



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: January 10, 2022

REGARDING: 1185 South Lake Drive, Parcel # 50-22-03-377-018 (PZ22-0063)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Boyd Creech – American Made Construction

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned One-Family Residential (R-4)

Location: South Lake Drive, east of West Park Drive

Parcel #: 50-22-03-377-018

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance from Section 3.1.5 for a front yard setback of 17.17 feet (30 feet required, variance of 12.83 feet); for a proposed new second floor addition and deck below. This property is zoned One-Family Residential (R-4)

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we grant the variance in Case No. **PZ22-0063**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____

(b) The property is unique because _____

(c) Petitioner did not create the condition because _____

Zoning Board of Appeals

Boyd Creech – American Made Construction
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(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief is consistent with the spirit and intent of the ordinance because_____
_____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ22-0063**, sought by _____,
for _____ because Petitioner has not shown
practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because_____
_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by_____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler - Deputy Director Community Development - City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

NOV 30 2022

CITY OF NOVI
COMMUNITY DEVELOPMENT

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>200 -</u>	
PROJECT NAME / SUBDIVISION <u>Davis - Fasseel</u>				Meeting Date: <u>JAN 10, 2023</u>	
ADDRESS <u>1185 South Lake Drive</u>		LOT/SIUTE/SPACE #		ZBA Case #: <u>PZ 22-0063</u>	
SIDWELL # <u>50-22-03-327 018</u>		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY <u>South Lake & West Rd</u>					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS <u>boydcreech@yahoo.com</u>		CELL PHONE NO. <u>248-736-1695</u>	
NAME <u>Boyd Creech</u>				TELEPHONE NO. <u>248-736-1695</u>	
ORGANIZATION/COMPANY <u>American Made Construction</u>				FAX NO.	
ADDRESS <u>283 Taras Drive</u>		CITY <u>Highland</u>		STATE <u>MI</u>	ZIP CODE <u>48356</u>
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME <u>Brandon Davis</u>				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS <u>1185 South Lake Drive</u>		CITY <u>Novi</u>		STATE <u>MI</u>	ZIP CODE
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3.1.5</u> Variance requested <u>FRONT YARD PEG 30' PROPOSED 17.17' VAR 12.83' REDUCTION</u>					
2. Section <u>3.321(7)</u> Variance requested <u>OPEN DECK FRONT 26' PROPOSED 18' VAR 8' REDUCTION</u>					
3. Section _____ Variance requested _____					
4. Section _____ Variance requested _____					
IV. FEES AND DRAWINGS					
A. FEES					
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
• Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application					



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☒ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☒ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED

☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



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ZONING BOARD OF APPEALS VARIANCE APPLICATION CHECKLIST

The following items are required for a complete Variance application. Incomplete applications will be returned.

☒ Signed Application Form

Complete the Zoning Board of Appeals application form. Application must be signed by the applicant and the property owner (if different).

☒ Response to Variance Review Standards – Dimensional, Use, or Sign

Select the applicable Review Standards for the requested Variance and complete in full. Use additional paper if needed. If you don't know which Review Standards to complete, call the Community Development Department at 248.347.0415 for guidance.

☒ Dimensioned Site Plan (1 copy & 1 digital copy submitted as a PDF)

- Existing or proposed buildings or additions on the property.
- Number and location of all on-site parking spaces.
- Existing and proposed distances to adjacent property lines.
- Location of existing and proposed signs, if applicable.
- Any other information relevant to the Variance application.

☒ Dimensioned Drawings and Plans (1 copy & 1 digital copy submitted as a PDF)

- Floor plans and elevations with all proposed buildings and additions.
- All existing and proposed signs on the property (photographs may be used).
- For use variances, include floor plan showing the existing and proposed layout and functions of each area.
- For multi-family residential structures or projects, a summary showing the existing and proposed number of dwelling units by type (efficiency, one-bedroom, two-bedroom, etc.)

☒ Other Helpful Information – Optional (1 copy & 1 digital copy submitted as a PDF)

- Photographs of the lot or structure that shows the special conditions or circumstances described in the application.
- Photographs or maps that show how other properties in the area enjoy the same type of property rights related to the Variance.
- Letters of support from the neighbors who would be most affected by your request.

☐ Fee (make check payable to the City of Novi)

Single Family Residential (Existing) \$200 (With Violation) \$250
Single Family Residential (New) \$250
Multiple/Commercial/Industrial \$300 (With Violation) \$400
Signs \$300 (With Violation) \$400
House Moves \$300
Special Meetings (At discretion of Board) \$600

Additional Information

In the course of reviewing the application, the Planning Department staff may request additional information from the applicant.



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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- 1a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

☐ Not Applicable ☒ Applicable

If applicable, describe below:

Current deck is dilapidated and needs to be removed and replaced - proposal is a enclosed sunroom with same square footage & current existing setbacks when previously built and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

☒ Not Applicable ☐ Applicable

If applicable, describe below:

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

☒ Not Applicable ☐ Applicable

If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Not self-created existing deck when home was purchased

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Unfair to penalize homeowner that they can't use deck year round

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Proposing to meet setbacks of existing deck
Not asking for additional for sunroom.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

Proposed sunroom has no negative effects on neighborhood

GENERAL NOTES

WOOD TRUSS SPECIFICATIONS

- Designs shall conform with the latest versions of (NDS), National Design Specification for Wood Construction by the American Forest & Paper Association, and Design Standard for Metal Plate Connected Wood Truss Construction by the American Institute of Steel Construction (AISC) and the Truss Plate Institute (T.P.I.) and the local code jurisdiction.
- Trusses shall be spaced as indicated on the plans unless the designer determines that different spacing is required to meet deflection requirements.
- Maximum deflection of floor trusses shall be limited to 1/360 for total load and 1/480 for live load. Maximum deflection of roof trusses shall be limited to 1/240 for total load and 1/360 for live load u.n.o.
- Adequate care shall be built into floor and parallel chord roof trusses to compensate for normal dead load deflection.
- Design loads:

FLOOR JOIST LOADING CRITERIA

FIRST FLOOR LOADING:
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/240

SECOND FLOOR LOADING:
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/240

FLOOR W/CERAMIC TILE/MARBLE

LIVE LOAD 40 P.S.F.
DEAD LOAD 25 P.S.F.
TOTAL LOAD 65 P.S.F.
LIVE LOAD DEFLECTION L/720
TOTAL LOAD DEFLECTION L/360

EXT. DECK JOIST LOADING CRITERIA

DECK LOADING:
LIVE LOAD 50 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 60 P.S.F.
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240

ROOF TRUSS LOADING CRITERIA

TOP CHORD LIVE LOAD 20 P.S.F.
DEAD LOAD 1 P.S.F.
BOTT. CHORD LIVE LOAD 10 P.S.F.
(INHABITABLE ATTICS W/OUT STORAGE)

LIVE LOAD 20 P.S.F.

DEAD LOAD 25 P.S.F.
TOTAL LOAD 45 P.S.F.
LIVE LOAD DEFLECTION L/720
TOTAL LOAD DEFLECTION L/360

WIND LOAD 15 MPH OR AS REQUIRED BY CODE

CONC. DECK JOIST LOADING CRITERIA

DECK LOADING:
LIVE LOAD 50 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 60 P.S.F.
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240

- A 15% increase on allowable stresses for short term loading is allowed. Drift loading shall be accounted for per the current "Michigan Residential Code" requirements.
- Add additional attic storage live loads per the current "Michigan Residential Code" requirements.
- Tile, marble, or other special features shall be designed using the appropriate dead loads and deflection limitations. Partition loads shall also be considered where appropriate.
- All conventional framed floor decks shall be 2 x 10 @ 2' or 2 x 12 @ 2' Douglas Fir or better.

HANDLING AND ERECTION SPECIFICATIONS

- Trusses are to be handled with particular care during fabrication, bundling, loading, delivery, unloading and installation in order to avoid damage and weakening of the trusses.
- Temporary and permanent bracing for holding the trusses in a straight and plumb position is always required and shall be designed and installed by the erecting contractor. Temporary bracing during installation, includes cross bracing between the trusses to prevent tipping or "doming" of the trusses.
- Permanent bracing shall be installed in accordance with the latest of the "National Design Standards", as published by the American Forest & Paper Association and AISC-B and D.S.B.-B as published by the steel plate institute. Permanent bracing consists of lateral and diagonal bracing to exceed spacing requirements of the truss fabrication. Top chords of trusses must be continuously braced by roof sheathing unless otherwise note on the truss shop drawings. Bottom chords must be braced at intervals not to exceed 10' o.c. or as noted on the truss fabricators drawings.
- Construction loads greater than the design loads of the trusses shall not be applied to the trusses at any time.
- No loads shall be applied to the truss until all fastening and required bracing is installed.
- The supervision of the truss erecting shall be under the direct control of persons(s) experienced in the installation and proper bracing of wood trusses.
- Field modification or cutting of pre-engineered roof trusses is strictly prohibited without expressed prior written consent and details from a licensed professional structural engineer experienced in wood truss design and modifications.

SOIL REQUIREMENTS & EARTH WORK AND CONCRETE

- All top soil, organic and vegetative material should be removed prior to construction. Any required fill shall be clean, granular material compacted to at least 95% of maximum dry density as determined by ASTM D-1557.
- Foundations bearing on existing soils have been designed for a minimum allowable soil bearing capacity of 3000 psf, u.n.o.
- Notify the engineer/architect if the allowable soil bearing capacity is less than 3000 psf so that the foundations can be redesigned for the new allowable bearing capacity.
- R404.1.7 Backfill placement.
Backfill shall not be placed against the wall until the wall has sufficient strength and has been anchored to the floor above or has been sufficiently braced to prevent damage by the backfill.

R506.2.1 Fill.

Fill material shall be free of vegetation and foreign material. The fill shall be compacted to assure uniform support of the slab and, except where approved, the fill depths shall not exceed 24 inches for clean sand or gravel and 6 inches for earth.

R506.2.3 Vapor retarder.

A 6 mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches shall be placed between the concrete floor slab and the base course or the prepared subgrade where no base course exists.

- Concrete work shall conform to the requirements of ACI 301-36, "Specifications for Structural Concrete for Buildings", except as modified as supplemental requirements.
- Concrete shall have a minimum of 3000 psi, 28 day compressive strength, unless noted otherwise. (4 sacks) if a water/cement ratio not to exceed 6 gallons per sack). Exterior concrete slabs shall have a minimum of 4000 psi, 28 day compressive strength, 4.43% air entrainment.
- The use of additives such as fly ash or calcium chloride is not allowed without prior review from the architect.

R405.1 Concrete or masonry foundations.

Drains shall be provided around all concrete or masonry foundations that retain earth and enclose habitable or usable spaces located below grade. Drilling tiles, gravel or crushed stone drains, perforated pipe or other approved systems or materials shall be installed at or below the area to be protected and shall discharge by gravity or mechanical means into an approved drainage system. Gravel or crushed stone drains shall extend at least 1 foot beyond the outside edge of the footing and 6 inches above the top of the footing and be covered with an approved filter membrane material. The top of open joints of drain tiles shall be protected with strips of building paper, and the drainage tiles or perforated pipes shall be placed on a minimum of 2 inches of washed gravel or crushed rock at least one sieve size larger than the tile joint opening or perforation and covered with not less than 6 inches of the same material.

Exception:
A drainage system is not required when the foundation is installed on well-drained ground or sand-gravel mixture soils according to the Unified Soil Classification System, Group 1 soils, as detailed in Table R405.1.

STAIRWAYS AND HANDRAILS

R311.1 Width.

Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 3'-2" (914 mm) where a handrail is installed on one side and 21 inches (533 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.1.0.1.

R311.8 Handrails.

Handrails shall be provided on at least one side of each continuous run of treads or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

R311.8.1 Height.

Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

Exceptions:

- The use of a volute, turnout or starting easing shall be allowed over the lowest tread.
- When handrail fittings or bendings are used to provide continuous transition between flights, the transition from handrail to guardrail, or used at the start of a flight, the handrail height at the fittings or bendings shall be permitted to exceed the maximum height.

EGRESS WINDOW REQUIREMENTS

- Min. net clear opening of 5.7 sq. ft. (second floor bedrooms)

- Min. net clear opening of 5.0 sq. ft. (first floor bedrooms only)

- Min. net clear opening ht. of 24 inches

- Min. net clear opening width of 20 inches

- Max. sill ht. above finish floor of 44 inches

AREAS THAT REQUIRE SAFETY GLAZING

R308.4 Hazardous locations.

The locations specified in Sections R308.4.1 through R308.4.7 shall be considered to be specific hazardous for the purposes of glazing.

R308.4.1 Glazing in doors.

Glazing in fixed and operable panels of swinging, sliding and bifold doors considered to be a hazardous location.

Exceptions:

- Glazed openings of a size through which a 3-inch diameter (76 mm) sphere is unable to pass.
- Decorative glazing.

R308.4.2 Glazing adjacent to doors.

Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above the floor or walking surface and it meets either of the following conditions:

Exceptions:

- Decorative glazing.
- Where there is an intervening wall or other permanent barrier between the door and the glazing.
- Where access through the door is to a closet or storage area 3 feet (914 mm) or less in depth. Glazing in this application shall comply with Section R308.4.3.
- Glazing that is adjacent to the fixed panel of patio doors.

R308.4.3 Glazing in windows.

Glazing in an individual fixed or operable panel that meets all of the following conditions shall be considered to be a hazardous location:

- The exposed area of an individual pane is larger than 9 square feet (0.836 m²)
- The bottom edge of the glazing is less than 18 inches (457 mm) above the floor.
- The top edge of the glazing is more than 36 inches (914 mm) above the floor; and
- One or more walking surfaces are within 36 inches (914 mm), measured horizontally and in a straight line, of the glazing.

Exceptions:

- Decorative glazing.
- When a horizontal rail is installed on the accessible side(s) of the glazing 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (750 N/m) without contacting the glass and be a minimum of 1/2 inches (38 mm) in cross sectional height.

Outboard panes in insulating glass units and other multiple glazed panels when the bottom edge of the glass is 25 feet (7620 mm) or more above grade, a roof, walking surface, or other horizontal 1 within 45 degrees (0.79 rad) of horizontal 1 surface adjacent to the glass exterior.

R308.4.4 Glazing in guards and railings.

Glazing in guards and railings, including structural baluster panels and nonstructural in-fill panels, regardless of area or height above a walking surface shall be considered to be a hazardous location.

R308.4.5 Glazing and wet surfaces.

Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathrooms, showers and indoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface shall be considered to be a hazardous location. This shall apply to single glazing and each pane in multiple glazing.

Exceptions:

- Glazing that is more than 60 inches (1524 mm), measured horizontally and in a straight line, from the water's edge of a bathroom, hot tub, spa, whirlpool or swimming pool or from the edge of a shower, sauna or steam room.

R308.4.6 Glazing adjacent to stairs and ramps.

Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.

Exceptions:

- Where a rail is installed on the accessible side(s) of the glazing 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (750 N/m) without contacting the glass and have a cross-sectional height of not less than 1 1/2 inches (38 mm).
- Glazing 36 inches (914 mm) or more measured horizontally from the walking surface.

R308.4.7 Glazing adjacent to the bottom stair landing.

Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches (914 mm) above the landing and within a 60-inch (1524 mm) horizontal arc less than 180 degrees from the bottom tread nosing shall be considered to be a hazardous location.

Exception:

The glazing is protected by a guard complying with Section R312 and the plane of the glass is more than 18 inches (457 mm) from the ground.

TABLE R602.10.6.4

TENSION STRAP CAPACITY FOR RESISTING WIND PRESSURES PERPENDICULAR TO METHODS PFH, PFG AND CS-PF BRACED WALL PANELS

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	MAXIMUM OPENING WALL HEIGHT (feet)	TENSION STRAP CAPACITY REQUIRED (pounds) ^{a,b}					
				Ultimate Design Wind Speed V _m (mph)					
				110	115	130	110	115	130
2 x 4 No. 2 Grade	0	10	18	Exposure B			Exposure C		
				1,000	1,000	1,000	1,000	1,000	1,050
				1,000	1,000	1,000	1,000	1,000	1,750
	1	10	16	1,000	1,025	2,050	2,075	2,500	3,950
				1,000	1,275	2,375	2,400	2,850	DR
				1,000	1,000	1,475	1,500	1,875	3,125
	2	10	16	1,775	2,175	3,525	3,550	4,125	DR
				1,8	2,075	2,500	3,950	3,975	DR
				1,150	1,500	2,650	2,675	3,175	DR
	2	12	16	2,875	3,375	DR	DR	DR	DR
				1,8	3,425	3,975	DR	DR	DR
				9	2,275	2,750	DR	DR	DR
2 x 6 Stud Grade	2	12	12	3,225	3,775	DR	DR	DR	DR
				9	1,000	1,000	1,700	2,025	3,050
				16	1,825	2,150	3,225	3,675	DR
	4	12	18	2,200	2,550	3,725	3,750	DR	DR
				9	1,450	1,750	2,700	2,725	3,125
				16	2,050	2,400	DR	DR	DR
	4	12	18	3,350	3,800	DR	DR	DR	DR
				9	1,000	1,000	1,700	2,025	3,050
				16	1,825	2,150	3,225	3,675	DR
	4	12	18	2,200	2,550	3,725	3,750	DR	DR
				9	1,450	1,750	2,700	2,725	3,125
				16	2,050	2,400	DR	DR	DR

For 5/8" 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
a. DR = Design Required
b. Straps shall be installed in accordance with manufacturer's recommendations.

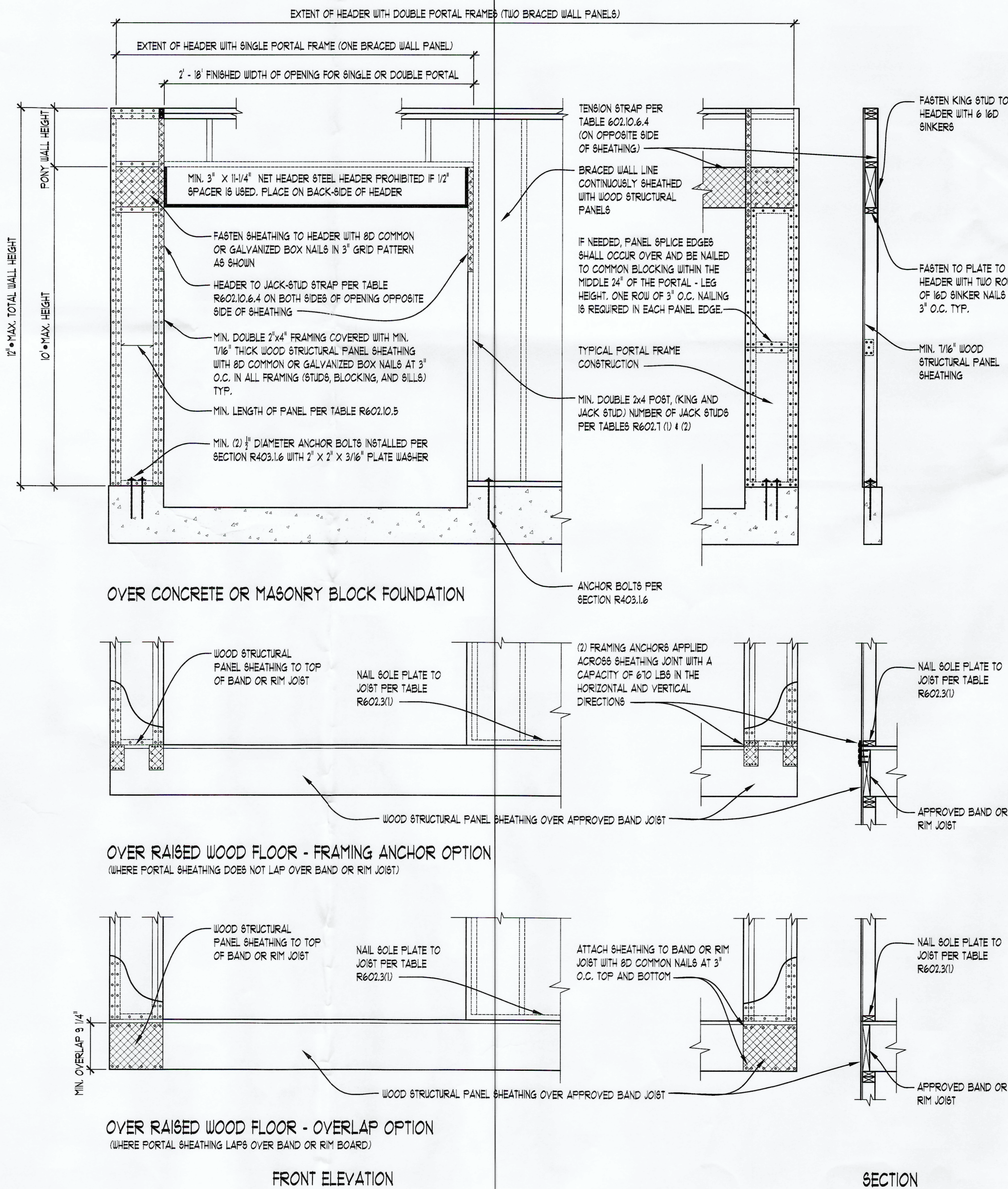


FIGURE R602.10.6.4

METHOD C6-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

FOR 5/8\"/>

NOT TO SCALE

TABLE R602.3.(5)

SIZE, HEIGHT AND SPACING OF WOOD STUDS a.

STUD SIZE (inches)	BEARING WALLS					NONBEARING WALLS	
	Laterally unsupported stud height 'o' (feet)	Maximum spacing when supporting roof-ceiling assembly or a hailable attic assembly only (inches)	Maximum spacing when supporting one floor plus a roof-ceiling assembly or a hailable attic assembly (inches)	Maximum spacing when supporting two floors plus a roof-ceiling assembly or a hailable attic assembly (inches)	Maximum spacing when supporting one floor height 'o' (feet)	Laterally unsupported stud height 'o' (feet)	Maximum spacing (inches)
2x3 b	-	-	-	-	-	10	16
2x4	10	24 c	16 c	-	24	14	24
3x4	10	24	24	16	24	14	24
2x5	10	24	24	-	24	16	24
2x6	10	24	24	16	24	20	24

For 5/8\"/>

a. Listed heights are distances between points of lateral support placed perpendicular to the plan of the wall.

b. Bearing walls shall be installed not greater than 4 feet apart measured vertically from either end of the stud. Increases in unsupported height are permitted where in compliance with Exception 2 of Section R602.3.1 or designed in accordance with accepted engineering practice.

c. Shall not be used in exterior walls.

d. A hailable attic assembly supported by 2 x 4 studs is limited to a roof span of 32 feet. Where the roof span exceeds 32 feet, the wall studs shall be increased to 2 x 6 or the studs shall be designed in accordance with accepted engineering practice.

TABLE R703.8.3.1

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER a,b,c,d

SIZE OF STEEL ANGLE a,c,d (inches)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF \bar{f}_t OR EQUIVALENT REINFORCING BARS b,d
3x3x $\frac{1}{2}$	6'-0"	4'-6"	3'-0"	1
4x3x $\frac{1}{2}$	8'-0"	6'-0"	4'-6"	1
5x3x $\frac{1}{2}$	10'-0"	8'-0"	6'-0"	2
6x3x $\frac{1}{2}$	14'-0"	9'-6"	7'-0"	2
2-6x3x $\frac{1}{2}$	20'-0"	12'-0"	9'-6"	4

a. Long leg of angle shall be placed in a vertical position.

b. Depth of reinforcing lintels shall not be less than 8 inches and all cells of hollow masonry lintels shall be grouted solid. Reinforcing bars shall extend not less than 6 inches into the support.

c. Steel members indicated are adequate typical examples; other steel members meeting structural design requirements shall be permitted to be used.

d. Either steel angle or reinforced lintel shall span opening.

TYPICAL CONVENTIONAL ROOF FRAMING

* RIDGE BEAM SIZE WILL BE EQUAL TO THE RAFTER CUT EDGE *

RAFTER SPANS	0'-0\"/>	4'-0\"/>	8'-0\"/>	12'-0\"/>	16'-0\"/>
LUMBER SIZE	2x4	2x6	2x8	2x12	

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DAVIS-FASSEEL RENOVATION

JOB No. 20-271

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CHECKED: BF

REVIEW: 6-2-21

FINAL: 7-2-21

REVISION: 9-14-21

REVISION: 9-28-21

REVISION: 12-9-21

REVISION: 12-14-21

REVISION: 11-8-21

SCALE: PER PLAN

SHEET # GN1



← SCHEMATIC SITE PLAN

SCALE: 1/8" = 1'-0"

NOTE:
REFER TO PLOT PLAN BY BE 8088 ENGINEERING JOB NO.
22-236, DATED 9-29-22 FOR ADDITIONAL INFORMATION



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SCALE:
PER PLAN

SHEET #

GN2

CON NOTES

INSPECTED AND LOCATIONS WHERE THE GRADE
INSPECT CLOSELY FOR SIGNS OF ROT. ANY
MOVED AND REPLACED AND THEN SPOT
EQUIVALENT PRESERVATIVE.

BE APPLIED AROUND ANY OPENINGS
(PIPS, WIRES, ETC).

SHALL BE TUCK POINTED WITH AN EPOXY

POSSIBLE FOR ALL SUB-TRADES.

LICENSED CONTRACTORS

ALL ON SITE CONDITIONS & DIMENSIONS AND TO
ES OF ANY DISCREPANCIES OR OMISSIONS
OLUTION.

FOR REMOVAL OF ALL CONSTRUCTION
HIGH ETC. AND TO DISPOSE OF ALL MATERIALS
CONTRACTOR IS TO KEEP THE PROJECT AREA CLEAN

COORDINATE, AND SCHEDULE ANY AND ALL UTILITY SERVICE WITH THE OWNER PRIOR TO

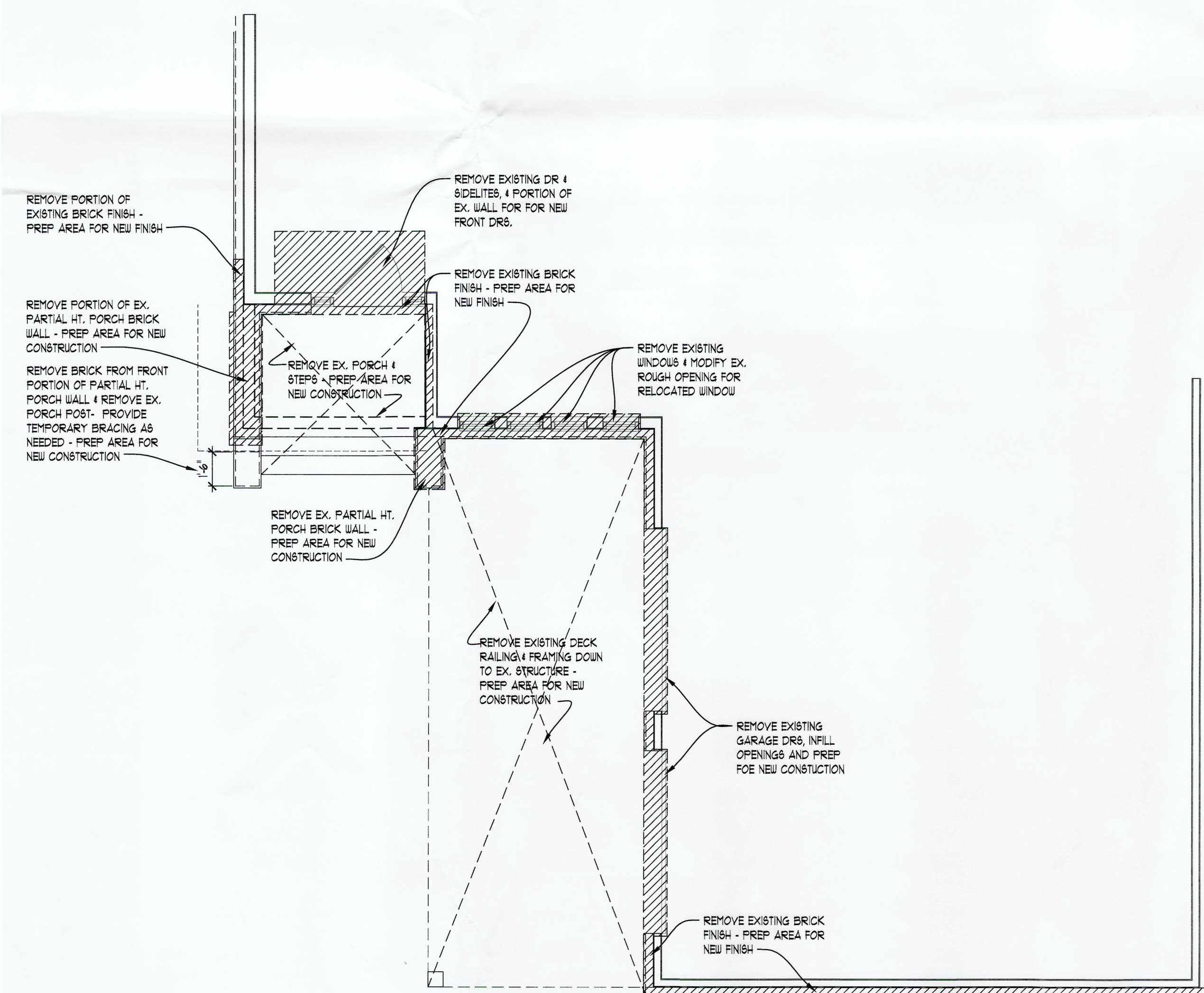
ED IN EXCESS OF THAT REQUIRED. RETURN
TO REMAIN TO CONDITION EXISTING PRIOR TO
DEMOLITION WORK. REPAIR ADJACENT
SOILED OR DAMAGED BY SELECTIVE

VICES AND PROTECT AGAINST DAMAGE
RUCTION.

ENCOUNTERED DURING DEMOLITION
PLICABLE REGULATIONS, LAWS, AND
LOYAL, HANDLING, AND PROTECTION AGAINST
. POLLUTION.

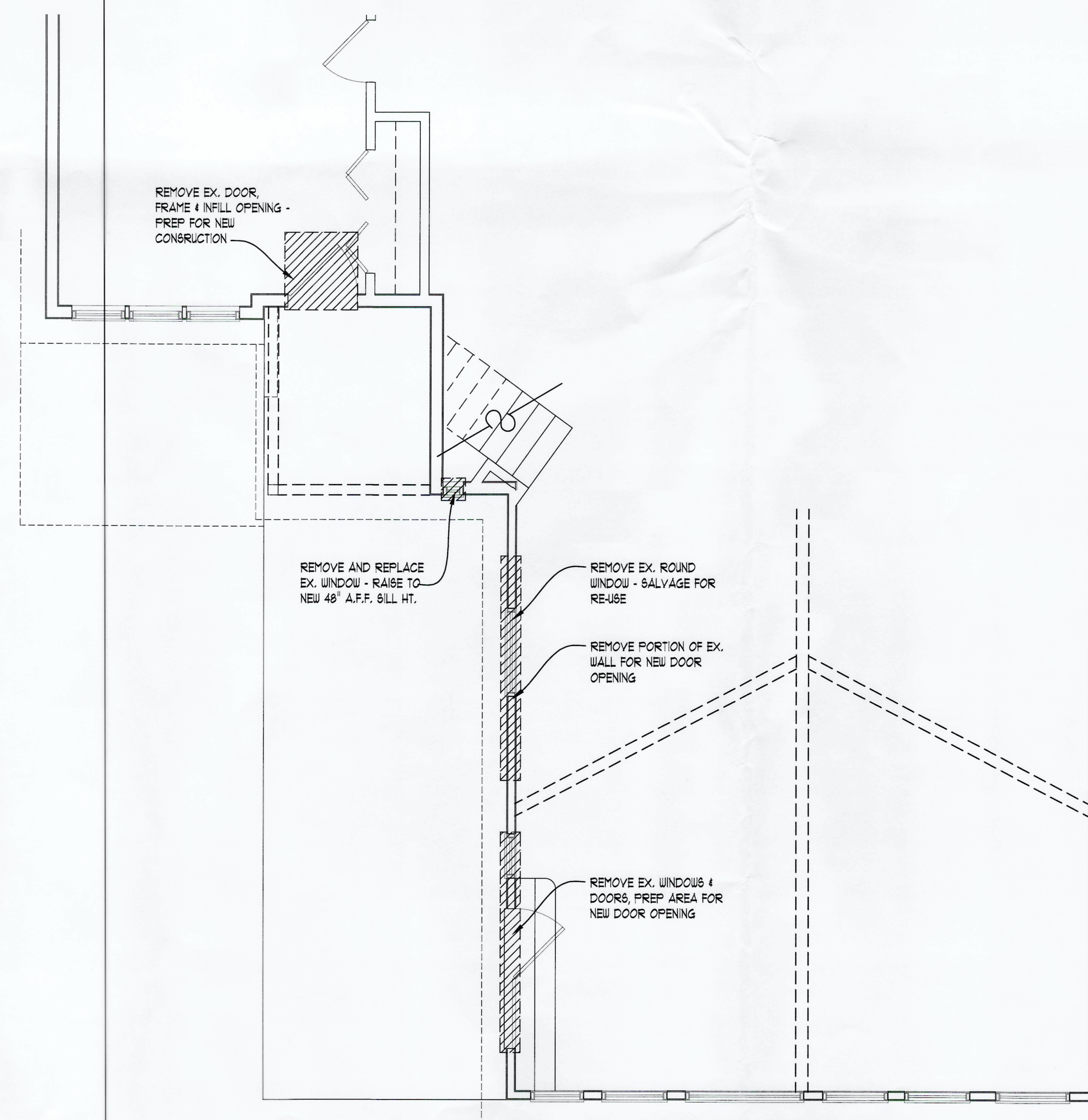
2. EXTENT OF DEMOLITION SHOWN IS
ALL DIMENSIONS PRIOR TO COMMENCEMENT

RE TO REMAIN (TYP. UNLESS NOTED



EXISTING / DEMOLITION
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING / DEMOLITION
SECOND FLOOR PLAN

$$\text{SCAIF: } 1/4^{\text{th}} = 1^{\text{st}} - 2^{\text{nd}}$$

NOTE:

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED.
DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER
GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS
INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECT

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL

TKD

ASSOCIATION

WWW.TKHG

SOUTH L
PHONE:

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- DO NOT SCALE DRAWINGS
- CONTRACTOR TO FIELD VERIFY CONSTRUCTION DISCREPANCIES

-CONSTRUCTION IS THE SOL

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JOB No.

CHECKED

FINAL:

REVISIONS

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REVISION

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I

FOUNDATION NOTES

- NOTE:
ALL FOOTINGS ARE DESIGNED FOR 3000 P.S.F. SOIL BRG. CAPACITY & 30 P.S.F. ROOF SNOW LOAD. FOR VARYING CONDITIONS REFER TO TABLE R403.1(1), R403.1(2), & R403.1(3) OF THE 2015 IRC.
- ALL COLUMNS SHALL BE 3" DIA. SCHEDULE 40 STANDARD STEEL PIPE COLUMN ON 30" X 30" X 18" DEEP CONC. FTG. TOP OF CONCRETE FTG. TO BE 4" BELOW FINISH BASEMENT SLAB. (TYPICAL UNLESS NOTED OTHERWISE)
 - WHERE STEEL BEAMS REST ON FOUNDATION WALLS, SIZE BEAM POCKET APPROPRIATELY AND SHIM AS REQUIRED.
 - PROVIDE LADDERING UNDER ANY WALL RUNNING PARALLEL W/ JOIST THAT DOES NOT LAND DIRECTLY ON A JOIST
 - PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
 - GROUT SOLID & BEARING CONDITIONS WHERE BLOCK IS USED.
 - PROVIDE 2" X 24" (MIN. R-10) RIGID PERIMETER INSULATION AT ALL BASEMENT SLABS THAT ARE LESS THAN 42" BELOW EXTERIOR FINISHED GRADE

- NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:
- EXTERIOR WALL THICKNESS
 - EXISTING ROOF PITCH
 - EXISTING HEEL HEIGHT
 - OVERHANG DIMENSIONS
 - OVERALL DIMENSIONS ACROSS TOP PLATES
 - EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION
- PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

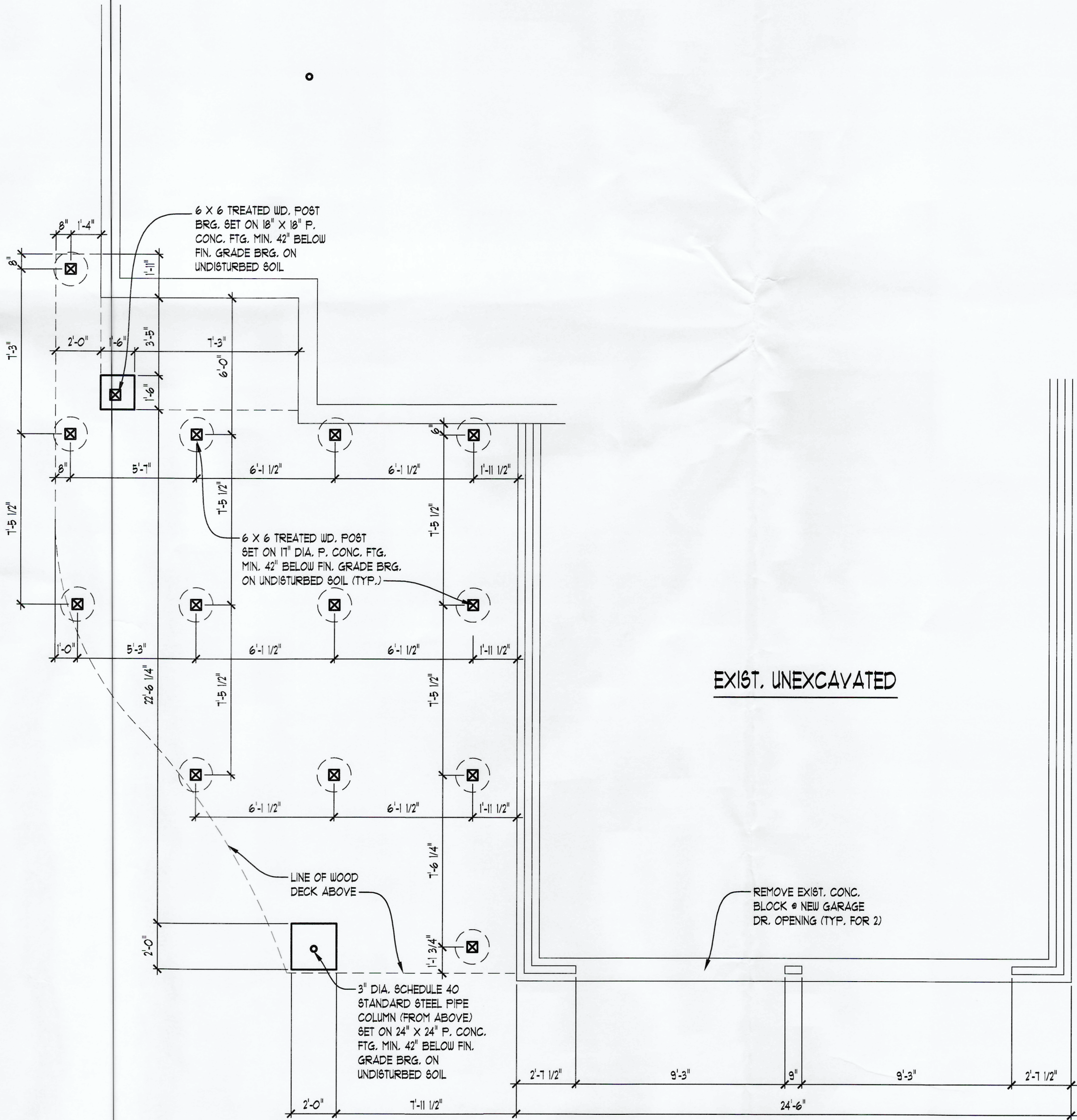
NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

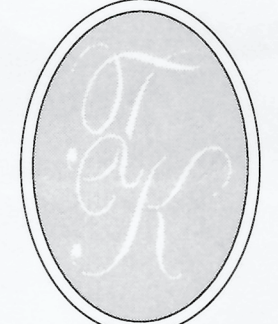
NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:
— WOOD BEAM
— STEEL BEAM
BRG. WALL
BRG. WALL ABOVE
BRG. WALL & BRG. WALL ABOVE
POINT LOAD
POINT LOAD FROM ABOVE





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REVISION	9-28-21
REVISION	12-9-21
REVISION	12-14-21
REVISION	11-8-21
SCALE: PER PLAN	
SHEET # A-1	

DEMOLITION NOTES

- EXTERIOR GRADE SHALL BE INSPECTED AND LOCATIONS WHERE THE GRADE IS WITHIN 8' OF THE SILL PLATE, INSPECT CLOSELY FOR SIGNS OF ROT. ANY ROTTED WOOD SHALL BE REMOVED AND REPLACED AND THEN SPOT TREATED WITH TIMBOR OR AN EQUIVALENT PRESERVATIVE.
- NEW SILICONE SEALANT SHALL BE APPLIED AROUND ANY OPENINGS THROUGH THE FOUNDATION (PIPER, WIRES, ETC.).
- ALL VERTICAL CRACKS NOTED SHALL BE TUCK POINTED WITH AN EPOXY MORTAR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SUB-TRADES.
- ALL WORK IS TO BE DONE BY LICENSED CONTRACTORS
- CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS & DIMENSIONS AND TO NOTIFY TK DESIGN & ASSOCIATES OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO CONSTRUCTION/DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION RELATED DEBRIS, TRASH, RUBBISH ETC. AND TO DISPOSE OF ALL MATERIALS IN A LEGAL MANNER. CONTRACTOR IS TO KEEP THE PROJECT AREA CLEAN AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY, COORDINATE, AND SCHEDULE ANY AND ALL DISCONNECTIONS OF EXISTING UTILITY SERVICE WITH THE OWNER PRIOR TO THE WORK BEING DONE.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
- MAINTAIN EXISTING UTILITY SERVICES AND PROTECT AGAINST DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- ALL DRAWINGS ARE SCHEMATIC. EXTENT OF DEMOLITION SHOWN IS APPROXIMATE. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL STRUCTURAL MEMBERS ARE TO REMAIN (TYP. UNLESS NOTED OTHERWISE)

NOTE:

PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

NOTE:

PROVIDE MIN. (1) JACK STUD 4 (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:

PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:

GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

FIRE SEPARATION NOTE

FIRE SEPARATION (R302.6)

GARAGE SPACE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ABV. (ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS) VERIFY W/ BLDG.

NOTE:

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
 - EXISTING ROOF PITCH
 - EXISTING HEEL HEIGHT
 - OVERHANG DIMENSIONS
 - OVERALL DIMENSIONS ACROSS TOP PLATES
 - EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION
- PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

WALL KEY

- NEW STUD WALL
- EXISTING STUD WALL TO REMAIN

NOTE:

PORCH CLG. FINISH PER BUILDER'S SPEC.

NOTE:

DOOR & WINDOW LOCATIONS:

ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FOR CABING UNLESS NOTED OTHERWISE

PLAN NOTES

INTERIOR WALLS:

1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3 1/2" THICK TYPICAL (UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM STUD EDGES

EXTERIOR WALLS:

SIDING AND/OR MASONRY WITH AIRSPACE, MOISTURE BARRIER PAPER (HOUSE WRAP) ON 1/16" O.S.B. SHEATHING ON 2x4 WOOD STUDS @ 16" O.C. OR AS NOTED, MIN. R-20 WALL CONSTRUCTION, 1/2" GYPSUM WALL BOARD (GLUE & SCREW). WALL TO BE 4" THICK WITH SIDING AND 8" THICK WITH MASONRY (TYPICAL UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM FRAMING (FLOOR PLANS) OR FOUNDATION CORNERS (FOUNDATION PLAN)

- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 2015 IRC SECTION R302.5.1).
- VENT ALL EXHAUST FANS TO EXTERIOR.
- WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE.
- INSTALL WATER SUPPLY AND DRAIN BOX (GREY BOX) AT WASHING MACHINE LOCATION.
- USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.
- ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL. ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER
- PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
- PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
- GARAGE WALLS TO BE 2x6 STUDS IF OVER 10'-0" TALL.

AREA SUMMARY:

STORAGE/ 3 SEASON RM. 278 S.F.

EXTERIOR DECK 468 S.F.



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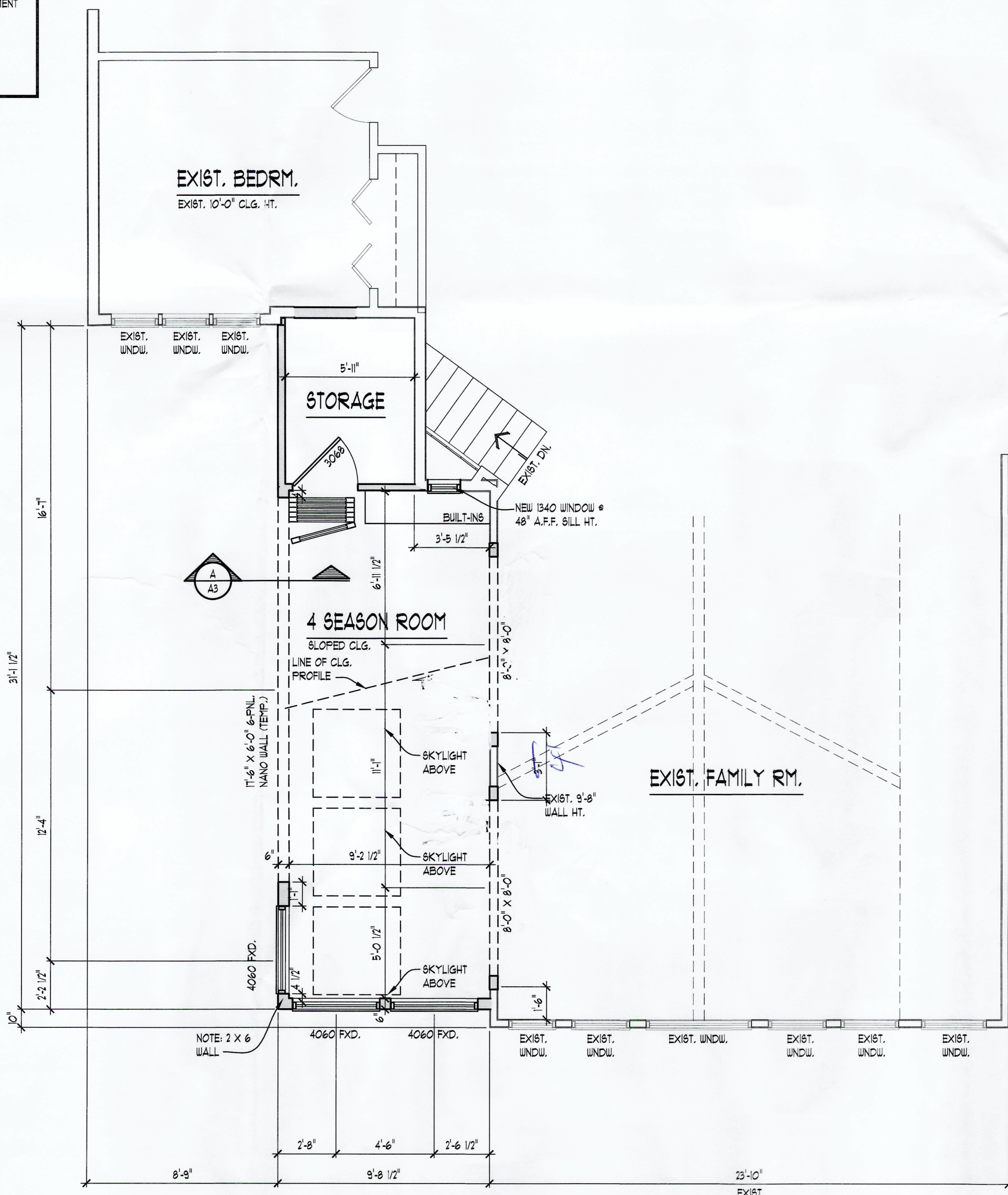
REVISION 11-8-21

SCALE:

PER PLAN

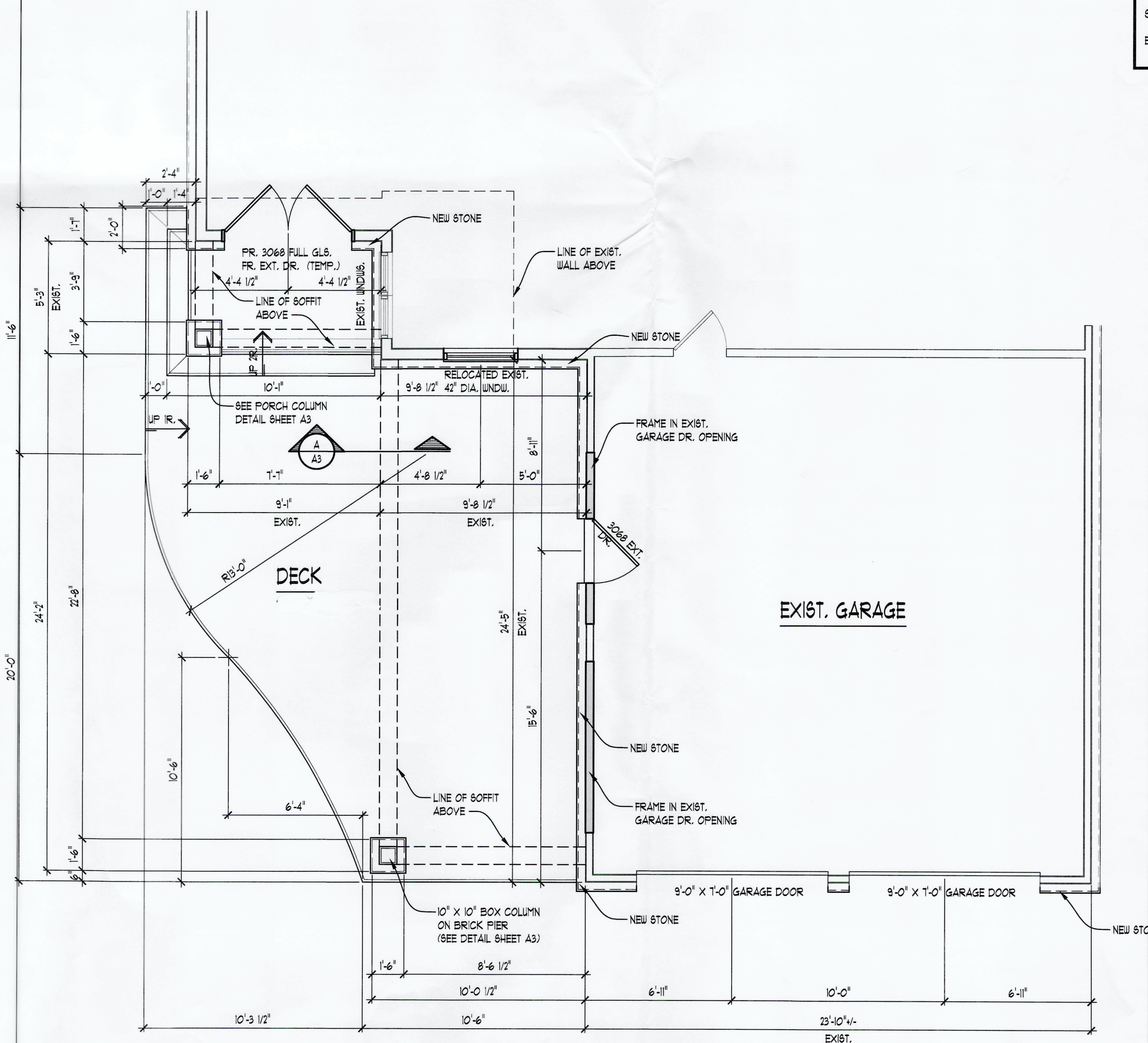
SHEET #

A-2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"





FIRST FLOOR PLAN


SCALE: 1/4" = 1'-0"


A-3


NOTE:


 WOOD BEAM


 STEEL BEAM

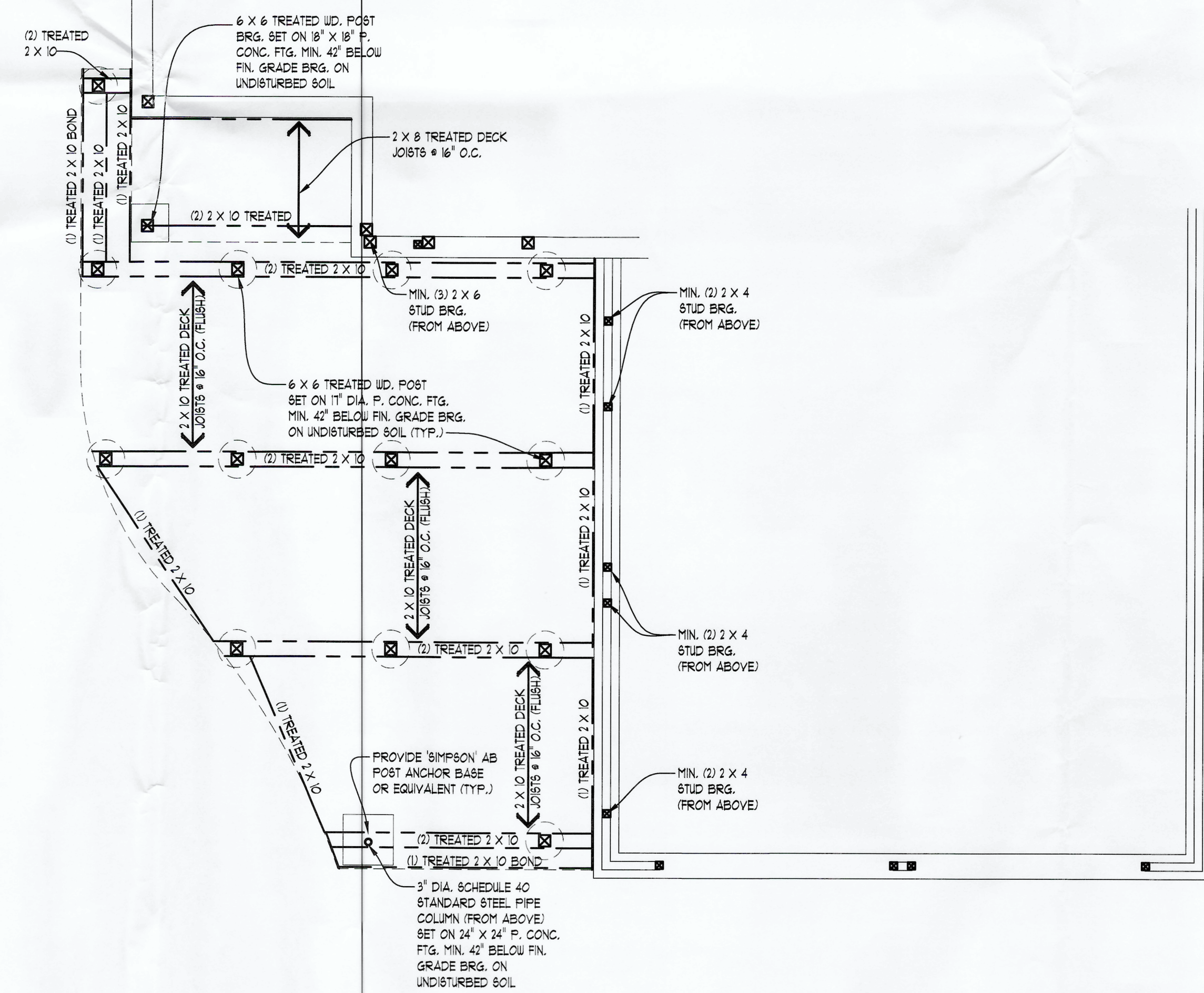
 BRG. WALL

 BRG. WALL ABOVE

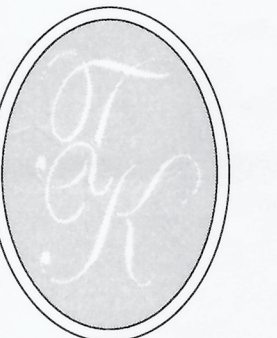
 BRG. WALL & BRG. WALL ABOVE

 POINT LOAD

 POINT LOAD FROM ABOVE



FOUNDATION PLAN STRUCTURE



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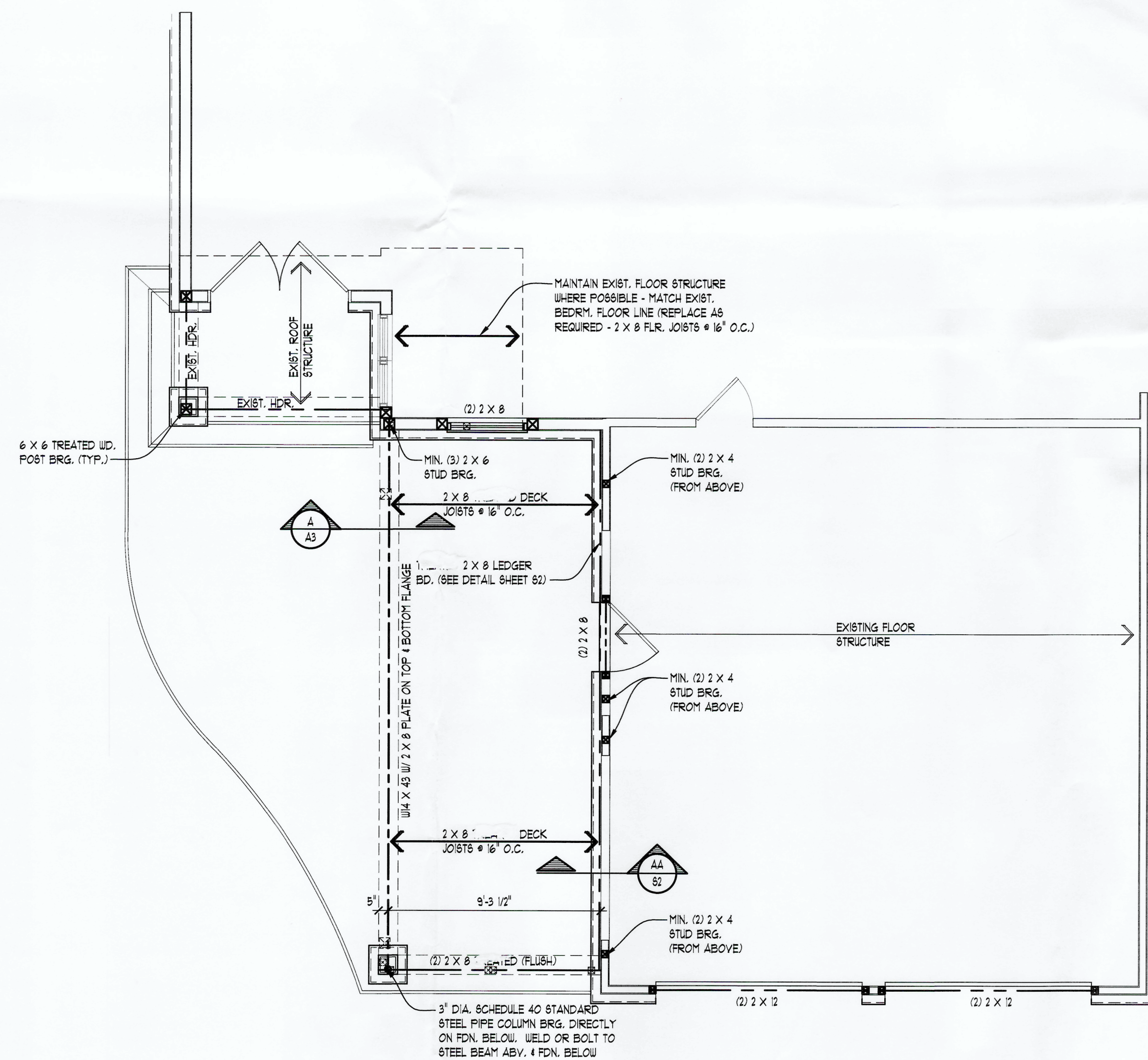
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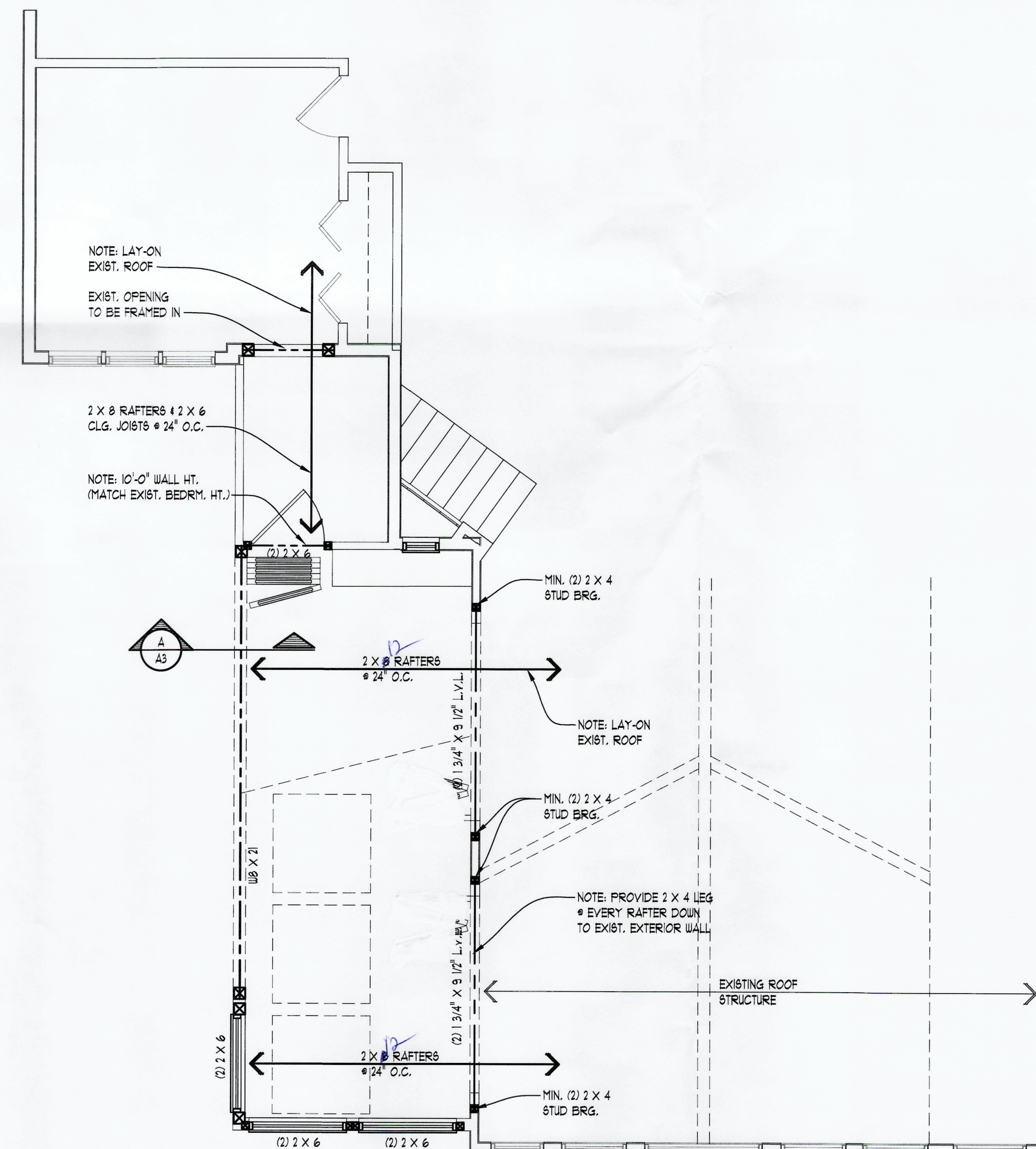
SCALE:
PER PLAN

SHEET #
S1



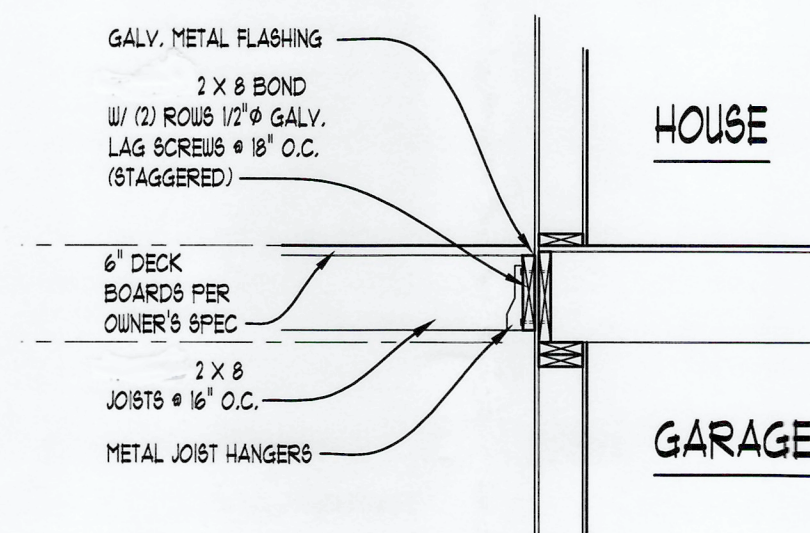
FIRST FLOOR PLAN STRUCTURE

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN STRUCTURE

SCALE: 1/4" = 1'-0"



DECK LEDGER DETAIL

SCALE: 1/2" = 1'-0"

AA
S2

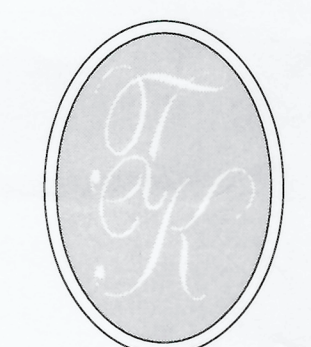
NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:
WOOD BEAM
STEEL BEAM
BRG. WALL
BRG. WALL ABOVE
BRG. WALL & BRG. WALL ABOVE
POINT LOAD
POINT LOAD FROM ABOVE



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DAVIS-FASSEEL RENOVATION

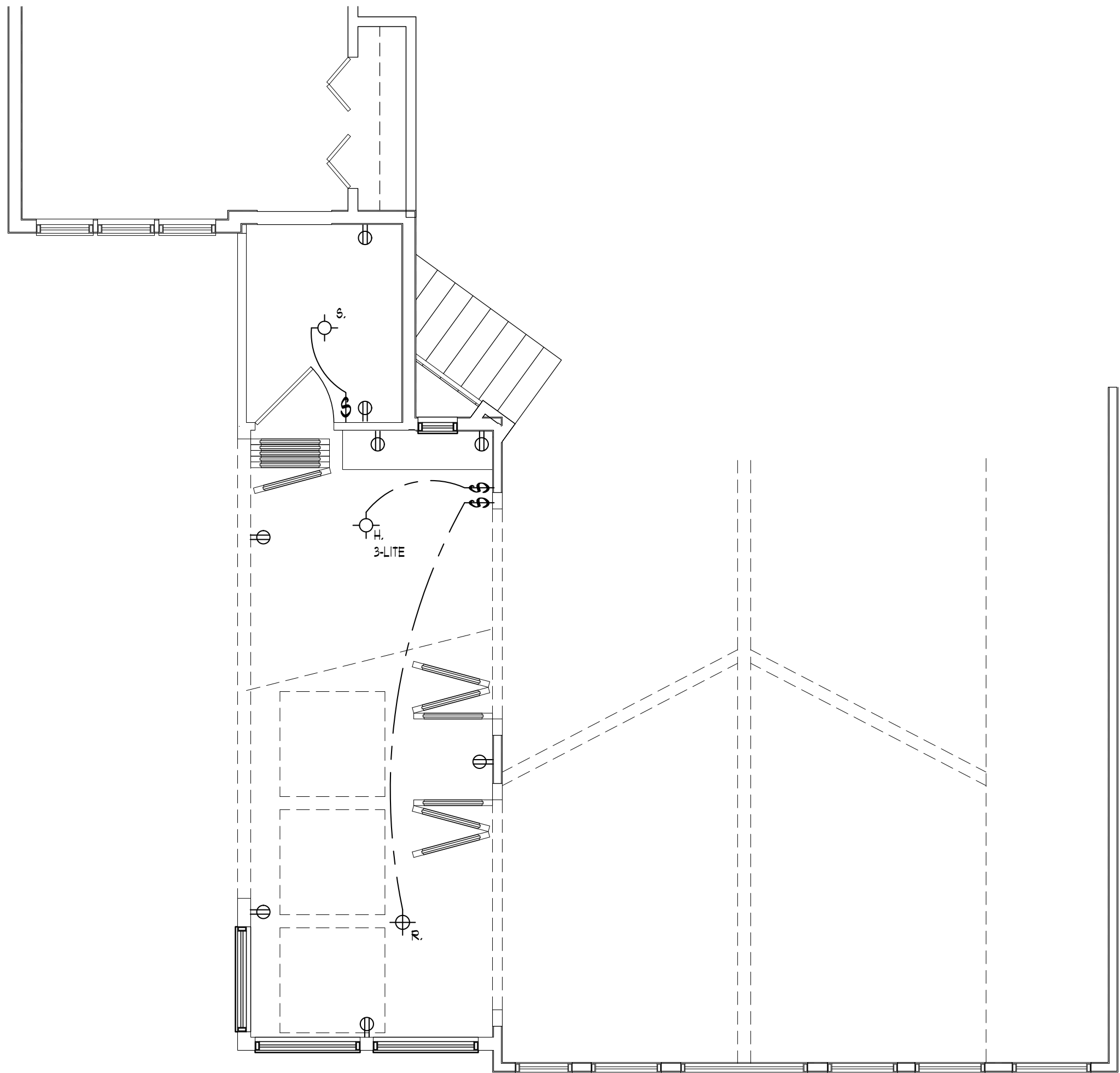
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DRAWN: KG / AG
CHECKED: BF
REVIEW 6-2-21
FINAL: 7-2-21
REVISION 9-14-21
REVISION 9-28-21
REVISION 12-9-21
REVISION 12-14-21
REVISION 11-8-21

SCALE:
PER PLAN

SHEET #
S2

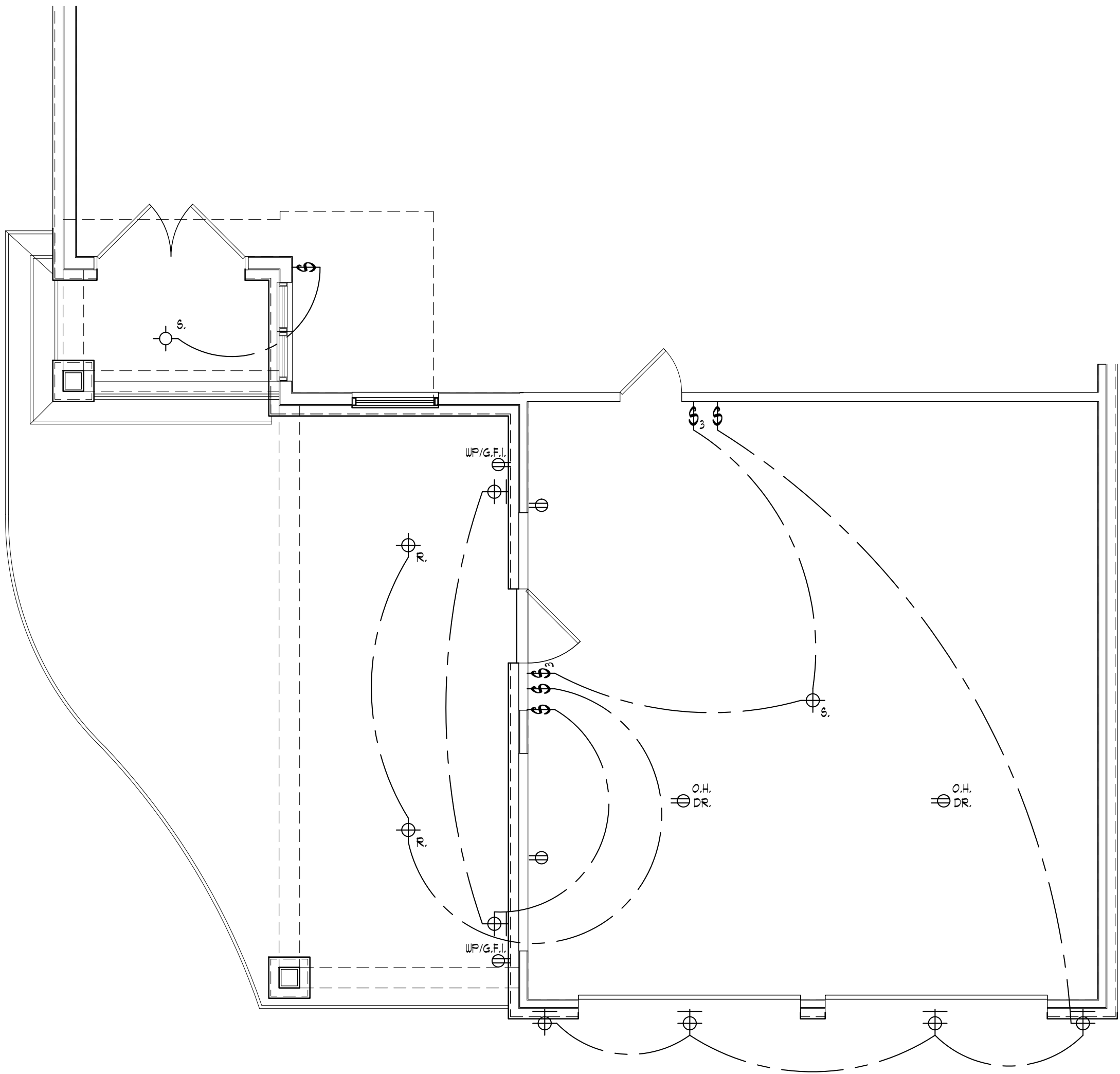
ELECTRICAL SYMBOL KEY

GRAPHIC SYMBOL	DESCRIPTION	GRAPHIC SYMBOL	DESCRIPTION
	RECESSED WHITE BAFFLE 6" FIXTURE		PADDLE TYPE CEILING FAN W/ LIGHT
	SURFACE MOUNTED INCANDESCENT FIXTURE		RECESSED EXHAUST, LOW NOISE, FAN
	HANGING DECORATIVE FIXTURE, PENDANT OR CHANDALIER		FAN / LIGHT COMBO
	WALL MOUNTED INCANDESCENT DECORATIVE SCONCE		ELECTRICAL OUTLET WALL MOUNTED
	UNIVERSAL SERIAL BUS		ELECTRICAL OUTLET GROUND FAULT INTERRUPTED TYPICAL WIRED THROUGHOUT ROOM
	PHONE LINE		WATER PROTECTED ELECTRICAL OUTLET GROUND FAULT INTERRUPTED
	CABLE T.V.		POWER SWITCH
	GAS LINE		3-WAY POWER SWITCH
			SMOKE DETECTOR INTER-CONNECTED W/ BATTERY BACKUP PER CODE
			SMOKE DETECTOR / CARBON MONOXIDE DETECTOR INTER-CONNECTED W/ BATTERY BACKUP PER CODE



SECOND FLOOR PLAN ELECTRICAL

SCALE: 1/4" = 1'-0"
BUILDER NOTES:
1. 3-LITE FIXTURE IS DIMMABLE
2. OUTLET ON MIDDLE NORTH WALL SHALL BE LOCATED IN CABINET
3. VENT POWER NEEDED ON MIDDLE NORTH WALL ABOVE THE CENTERED OUTLET @ 6 FT. A.F.F.



FIRST FLOOR PLAN ELECTRICAL

SCALE: 1/4" = 1'-0"

TK DESIGN
&
ASSOCIATES

WWW.TKHOMEDESIGN.COM

26030 PONTIAC TRAIL
SOUTH LYON, MI 48178
PHONE: (248)-446-1960
FAX: (248)-446-1961

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REPORTED TO THE DESIGNER IN WRITING FORM IMMEDIATELY.
CALL 800-482-2273 3 DAYS PRIOR TO ANY EXCAVATION.
CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER.

CLIENT / PROJECT

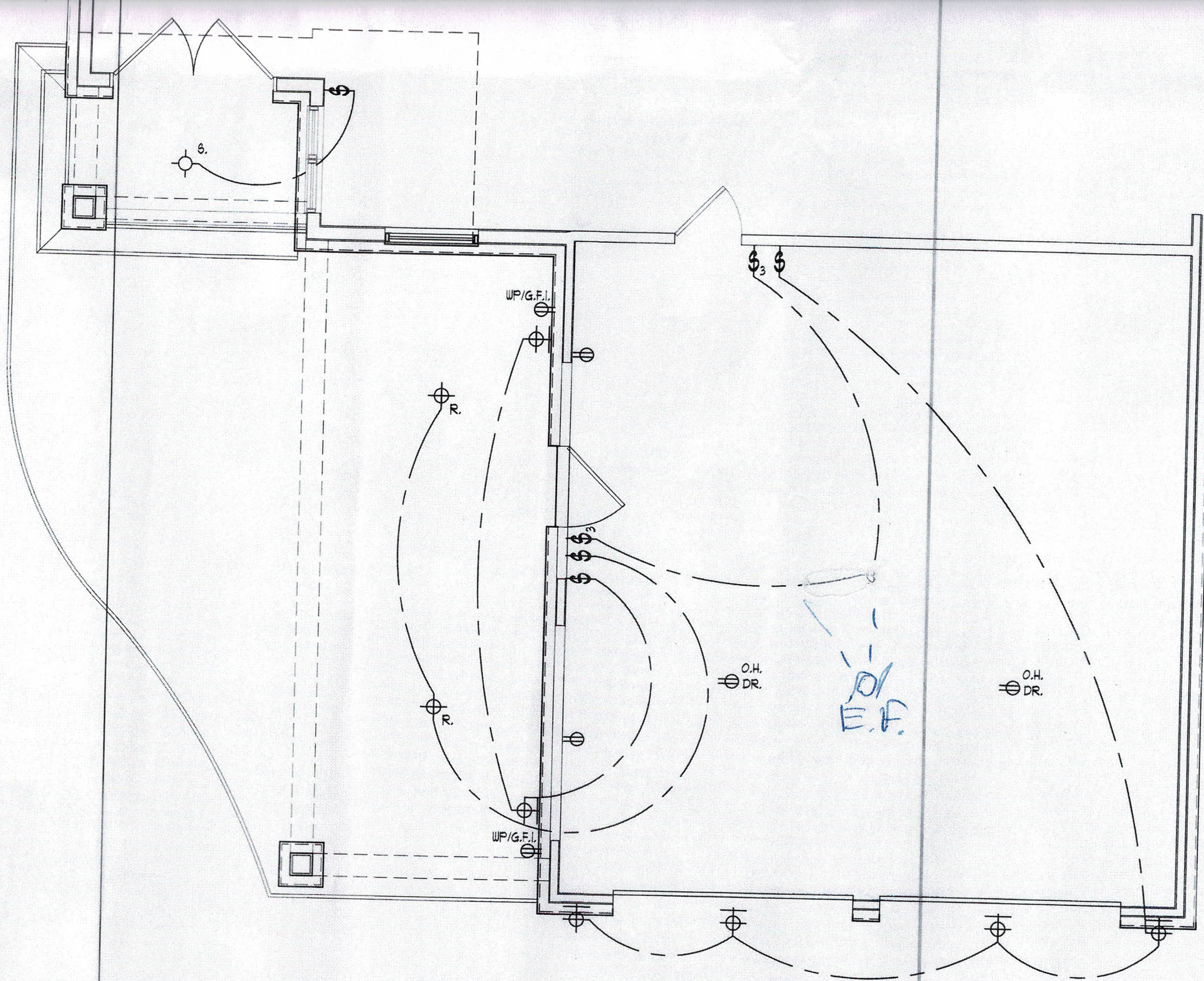
DAVIS-FASSEEL
RENOVATION

JOB No.	20-271
DRAWN:	KG / AG
CHECKED:	BF
REVIEW	6-2-21
FINAL:	7-2-21
REVISION	9-14-21
REVISION	9-28-21
REVISION	12-9-21
REVISION	12-14-21
REVISION	11-8-21

SCALE:
PER PLAN

SHEET #

E-1



FIRST FLOOR PLAN ELECTRICAL

SCALE: 1/4" = 1'-0"

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CONSTRUCTION	
REPORTED TO THE	
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CONSTRUCTION	
CLIENT / PROJECT	
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