.09	2.02	99	12	0.32%	2.57	0.64	914.05	913.25	908.47	908.15
DA3	3	DET	0.43	0.80	0.34	0.79	0.75	0.59	16.32	4.24	0.013	2.52	2.64	73	12	0.55%	3.36	0.36	913.25	913.30	904.90	904.50
DA4	4	DET	0.44	0.86	0.37	0.44	0.86	0.37	15.00	4.38	0.013	1.63	2.52	20	12	0.50%	3.21	0.10	907.95	908.93	904.60	904.50
DA5	EX-2	EX-1	0.32	0.86	0.27	0.32	0.86	0.27	15.00	4.38	0.013	1.20	3.87	140	12	1.18%	4.92	0.47	909.36	908.75	904.96	903.31

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF NOVI WATER AND SANITARY STANDARDS AND SPECIFICATIONS.
- MAINTAIN A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND ANY OTHER UTILITY OF 10-FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN A WATER MAIN AND A SEWER SHALL BE 18-INCHES.
- REFER TO PLUMBING PLANS TO VERIFY BUILDING UTILITY CONNECTION LOCATIONS. SITE UTILITY LOCATIONS TO TERMINATE 5' OUTSIDE OF FOUNDATION.
- ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION OF FOUNDATION.
- THE BUILDING ADDRESS SHALL BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS SHALL BE AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
- CONTRACTOR SHALL ENGAGE A PRIVATE UTILITY LOCATING SERVICE TO IDENTIFY ALL UTILITIES WITHIN THE INFLUENCE OF WORK ASSOCIATED WITH THE PROJECT. ALL FINDINGS SHALL BE REPORTED, IN WRITTEN FORM, TO THE ENGINEER.
- COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

STORM SEWER QUANTITIES

12" C76 CLV PIPE 346 LF
 6" SCH 40 PVC PIPE 200 LF
 4' DIA STRUCTURE 5 EA

STORM DETENTION

THE BISHOP REGIONAL BASIN WILL BE UTILIZED FOR STORM RUNOFF AND DETENTION FROM THE PROPOSED PROJECT.
 ON-SITE COLLECTION AND RESTRICTED RELEASE OF THE BANKFULL EVENT IS BEING ACCOMPLISHED WITH THE USE OF UNDERGROUND DETENTION.

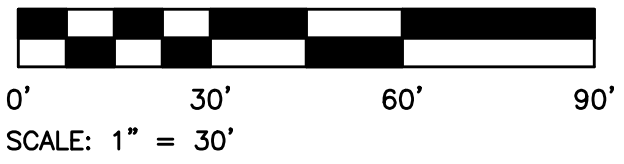
UTILITY CONTACTS

TELEPHONE
 SBC
 PONTIAC/SOUTHFIELD ENG.
 54 N. MILL ST
 PONTIAC, MI. 48342
 GREG HILLS
 (248) 456-0808

GAS AND ELECTRIC
 CONSUMERS ENERGY
 GAS INFORMATION MGMT.
 530 W. WILLOW ST.
 LANSING, MI. 48906
 MIGNON KEZZLE
 (877) 240-9602

ZONING
 CITY OF NOVI
 PLANNING & BUILDING
 45175 WEST 10 MILE RD
 NOVI, MICHIGAN 48375
 (248) 347-0456

WATER/SEWER
 CITY OF NOVI
 PUBLIC WORKS
 45175 WEST 10 MILE RD
 NOVI, MICHIGAN 48375
 (248) 347-0456



PRELIMINARY SITE PLAN

bde
 Bud Design & Engineering Services, Inc.
 Architects | Engineers | Interior Design
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48839
 PH: 810.695.0793
 FAX: 810.695.0569
 Web: www.budesign.com

**HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, OAKLAND COUNTY, MI**

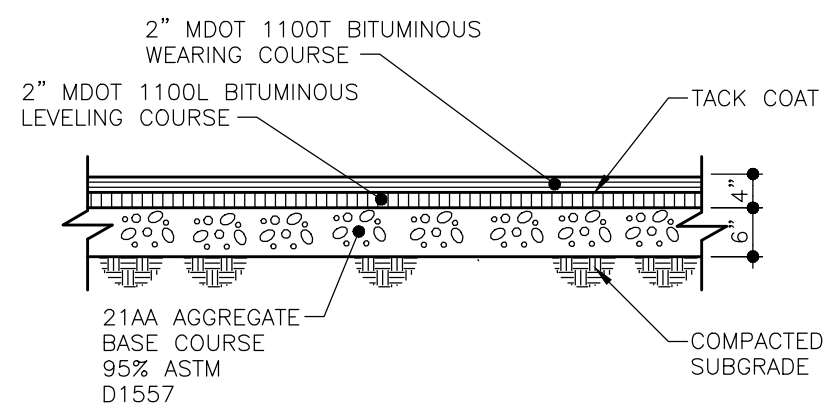
SW 1/4, SEC 14, T1N, R8E

THIS PLAN IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN & ENGINEERING SERVICES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

ISSUED FOR	DATE
PRELIM SPA	01/16/15
PRELIM SPA	04/03/15

DATE: _____
 DRAWN: ACA
 CHECKED: JP
 SCALE: 1"=30'
 JOB NO.: BD-14-235
 SHEET TITLE: **STORM MANAGEMENT PLAN**
 SHEET

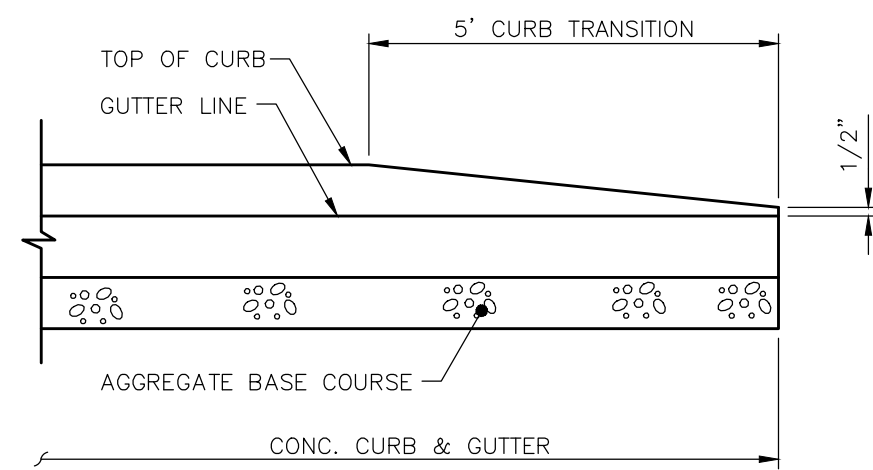
C5.1



NOTE: A GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS WAS NOT AVAILABLE, THEREFORE THE PAVEMENT SECTION REPRESENTS THE MINIMUM STANDARDS RECOMMENDED.

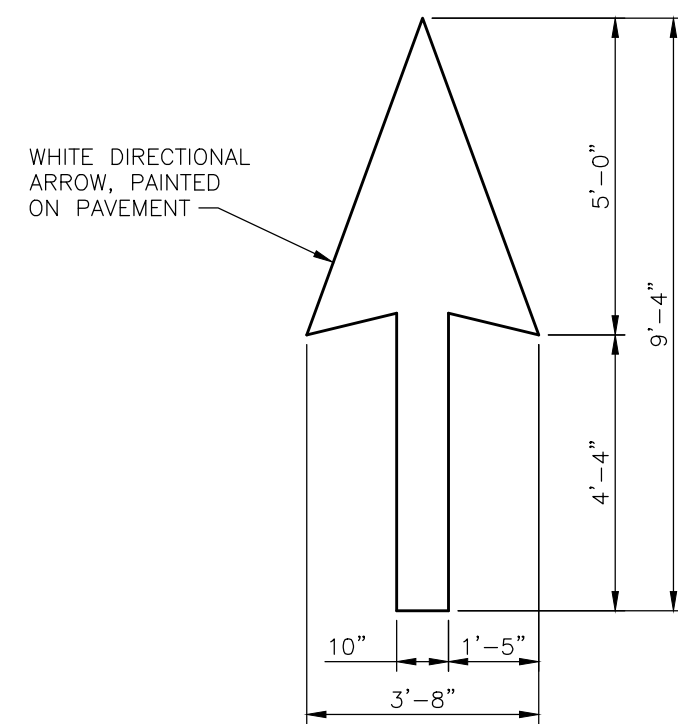
BITUMINOUS PAVEMENT

NO SCALE



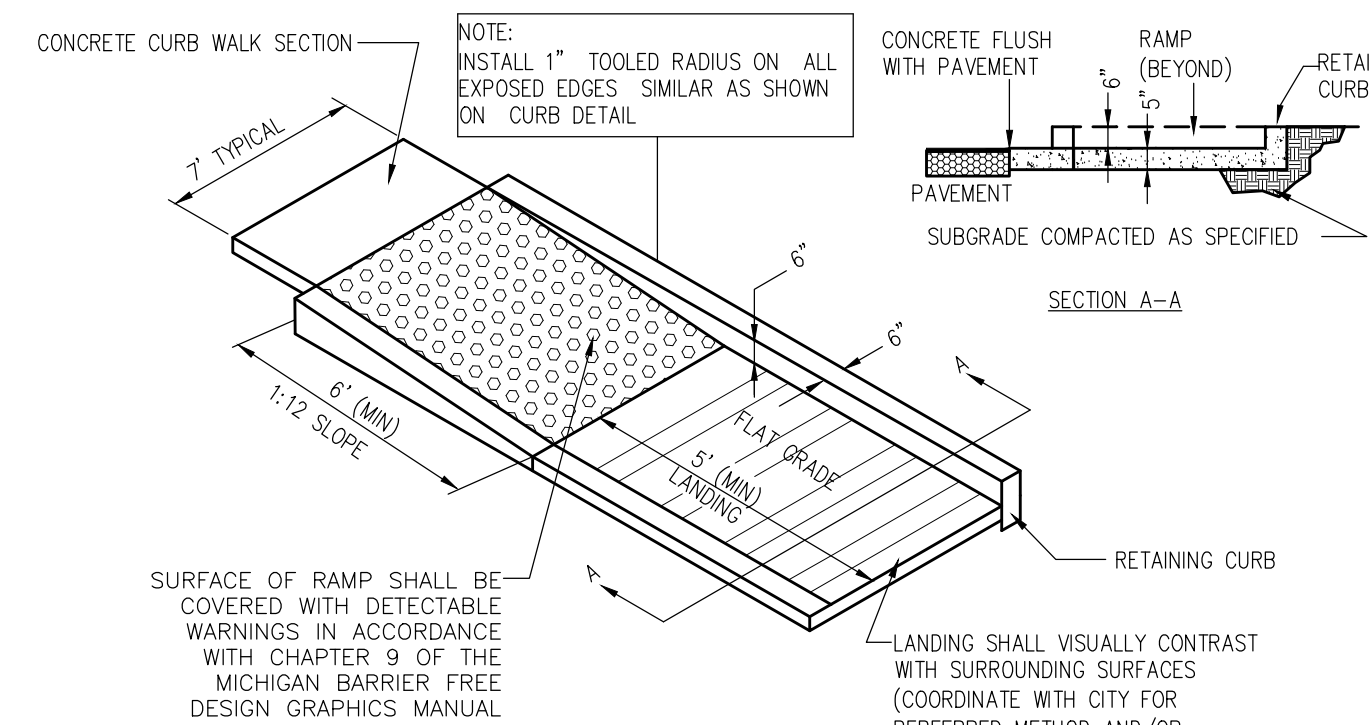
TYPICAL CURB END TRANSITION

NO SCALE



STRAIGHT DIRECTIONAL ARROW

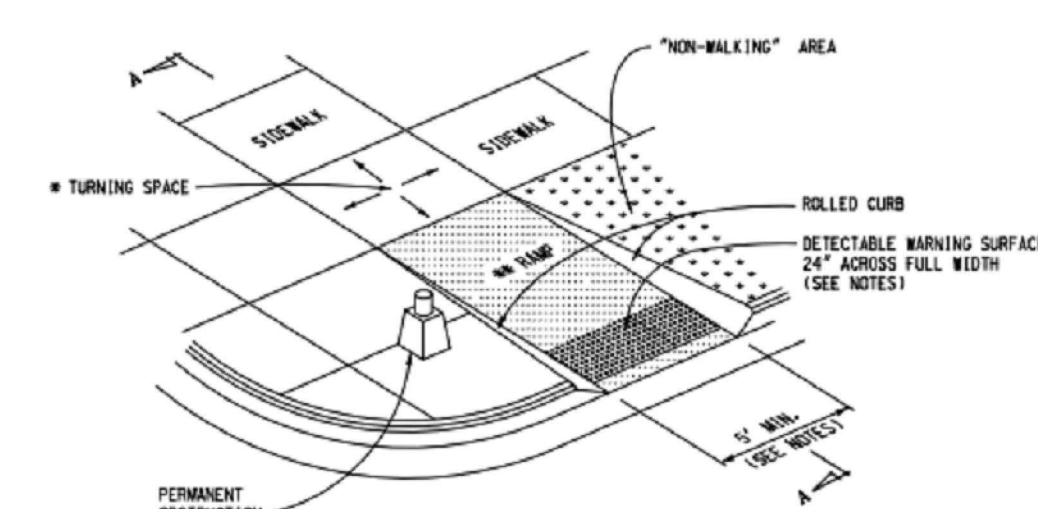
NO SCALE



BARRIER FREE RAMP

NO SCALE

- MAXIMUM TURNING SPACE SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- MAXIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

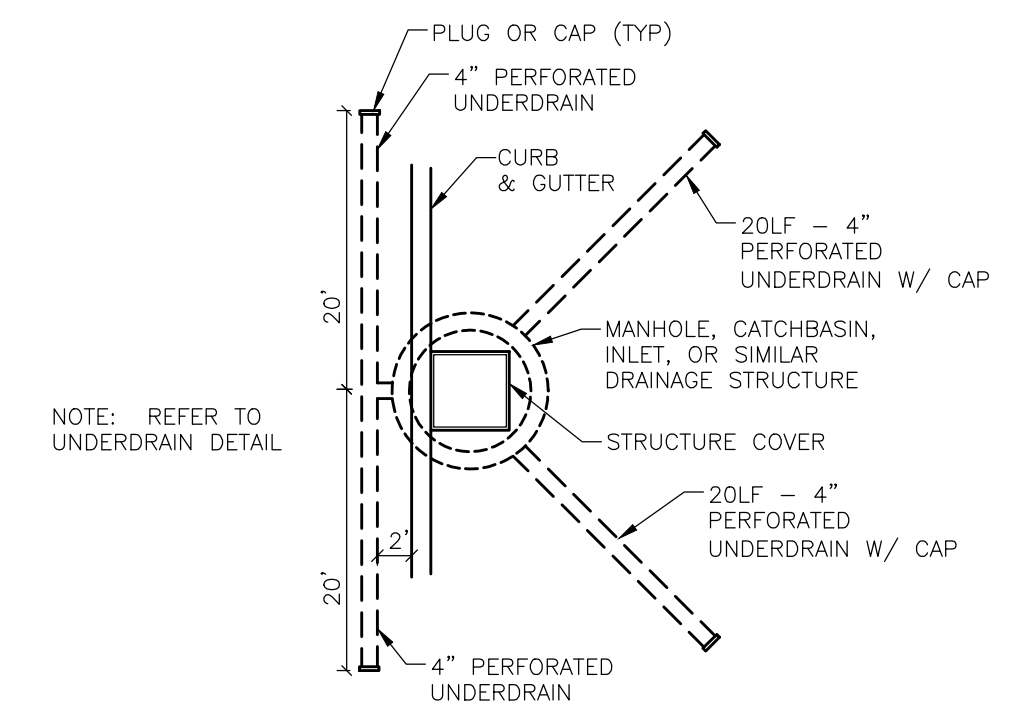


SIDEWALK RAMP TYPE R

(ROLLED SIDES)

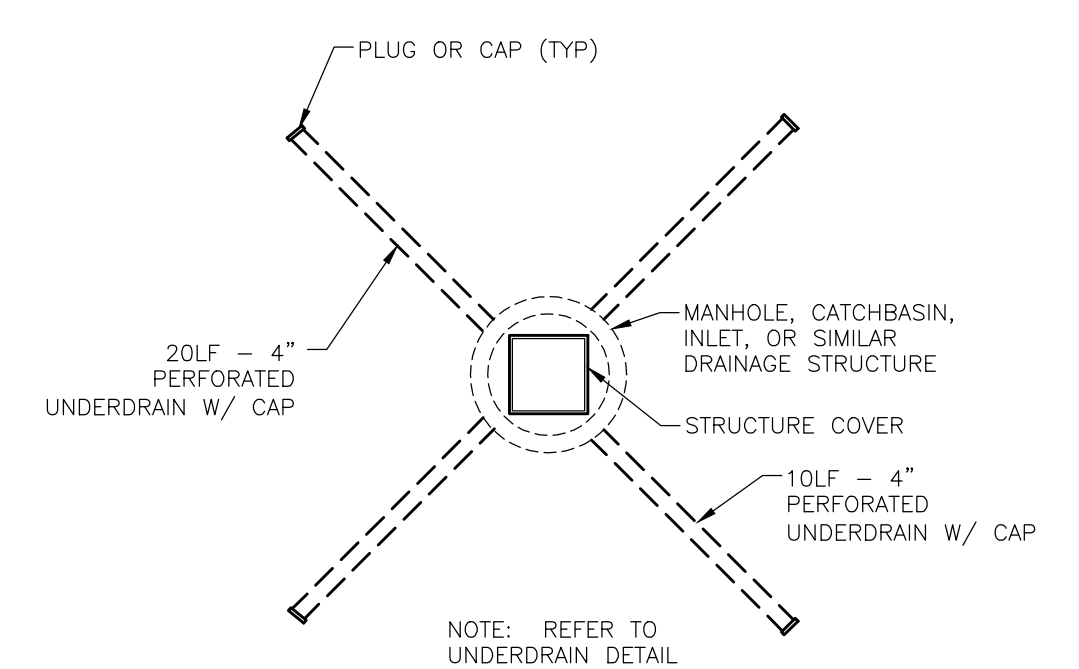
R-28-I TYPE R RAMP

NO SCALE



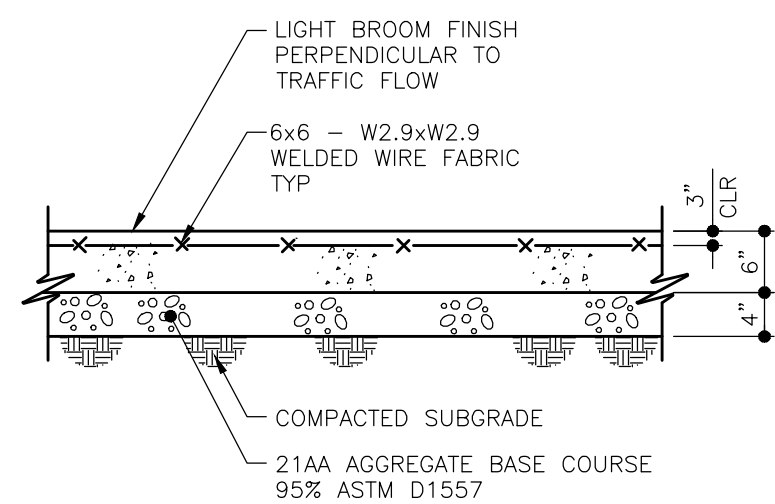
TYP CURB CATCH BASIN UNDERDRAIN

NO SCALE



TYP CURB CATCH BASIN UNDERDRAIN

NO SCALE

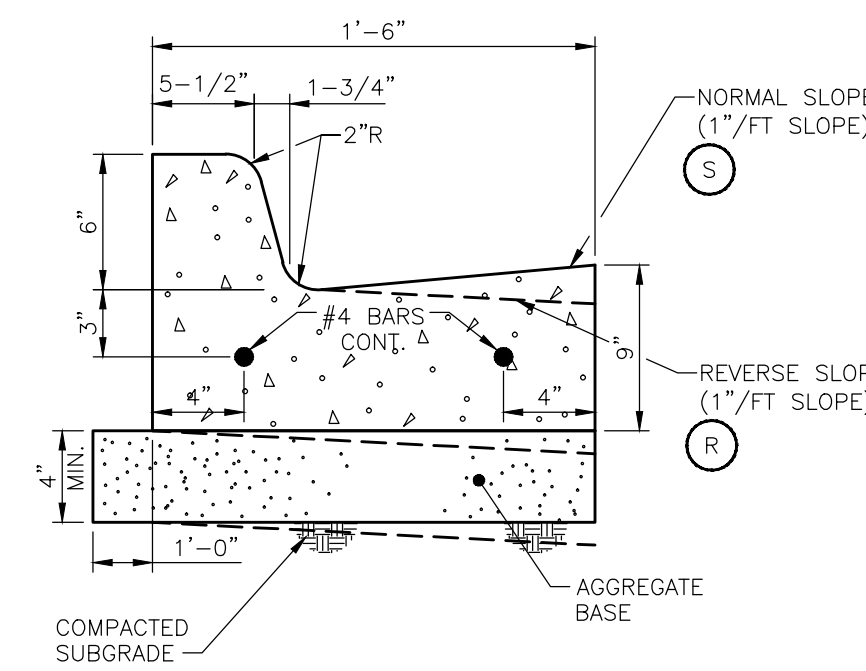


NOTE: A GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS WAS NOT AVAILABLE, THEREFORE THE PAVEMENT SECTION REPRESENTS THE MINIMUM STANDARDS RECOMMENDED.

CONCRETE IN SHALL BE 3000 PSI

CONCRETE PAVEMENT

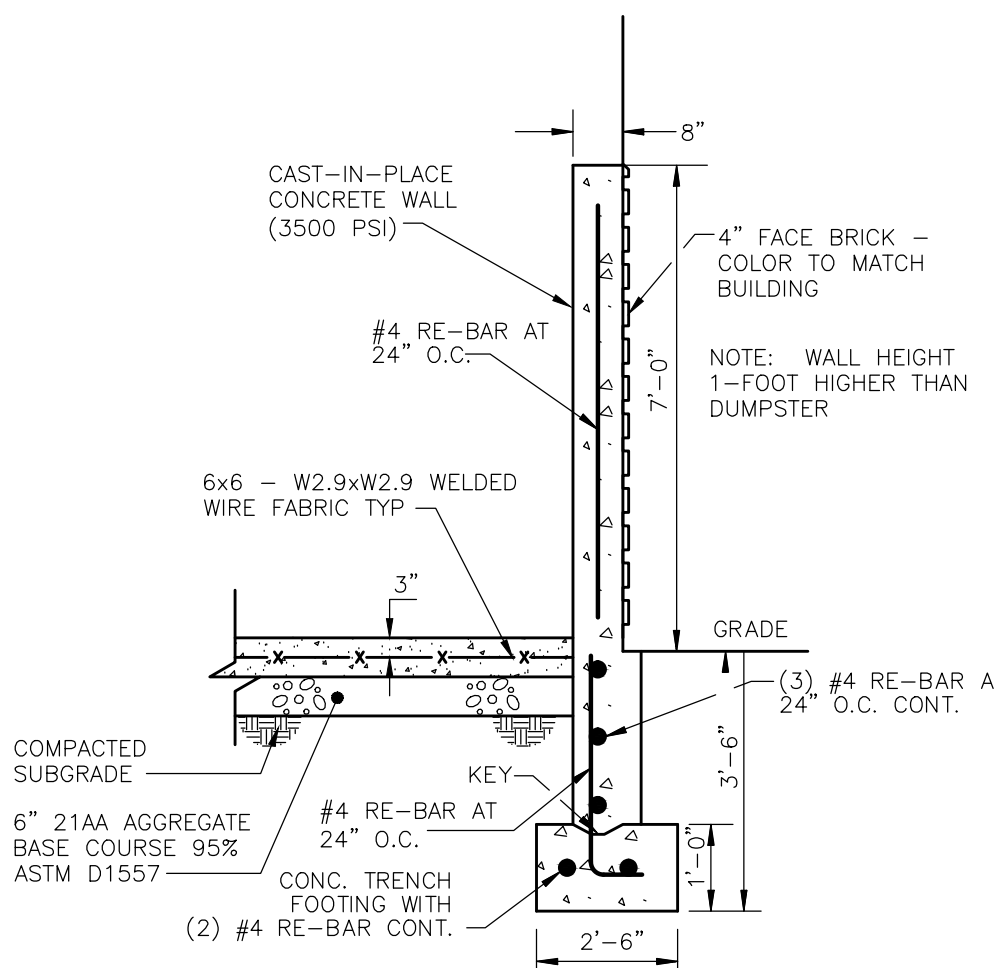
NO SCALE



NOTE: REFER TO SHEET C3.0 FOR LOCATIONS OF WHERE CURB HEIGHT IS REDUCED TO 4-INCHES

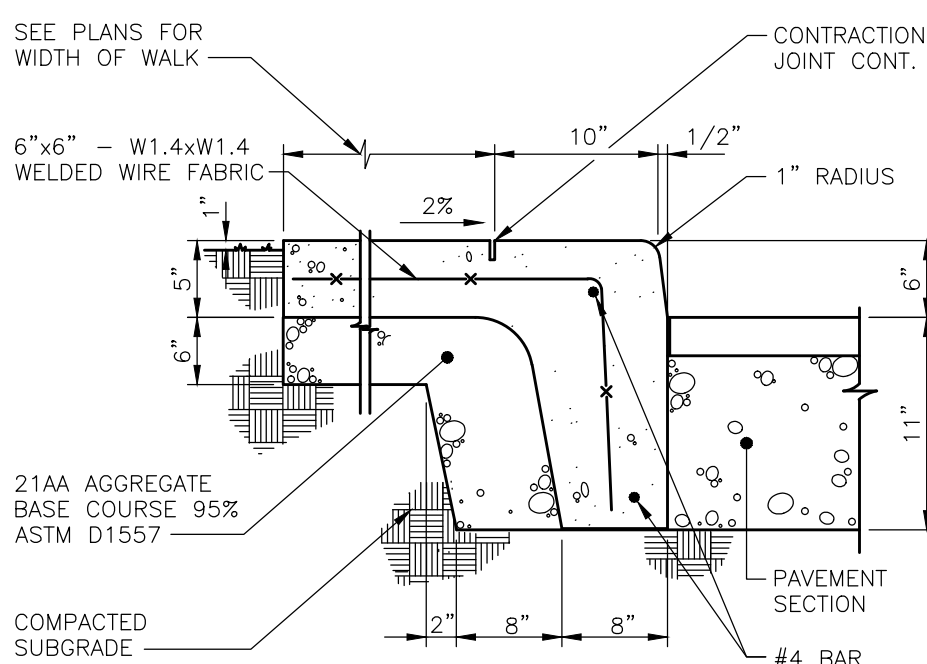
CONC. CURB & GUTTER

NO SCALE



DUMPSTER WALL

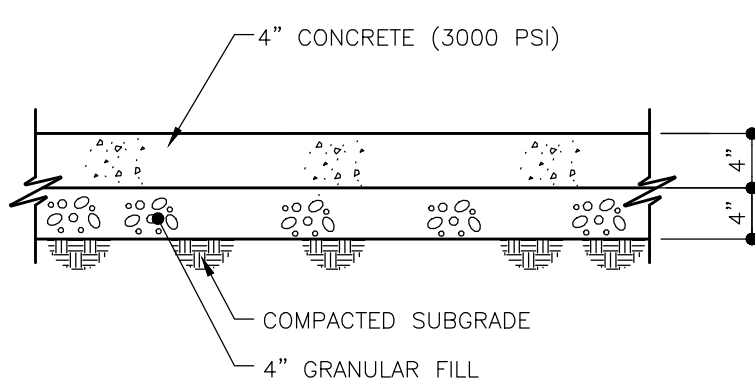
NO SCALE



NOTE: WHERE WALK DOES NOT ABUT ASPHALT PAVEMENT, EXTEND THICKNESS FOR REQUIRED WIDTH AND OMIT CURB PORTION. CONTRACTION JOINTS TO BE 2 1/2" DEEP, SPACED AT 5' INTERVALS (TOOLED). EXPANSION JOINTS TO BE 1/2" PREMOLDED FILLER, SPACED A MAXIMUM OF 30' APART.

CONCRETE CURB WALK

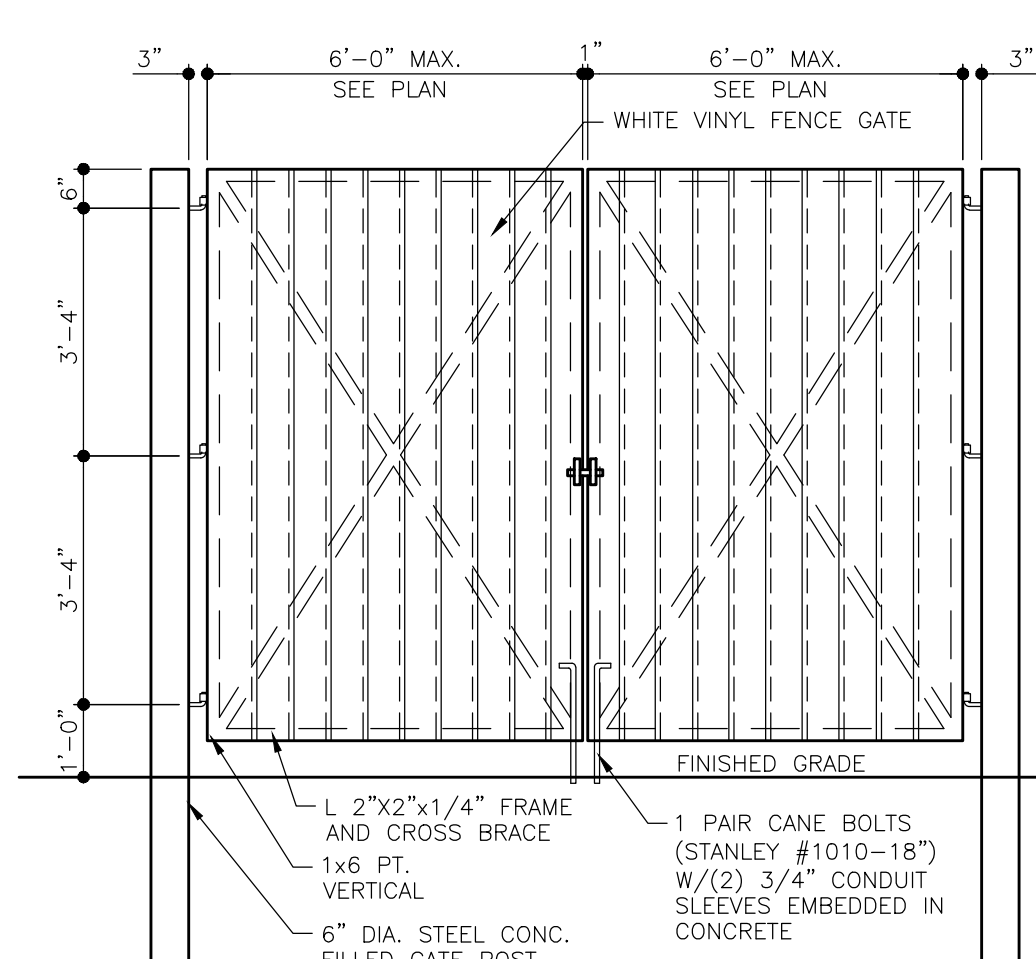
NO SCALE



NOTE: CONTRACTION JOINT SHALL BE 1/4"x2 3/4" DEEP. SPACED AT 5'-0" INTERVALS. EXPANSION JOINTS SHALL BE 1/2" PREMOLDED FILLER, SPACED AT A MAXIMUM 30' APART. EXPANSION JOINTS TO BE PLACED BETWEEN NEW AND EXISTING CONCRETE.

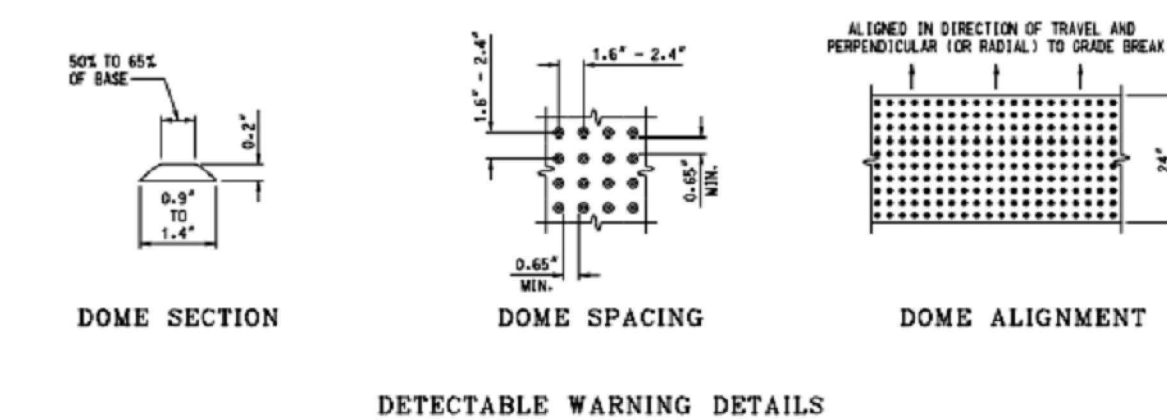
CONCRETE WALK

NO SCALE



DUMPSTER GATE DETAIL

NO SCALE



DETECTABLE WARNING DETAILS

NOTE: DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF SIDEWALKS, CURBS, OR SIDEWALKS IN THE PUBLIC RIGHT OF WAY.

NOTE: SIDEWALK RAMP ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

NOTE: RAMP SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMP SHALL ALSO BE PROVIDED AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

NOTE: SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COURSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

NOTE: RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

NOTE: PRECISE TURNING SPACES WHERE PEDESTRIAN TURNING MOVEMENTS ARE REQUIRED.

NOTE: WHEN 5' MINIMUM WIDTHS ARE NOT FEASIBLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND TURNING SPACES TO NOT LESS THAN 4' x 4'.

NOTE: DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE RAMP. PLANNED SIDEWALK OPENINGS EXCLUDING CURBS OR PLANNED CURB TRANSITION ARE A MINIMUM OF 24" CLEAR DOUBLE 7' MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE. FOR RAMP CURB THE OFFSET IS MEASURED FROM THE ENDS OF THE RAMP.

NOTE: FOR NEW SIDEWALK CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2.0%. FOR ALTERATIONS TO EXISTING SIDEWALKS, THE CROSS SLOPE MAY BE TRANSFERRED TO MEET AN EXISTING SIDEWALK GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

NOTE: THE MAXIMUM RUNNING SLOPE OF 6.7% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, IT SHALL NOT REALIZE ANY RAMP OR SERIES OF RAMP TO EXCEED 15 FEET IN LENGTH.

NOTE: DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMP. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURED 1' DIA. CONCRETE GATE. OPENINGS SHALL NOT BE GREATER THAN 1/2". ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE JOINTLINE DIRECTION OF TRAVEL.

NOTE: TRANSITION THE GUTTER PAN CROSS SECTION SUCH THAT THE COUNTER SLOPE IN THE DIRECTION OF RAMP TRAVEL IS NOT GREATER THAN 5% MAINTAIN THE NORMAL GUTTER PAN CROSS SECTION ACROSS SPRING STRUCTURES.

NOTE: THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.

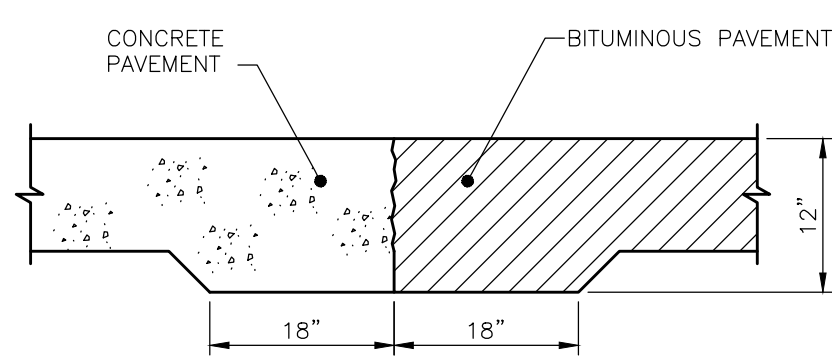
NOTE: CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".

NOTE: FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE SIDEWALK CURB LINE, SHALL BE PROVIDED WHERE AN UNBROOKED CIRCULATION PATH LATERALLY CROSSES THE SIDEWALK RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BROADCAST BY LANDSCAPING, IMPAVED SURFACE OR PERMANENTLY PLACED OBJECTS, WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE PROVIDED IN ORDER TO AVOID SHARP CURB RETURN AT RAMP OPENINGS.

NOTE: DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FORGED METAL CAST AND/OR WELDED ON THE PAVEMENT TO PREVENT SHIFTING OR HEAVING.

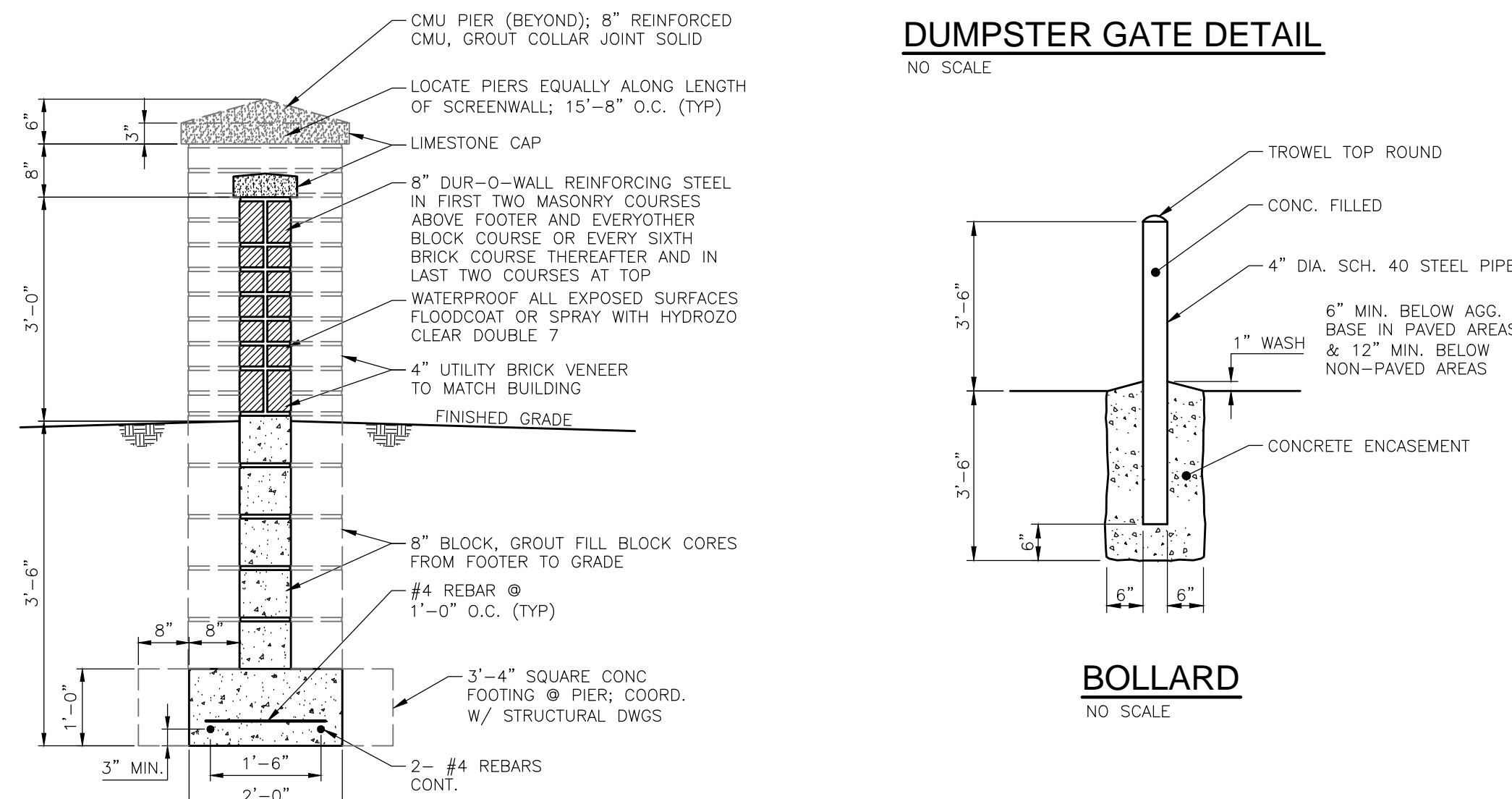
DETECTABLE WARNING

NO SCALE



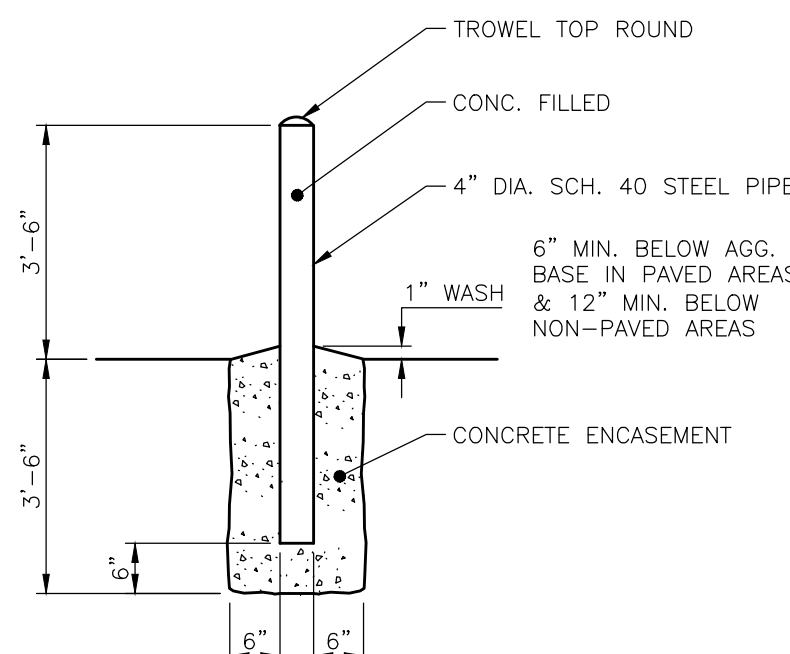
TURNDOWN PAVEMENT SECTION

NO SCALE



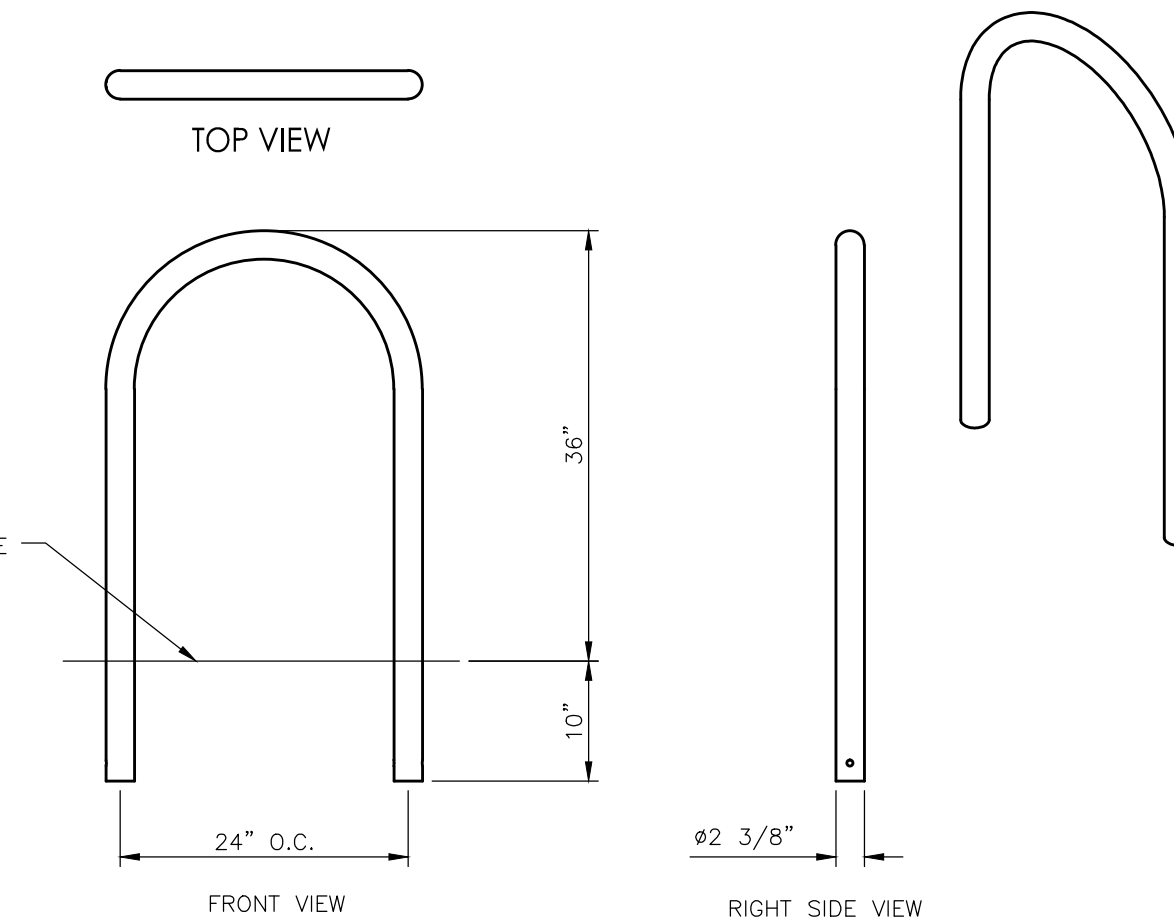
LANDSCAPE SCREEN WALL

NO SCALE



BOLLARD

NO SCALE

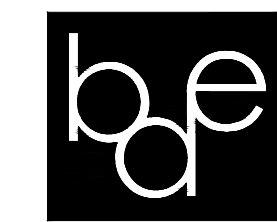


BIKE RACK

NO SCALE

MATERIAL LIST:
1. TUBING - # 2 3/8"x.154" WALL STEEL TUBING

NOTE:
APEX BIKE RACK BY SITE SCAPES.
PRODUCT NO. AP2-02-EM
PLACE RACK MINIMUM OF 24" FROM WALL



Bud Design & Engineering Services, Inc.
Architectural | Engineering | Interior Design
10775 S. Sagshaw St., Suite B
Grand Blanc, MI 48439
PH 810.695.0793
FAX 810.695.0569
Web: www.buddesign.com

HOMEWOOD SUITES
TOWN CENTER DRIVE
NOVI, OAKLAND COUNTY, MI

SW 1/4, SEC 14, T1N, R8E

ALL RIGHTS RESERVED
ENGINEERING, INC. ALL RIGHTS RESERVED

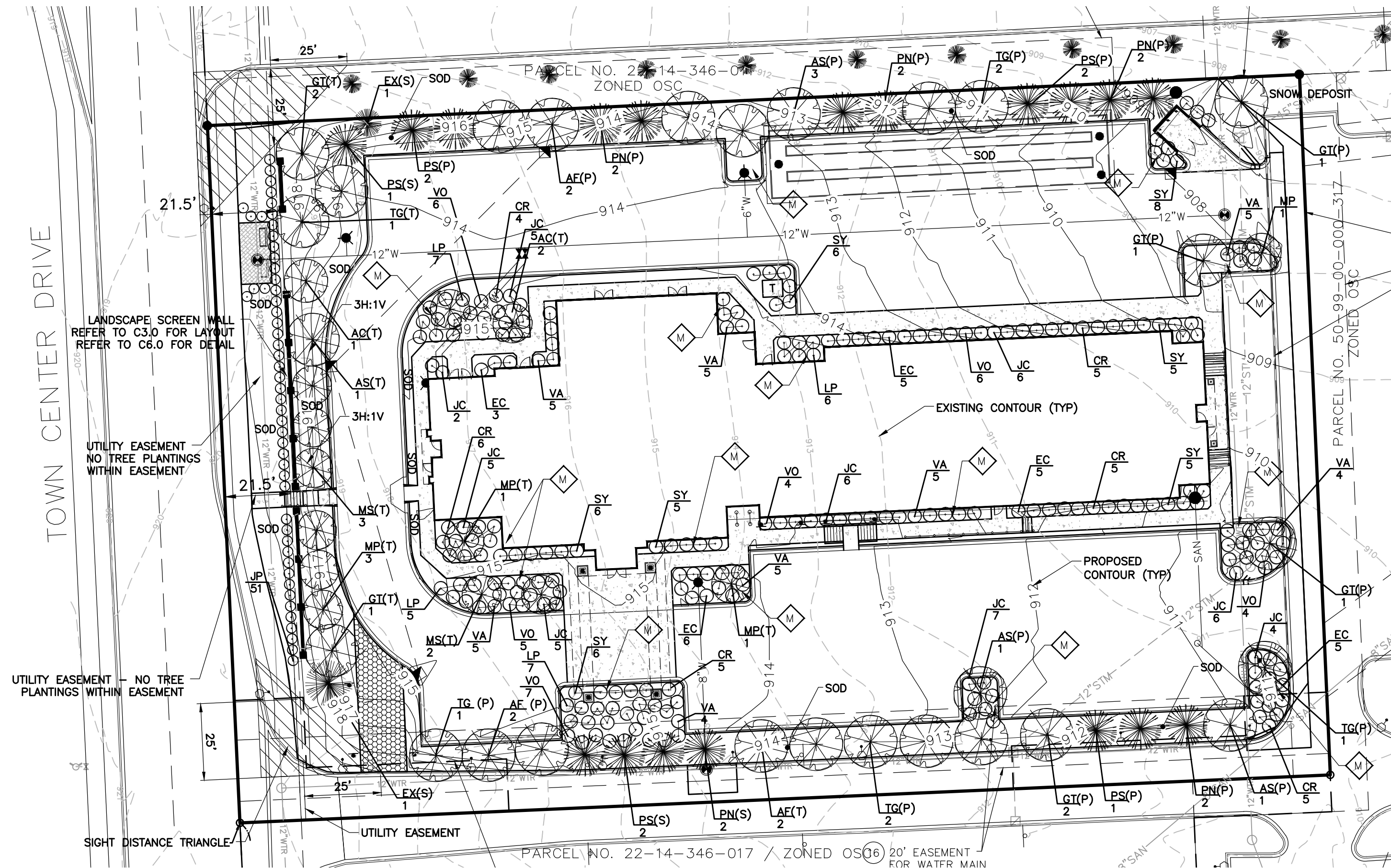
ISSUED FOR	DATE
PRE-APPLICATION	11/10/14
PRELIM SPA	01/16/15
PRELIM SPA	04/03/15

DATE:	
DRAWN: ACA	
CHECKED: JP	
SCALE: AS NOTED	
JOB NO: BD-14-235	
SHEET TITLE:	
STANDARD DETAILS	
SHEET	

PRELIMINARY SITE PLAN

C6.0

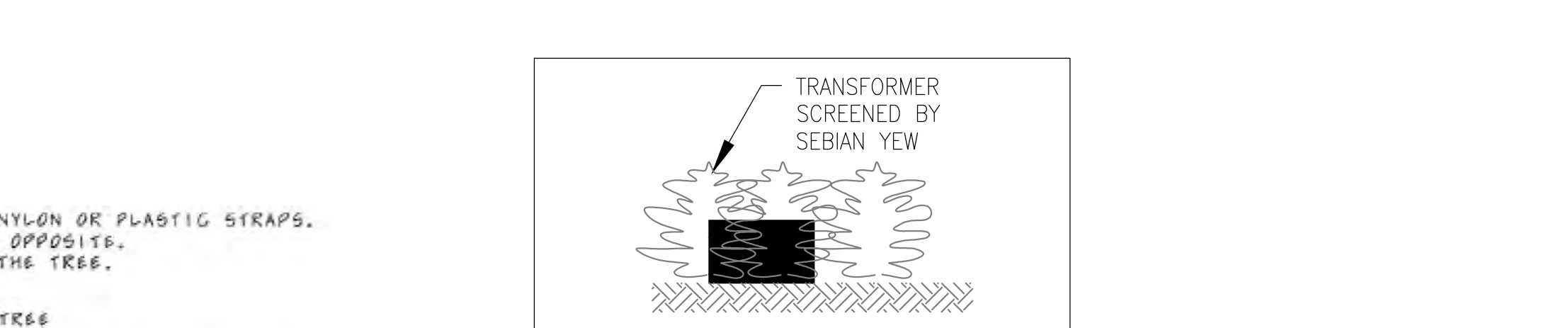
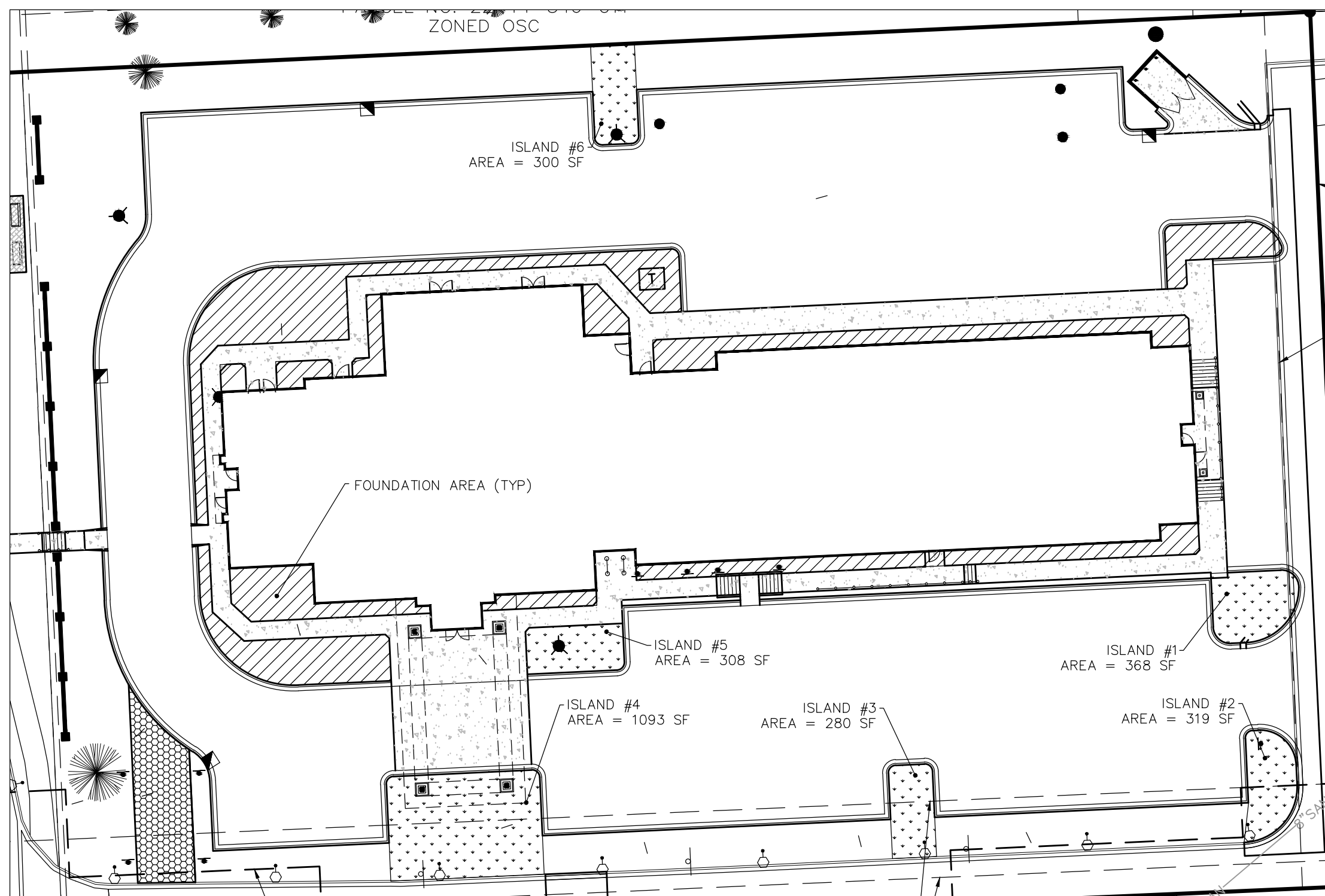
NOTE: DUE TO THE UTILITY EASEMENT AND WATER MAIN ALONG THE TOWN CENTER DRIVE FRONTAGE AND EXISTING 20-FOOT EASEMENT, "FRONTAGE" AND "SIDEWALK TO CURB" PLANTINGS HAVE BEEN DISPERSED THROUGHOUT THE SITE.



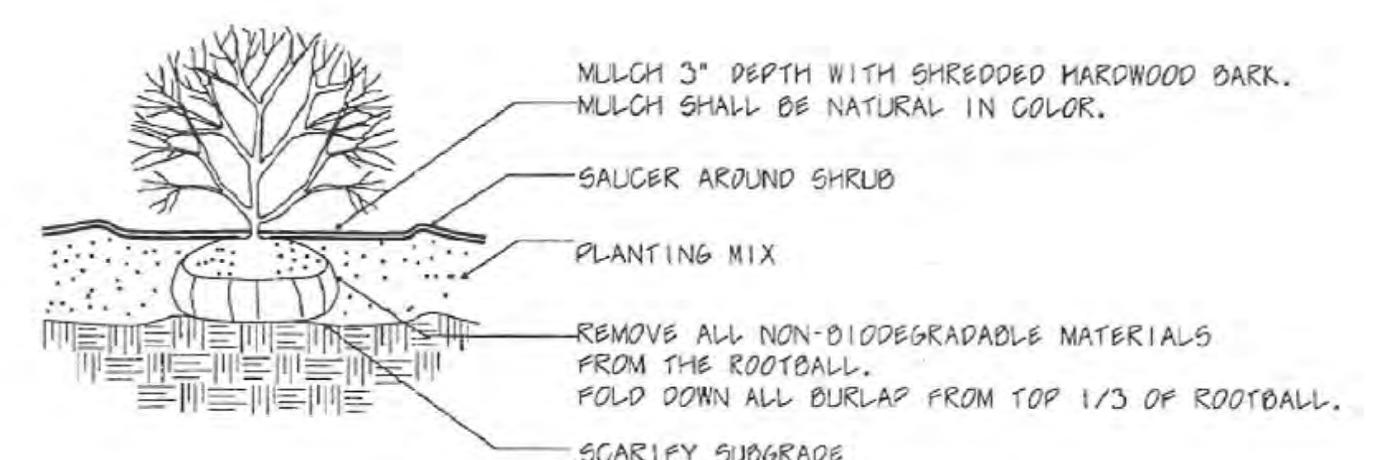
QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT COST	TOTAL COST	
8	GT	GLEDTISIA T.I. 'SKYLINE'	SKYLINE HONEYLOCUST	3" B&B	\$400.00	\$3,200.00	
7	TG	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	3" B&B	\$400.00	\$2,800.00	
6	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3" B&B	\$400.00	\$2,400.00	
6	AF	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	3" B&B	\$400.00	\$2,400.00	
10	PN	PINUS NIGRA	AUSTRIAN PINE	7" B&B	\$325.00	\$3,250.00	
8	PS	PICEA OMORIKA	SERBIAN SPRUCE	7" B&B	\$325.00	\$2,600.00	
5	MS	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2-1/2" B&B	\$250.00	\$1,250.00	
6	MP	MALUS 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	2-1/2" B&B	\$250.00	\$1,500.00	
3	AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	10" STEM B&B	\$250.00	\$750.00	
32	VO	VIBURNUM OPULUS 'COMPACTUM'	COMPACT EUROPEAN CRANBERRY BUSH	36" B&B	\$50.00	\$1,600.00	
46	JC	JUNIPERUS C. 'SEAGREEN'	SEA GREEN JUNIPER	30" B&B	\$50.00	\$2,300.00	
25	LP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA	30" B&B	\$50.00	\$1,250.00	
24	EC	EUONYMUS ALATUS 'COMPACTUM'	DWARF BURNING BUSH	30" B&B	\$50.00	\$1,200.00	
41	SY	TAXUS X MEDIA 'SEBIAN'	SEBIAN YEW	30" B&B	\$50.00	\$2,050.00	
51	JP	J. CHINENSIS 'PFITZERANA'	PFITZER JUNIPER	30" B&B	\$50.00	\$2,550.00	
38	VA	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	36" B&B	\$50.00	\$1,900.00	
30	CR	CORNUS SERICEA 'STOLONIFERA'	RED OSIER DOGWOOD	36" B&B	\$50.00	\$1,500.00	
1		IRRIGATION SYSTEM				\$9,500.00	
90		HARDWOOD SHREDDED BARK MULCH		CYD	\$40.00	\$3,600.00	
1335		MDOT CLASS 'A' SOD		SYD	\$4.00	\$5,340.00	
						TOTAL	\$52,940.00

**NOTE: UNIT PRICING AND TOTAL COST FOR PERMITTING ONLY - CONTRACTOR SHALL VERIFY PLAN QUANTITIES

	A	B	C	D	E
Parking space square footage	14008				
Total square footage of parking spaces, not including access aisles * 10%	1400.8				
Square footage of all additional paved vehicular use areas (not including A) under 50,000 sf * 5%		946			
Square footage of all additional paved vehicular use areas (not including A or B) over 50,000 sf * 1%			0		
Total square footage of landscape islands required (A+B+C)				2347	
Number of canopy trees required D / 75					32



TRANSFORMER SCREENING DETAIL
LOOKING WEST
NO SCALE

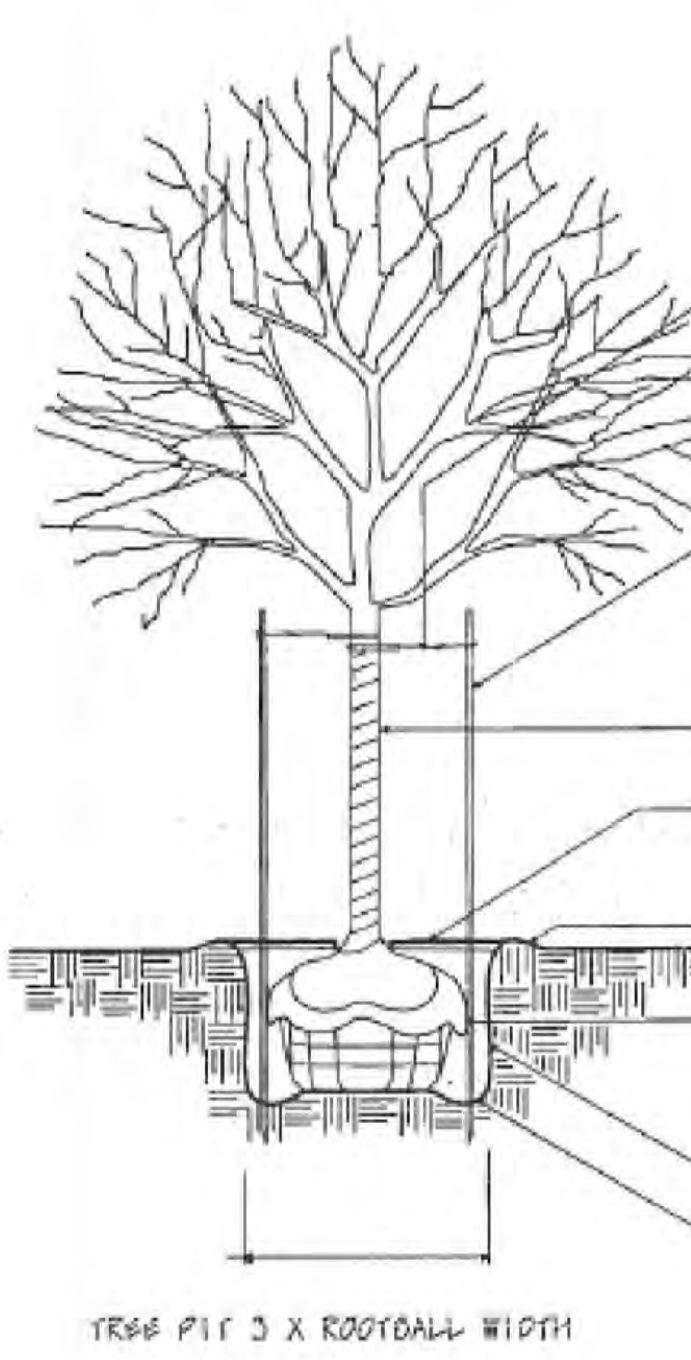


- NOTES:
- SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER UP TO 4" ABOVE GRADE, IF DIRECTED BY THE LANDSCAPE ARCHITECT FOR HEAVY CLAY SOILS.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES.
 - REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.

DECIDUOUS SHRUB DETAIL
N.T.S.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 800-452-7171 (TOLL FREE)

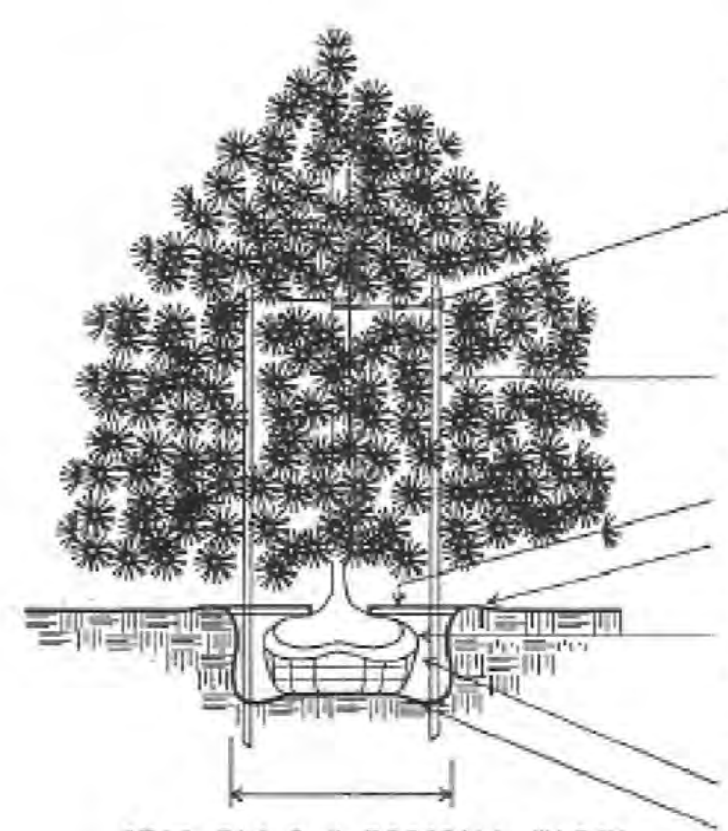
SOIL INFORMATION
10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES (ENTIRE PARCEL)
SOIL INFORMATION FROM USDA-NRCS WEB SOIL SURVEY



- STAKE TREES**
JUST BELOW FIRST BRANCH USING 2-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. CONNECT FROM TREE TO STAKE OPPOSITE. ALLOW FOR SOME FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.
- USE 3 HARDWOOD STAKES PER TREE. 2" X 2" X 30" STAKES. DRIVE STAKES INTO UNDISTURBED SOIL 6-8" OUTSIDE OF ROOTBALL TO A DEPTH OF 18" BELOW TREE PIT. REMOVE AFTER ONE YEAR. DO NOT USE WIRE OR ROPE THROUGH A HOSE.
- TREE WRAP**
SECURE WITH BIODEGRADABLE MATERIAL AT TOP & BOTTOM. REMOVE AFTER FIRST WINTER.
- MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. MULCH SHALL BE NATURAL IN COLOR. LEAVE 3" GIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.
- MOUND TO FORM TREE SAUCER
- REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN ALL BURLAP FROM TOP 1/3 OF ROOTBALL.
- PLANTING MIXTURE.
AMEND SOIL PER SITE CONDITIONS AND REQUIREMENTS OF PLANTS.
- SCARIFY SUBGRADE AND PLANTING PIT SIDES TO 4" DEPTH.

- NOTES:
- TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
 - DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
 - REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.

DECIDUOUS TREE DETAIL
N.T.S.



- STAKE TREES**
USING 2-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. CONNECT FROM TREE TO STAKE OPPOSITE. ALLOW FOR SOME FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.
- USE 3 HARDWOOD STAKES PER TREE. 2" X 2" X 30" STAKES. DRIVE STAKES INTO UNDISTURBED SOIL 6-8" OUTSIDE OF ROOTBALL TO A DEPTH OF 18" BELOW TREE PIT. REMOVE AFTER ONE YEAR. DO NOT USE WIRE OR ROPE THROUGH A HOSE.
- MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. MULCH SHALL BE NATURAL IN COLOR. LEAVE 3" GIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.
- MOUND TO FORM TREE SAUCER.
- REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN ALL BURLAP FROM TOP 1/3 OF THE ROOTBALL.
- PLANTING MIXTURE.
AMEND SOIL PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.
- SCARIFY SUBGRADE AND PLANTING PIT SIDES TO 4" DEPTH.

- NOTES:
- TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
 - DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
 - REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.

EVERGREEN TREE DETAIL
N.T.S.

DESCRIPTION
THIS WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS AND SUPERVISION REQUIRED FOR THE EXECUTION AND GUARANTEE OF ALL PLANTINGS AND RELATED WORK AS SHOWN ON THE DRAWINGS.

PLANT MATERIALS SHALL CONFORM TO THE SIZES STATED ON THE PLANT LIST AND SHALL BE OF A MINIMUM SIZE OR LARGER. ALL MEASUREMENTS OF SPREAD, CALIPER, BALL SIZE, TRUNK CROWN RATIO, QUALITY DESIGNATIONS, ETC. SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "ANSI STANDARDS FOR NURSERY STOCK". PLANT MATERIAL SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE SITE PRIOR TO PLANTING. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME.

NURSERY STOCK SHALL BE PREPARED FOR SHIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ANSI SPECIFICATION Z60.1 AND SHALL BE ENCLOSED OR COVERED DURING TRANSPORTATION TO PREVENT DRYING.

SITE PREPARATION
THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND PROTECT AND REPAIR UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

INDIVIDUAL HOLES SHALL BE CENTERED AT STAKED PLANT LOCATIONS. CONTRACTOR IS TO STAKE PRIOR TO PLACEMENT OF PLANT MATERIAL AND OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE. PLANTING HOLES SHALL BE DUG LARGE ENOUGH TO PERMIT PLACING PREPARED TOPSOIL 18" LATERALLY BEYOND THE ENDS OF THE ROOT BALLS FOR SHADE AND EVERGREEN TREES AND 6" LATERALLY FOR SHRUBS UNLESS OTHERWISE SPECIFIED.

EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AT THE TIME THE HOLE IS DUG. THE PLANTING HOLE SHALL BE BACKFILLED WITH PREPARED TOPSOIL THE SAME DAY THEY ARE DUG.

TOPSOIL SHALL AT FERTILE, FRIABLE NATURAL TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A pH RANGE FROM 6.0 TO 7.0. TOPSOIL SHALL BE FREE OF CLAY LUMPS, COURSE SAND, STONES, PLANT ROOTS, STICKS OR OTHER FOREIGN MATTER.

CARE FOR PLANTS BEFORE PLANTING
PLANTS DESIGNATED "BB" SHALL BE BALLED AND BURLAPPED WITH FIRM NATURAL BALLS OF EARTH. CRACKED, LOOSEND OR BROKEN BALLS SHALL NOT BE PLANTED. THEY SHALL BE MARKED WITH SPRAY PAINT AND IMMEDIATELY REMOVED FROM THE JOB SITE. IMMEDIATELY FOLLOWING DELIVERY AT THE JOB SITE, ALL PLANTS THAT WILL NOT BE PLANTED THAT SAME DAY SHALL BE "HEELED IN" WITH SHREDDED BARK OR MOIST SOIL AND KEPT MOIST UNTIL PLANTED.

THE TRUNKS AND BRANCHES OF ALL TREES SHALL BE PROTECTED FROM INJURY OF ANY KIND DURING ALL OPERATIONS. THE OWNER'S REPRESENTATIVE SHALL REJECT ANY TREES THAT ARE INJURED.

PLANTING
THE CONTRACTOR IS RESPONSIBLE FOR PLANTING MATERIALS PLUMB. SET THE TOP OF THE ROOT BALL AT GRADE. PLANTS SHALL BE FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT STRUCTURES. NO FILLING WILL BE PERMITTED AROUND TRUNK OR STEMS. WHEN THE PLANT HAS BEEN PROPERLY SET, THE HOLE SHALL BE BACKFILLED TO 1/2 THE DEPTH OF THE BALL WITH PREPARED TOPSOIL MIXTURE, FIRMLY PACKED AND WATERED-IN AT TIME OF PLANTING. LOOSED AND REMOVE BURLAP AND LACING FROM UPPER 1/3 OF THE ROOT BALL. BACKFILL WITH PREPARED TOPSOIL, WHICH AFTER COMPACTION IS FLUSH WITH THE SURROUNDING GROUND.

MULCHING
NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS. 4-INCH THICK BARK MULCH FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3-INCH PULLED AWAY FROM TRUNK. 3-INCH BARK MULCH FOR SHRUBS AND 2-INCH THICK BARK MULCH FOR PERENNIALS.

WRAPPING DECIDUOUS TREES
WRAPPING TO START AT TOP AND OVERLAP IN A DOWNWARD WRAP IN ORDER TO PREVENT WATER FROM BECOMING TRAPPED BETWEEN THE WRAPPING AND THE BARK OF THE TREE. TIE WITH TWINE IN 5 PLACES, INCLUDING THE TOP AND BOTTOM OF WRAPPING. MASKING TAPE OR WIRE WILL NOT BE ALLOWED.

STEEL LANDSCAPE EDGING
4" STEEL LANDSCAPE EDGING SHALL BE USED ON THIS PROJECT. ALUMINUM OR PLASTIC EDGING WILL NOT BE ALLOWED.

PRUNING
UPON COMPLETION, ALL PLANT MATERIAL MUST BE PRUNED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPANTING. ALL CUTS SHALL BE MADE LEAVING NO STUBS. PRUNING PAINT SHALL NOT BE USED.

FINISHING AND CLEANING UP
IMMEDIATELY UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE AREA OF SURPLUS MATERIALS. THE CONTRACTOR SHALL REPAIR AND RE-ESTABLISH TURF IN RUTTED AREAS.

WARRANTY
THE LANDSCAPE INSTALLATION CONTRACTOR SHALL REPLACE ALL UNHEALTHY VEGETATION AND PLANTINGS WITHIN TWO (2) UPON APPROVAL OF CITY OF NOVI REPRESENTATIVE. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.

GENERAL NOTES

- CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF UNDERGROUND IRRIGATION SYSTEM IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND REGULATORY AGENCY REQUIREMENTS. ALL LANDSCAPING AND GRASS AREAS TO BE IRRIGATED.
- ALL GREEN SPACES AND PLANTING AREAS SHALL BE IRRIGATED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION.
- REFER TO PLUMBING PLANS FOR LOCATION OF IRRIGATION METER.
- ALL GRASS AREAS TO BE MDOOT CLASS "A" SOD WITH SCREENED TOPSOIL.
- SPACED ALL SHRUBS AT 5-FEET ON CENTER UNLESS OTHERWISE INDICATED ON THE PLANS
- ALL DISTURBED LAWN AREAS SHALL BE RESTORED TO AT LEAST PREVIOUS CONDITION IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL INCLUDE TOPSOIL IN BASE BID. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE AMOUNT OF TOPSOIL AVAILABLE ON-SITE.
- A WEED BARRIER SHALL BE INSTALLED IN ALL MULCHED AND NON-GRASSSED AREAS.

INTENT STATEMENT
THE INTENT OF THIS PLANTING PLAN DESIGN IS TO IMPROVE THE APPEARANCE OF THE PROPOSED DEVELOPMENT, PROMOTE PUBLIC HEALTH, SAFETY AND GENERAL WELFARE BY REDUCING NOISE AND AIR POLLUTION AND ENCOURAGE CITYWIDE REFORESTATION, PREVENT SOIL EROSION, AND SOIL DEPLETION.

THE PLANTS USED TO ACCOMPLISH THIS INTENT ARE VERY SUITABLE TO THIS MICRO ENVIRONMENT AND PROVIDE INTEREST IN ALL FOUR SEASONS.

MAINTENANCE NOTE
MAINTENANCE OF REQUIRED PLANTINGS SHALL BE CARRIED OUT AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE. FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

bod

Bud Design & Engineering Services, Inc.
Architectural | Engineering | Interior Design

10775 S. Saginaw St., Suite B
Grand Blanc, MI 48839
PH: 810.695.0793
FAX: 810.695.0569
Web: www.buddesign.com

HOMEWOOD SUITES
TOWN CENTER DRIVE
NOVI, OAKLAND COUNTY, MI

SW 1/4, SEC 14, T1N, R6E

ISSUED FOR: DATE

PRE-APPLICATION: 11/10/14

PRELIM SPA: 01/16/15

PRELIM SPA: 04/03/15

DRAWN: ACA

CHECKED: JP

SCALE: 1"=30'

JOB NO: BD-14-235

SHEET TITLE: LANDSCAPE PLAN AND DETAILS

SHEET

GENERAL NOTES:

- REFER TO HOMEWOOD STANDARDS FOR FLOORING REQUIREMENTS IN EACH AREA
- ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT GYPSUM BOARD. BATH CEILING SHALL BE EXTERIOR GYPSUM BOARD
- NOT USED.
- ACCESSIBLE CLEARANCES INDICATED IN THESE DRAWINGS ARE FOR DESIGN INTENT. COMPLY WITH ACCESSIBILITY REQUIREMENTS PER LOCAL AND NATIONAL CODES.
- ACCESSIBLE GUEST ROOMS WITH MOBILITY FEATURES MUST INCLUDE A MINIMUM NUMBER OF ROOMS AND SUITES WITH ROLL-IN TYPE SHOWER STALLS. THE NUMBER IS BASED ON THE 2010 ADA STANDARDS AND LOCAL CODE.
- BOTH VISUAL AND NOTIFICATION DEVICES SHALL BE PROVIDED IN PUBLIC AND COMMON AREAS. THE SYSTEM MUST BE DESIGNED TO BE ABLE TO BE INTEGRATED INTO EMPLOYEE WORK SPACES AND MUST COMPLY WITH NFPA 72 AND STATE, LOCAL AND FEDERAL REGULATIONS. DEVICES MUST BE LOCATED SO THE LIGHT IS VISIBLE IN EACH REQUIRED SPACE.
PROVIDE AN ACCESSIBLE ROUTE AND COMPLIANT WHEELCHAIR LOCATIONS IN EACH OF THE PUBLIC SPACES PROVIDED FOR GUEST USE.

KEY NOTES:

- ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND ACCOMMODATE AMBULANCE STRETCHER.
- PROVIDE ENCLOSED ROOM FOR LINEN CHUTE SAFE
- MAKE UP AIR
- PROVIDE FLOOR DRAIN BELOW ICE MAKER AS REQUIRED BY CODE. DRAIN MUST BE INSULATED.
- ELEVATOR LOBBY DOORS - AS REQUIRED BY CODE
- LOW ROOF - REFER TO ROOF PLAN
- LOW ROOF ABOVE VESTIBULE
- LINEN CHUTE
- EMERGENCY OVERFLOW ROOF SCUPPER
- ROOF DRAIN
- ALTERNATING TREAD STAIR AND ROOF HATCH AT TOP FLOOR ONLY - REFER ALSO TO ROOF PLAN.
- ACCESSIBLE ICE MACHINE MUST BE ON AN ACCESSIBLE ROUTE (36" MINIMUM) AND HAVE A CLEAR FLOOR SPACE (30"x48") FOR FORWARD OR SIDE APPROACH AND HAVE AN OUTLET THAT IS WITHIN REACH RANGE (48" MAXIMUM AFF). PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES.
- GUEST LAUNDRY DRYER
- GUEST LAUNDRY WASHER
- FIREPLACE FLUE
- SMOKING AREA



Bud Design & Engineering Services, Inc.
Architects | Engineers | Interiors
10753 Saginaw St., Suite B
Grand Blanc, MI 48439
(PH) 810.695.0793
(FAX) 810.695.0569
Web: www.buddesign.com

HOMEWOOD SUITES
TOWN CENTER DRIVE
NOVI, MI. 48375

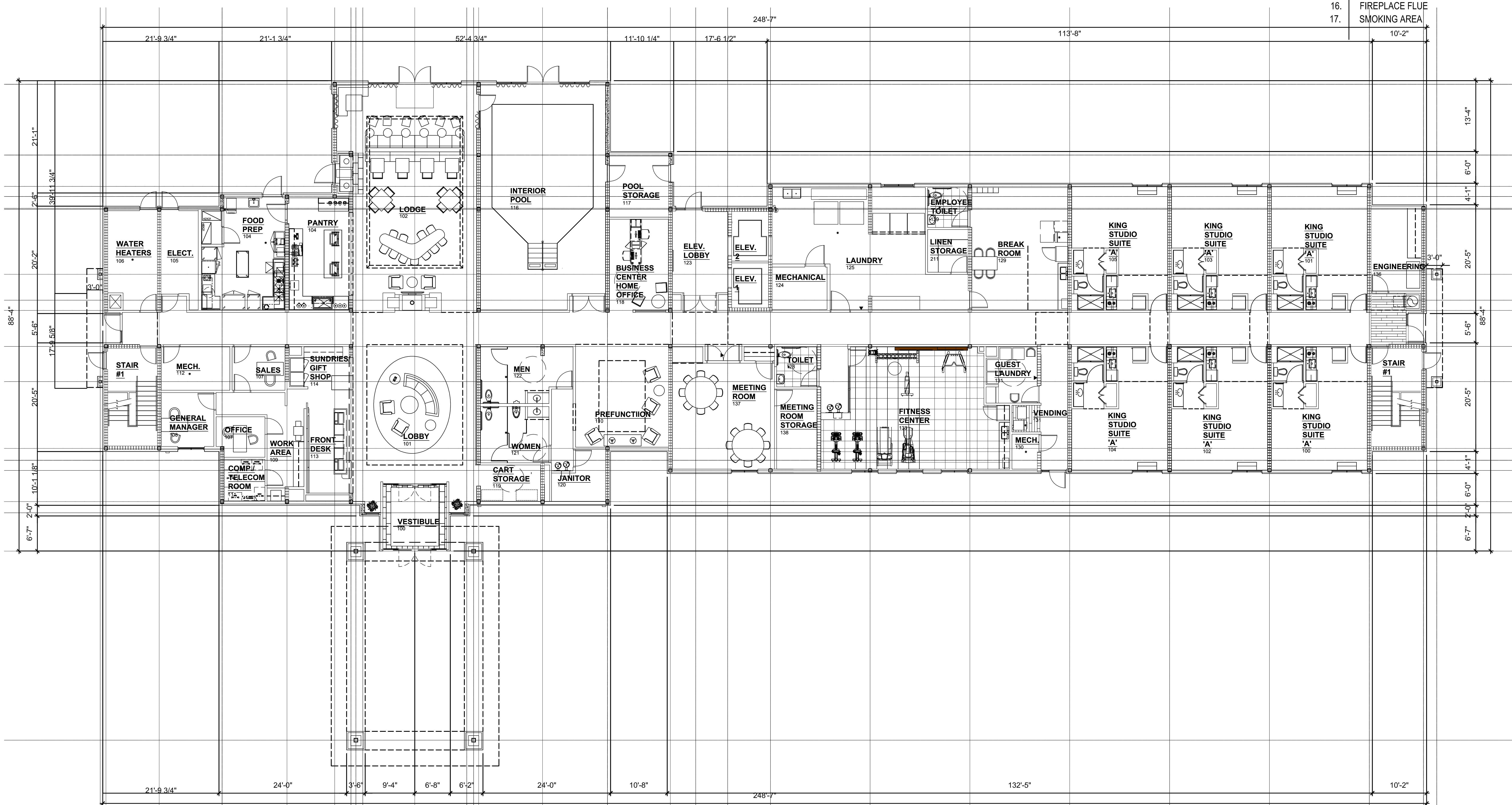
CONTRACTOR SHALL FIELD VERIFY EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ALL FINDINGS TO ARCHITECT/ENGINEER.

NOT FOR CONSTRUCTION

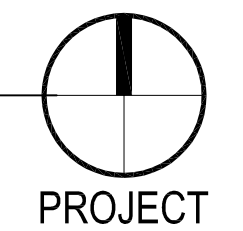
THIS DRAWING IS THE PROPERTY OF BUD DESIGN AND ENGINEERING SERVICES, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN AND ENGINEERING SERVICES, INC. ALL RIGHTS RESERVED.

ISSUED FOR	DATE
PRELIMINARY	04/06/15

DATE :	
DRAWN :	AM
CHECKED :	JSP
SCALE :	1/8" = 1'-0"
JOB NO :	BD-14-235
SHEET TITLE :	GROUND FLOOR PLAN
SHEET	A1.02

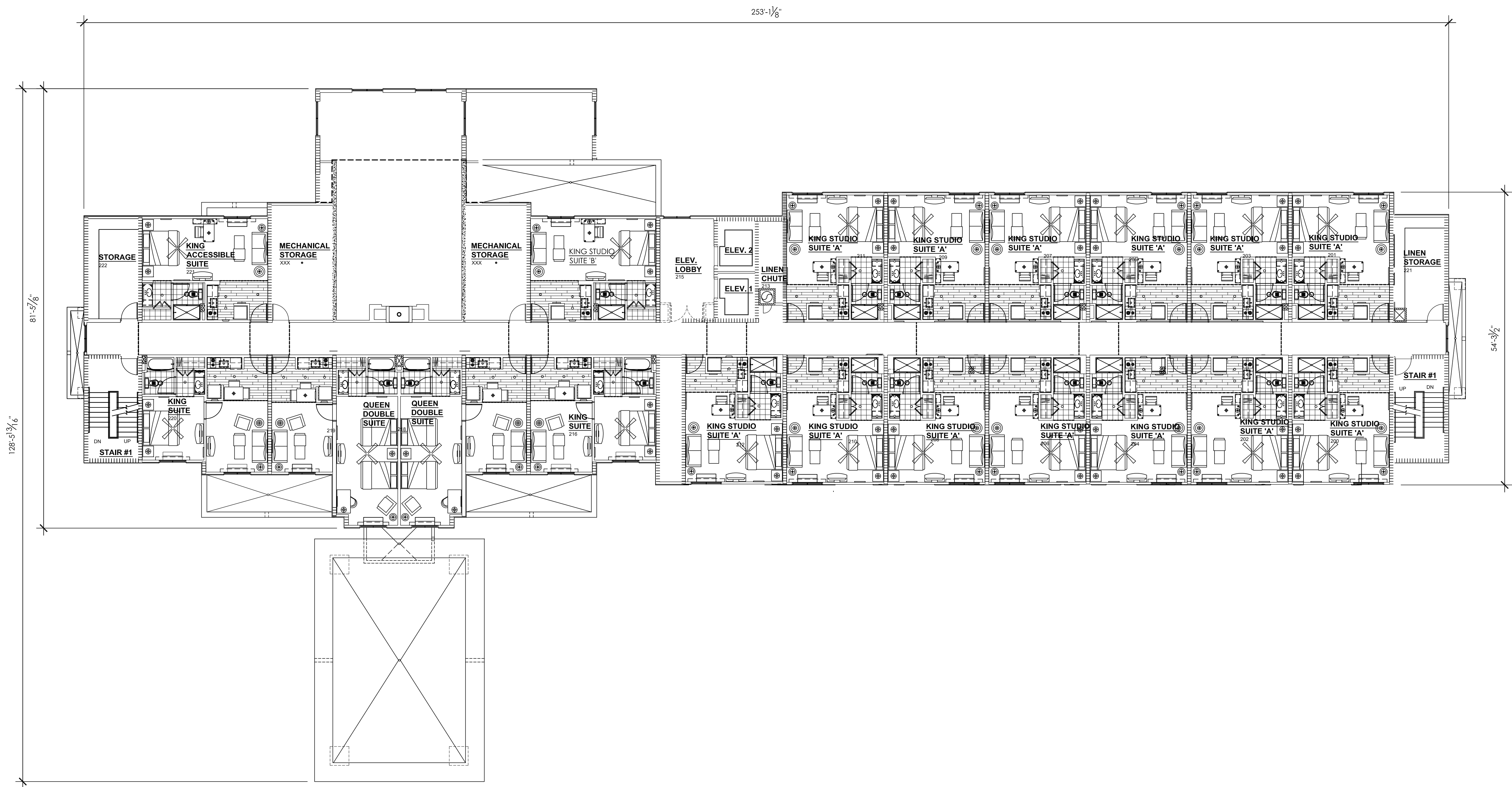


1 GROUND FLOOR PLAN
A1.02 SCALE: 3/32" = 1'-0"





Bud Design & Engineering Services, Inc.
 Architecture | Engineering | Interior Design
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569
 Web: www.budesign.com



HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, MI. 48375

NOT FOR CONSTRUCTION
 PLEASE USE FOR REVIEW ONLY AND DO NOT CONSTITUTE FINAL DESIGN. ANY DOCUMENTS MAY REQUIRE ADJUSTMENT AFTER CONSTRUCTION SET. THIS IS NOT RESPONSIBLE FOR PRICE ADJUSTMENTS THAT MAY BE REQUIRED.
SEAL

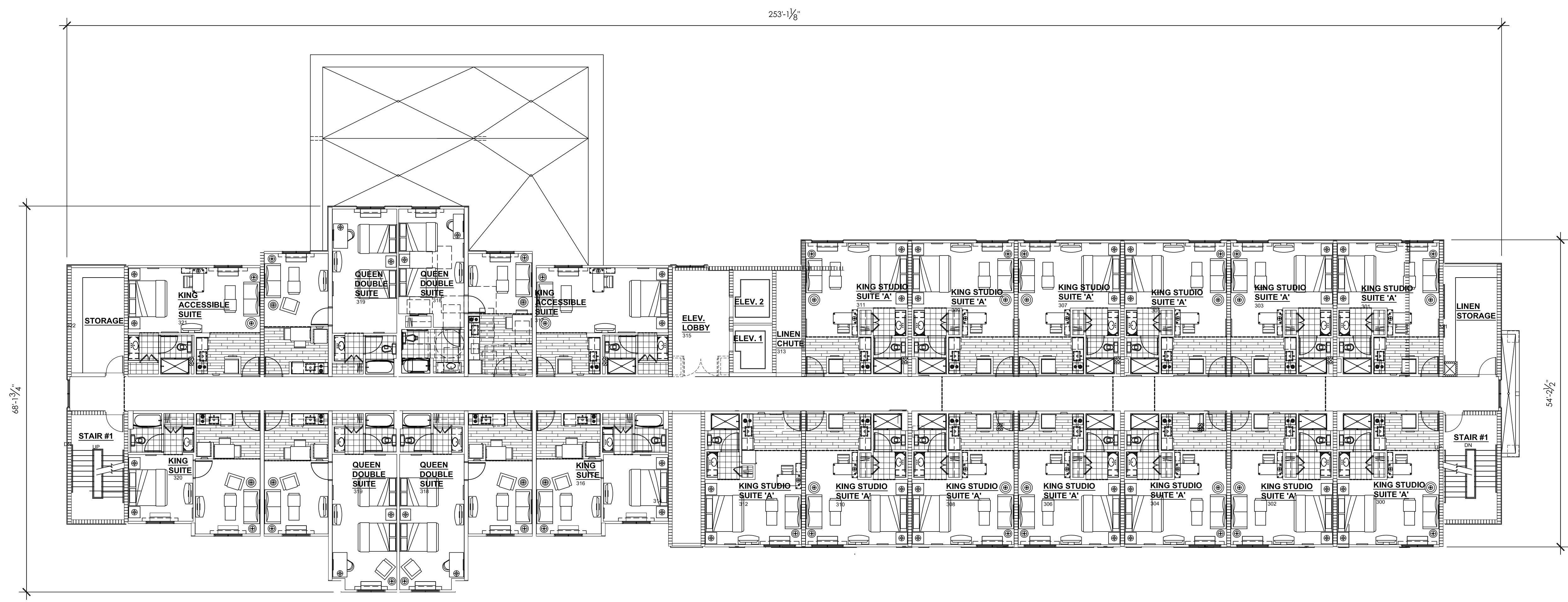
THIS PLAN IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REPRODUCTION, DISTRIBUTION, OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN & ENGINEERING SERVICES, INC. IS STRICTLY PROHIBITED. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES.

1
 A1.03 | A1.03
SECOND FLOOR PLAN/19 UNITS
 3/32" = 1'-0"
 NORTH

ISSUED FOR	DATE
CONCEPT REVIEW	07-03-14
CONCEPT REVIEW	07-09-14
CONCEPT REVIEW	08-04-14
SPA	11-17-14
DATE	07.01.14
DRAWN	AM
CHECKED	FTG
SCALE	3/32" = 1'-0"
JOB NO.	BD-14-235
SHEET TITLE	SECOND FLOOR PLAN
SHEET	
A1.03	



Bud Design & Engineering Services, Inc.
 Architecture | Engineering | Interior Design
 10775 S. Saginaw St. Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569
 Web: www.budesign.com



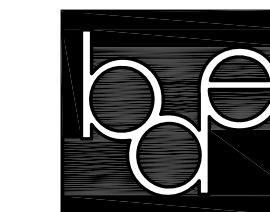
HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, MI. 48375

NOT FOR CONSTRUCTION
 PLEASE USE FOR REVIEW ONLY AND DO NOT CONSTITUTE FINAL DESIGN. ANY DOCUMENTS MAY REQUIRE ADJUSTMENT AFTER CONSTRUCTION SET. THIS IS NOT RESPONSIBLE FOR PRICE ADJUSTMENTS THAT MAY BE REQUIRED.
SEAL

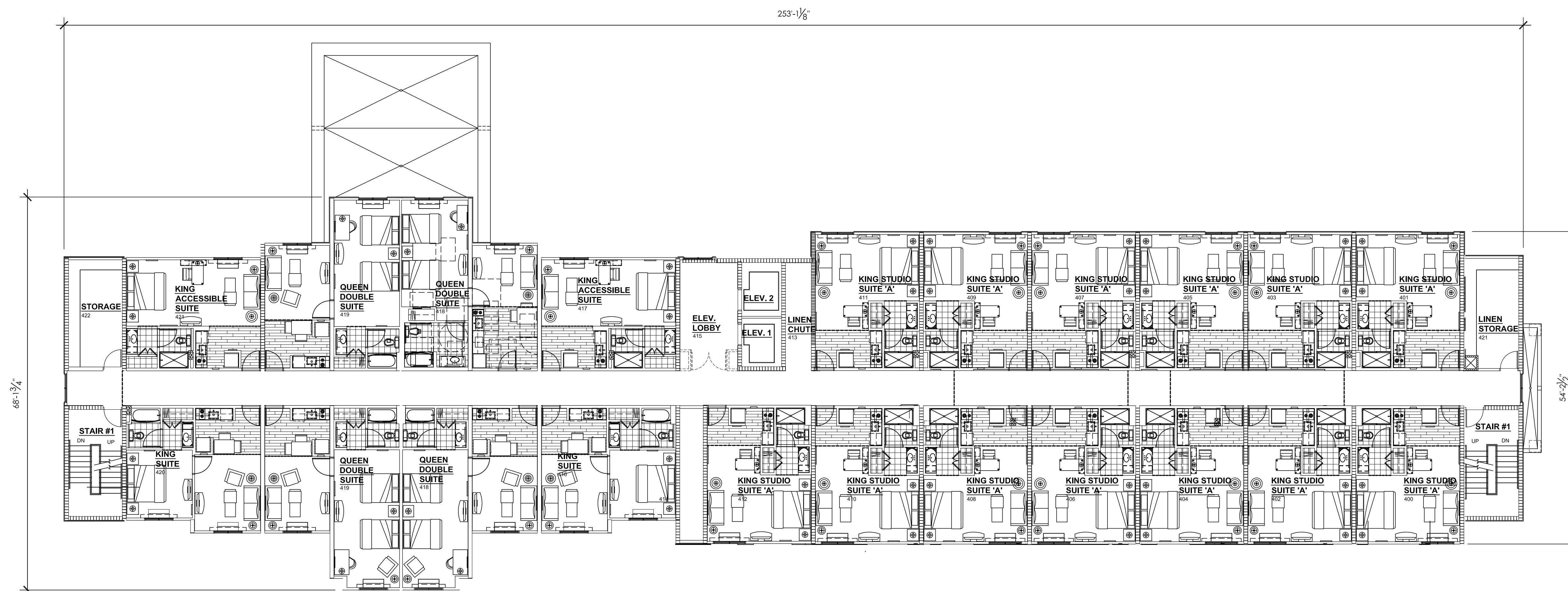
THIS PLAN IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN & ENGINEERING SERVICES, INC. ANY UNAUTHORIZED USE OF THIS PLAN IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.
 BUD DESIGN & ENGINEERING SERVICES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER AND DOES NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEX, OR AGE.
 ©2014 BUD DESIGN & ENGINEERING SERVICES, INC. ALL RIGHTS RESERVED.
 ENGINEERS: SAC, LC, ALL RIGHTS RESERVED.

1 THIRD FLOOR PLAN/21 UNITS
 A1.04 | A1.04 3/32" = 1'-0" NORTH

ISSUED FOR	DATE
CONCEPT REVIEW	07-03-14
CONCEPT REVIEW	07-09-14
CONCEPT REVIEW	08-04-14
SPA	11-17-14
DATE :	07.01.14
DRAWN :	AM
CHECKED :	FTG
SCALE :	3/32" = 1'-0"
JOB NO :	BD-14-235
SHEET TITLE :	THIRD FLOOR PLAN
SHEET	
A1.04	



Bud Design & Engineering Services, Inc.
 Architecture | Engineering | Interior Design
 10775 S. Saginaw St. Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569
 Web: www.buddesign.com



1
 A1.05 | A1.05
 3/32" = 1'-0"
FOURTH FLOOR PLAN/21 UNITS
 NORTH

HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, MI. 48375

NOT FOR CONSTRUCTION
 PLEASE USE FOR REVIEW ONLY AND DO NOT CONSTITUTE FINAL DESIGN. ANY DOCUMENTS MAY REQUIRE ADJUSTMENT AND CONSTRUCTION SET. THIS IS NOT RESPONSIBLE FOR PRICE ADJUSTMENTS THAT MAY BE REQUIRED.
SEAL

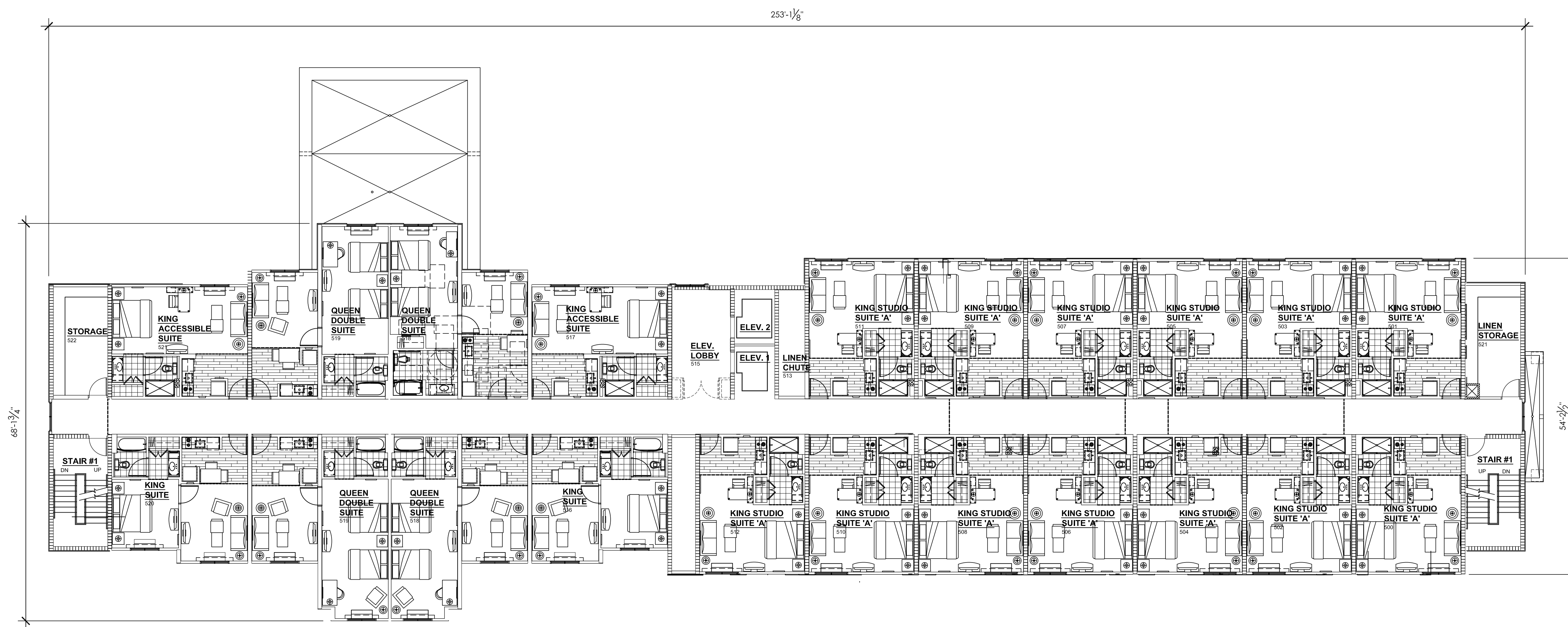
THIS PLAN IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN & ENGINEERING SERVICES, INC. IN NO EVENT SHALL THE DESIGNER BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS PLAN. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 CONNOR COPPING, REGISTERED PROFESSIONAL ENGINEER, No. 041174
 ENGINEERING, S.C. No. 411747

ISSUED FOR	DATE
CONCEPT REVIEW	07-03-14
CONCEPT REVIEW	07-09-14
CONCEPT REVIEW	08-04-14
SPA	11-17-14
DATE	07.01.14
DRAWN	AM
CHECKED	FTG
SCALE	3/32" = 1'-0"
JOB NO.	BD-14-235
SHEET TITLE	FOURTH FLOOR PLAN
SHEET	
A1.05	



Bud Design & Engineering Services, Inc.
 Architecture | Engineering | Interior Design
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569
 Web: www.buddesign.com

HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, MI. 48375



FIFTH FLOOR PLAN/21 UNITS
 3/32" = 1'-0"
 NORTH

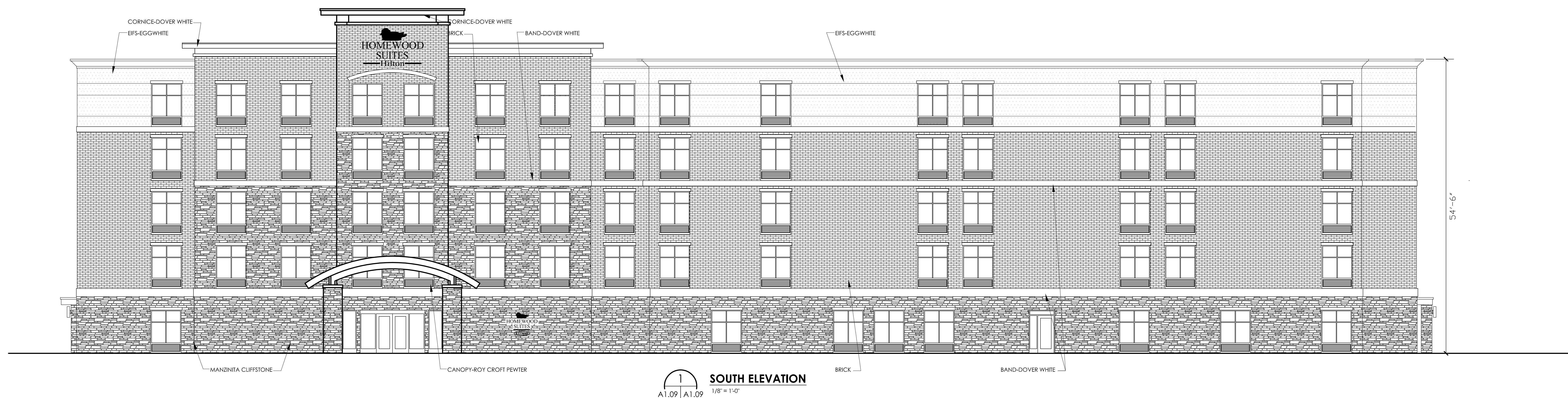
NOT FOR CONSTRUCTION
 PLEASE USE FOR REVIEW ONLY AND DO NOT CONSTITUTE FINAL DESIGN. ANY DOCUMENTS MAY REQUIRE ADJUSTMENT AFTER CONSTRUCTION SET. THIS IS NOT RESPONSIBLE FOR PRICE ADJUSTMENTS THAT MAY BE REQUIRED.
 SEAL

THIS PLAN AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN & ENGINEERING SERVICES, INC. IS STRICTLY PROHIBITED. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.
 CHEN, COPPINGER, BUDJESKI AND ENGINEERS, S.C., ALL RIGHTS RESERVED.

ISSUED FOR	DATE
CONCEPT REVIEW	07-03-14
CONCEPT REVIEW	07-09-14
CONCEPT REVIEW	08-04-14
SPA	11-17-14
DATE : 07.01.14	
DRAWN : AM	
CHECKED : FTG	
SCALE : 3/32" = 1'-0"	
JOB NO : BD-14-235	
SHEET TITLE : FIFTH FLOOR PLAN	
SHEET	
A1.06	

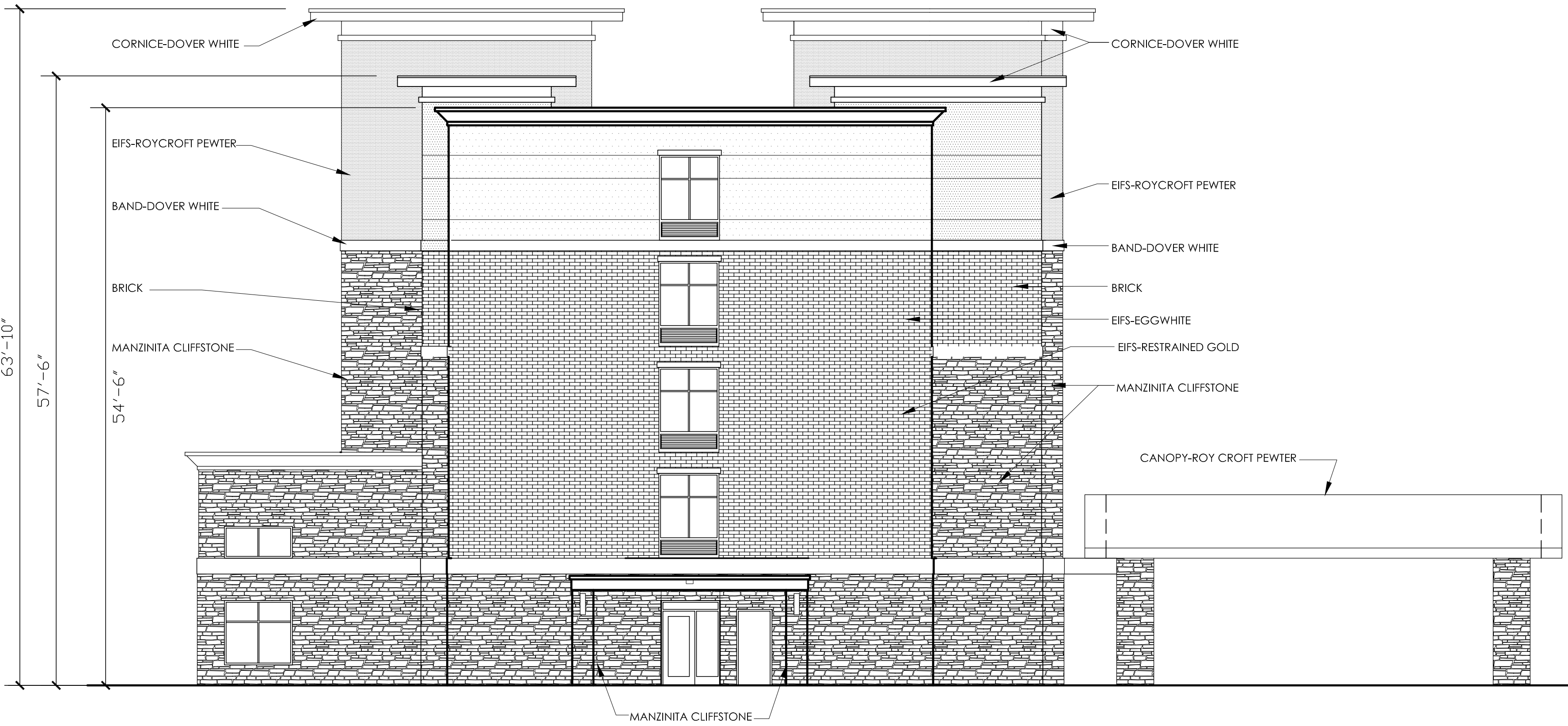


Bud Design & Engineering Services, Inc.
 Architects | Engineers | Interiors
 10775 S. Saginaw St., Suite B
 Grand Blanc, MI 48439
 (PH) 810.495.0793
 (FAX) 810.495.0569
 Web: www.budesign.com

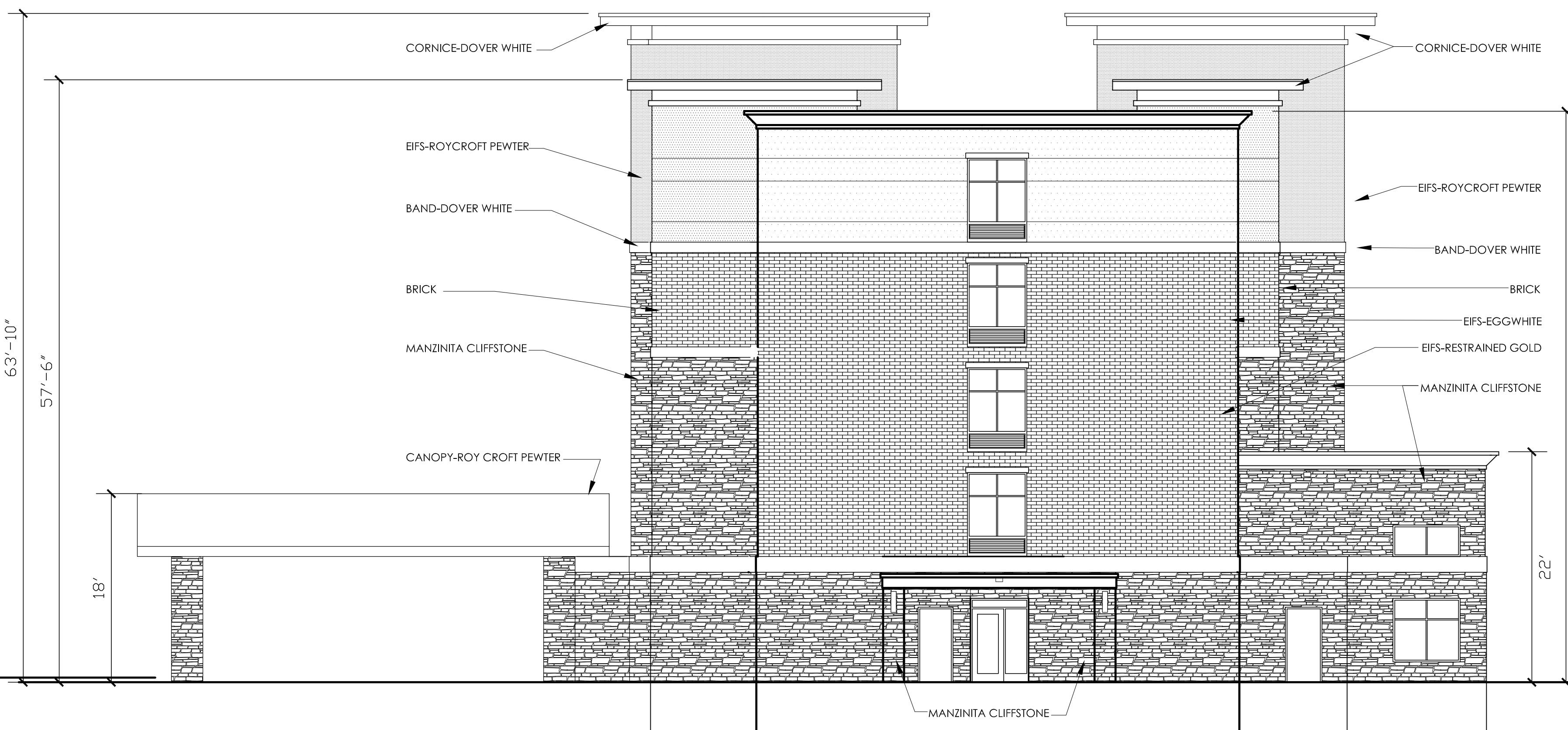


1 SOUTH ELEVATION
 A1.09 A1.09 1/8" = 1'-0"

1 SOUTH ELEVATION
 A1.09 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
 A1.09 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 A1.09 SCALE: 1/8" = 1'-0"

HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, MI. 48375

CONTRACTOR SHALL FIELD
 VERIFY EXISTING FIELD
 CONDITIONS PRIOR TO
 CONSTRUCTION AND REPORT ALL
 FINDINGS TO
 ARCHITECT/ENGINEER.

NOT FOR
 CONSTRUCTION
 THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES OR MODIFICATIONS MUST BE APPROVED BY THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THIS DRAWING.

©2015 COPYRIGHT BUD DESIGN AND ENGINEERING, INC. ALL RIGHTS RESERVED.

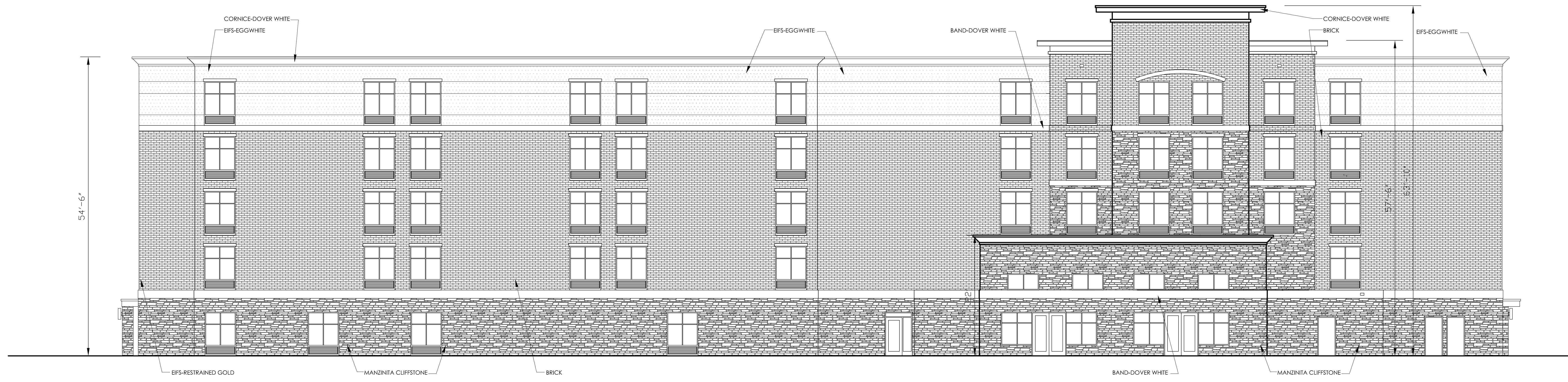
ISSUED FOR	DATE
PRELIMINARY	04/06/15

DATE :
 DRAWN : AM
 CHECKED : JSP
 SCALE : 1/8" = 1'-0"
 JOB NO : BD-14-235
 SHEET TITLE :
 EXTERIOR ELEVATIONS

SHEET
 A1.09



Bud Design & Engineering Services, Inc.
 Architects | Engineers | Interiors
 10753 Saginaw St. Suite B
 Grand Blanc, MI 48439
 (PH) 810.695.0793
 (FAX) 810.695.0569
 Web: www.buddesign.com



1 NORTH ELEVATION
 A1.10 SCALE: 3/32" = 1'-0"

HOMEWOOD SUITES
 TOWN CENTER DRIVE
 NOVI, MI. 48375

CONTRACTOR SHALL FIELD
 VERIFY EXISTING FIELD
 CONDITIONS PRIOR TO
 CONSTRUCTION AND REPORT ALL
 FINDINGS TO
 ARCHITECT/ENGINEER.

NOT FOR
 CONSTRUCTION
 THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES OR MODIFICATIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION.

NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN AND ENGINEERING, INC. ALL RIGHTS RESERVED.
 ©2015 COPYRIGHT BUD DESIGN AND ENGINEERING, INC. ALL RIGHTS RESERVED.

ISSUED FOR	DATE
PRELIMINARY	04/06/15

DATE :
 DRAWN : AM
 CHECKED : JSP
 SCALE : 3/32" = 1'-0"
 JOB NO : BD-14-235
 SHEET TITLE :
 EXTERIOR ELEVATIONS

SHEET
 A1.10