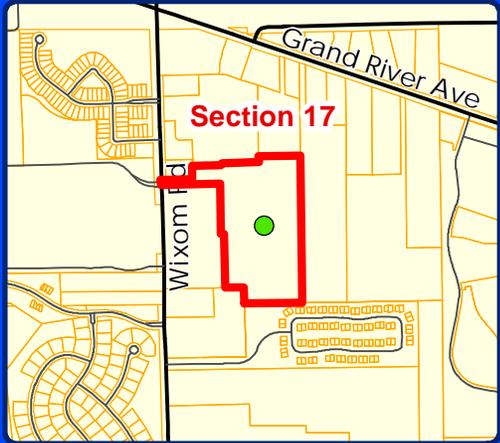


MAPS
Location
Zoning
Future Land Use
Natural Features

JSP21-51 STATION FLATS

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
Date: 6/15/22
Project: JSP21-51 STATION FLATS
Version #: 1

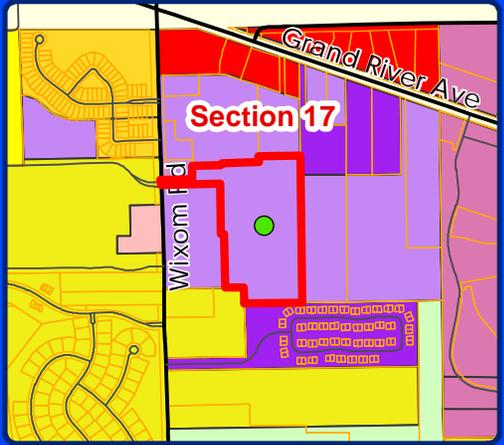
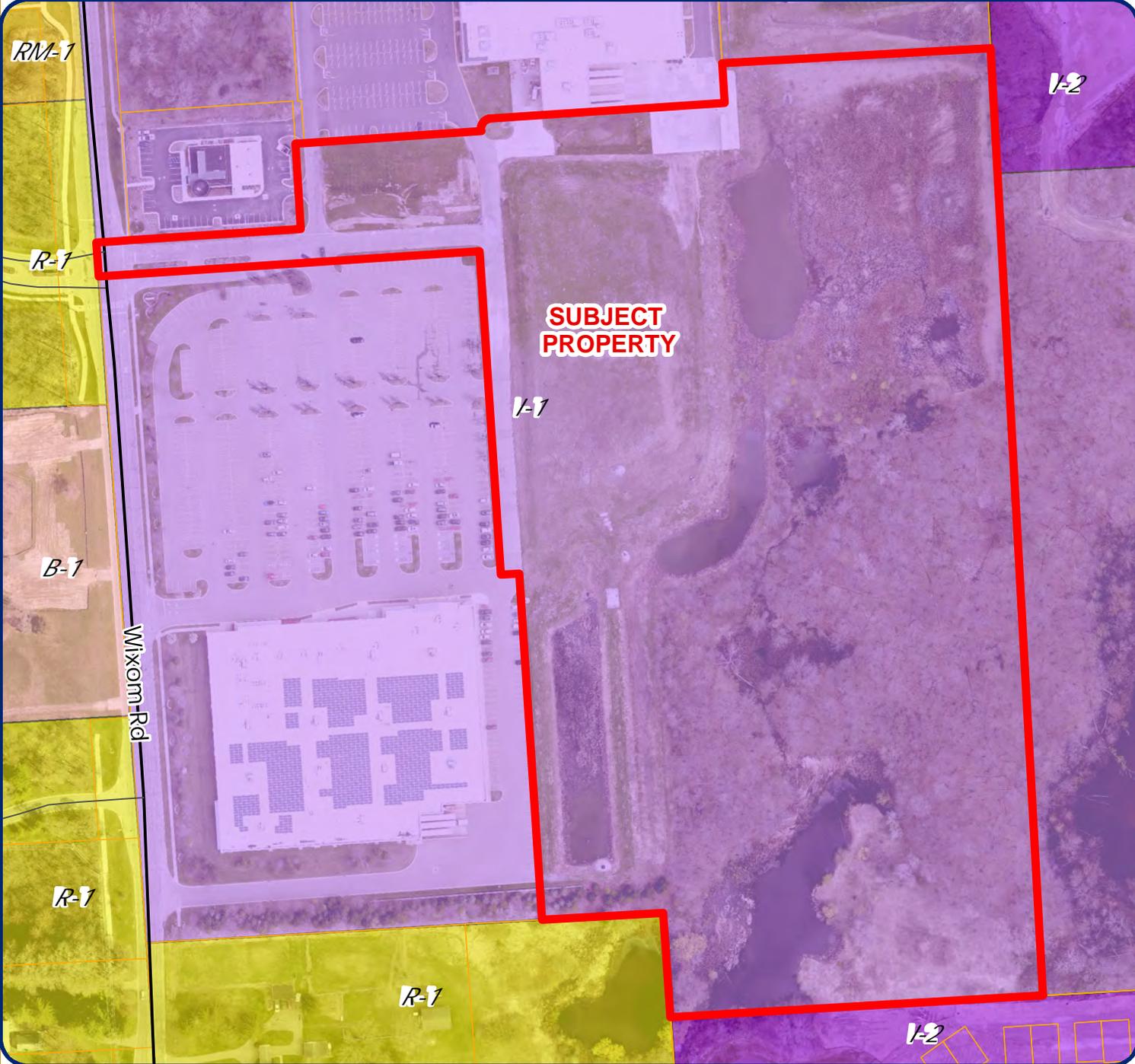


MAP INTERPRETATION NOTICE

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JSP21-51 STATION FLATS

ZONING



LEGEND

-  R-A: Residential Acreage
-  R-1: One-Family Residential District
-  R-4: One-Family Residential District
-  RM-1: Low-Density Multiple Family
-  B-1: Local Business District
-  B-2: Community Business District
-  B-3: General Business District
-  I-1: Light Industrial District
-  I-2: General Industrial District
-  OSC: Office Service Commercial
-  Subject Property



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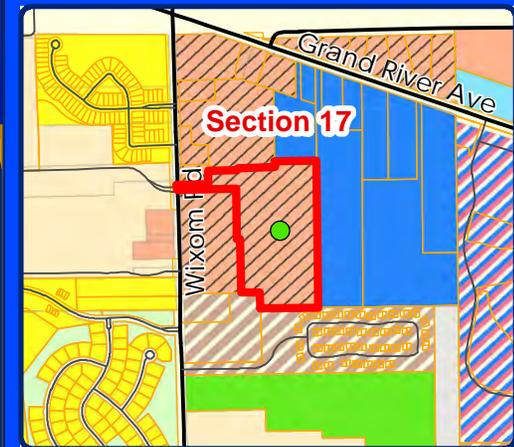
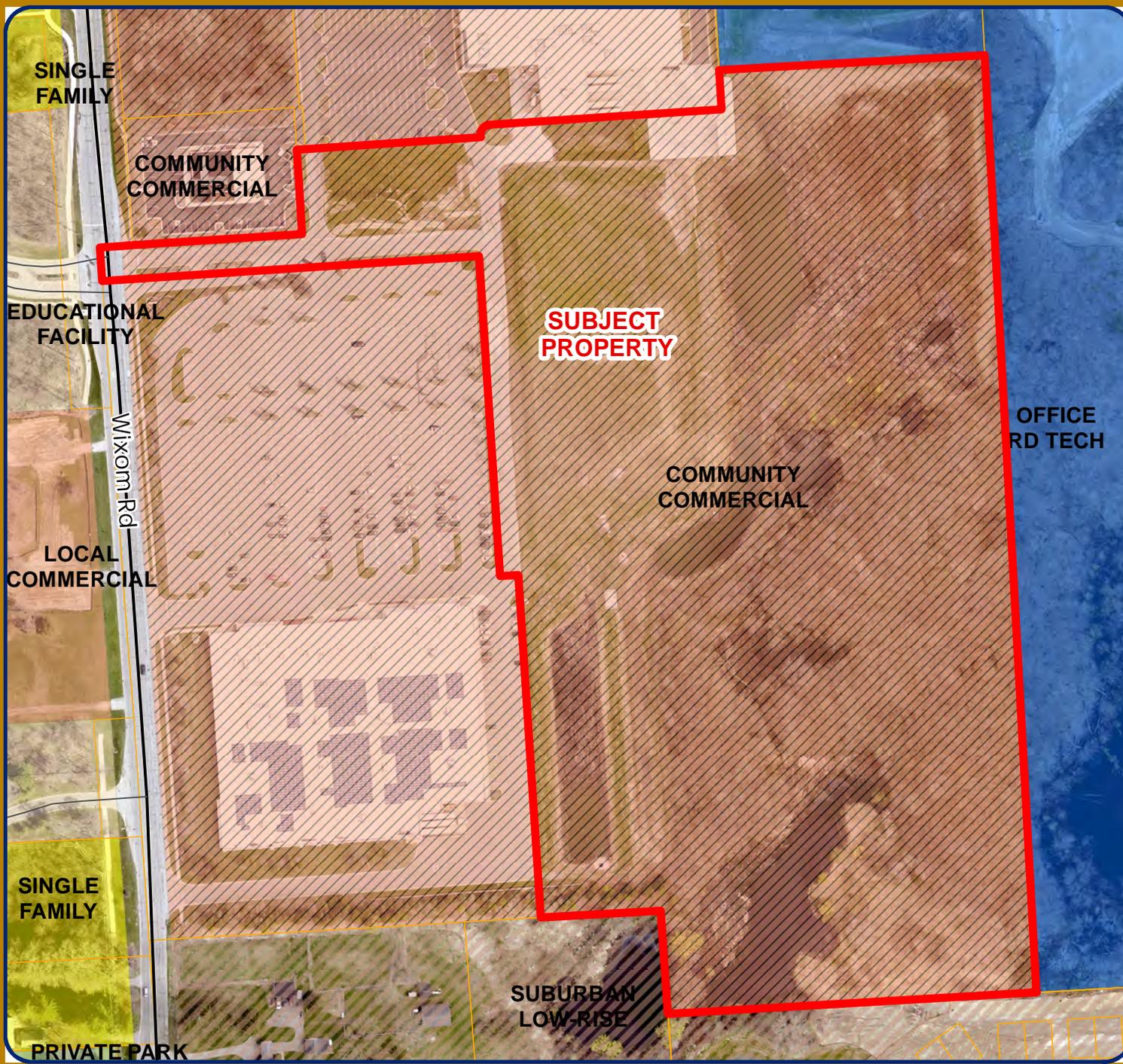


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JSP21-51 STATION FLATS

FUTURE LAND USE



LEGEND

- Single Family
- Suburban Low-Rise
- Office Research Development Technology
- Office Commercial
- Local Commercial
- Community Commercial
- Educational Facility
- Public
- Public Park
- Private Park
- Utility
- Subject Property



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1 inch = 216 feet

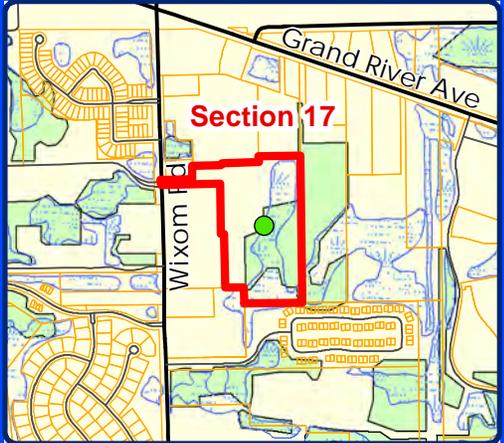
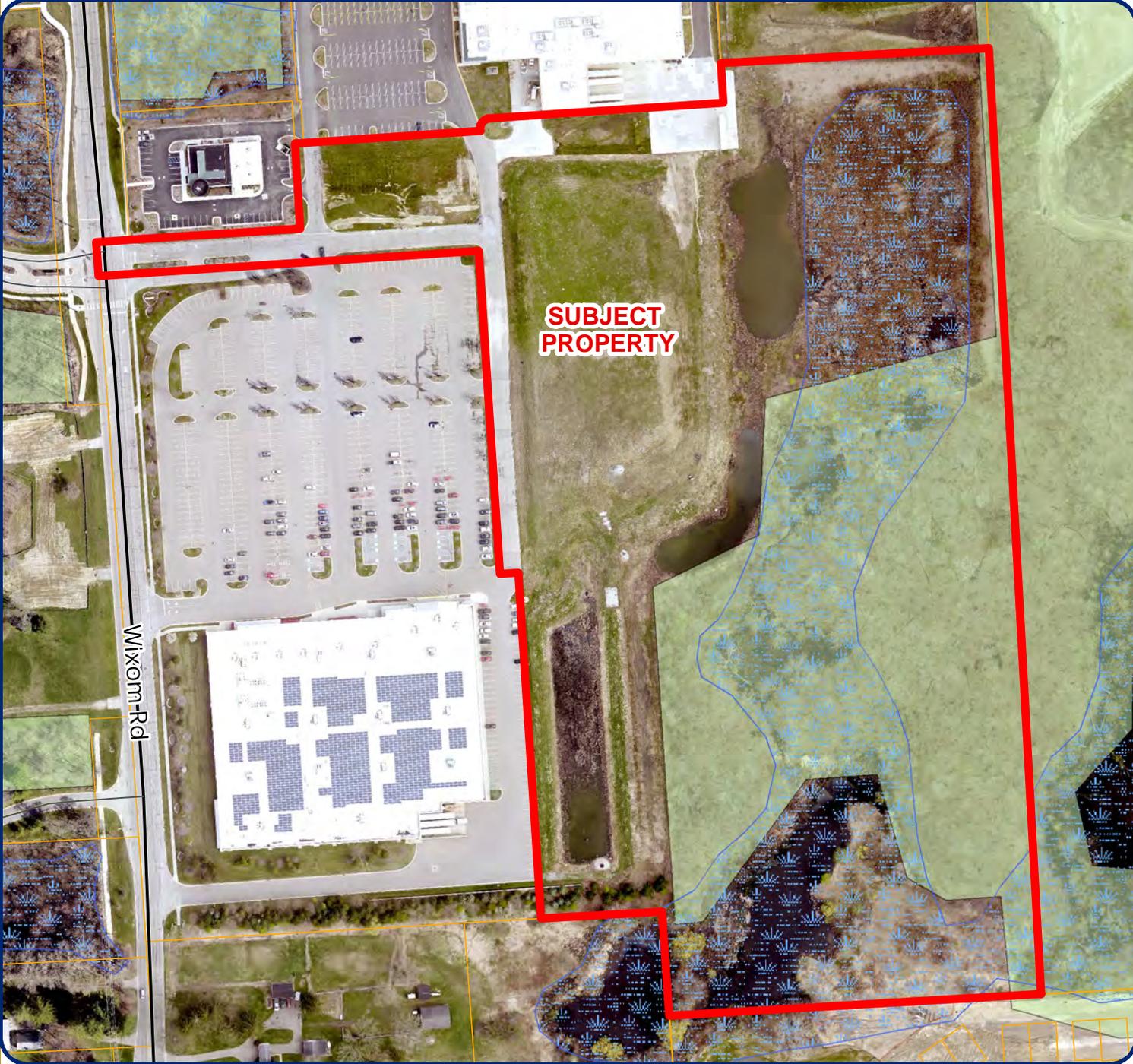


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JSP21-51 STATION FLATS

NATURAL FEATURES



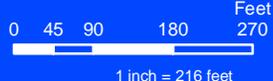
LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
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cityofnovi.org

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**APPLICANT & LAND
USE NARRATIVE**

Station Flats Land use Narrative

Location:

Station Flats will be located on Wixom Rd. in between the Target and Sam's club and will be a 4-story state of the art multifamily residence consisting of 160 units. The entrance lines up with Catholic Central High School and it will be a significant improvement to the intersection and will complement the \$100M expansion.

Description:

This residence will have 7 live/work units, 24 studios, 69 (1) Bedroom, 58 (2) Bedroom and 2 (3) Bedroom units. This development will improve the area by providing residential living to an area that was previously vacant for over 20 years. It will improve the customer base of the local businesses and will help the economy in the area. The shopping center has become very tired, and this development will significantly improve outlook of the immediate district. We have the backing of both Target and Sam's Club, and they fully support the development.

Other Info:

Our previous submittal called for four separate, 3 story buildings of multi-family living consisting of 148 units which is now down to one, 4 story building. The revised design is a much more efficient use of the property and allows for better circulation and a much more robust amenity package. The developments amenity space will include a clubhouse, a pool and lounging area, co workspace, as well as a café/coffee shop tenant and dog run. In addition, some of the units will be designed as live-work units to accommodate residents looking to work from home. The project will also now be connected with sidewalks to the park just south of the property which will allow great connectivity between the uses along Wixom Rd. These types of mixed-use projects are being created nationally where retail centers are left unfinished and cities have recognized the merit of a residential retail mix.



March 10, 2022

Mr. Michael Parks, Managing Member
Cypress Partners
280 West Maple Road
Suite 230
Birmingham, MI 48009

Subject: City of Novi Consent Judgement Amendment for the 24.78-acre property on the east side of Wixom Road, south of Grand River Ave. (south of Sam's Club and east of Target) in the City of Novi, Oakland County, Michigan.

Dear Mr. Parks:

At your request, I have reviewed the above proposal to amend the Consent Judgement from July 19, 2001, and then amended June 23, 2015, for the above 24.78-acre parcel. The property is currently vacant and was intended to be developed for additional retail space facing the Target parking lot. The property is currently zoned I-1, Light Industrial but was approved for retail use through the Consent Judgement. Proposed is The Station Flats development with a 158-unit apartment complex in a single, four-story building, with 8 live-work units, 24 studio apartments, 67 one-bedroom units, 57 two-bedroom units, and 3 three-bedroom units. There are also two courtyards with a complex pool in one and a courtyard green with a walkway in the other. Parking spaces are located around the perimeter of the building along with a 72-space connecting lot to the northwest of the building. It is important to note that the proposed development occupies 5 acres +/- of the 24.78-acre site and the rest of the property remains as a conservation/wetland area.

This letter is submitted as an evaluation of the appropriateness of the proposed Consent Agreement amendment request, understanding the future land use designation for the site is Community Commercial. Moreover, this letter addresses why this project meets the Goals & Objectives in the Master Plan and the benefits outweigh those for commercial uses at that location.

The observations in this report are based upon 40 years' experience as a professional community planner, including work representing communities in Southeast Michigan. For the sake of conciseness, this letter will not re-state the existing land use, site conditions, zoning, and master plan designation for the subject and surrounding sites. Instead, it will focus on the key factors that relate to implementation of the Goals and Objectives in the Master Plan as well as zoning requirements. Based upon our review of the Consent Judgement, the proposed site plan and related materials, a visit to the site, and examination of the City of Novi Zoning Ordinance and Master Plan, we offer the following for your consideration:

ANALYSIS OF REQUEST

The requested Consent Judgement amendment will allow for the change in zoning while committing to a specific development layout. In this case, a three-story, upscale multiple-family residential community with ancillary live-work space is being proposed and will abut primarily community

17195 Silver Parkway, #309
Fenton, MI 48430

Phone: 810-335-3800
Email: avantini@cibplanning.com

commercial developments to the north and west, and detention ponds/wetlands to the south and east. There are single-family residential uses to the south of this site, behind Target, but they will be a considerable distance from the proposed project. A more detailed examination of the site, market conditions, available land, and surrounding land uses indicates that the proposed multiple-family residential development will prove more beneficial to the community than a commercial use.

Master Plan Goals. One of the goals of the Master Plan states that “A variety of housing options will welcome younger residents and families as well as older residents to age in the community.” The corresponding Objective is to “Attract new residents to the City by providing a full range of quality housing opportunities that meet the housing needs of all demographic groups including but not limited to singles, couples, first time home buyers, families and the elderly.” While the City has done a good job of providing a variety of housing types, the provision for additional upscale rental units in a key location will further the above goal and objective.

Grand River Corridor Plan. The subject site abuts the Grand River Corridor and one of the goals is “To Provide Housing Options. The City of Novi is well-known in the region for its thriving single-family neighborhoods, but alternative housing types can serve two segments of the population that may wish to live in a different setting: Millennials and Empty Nesters. Housing in the Grand River Corridor will provide small to medium-sized housing and will fit the low-maintenance needs of both age groups.” The proposed will also place additional residents in close proximity to businesses along the Grand River Corridor; further strengthening the future viability of those uses. This includes larger businesses like Sam’s Club and Target as well as the numerous retailers located in nearby shopping centers like the Grand Promenade and, farther to the east, the center where Kroger and Home Depot are located. The provision for eight (8) live-work spaces will also take advantage of the surrounding commercial activity, albeit in a limited fashion.

Viability of Subject Site for Commercial Use. The ability to develop this site for commercial use has been in place for 22 years yet it has remained vacant. Conditions have certainly changed since the Consent Agreement was filed and the property is even less viable for commercial development now than it has been during that period. One of the primary reasons is the lack of visibility from primary roads, which include Grand River Ave. and, to a lesser extent, Wixom Road. The subject site is tucked behind the Sam’s Club building and is not visible until driving past that building toward Target. Due to the setback from Wixom Road, the site is only visible from the Target parking lot.

Any of the potential big box uses for the site are already located in the area and they chose locations over this one, likely due to the above-mentioned lack of road visibility and access. The only real option would be development of a strip shopping center with numerous, small retail spaces. Shopping center uses are highly dependent upon visibility from major roads, which is why the Grande Promenade project was developed along Grand River Ave. instead of this site. The lack of visibility has always made this a poor commercial site.

From a planner’s perspective, I am seeing an increase in retail vacancies in shopping centers across the region, including communities that I work in. This is due, in part, to the advent of on-line shopping from virtual companies, like Amazon, as well as traditional retailers like Kohl’s and Wal Mart. It is difficult for small retailers to compete with the price and selection offered by the larger companies. Those specialty retailers that are able to compete locate in either traditional downtowns or in high

visibility, high traffic shopping centers. The subject site meets neither of these conditions and is an extreme disadvantage to other competing sites.

Developers are also telling me that increased construction costs are limiting the types of development that are feasible. These two factors indicate that in-store retailing has contracted and also become more price-competitive. It is far more likely that the above-mentioned specialty retailers looking for space will gravitate toward existing buildings and the lower rent structures than space in a new shopping center. This is further supported by the increase in construction costs, making new commercial development even more expensive and challenging.

Housing Options. All of the renter options are now supported by the change in the tax laws, which have increased the standard deduction and with many have eliminated the need for mortgage interest and property tax deductions. This is especially true for many empty nesters that have either paid off their mortgages or have small balances. They can take the equity in their existing houses by selling and use it for other purposes, while maintaining the same standard of living in the community. This is not currently happening due to the housing shortage and inability of empty nesters to find replacement housing within the community, either owner- or renter-occupied. First-time and move-up buyers are having difficulty finding available housing because empty nesters are staying in place, due primarily to lack of replacement units.

The proposed project would provide empty-nester homeowners with an option that allows them to sell their existing homes without having to buy another one immediately, or at all, while remaining in the City of Novi. This in turn will help free up for-sale houses, thereby adding supply to new and move-up home buyers. Once the existing homes are sold, this will also remove the cap on property taxes and provide an increase in revenue for the City. This project will also provide additional short-term corporate housing for companies bringing executives into the area for temporary assignment. There is a shortage of high-quality rental housing in the region and many companies have resorted to buying houses for their temporary transfers to live in.

Walkability. Given the location of the site along Grand River Ave., the proposed apartment complex would be in close proximity to a wide range of retail, restaurant, office and medical services. There are sidewalk connections to big box uses like Target, Sam's Club, Meijer and Kroger; a wide range of restaurants like Applebee's, Shaker's, Outback Steakhouse, etc.; and medical services at the Ascension Providence hospital campus. A wide array of retail and service options are within walking distance of the project, thereby limiting the need to drive to these locations. This meets the City's goal of having a walkable community and providing services in close proximity to housing.

CONCLUSION

With the proposed benefits, quality site design, and an understanding of the current and future commercial market for the subject site, the proposed residential development represents an appropriate departure from the current Consent Judgement designation of commercial. It is highly unlikely that this property will ever be developed for commercial purposes due to the lack of visibility from the primary roads. It is hidden behind the Sam's Club and can only be seen from the Target parking lot. The transition to on-line buying has also decreased demand for retail space and only the most outstanding locations will remain viable moving forward. There is a chance that the live-work

Mr. Michael Parks, Managing Member
City of Novi Consent Judgement Amendment Letter
March 10, 2023
Page 4

units will benefit from the activity generated by Target and Sam's Club. With more people working from home, the office/conference room area should prove enticing to prospective tenants and add a mix of uses to the project. In addition, upscale rental housing meets the City Master Plan goals and objectives of providing additional housing opportunities in close proximity to services, in a walkable environment.

If you have any further questions, please contact me at 810-335-3800.

Sincerely,

CIB Planning



Carmine P. Avantini, AICP
President

LIST OF REQUESTED DEVIATIONS

**Cypress Partners, LLC
280 W Maple, Suite 230
Birmingham, MI 48009**

May 04, 2023

City of Novi
Planning Department

Re: Amendment to the original Consent Judgment for site 22-17-101-032, East of Wixom Rd & South of Grand River.

Dear Planning Department:

Enclosed please find our design for an amendment to a Consent Judgment. We are seeking to amend the previously approved Consent Judgment to allow for RM-2 High-Density Multiple Family Residential. Below is a list of design changes to the architectural drawings as well as a list of requested deviations.

List of Drawing Changes:

- 1) A.100
 - a) Clubhouse orientation altered for better lighting and access to the courtyard. Other courtyard accessed by corridors.
 - b) Unit Mix adjusted to reduce number of one bedroom units and increase 2 bedroom units.
- 2) A.101-104
 - a) Unit Mix adjusted to reduce number of one bedroom units and increase 2 bedroom units.
- 3) A.105
 - a) Shaded areas and note added to indicate where higher parapets are proposed to help screen rooftop equipment.
- 4) A.200
 - a) Façade design altered to make a more cohesive design with additional detail elements.
 - b) All exterior material calculations adjusted to reflect current design.
- 5) A.300
 - a) Sheet added to show current signage design. Final design and layout to be submitted at later date for permits.

City of Novi
Prelim SPA Design Submittal

- b) Enlarged plan showing interior bike storage details and that a minimum of 8 spaces will be provided.

6) Sections updated to show sight lines and that rooftop equipment will not be seen.

List of Deviations:

- 1) Master Plan
 - a) Required - Community Commercial
 - b) Proposed amendment to allow Multiple-Family Residential consistent with RM-2
- 2) Current Zoning
 - a) Required - B-2 Community Business
 - b) Proposed – RM-2, High-Density, Mid-rise multi-family residential
- 3) Maximum Number of Units
 - a) Efficiency – Max 10%
 - i) Proposed – 15%
 - b) 1 Bedroom – Max 33%
 - i) Proposed – 38%
- 4) Parking Setbacks
 - a) West Out-Lot
 - i) Required Side – 20 feet
 - ii) Proposed – 10 feet
 - iii) Required Front – 75 feet
 - iv) Proposed Front – 45 feet
 - b) North Out-Lot
 - i) Required Side – 20 feet
 - ii) Proposed – 11.71 feet
 - c) Main Parking
 - i) Required Front – 75 feet
 - ii) Proposed Front – 70 feet
- 5) Maximum building length
 - a) Required – 180 ft Max
 - b) Proposed – 368 ft
- 6) Building Orientation
 - a) Required – multiple dwelling structures adjacent to another residential district shall be oriented at a minimum angle of 45 degrees to the property line
 - b) Proposed – orientation parallel to north-south property line, see civil.

City of Novi
Prelim SPA Design Submittal

- 7) Yard Setback Restrictions
 - a) Required - Off-street parking and maneuvering lanes cannot exceed 30% of setbacks
 - b) Proposed – 30% is exceeded for most setbacks. Deviation requested.

- 8) Off-street parking and related drives
 - a) Required – 25 ft from dwelling structure that contains openings
 - b) Proposed – 12.37 ft
 - c) Required – 20 ft from any property line
 - d) Proposed – 10 ft

- 9) Pedestrian Connectivity
 - a) Required - 5-foot sidewalks on either side of private drives
 - b) Proposed – 7 foot sidewalk connecting to Target/Wixom Rd & 7-foot sidewalk connecting to west parking lot

- 10) Number of Parking Spaces
 - a) Required – 321 Spaces
 - b) Proposed – 249 spaces (72 space deviation)

- 11) Gross Building Area
 - a) Required – Max 100,000 SF
 - b) Proposed – 186,268 Gross SF

- 12) Parking between retail A, B, and C must provide 1,725 spaces
 - a) Target provides 598
 - b) Sam’s club provides 625 spaces
 - c) Proposed site provides 249 spaces
 - d) Total spaces between A, B, and C is 1,472 spaces (253 space deviation)

- 13) Entranceway Sign
 - a) Required – 5 ft maximum height & 24 square feet max
 - b) Proposed – 5 ft height & 115 square feet
 - i) All final signage to be submitted at later date for final approval

- 14) Maneuvering Lane
 - a) Required – 24 feet wide
 - b) Proposed – 22 feet wide

- 15) Major Drive
 - a) Required – parking not permitted perpendicular to major drive

City of Novi
Prelim SPA Design Submittal

b) Proposed – perpendicular parking proposed

16) Building Exterior Materials

a) Required – fiber cement lap siding not permitted in Region 1.

b) Proposed – fiber cement lap siding proposed as an alternate to vinyl lap siding.

Sincerely,

Jason Krieger

Krieger Klatt Architects

SITE PLAN & ELEVATIONSS

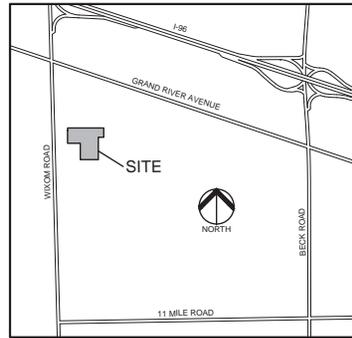
(Full plan set available for viewing at the Community Development Department.)

PRELIMINARY SITE PLANS

THE STATION FLATS

WIXOM ROAD BETWEEN GRAND RIVER AVENUE AND 11 MILE ROAD
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP
NO SCALE

NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS



DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
MF NOVI, LLC. 280 WEST MAPLE ROAD, SUITE 230 BIRMINGHAM, MI 48009 CONTACT: MICHAEL PARKS PHONE: 248.640.9300, EXT. 10 EMAIL: MPARKS@CYPRESSMI.COM	PEA GROUP 1849 POND PLUN AUBURN HILLS, MI 48236 CONTACT: JAMES P. BUTLER, PE PHONE: 248.821.4841 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
KRIEGER KLATT ARCHITECTS 2120 EAST 11 MILE ROAD ROYAL OAK, MI 48067 CONTACT: BRODRICK BROZOWSKI PHONE: 248.414.9270 EXT. 124 EMAIL: BRODRICK@KRIEGERKLATT.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: LYNN WHIPPLE, PLA PHONE: 844.813.2949 EMAIL: LWHIPPLE@PEAGROUP.COM

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.1	TOPOGRAPHIC SURVEY-NORTH
C-1.2	TOPOGRAPHIC SURVEY-SOUTH
C-1.3	USEABLE OPEN SPACE CALCULATION PLAN
C-1.4	BUFFER IMPACT PLAN
C-3.0	PRELIMINARY SITE PLAN- OVERALL
C-3.1	PRELIMINARY SITE PLAN- NORTH
C-3.2	PRELIMINARY SITE PLAN- SOUTH
C-4.1	PRELIMINARY GRADING PLAN- NORTH
C-4.2	PRELIMINARY GRADING PLAN- SOUTH
C-6.1	PRELIMINARY UTILITY PLAN - NORTH
C-6.2	PRELIMINARY UTILITY PLAN - SOUTH
C-8.1	STORM WATER MANAGEMENT PLAN
C-10.0	FIRE TRUCK TURNING PLAN
L-1.0	PRELIMINARY LANDSCAPE PLAN-OVERALL
L-1.1	PRELIMINARY LANDSCAPE PLAN-NORTH
L-1.2	PRELIMINARY LANDSCAPE PLAN-SOUTH
L-1.3	LANDSCAPE DETAILS
T-1.0	TREE PRESERVATION PLAN

REVISIONS	
DESCRIPTION	DATE
PRE-APPLICATION SUBMITTAL	1/13/2023
SPA SUBMITTAL	3/9/2023
CITY COMMENTS	5/4/2023

CITY OF NOVI PROJECT NUMBER: JSP21-0051



BENCHMARKS
(GPS DERIVED - NAVD83)

BM #200
DIMPLE IN ARROW ON A HYDRANT LOCATED NEAR THE NORTHEAST PROPERTY CORNER, APPROX. 63' EAST FROM THE EAST WALL OF SAM'S CLUB (27300 WIXOM RD.)
ELEV. = 986.37

BM #201
DIMPLE IN ARROW ON A HYDRANT LOCATED APPROX. 180' SOUTHWEST FROM THE SOUTHWEST BUILDING CORNER OF SAM'S CLUB (27300 WIXOM RD.)
ELEV. = 984.93

BM #202
DIMPLE IN ARROW ON A HYDRANT LOCATED APPROX. 67' EAST FROM THE NORTHEAST BUILDING CORNER OF TARGET (27100 WIXOM RD.)
ELEV. = 985.19

CITY OF NOVI (REFERENCE BENCHMARKS)
(VERT. DATUM NAVD83, HORIZ. DATUM NAVD83)

BM #1711
X ON NORTH RM OF GATEWELL LOCATED 200 FEET NORTH OF ENTRANCE TO SAM'S CLUB GAS STATION, 36 FEET EAST OF CENTRELINE OF WIXOM ROAD AND 3 FEET WEST OF SIDEWALK
ELEV. 974.22

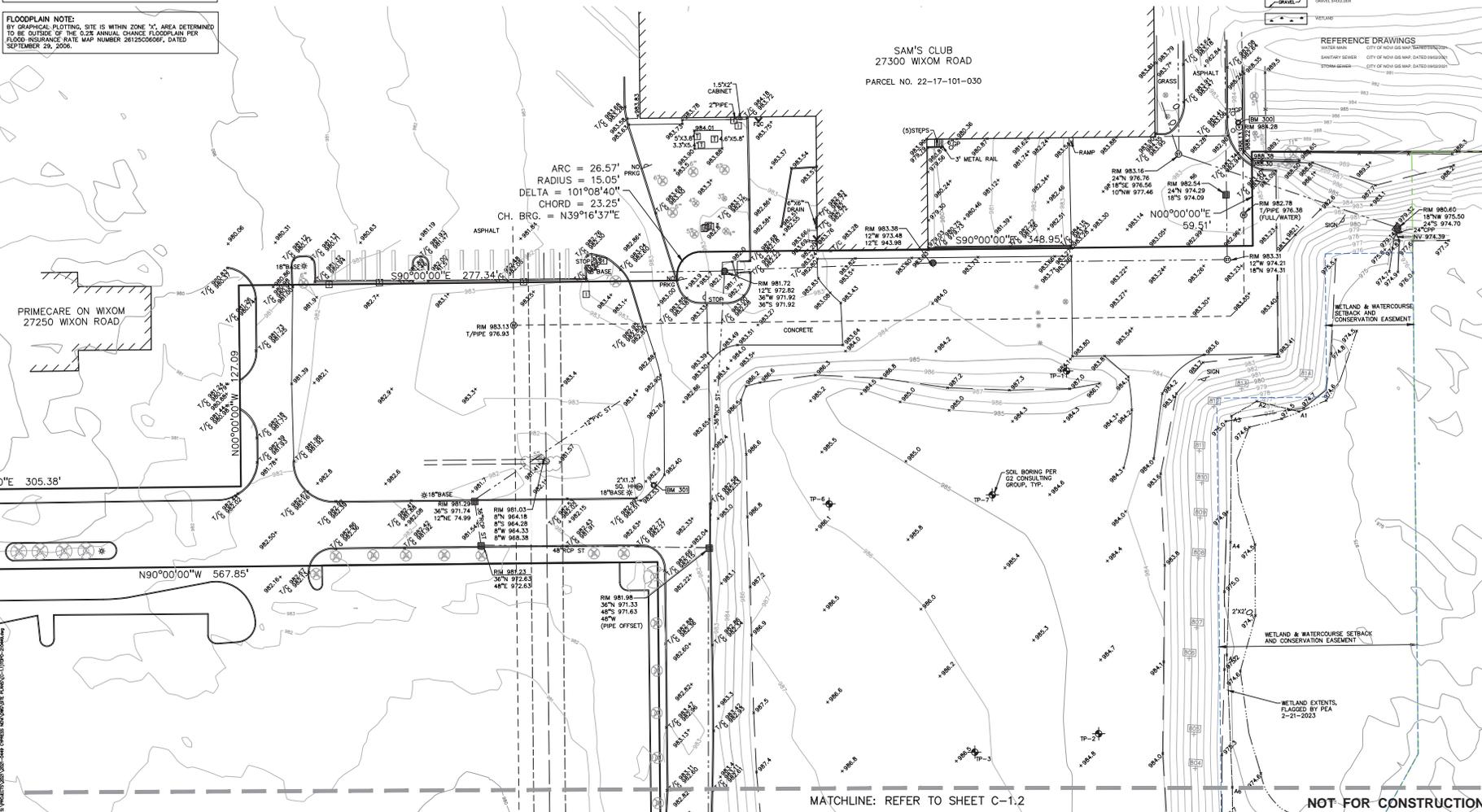
BM #1712
X ON NORTH RM OF GATEWELL LOCATED IN THE SOUTHWEST QUAD OF INTERSECTION OF WIXOM ROAD AND #27225 WIXOM ROAD, 1 FOOT EAST OF BACK OF CURB
ELEV. 981.30

BM #1713
X ON NORTH RM OF GATEWELL LOCATED 2 FEET SOUTH BACK OF CURB OF GRAND RIVER AND 150 FEET WEST 12 MILE ROAD
ELEV. 976.77

LEGAL DESCRIPTION
(Per ATA National Title Group File No. 63-21794529-SCM, Commitment Date August 03, 2021)

The land referred to in this commitment is described as follows: City of Novi, County of Oakland, State of Michigan
Part of the Northwest 1/4 of Section 17, Town 1 North, Range 8 East, beginning at a point distant South 00 degrees 19 minutes 49 seconds East 1440.12 feet from the Northwest Section corner; thence South 90 degrees 00 minutes 00 seconds East 305.38 feet; thence North 00 degrees 00 minutes 00 seconds West 127.09 feet; thence South 90 degrees 00 minutes 00 seconds East 277.34 feet; thence along curve to the right, radius 15.05 feet, chord bears North 39 degrees 16 minutes 37 seconds East 23.25 feet, distance of 26.57 feet; thence South 90 degrees 00 minutes 00 seconds East 348.95 feet; thence North 00 degrees 00 minutes 00 seconds East 59.51 feet; thence South 89 degrees 23 minutes 02 seconds East 399.93 feet; thence South 00 degrees 36 minutes 59 seconds West 1409.63 feet; thence North 89 degrees 34 minutes 38 seconds West 554.26 feet; thence North 00 degrees 19 minutes 49 seconds West 158.00 feet; thence North 00 degrees 34 minutes 28 seconds West 180.07 feet; thence North 00 degrees 04 minutes 04 seconds West 515.53 feet; thence South 90 degrees 00 minutes 00 seconds West 27.76 feet; thence North 00 degrees 07 seconds West 481.77 feet; thence North 00 degrees 00 minutes 00 seconds West 567.85 feet; thence North 00 degrees 19 minutes 49 seconds West 50.54 feet to beginning.

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "A" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C06067, DATED SEPTEMBER 29, 2006.



LEGEND

- NON FOUND
- BRIDGE PLUS SET
- BRIDGE FOUND
- MONUMENT SET
- MEASURED
- RECALCULATED

EXISTING

- 15" CONC. PIPE OR CABLE TV/CABLE RAIL POLE & DUCT
- UNDERGROUND CABLE TV DUCT
- TELEPHONE/VA. CABLE, FIBER OPTIC
- ELECTRICAL, GAS, WATER, SEWER MAINS
- ASPHALT DRIVE, SIDEWALK, DRIVEWAY
- NATURAL/ART. DATE PALM, YUCCA, PALM
- IRREGULAR BERRY, GROUND COVER
- STONE DRIVE, CEMENT & MORTAR
- CONCRETE DRIVE, MANSARD
- SOIL BOUND & BRIDGE CATCH-BARR. VASCOBARK
- POST-BEFORE VALUE
- WATER VALVE, HOSE HYDRANT VALVE BOX, SERVICE DUCT/POST
- METAL TRANSFORMER, HYDRANT CONTROL VALVE
- METAL BOX STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FINISH
- GRAVEL PAD
- STEEL EAST
- IRON
- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL SHOULDER
- WETLAND

PEA GROUP
1.844.813.2949
www.peagroup.com



811

CAUTION!
This drawing is not to be used for construction without the approval of the engineer. The engineer is not responsible for any damage to existing utilities or structures. The user of this drawing is advised to verify the location and depth of all utilities before any excavation or construction work is undertaken.

REFERENCE DRAWINGS

- SANITARY SEWER CITY OF NOVI USE MAP, DATED 08/2007
- STORM SEWER CITY OF NOVI USE MAP, DATED 08/2007

C-X-1

CLIENT
MF NOVI, LLC.
280 WEST MAPLE RD., SUITE 230
NOVI, MI 48240

PROJECT TITLE
THE STATION FLATS
WIXOM RD. BETWEEN GRAND RIVER AVE. AND 11 MILE RD.
NOVI, MI 48240

REVISIONS

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION SUBMITTAL	1/13/2023
2	811 SUBMITTAL	3/9/2023
3	CITY COMMENTS	5/4/2023

ORIGINAL ISSUE DATE:
DECEMBER 1, 2022

DRAWING TITLE
TOPOGRAPHIC SURVEY- NORTH

PEA JOB NO. 2021-0449

P.M.	JPB
D.N.	SWS
D.S.	SWS

DRAWING NUMBER:

C-1.1

MATCHLINE: REFER TO SHEET C-1.2

NOT FOR CONSTRUCTION

BENCHMARKS
(GPS DERIVED - NAVD83)

BM #200
DUMPLE IN ARROW ON A HYDRANT LOCATED NEAR THE NORTHEAST PROPERTY CORNER, APPROX. 63' EAST FROM THE EAST WALL OF SAMS CLUB (27300 WIXOM RD.)
ELEV. - 986.57

BM #201
DUMPLE IN ARROW ON A HYDRANT LOCATED APPROX. 180' SOUTHWEST FROM THE SOUTHWEST BUILDING CORNER OF SAMS CLUB (27300 WIXOM RD.)
ELEV. - 984.93

BM #202
DUMPLE IN ARROW ON A HYDRANT LOCATED APPROX. 67' EAST FROM THE NORTHEAST BUILDING CORNER OF TARGET (27100 WIXOM RD.)
ELEV. - 985.19

LEGAL DESCRIPTION
(Per ATA National Title Group File No. 63-21794529-SCM, Commitment Date August 03, 2021)

The land referred to in this commitment is described as follows: City of Novi, County of Oakland, State of Michigan

Part of the Northwest 1/4 of Section 17, Town 1 North, Range 8 East, beginning at a point distant South 00 degrees 19 minutes 49 seconds East 1440.12 feet from the Northwest Section corner, thence South 90 degrees 00 minutes 00 seconds East 305.38 feet; thence North 00 degrees 00 minutes 00 seconds West 127.09 feet; thence South 90 degrees 00 minutes 00 seconds East 277.34 feet; thence along curve to the right, radius 15.25 feet, chord bears North 39 degrees 16 minutes 37 seconds East 23.25 feet, distance of 26.57 feet; thence South 90 degrees 00 minutes 00 seconds East 348.95 feet; thence North 00 degrees 00 minutes 00 seconds East 59.51 feet; thence South 89 degrees 23 minutes 02 seconds East 399.93 feet; thence South 00 degrees 36 minutes 59 seconds West 1409.63 feet; thence North 89 degrees 34 minutes 38 seconds West 554.26 feet; thence North 00 degrees 19 minutes 49 seconds West 158.00 feet; thence North 89 degrees 34 minutes 38 seconds West 180.07 feet; thence North 00 degrees 04 minutes 04 seconds West 515.53 feet; thence South 90 degrees 00 minutes 00 seconds West 27.76 feet; thence North 00 degrees 07 seconds West 481.77 feet; thence North 90 degrees 00 minutes 00 seconds West 567.85 feet; thence North 00 degrees 19 minutes 49 seconds West 50.54 feet to beginning.

SYMBOLS: GRADING

PROPOSED SPOT ELEVATION:
TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, EXCEPT GRADE IN CURB LINES.

PROPOSED CONTOUR LINE

ABBREVIATIONS:
T/C = TOP OF CURB
G = GUTTER GRADE
T/P = TOP OF PAVEMENT
T/S = TOP OF SIDEWALK
T/W = TOP OF WALL
B/W = BOTTOM OF WALL
F.G. = FINISH GRADE
RM = RIM ELEVATION

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE R' (RAMP) (Symbol)

SIDEWALK RAMP 'TYPE P' (P) (Symbol)

SIDEWALK RAMP 'TYPE D' (D) (Symbol)

CURB DROP ONLY (Symbol)

REFER TO LATEST MDT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

RETAINING WALL NOTE:
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

LEGEND

EXISTING

- NON-FOUND
- FOUND
- WALL EXISTING
- WALL & CURB SET
- BRIDGE PLUS SET
- MOVEMENT POINT
- MOVEMENT SET
- SEC. CORNER FOUND
- MEASURED
- MEASURED
- CALCULATED

PROPOSED

- ELEC. POWER OR CABLE TV CABLE, POLE & DUCT
- UNDERGROUND CABLE TV DUCT
- TELEPHONE VA. CABLE, FIBER OPTIC & HYDROELECTRIC VA. CABLE, HYDROELECTRIC & HYDROELECTRIC VA. CABLE, HYDROELECTRIC & HYDROELECTRIC VA. CABLE
- WATER MAIN, 12" DIA. (12" DIA. WATER MAIN)
- WATER MAIN, 18" DIA. (18" DIA. WATER MAIN)
- WATER MAIN, 24" DIA. (24" DIA. WATER MAIN)
- WATER MAIN, 30" DIA. (30" DIA. WATER MAIN)
- WATER MAIN, 36" DIA. (36" DIA. WATER MAIN)
- WATER MAIN, 42" DIA. (42" DIA. WATER MAIN)
- WATER MAIN, 48" DIA. (48" DIA. WATER MAIN)
- WATER MAIN, 54" DIA. (54" DIA. WATER MAIN)
- WATER MAIN, 60" DIA. (60" DIA. WATER MAIN)
- WATER MAIN, 66" DIA. (66" DIA. WATER MAIN)
- WATER MAIN, 72" DIA. (72" DIA. WATER MAIN)
- WATER MAIN, 78" DIA. (78" DIA. WATER MAIN)
- WATER MAIN, 84" DIA. (84" DIA. WATER MAIN)
- WATER MAIN, 90" DIA. (90" DIA. WATER MAIN)
- WATER MAIN, 96" DIA. (96" DIA. WATER MAIN)
- WATER MAIN, 102" DIA. (102" DIA. WATER MAIN)
- WATER MAIN, 108" DIA. (108" DIA. WATER MAIN)
- WATER MAIN, 114" DIA. (114" DIA. WATER MAIN)
- WATER MAIN, 120" DIA. (120" DIA. WATER MAIN)
- WATER MAIN, 126" DIA. (126" DIA. WATER MAIN)
- WATER MAIN, 132" DIA. (132" DIA. WATER MAIN)
- WATER MAIN, 138" DIA. (138" DIA. WATER MAIN)
- WATER MAIN, 144" DIA. (144" DIA. WATER MAIN)
- WATER MAIN, 150" DIA. (150" DIA. WATER MAIN)
- WATER MAIN, 156" DIA. (156" DIA. WATER MAIN)
- WATER MAIN, 162" DIA. (162" DIA. WATER MAIN)
- WATER MAIN, 168" DIA. (168" DIA. WATER MAIN)
- WATER MAIN, 174" DIA. (174" DIA. WATER MAIN)
- WATER MAIN, 180" DIA. (180" DIA. WATER MAIN)
- WATER MAIN, 186" DIA. (186" DIA. WATER MAIN)
- WATER MAIN, 192" DIA. (192" DIA. WATER MAIN)
- WATER MAIN, 198" DIA. (198" DIA. WATER MAIN)
- WATER MAIN, 204" DIA. (204" DIA. WATER MAIN)
- WATER MAIN, 210" DIA. (210" DIA. WATER MAIN)
- WATER MAIN, 216" DIA. (216" DIA. WATER MAIN)
- WATER MAIN, 222" DIA. (222" DIA. WATER MAIN)
- WATER MAIN, 228" DIA. (228" DIA. WATER MAIN)
- WATER MAIN, 234" DIA. (234" DIA. WATER MAIN)
- WATER MAIN, 240" DIA. (240" DIA. WATER MAIN)
- WATER MAIN, 246" DIA. (246" DIA. WATER MAIN)
- WATER MAIN, 252" DIA. (252" DIA. WATER MAIN)
- WATER MAIN, 258" DIA. (258" DIA. WATER MAIN)
- WATER MAIN, 264" DIA. (264" DIA. WATER MAIN)
- WATER MAIN, 270" DIA. (270" DIA. WATER MAIN)
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- WATER MAIN, 282" DIA. (282" DIA. WATER MAIN)
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- WATER MAIN, 294" DIA. (294" DIA. WATER MAIN)
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- WATER MAIN, 312" DIA. (312" DIA. WATER MAIN)
- WATER MAIN, 318" DIA. (318" DIA. WATER MAIN)
- WATER MAIN, 324" DIA. (324" DIA. WATER MAIN)
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- WATER MAIN, 342" DIA. (342" DIA. WATER MAIN)
- WATER MAIN, 348" DIA. (348" DIA. WATER MAIN)
- WATER MAIN, 354" DIA. (354" DIA. WATER MAIN)
- WATER MAIN, 360" DIA. (360" DIA. WATER MAIN)
- WATER MAIN, 366" DIA. (366" DIA. WATER MAIN)
- WATER MAIN, 372" DIA. (372" DIA. WATER MAIN)
- WATER MAIN, 378" DIA. (378" DIA. WATER MAIN)
- WATER MAIN, 384" DIA. (384" DIA. WATER MAIN)
- WATER MAIN, 390" DIA. (390" DIA. WATER MAIN)
- WATER MAIN, 396" DIA. (396" DIA. WATER MAIN)
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- WATER MAIN, 414" DIA. (414" DIA. WATER MAIN)
- WATER MAIN, 420" DIA. (420" DIA. WATER MAIN)
- WATER MAIN, 426" DIA. (426" DIA. WATER MAIN)
- WATER MAIN, 432" DIA. (432" DIA. WATER MAIN)
- WATER MAIN, 438" DIA. (438" DIA. WATER MAIN)
- WATER MAIN, 444" DIA. (444" DIA. WATER MAIN)
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- WATER MAIN, 540" DIA. (540" DIA. WATER MAIN)
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- WATER MAIN, 570" DIA. (570" DIA. WATER MAIN)
- WATER MAIN, 576" DIA. (576" DIA. WATER MAIN)
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- WATER MAIN, 624" DIA. (624" DIA. WATER MAIN)
- WATER MAIN, 630" DIA. (630" DIA. WATER MAIN)
- WATER MAIN, 636" DIA. (636" DIA. WATER MAIN)
- WATER MAIN, 642" DIA. (642" DIA. WATER MAIN)
- WATER MAIN, 648" DIA. (648" DIA. WATER MAIN)
- WATER MAIN, 654" DIA. (654" DIA. WATER MAIN)
- WATER MAIN, 660" DIA. (660" DIA. WATER MAIN)
- WATER MAIN, 666" DIA. (666" DIA. WATER MAIN)
- WATER MAIN, 672" DIA. (672" DIA. WATER MAIN)
- WATER MAIN, 678" DIA. (678" DIA. WATER MAIN)
- WATER MAIN, 684" DIA. (684" DIA. WATER MAIN)
- WATER MAIN, 690" DIA. (690" DIA. WATER MAIN)
- WATER MAIN, 696" DIA. (696" DIA. WATER MAIN)
- WATER MAIN, 702" DIA. (702" DIA. WATER MAIN)
- WATER MAIN, 708" DIA. (708" DIA. WATER MAIN)
- WATER MAIN, 714" DIA. (714" DIA. WATER MAIN)
- WATER MAIN, 720" DIA. (720" DIA. WATER MAIN)
- WATER MAIN, 726" DIA. (726" DIA. WATER MAIN)
- WATER MAIN, 732" DIA. (732" DIA. WATER MAIN)
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- WATER MAIN, 744" DIA. (744" DIA. WATER MAIN)
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- WATER MAIN, 762" DIA. (762" DIA. WATER MAIN)
- WATER MAIN, 768" DIA. (768" DIA. WATER MAIN)
- WATER MAIN, 774" DIA. (774" DIA. WATER MAIN)
- WATER MAIN, 780" DIA. (780" DIA. WATER MAIN)
- WATER MAIN, 786" DIA. (786" DIA. WATER MAIN)
- WATER MAIN, 792" DIA. (792" DIA. WATER MAIN)
- WATER MAIN, 798" DIA. (798" DIA. WATER MAIN)
- WATER MAIN, 804" DIA. (804" DIA. WATER MAIN)
- WATER MAIN, 810" DIA. (810" DIA. WATER MAIN)
- WATER MAIN, 816" DIA. (816" DIA. WATER MAIN)
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- WATER MAIN, 840" DIA. (840" DIA. WATER MAIN)
- WATER MAIN, 846" DIA. (846" DIA. WATER MAIN)
- WATER MAIN, 852" DIA. (852" DIA. WATER MAIN)
- WATER MAIN, 858" DIA. (858" DIA. WATER MAIN)
- WATER MAIN, 864" DIA. (864" DIA. WATER MAIN)
- WATER MAIN, 870" DIA. (870" DIA. WATER MAIN)
- WATER MAIN, 876" DIA. (876" DIA. WATER MAIN)
- WATER MAIN, 882" DIA. (882" DIA. WATER MAIN)
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- WATER MAIN, 894" DIA. (894" DIA. WATER MAIN)
- WATER MAIN, 900" DIA. (900" DIA. WATER MAIN)
- WATER MAIN, 906" DIA. (906" DIA. WATER MAIN)
- WATER MAIN, 912" DIA. (912" DIA. WATER MAIN)
- WATER MAIN, 918" DIA. (918" DIA. WATER MAIN)
- WATER MAIN, 924" DIA. (924" DIA. WATER MAIN)
- WATER MAIN, 930" DIA. (930" DIA. WATER MAIN)
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- WATER MAIN, 972" DIA. (972" DIA. WATER MAIN)
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- WATER MAIN, 984" DIA. (984" DIA. WATER MAIN)
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- WATER MAIN, 996" DIA. (996" DIA. WATER MAIN)
- WATER MAIN, 1002" DIA. (1002" DIA. WATER MAIN)
- WATER MAIN, 1008" DIA. (1008" DIA. WATER MAIN)
- WATER MAIN, 1014" DIA. (1014" DIA. WATER MAIN)
- WATER MAIN, 1020" DIA. (1020" DIA. WATER MAIN)
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- WATER MAIN, 1044" DIA. (1044" DIA. WATER MAIN)
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- WATER MAIN, 1080" DIA. (1080" DIA. WATER MAIN)
- WATER MAIN, 1086" DIA. (1086" DIA. WATER MAIN)
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- WATER MAIN, 1098" DIA. (1098" DIA. WATER MAIN)
- WATER MAIN, 1104" DIA. (1104" DIA. WATER MAIN)
- WATER MAIN, 1110" DIA. (1110" DIA. WATER MAIN)
- WATER MAIN, 1116" DIA. (1116" DIA. WATER MAIN)
- WATER MAIN, 1122" DIA. (1122" DIA. WATER MAIN)
- WATER MAIN, 1128" DIA. (1128" DIA. WATER MAIN)
- WATER MAIN, 1134" DIA. (1134" DIA. WATER MAIN)
- WATER MAIN, 1140" DIA. (1140" DIA. WATER MAIN)
- WATER MAIN, 1146" DIA. (1146" DIA. WATER MAIN)
- WATER MAIN, 1152" DIA. (1152" DIA. WATER MAIN)
- WATER MAIN, 1158" DIA. (1158" DIA. WATER MAIN)
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- WATER MAIN, 1170" DIA. (1170" DIA. WATER MAIN)
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- WATER MAIN, 1188" DIA. (1188" DIA. WATER MAIN)
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- WATER MAIN, 1200" DIA. (1200" DIA. WATER MAIN)
- WATER MAIN, 1206" DIA. (1206" DIA. WATER MAIN)
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- WATER MAIN, 1392" DIA. (1392" DIA. WATER MAIN)
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- WATER MAIN, 1404" DIA. (1404" DIA. WATER MAIN)
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- WATER MAIN, 1488" DIA. (1488" DIA. WATER MAIN)
- WATER MAIN, 1494" DIA. (1494" DIA. WATER MAIN)
- WATER MAIN, 1500" DIA. (1500" DIA. WATER MAIN)
- WATER MAIN, 1506" DIA. (1506" DIA. WATER MAIN)
- WATER MAIN, 1512" DIA. (1512" DIA. WATER MAIN)
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- WATER MAIN, 1578" DIA. (1578" DIA. WATER MAIN)
- WATER MAIN, 1584" DIA. (1584" DIA. WATER MAIN)
- WATER MAIN, 1590" DIA. (1590" DIA. WATER MAIN)
- WATER MAIN, 1596" DIA. (1596" DIA. WATER MAIN)
- WATER MAIN, 1602" DIA. (1602" DIA. WATER MAIN)
- WATER MAIN, 1608" DIA. (1608" DIA. WATER MAIN)
- WATER MAIN, 1614" DIA. (1614" DIA. WATER MAIN)
- WATER MAIN, 1620" DIA. (1620" DIA. WATER MAIN)
- WATER MAIN, 1626" DIA. (1626" DIA. WATER MAIN)
- WATER MAIN, 1632" DIA. (1632" DIA. WATER MAIN)
- WATER MAIN, 1638" DIA. (1638" DIA. WATER MAIN)
- WATER MAIN, 1644" DIA. (1644" DIA. WATER MAIN)
- WATER MAIN, 1650" DIA. (1650" DIA. WATER MAIN)
- WATER MAIN, 1656" DIA. (1656" DIA. WATER MAIN)
- WATER MAIN, 1662" DIA. (1662" DIA. WATER MAIN)
- WATER MAIN, 1668" DIA. (1668" DIA. WATER MAIN)
- WATER MAIN, 1674" DIA. (1674" DIA. WATER MAIN)
- WATER MAIN, 1680" DIA. (1680" DIA. WATER MAIN)
- WATER MAIN, 1686" DIA. (1686" DIA. WATER MAIN)
- WATER MAIN, 1692" DIA. (1692" DIA. WATER MAIN)
- WATER MAIN, 1698" DIA. (1698" DIA. WATER MAIN)
- WATER MAIN, 1704" DIA. (1704" DIA. WATER MAIN)
- WATER MAIN, 1710" DIA. (1710" DIA. WATER MAIN)
- WATER MAIN, 1716" DIA. (1716" DIA. WATER MAIN)
- WATER MAIN, 1722" DIA. (1722" DIA. WATER MAIN)
- WATER MAIN, 1728" DIA. (1728" DIA. WATER MAIN)
- WATER MAIN, 1734" DIA. (1734" DIA. WATER MAIN)
- WATER MAIN, 1740" DIA. (1740" DIA. WATER MAIN)
- WATER MAIN, 1746" DIA. (1746" DIA. WATER MAIN)
- WATER MAIN, 1752" DIA. (1752" DIA. WATER MAIN)
- WATER MAIN, 1758" DIA. (1758" DIA. WATER MAIN)
- WATER MAIN, 1764" DIA. (1764" DIA. WATER MAIN)
- WATER MAIN, 1770" DIA. (1770" DIA. WATER MAIN)
- WATER MAIN, 1776" DIA. (1776" DIA. WATER MAIN)
- WATER MAIN, 1782" DIA. (1782" DIA. WATER MAIN)
- WATER MAIN, 1788" DIA. (1788" DIA. WATER MAIN)
- WATER MAIN, 1794" DIA. (1794" DIA. WATER MAIN)
- WATER MAIN, 1800" DIA. (1800" DIA. WATER MAIN)
- WATER MAIN, 1806" DIA. (1806" DIA. WATER MAIN)
- WATER MAIN, 1812" DIA. (1812" DIA. WATER MAIN)
- WATER MAIN, 1818" DIA. (1818" DIA. WATER MAIN)
- WATER MAIN, 1824" DIA. (1824" DIA. WATER MAIN)
- WATER MAIN, 1830" DIA. (1830" DIA. WATER MAIN)
- WATER MAIN, 1836" DIA. (1836" DIA. WATER MAIN)
- WATER MAIN, 1842" DIA. (1842" DIA. WATER MAIN)
- WATER MAIN, 1848" DIA. (1848" DIA. WATER MAIN)
- WATER MAIN, 1854" DIA. (1854" DIA. WATER MAIN)
- WATER MAIN, 1860" DIA. (1860" DIA. WATER MAIN)
- WATER MAIN, 1866" DIA. (1866" DIA. WATER MAIN)
- WATER MAIN, 1872" DIA. (1872" DIA. WATER MAIN)
- WATER MAIN, 1878" DIA. (1878" DIA. WATER MAIN)
- WATER MAIN, 1884" DIA. (1884" DIA. WATER MAIN)
- WATER MAIN, 1890" DIA. (1890" DIA. WATER MAIN)
- WATER MAIN, 1896" DIA. (1896" DIA. WATER MAIN)
- WATER MAIN, 1902" DIA. (1902" DIA. WATER MAIN)
- WATER MAIN, 1908" DIA. (1908" DIA. WATER MAIN)
- WATER MAIN, 1914" DIA. (1914" DIA. WATER MAIN)
- WATER MAIN, 1920" DIA. (1920" DIA. WATER MAIN)
- WATER MAIN, 1926" DIA. (1926" DIA. WATER MAIN)
- WATER MAIN, 1932" DIA. (1932" DIA. WATER MAIN)
- WATER MAIN, 1938" DIA. (1938" DIA. WATER MAIN)
- WATER MAIN, 1944" DIA. (1944" DIA. WATER MAIN)
- WATER MAIN, 1950" DIA. (1950" DIA. WATER MAIN)
- WATER MAIN, 1956" DIA. (1956" DIA. WATER MAIN)
- WATER MAIN, 1962" DIA. (1962" DIA. WATER MAIN)
- WATER MAIN, 1968" DIA. (1968" DIA. WATER MAIN)
- WATER MAIN, 1974" DIA. (1974" DIA. WATER MAIN)
- WATER MAIN, 1980" DIA. (1980" DIA. WATER MAIN)
- WATER MAIN, 1986" DIA. (1986" DIA. WATER MAIN)
- WATER MAIN, 1992" DIA. (1992" DIA. WATER MAIN)
- WATER MAIN, 1998" DIA. (1998" DIA. WATER MAIN)
- WATER MAIN, 2004" DIA. (2004" DIA. WATER MAIN)
- WATER MAIN, 2010" DIA. (2010" DIA. WATER MAIN)
- WATER MAIN, 2016" DIA. (2016" DIA. WATER MAIN)
- WATER MAIN, 2022" DIA. (2022" DIA. WATER MAIN)
- WATER MAIN, 2028" DIA. (2028" DIA. WATER MAIN)
- WATER MAIN, 2034" DIA. (2034" DIA. WATER MAIN)
- WATER MAIN, 2040" DIA. (2040" DIA. WATER MAIN)
- WATER MAIN, 2046" DIA. (2046" DIA. WATER MAIN)
- WATER MAIN, 2052" DIA. (2052" DIA. WATER MAIN)
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- WATER MAIN, 2070" DIA. (2070" DIA. WATER MAIN)
- WATER MAIN, 2076" DIA. (2076" DIA. WATER MAIN)
- WATER MAIN, 2082" DIA. (2082" DIA. WATER MAIN)
- WATER MAIN, 2088" DIA. (2088" DIA. WATER MAIN)
- WATER MAIN, 2094" DIA. (2094" DIA. WATER MAIN)
- WATER MAIN, 2100" DIA. (2100" DIA. WATER MAIN)
- WATER MAIN, 2106" DIA. (2106" DIA. WATER MAIN)
- WATER MAIN, 2112" DIA. (2112" DIA. WATER MAIN)
- WATER MAIN, 2118" DIA. (2118" DIA. WATER MAIN)
- WATER MAIN, 2124" DIA. (2124" DIA. WATER MAIN)
- WATER MAIN, 2130" DIA. (2130" DIA. WATER MAIN)
- WATER MAIN, 2136" DIA. (2136" DIA. WATER MAIN)
- WATER MAIN, 2142" DIA. (2142" DIA. WATER MAIN)
- WATER MAIN, 2148" DIA. (2148" DIA. WATER MAIN)
- WATER MAIN, 2154" DIA. (2154" DIA. WATER MAIN)
- WATER MAIN, 2160" DIA. (2160" DIA. WATER MAIN)
- WATER MAIN, 2166" DIA. (2166" DIA. WATER MAIN)
- WATER MAIN, 2172" DIA. (2172" DIA. WATER MAIN)
- WATER MAIN, 2178" DIA. (2178" DIA. WATER MAIN)
- WATER MAIN, 2184" DIA. (2184" DIA. WATER MAIN)
- WATER MAIN, 2190" DIA. (2190" DIA. WATER MAIN)
- WATER MAIN, 2196" DIA. (2196" DIA. WATER MAIN)
- WATER MAIN, 2202" DIA. (2202" DIA. WATER MAIN)
- WATER MAIN, 2208" DIA. (2208" DIA. WATER MAIN)
- WATER MAIN, 2214" DIA. (2214" DIA. WATER MAIN)
- WATER MAIN, 2220" DIA. (2220" DIA. WATER MAIN)
- WATER MAIN, 2226" DIA. (2226" DIA. WATER MAIN)
- WATER MAIN, 2232" DIA. (2232" DIA. WATER MAIN)
- WATER MAIN, 2238" DIA. (2238" DIA. WATER MAIN)
- WATER MAIN, 2244" DIA. (2244" DIA. WATER MAIN)
- WATER MAIN, 2250" DIA. (2250" DIA. WATER MAIN)
- WATER MAIN, 2256" DIA. (2256" DIA. WATER MAIN)
- WATER MAIN, 2262" DIA. (2262" DIA. WATER MAIN)
- WATER MAIN, 2268" DIA. (2268" DIA. WATER MAIN)
- WATER MAIN, 2274" DIA. (2274" DIA. WATER MAIN)
- WATER MAIN, 2280" DIA. (2280" DIA. WATER MAIN)
- WATER MAIN, 2286" DIA. (2286" DIA. WATER MAIN)
- WATER MAIN, 2292" DIA. (2292" DIA. WATER MAIN)
- WATER MAIN, 2298" DIA. (2298" DIA. WATER MAIN)
- WATER MAIN, 2304" DIA. (2304" DIA. WATER MAIN)
- WATER MAIN, 2310" DIA. (2310" DIA. WATER MAIN)
- WATER MAIN, 2316" DIA. (2316" DIA. WATER MAIN)
- WATER MAIN, 2322" DIA. (2322" DIA. WATER MAIN)
- WATER MAIN, 2328" DIA. (2328" DIA. WATER MAIN)
- WATER MAIN, 2334" DIA. (2334" DIA. WATER MAIN)
- WATER MAIN, 2340" DIA. (2340" DIA. WATER MAIN)
- WATER MAIN, 2346" DIA. (2346" DIA. WATER MAIN)
- WATER MAIN, 2352" DIA. (2352" DIA. WATER MAIN)
- WATER MAIN, 2358" DIA. (2358" DIA. WATER MAIN)
- WATER MAIN, 2364" DIA. (2364" DIA. WATER MAIN)
- WATER MAIN, 2370" DIA. (2370" DIA. WATER MAIN)
- WATER MAIN, 2376" DIA. (2376" DIA. WATER MAIN)
- WATER MAIN, 2382" DIA. (2382" DIA. WATER MAIN)
- WATER MAIN, 2388" DIA. (2388" DIA. WATER MAIN)
- WATER MAIN, 2394" DIA. (2394" DIA. WATER MAIN)
- WATER MAIN,

BENCHMARKS
(GPS DERIVED - NAVD83)

BM #200
DIMPLE IN ARROW ON A HYDRANT LOCATED NEAR THE NORTHEAST PROPERTY CORNER, APPROX. 63' EAST FROM THE EAST WALL OF SAM'S CLUB (27300 WIXOM RD.)
ELEV. - 986.57

BM #201
DIMPLE IN ARROW ON A HYDRANT LOCATED APPROX. 180' SOUTHWEST FROM THE SOUTHWEST BUILDING CORNER OF SAM'S CLUB (27300 WIXOM RD.)
ELEV. - 984.93

BM #202
DIMPLE IN ARROW ON A HYDRANT LOCATED APPROX. 67' EAST FROM THE NORTHEAST BUILDING CORNER OF TARGET (27100 WIXOM RD.)
ELEV. - 985.19

CITY OF NOVI (REFERENCE BENCHMARKS)
(VERT. DATUM NAVD83, HORIZ. DATUM NAVD83)

BM #1711
X ON NORTH RM OF GATEWELL LOCATED 200 FEET NORTH OF ENTRANCE TO SAM'S CLUB GAS STATION, 36 FEET EAST OF CENTRAL LINE OF WIXOM ROAD AND 3 FEET WEST OF SIDEWALK
ELEV. 974.22

BM #1712
X ON NORTH RM OF GATEWELL LOCATED IN THE SOUTHEAST QUAD OF INTERSECTION OF WIXOM ROAD AND #27225 WIXOM ROAD, 1 FOOT EAST OF BACK OF CURB
ELEV. 981.30

BM #1713
X ON NORTH RM OF GATEWELL LOCATED 2 FEET SOUTH BACK OF CURB OF GRAND RIVER AND 150 FEET WEST 12 MILE ROAD
ELEV. 975.77

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "C" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C06067, DATED SEPTEMBER 29, 2006.

LEGAL DESCRIPTION
(Per ATA National Title Group File No. 61-2794529-SCM, Commitment Date August 03, 2021)

The land referred to in this commitment is described as follows: City of Novi, County of Oakland, State of Michigan
Part of the Northwest 1/4 of Section 17, Town 1 North, Range 8 East, beginning at a point distant South 00 degrees 19 minutes 49 seconds East 1440.12 feet from the Northwest Section corner, thence South 90 degrees 00 minutes 00 seconds East 305.38 feet; thence North 00 degrees 00 minutes 00 seconds West 127.09 feet; thence South 90 degrees 00 minutes 00 seconds East 277.34 feet; thence along curve to the right, radius 15.25 feet, chord bears North 39 degrees 16 minutes 37 seconds East, 23.25 feet, distance of 26.57 feet; thence South 90 degrees 00 minutes 00 seconds East 348.95 feet; thence North 00 degrees 00 minutes 00 seconds East 50.51 feet; thence South 89 degrees 23 minutes 02 seconds East, 399.93 feet; thence South 00 degrees 36 minutes 59 seconds West 1409.63 feet; thence North 89 degrees 34 minutes 38 seconds West 554.26 feet; thence North 00 degrees 19 minutes 49 seconds West 158.00 feet; thence North 89 degrees 34 minutes 38 seconds West 180.07 feet; thence North 00 degrees 00 minutes 04 seconds West 515.53 feet; thence South 90 degrees 00 minutes 00 seconds West 27.76 feet; thence North 00 degrees 00 minutes 07 seconds West 481.77 feet; thence North 00 degrees 00 minutes 00 seconds West 567.85 feet; thence North 00 degrees 19 minutes 49 seconds West 50.54 feet to beginning.

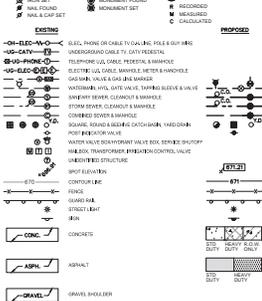
SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

Multiple Family Residence	
Building Units	160 total
Unit Factor	0.6 (per resident)
REU	96.0
Population (P) (2.5 PEOPLE/EDU)	240.0 People
TOTAL	REU 96.0
	240 People
Average Flow (100 GPCPD)	24,000 G.P.D.
	0.837 C.F.S.
P (100%)	0.240
Peaking Factor (PF)	4.12
PF = (10+sqrt(P))/(4+sqrt(P))	
Peak Flow (C.F.S.)	86,835 G.P.D.
	0.153 C.F.S.
6" Pipe Capacity Provided =	0.73 C.F.S.

WATER MAIN BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

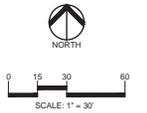
Multiple Family Residence	
Building Units	160 total
Unit Factor	0.6 (per resident)
REU	96.0
Population (P) (2.5 PEOPLE/EDU)	240.0 People
TOTAL	REU 96.0
	240 People
Average Flow (100 GPCPD)	24,000 G.P.D.
	0.837 C.F.S.
Design Mix. Flow = (2"avg)	48000.00 G.P.D.
	0.074 C.F.S.
	0.048 M.G.D.
Building Type =	type B
Required Fire Flow =	4000 psi for 2 hours

LEGEND

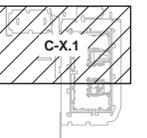


REFERENCE DRAWINGS

- CITY OF NOVI GIS MAP, DATED 08/2018
- SANITARY SEWER CITY OF NOVI GIS MAP, DATED 08/2018
- STORM SEWER CITY OF NOVI GIS MAP, DATED 08/2018



CAUTION!
This drawing is not to be used for construction without the approval of the engineer. It is the responsibility of the contractor to verify all conditions and dimensions shown on this drawing before construction begins.



CLIENT
MF NOVI, LLC.
280 WEST MAPLE RD., SUITE 230
NOVI, MI 48240

PROJECT TITLE
THE STATION FLATS
WIXOM RD. BETWEEN GRAND RIVER AVE. AND 11 MILE RD.
NOVI, MI 48240

REVISIONS

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION SUBMITTAL	11/3/2021
2	CPA SUBMITTAL	3/9/2023
3	CITY COMMENTS	5/4/2023

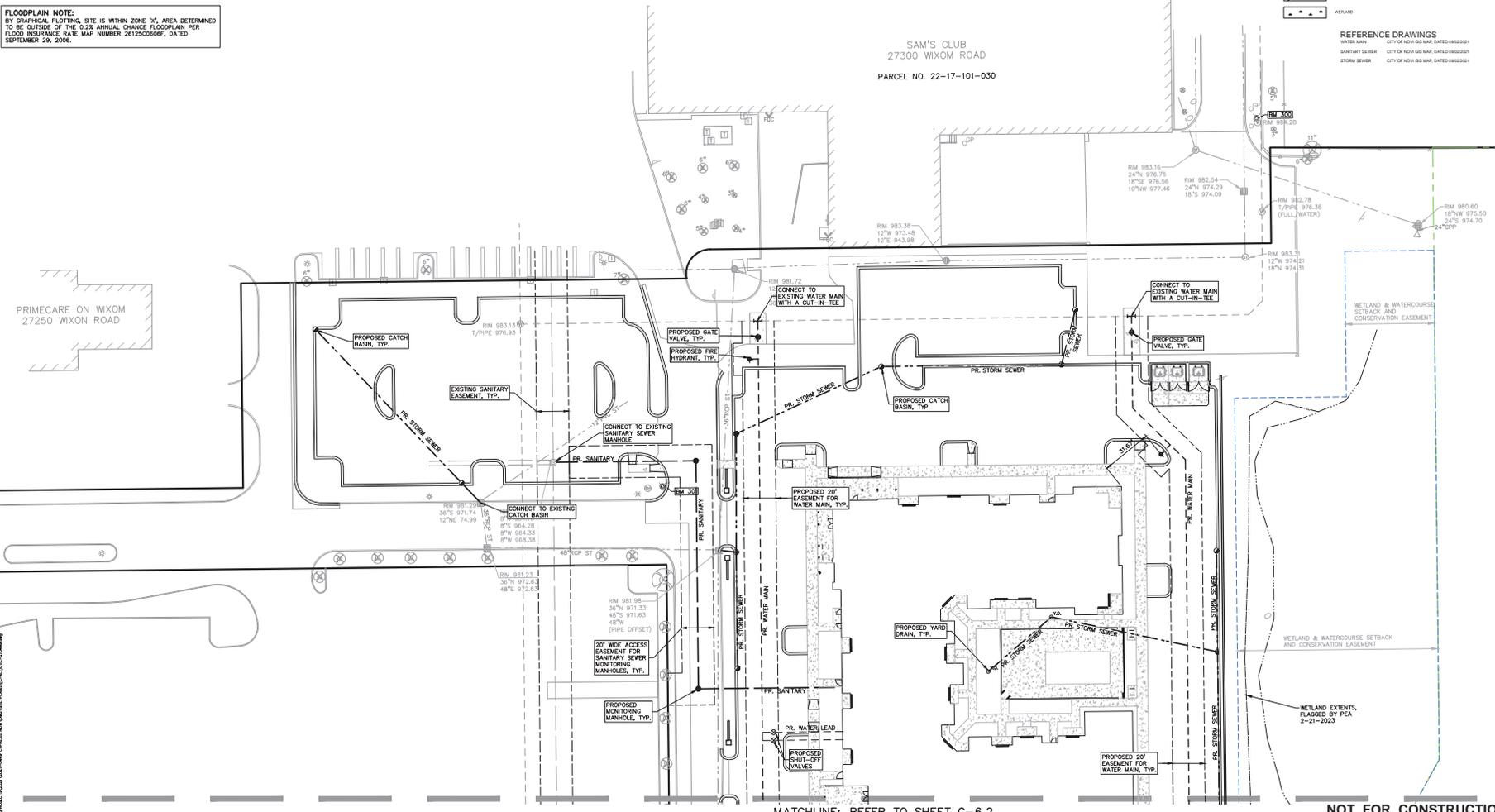
ORIGINAL ISSUE DATE:
DECEMBER 1, 2022

DRAWING TITLE
PRELIMINARY UTILITY PLAN-NORTH

PEA JOB NO. 2021-0449

P.M.	JPB
DN.	AJM
DES.	SWIS

DRAWING NUMBER:
C-6.1



MATCHLINE: REFER TO SHEET C-6.2

NOT FOR CONSTRUCTION

BENCHMARKS
(GPS DERIVED - NAVD83)

BM #200
DIMPLE IN ARROW ON A HYDRANT LOCATED NEAR THE NORTHEAST PROPERTY CORNER, APPROX. 63' EAST FROM THE EAST WALL OF SAM'S CLUB (27200 WIXOM RD.)
ELEV. - 986.57

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DIMPLE IN ARROW ON A HYDRANT LOCATED APPROX. 180' SOUTHWEST FROM THE SOUTHWEST BUILDING CORNER OF SAM'S CLUB (27200 WIXOM RD.)
ELEV. - 984.93

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ELEV. - 982.19

CITY OF NOVI (REFERENCE BENCHMARKS)
(VERT. DATUM NAVD83, HORIZ. DATUM NAVD83)

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BM #1713
X ON NORTH RM OF GATEWELL LOCATED 2 FEET SOUTH BACK OF CURB OF GRAND RIVER AND 150 FEET WEST 12 MILE ROAD
ELEV. 975.77

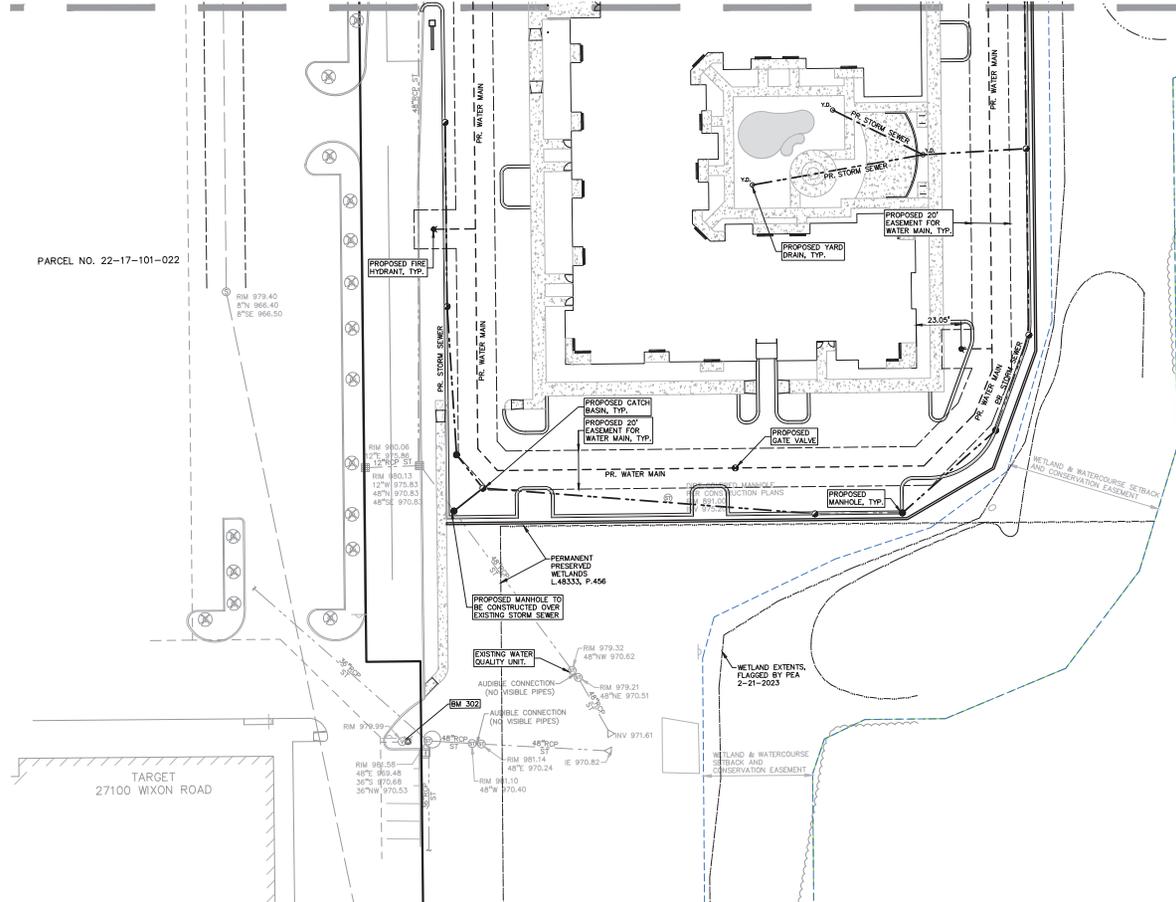
LEGAL DESCRIPTION
(Per ATA National Title Group File No. 63-21794529-SCM, Commitment Date August 03, 2021)

The land referred to in this commitment is described as follows: City of Novi, County of Oakland, State of Michigan

Part of the Northwest 1/4 of Section 17, Town 1 North, Range 8 East, beginning at a point distant South 00 degrees 19 minutes 49 seconds East 1440.12 feet from the Northwest Section corner; thence South 90 degrees 00 minutes 00 seconds East 305.38 feet; thence North 00 degrees 00 minutes 00 seconds West 127.09 feet; thence South 90 degrees 00 minutes 00 seconds East 277.34 feet; thence along curve to the right, radius 15.25 feet, chord bears North 39 degrees 16 minutes 37 seconds East, 23.25 feet, distance of 26.57 feet; thence South 90 degrees 00 minutes 00 seconds East 348.95 feet; thence North 00 degrees 00 minutes 00 seconds East 50.51 feet; thence South 89 degrees 23 minutes 02 seconds East, 399.93 feet; thence South 00 degrees 36 minutes 56 seconds West 1409.63 feet; thence North 89 degrees 34 minutes 38 seconds West 554.26 feet; thence North 00 degrees 19 minutes 49 seconds West 158.00 feet; thence North 89 degrees 34 minutes 38 seconds West 180.07 feet; thence North 00 degrees 04 minutes 04 seconds West 515.53 feet; thence South 90 degrees 00 minutes 00 seconds West 27.76 feet; thence North 00 degrees 00 minutes 07 seconds West 481.77 feet; thence North 00 degrees 00 minutes 00 seconds West 567.85 feet; thence North 00 degrees 19 minutes 49 seconds West 50.54 feet to beginning.

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "C" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C06067, DATED SEPTEMBER 29, 2006.

MATCHLINE: REFER TO SHEET C-6.1



LEGEND

EXISTING

- NON FOUND
- FOUND
- WALL EXISTING
- WALL & CURB SET
- BRASS PLUG SET
- MONUMENT FOUND
- MONUMENT SET

PROPOSED

- ELEC. POSE OR CABLE TV (CALL, RISE & DRY) (RIS)
- UNDERGROUND CABLE TV (RIS)
- TELEPHONE (VUL. CONC. PERMISSIBLE) (RIS)
- ELECTRIC (VUL. CONC. PERMISSIBLE) (RIS)
- GAS (VUL. CONC. PERMISSIBLE) (RIS)
- WATER (VUL. CONC. PERMISSIBLE) (RIS)
- STORM SEWER (VUL. CONC. PERMISSIBLE) (RIS)
- CONCRETE (RIS)
- ASPHALT (RIS)
- GRAVEL (RIS)
- WETLAND

REFERENCE DRAWINGS

- SANITARY SEWER CITY OF NOVI GIS MAP, DATED 08/08/2010
- STORM SEWER CITY OF NOVI GIS MAP, DATED 08/08/2010

PEA GROUP
t. 844.813.2949
www.peagroup.com

811

CAUTION!
THIS DOCUMENT IS UNLESS OTHERWISE SPECIFIED, THE PROPERTY OF PEA GROUP, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF PEA GROUP, INC.

C-X.2

CLIENT
MF NOVI, LLC.
280 WEST MAPLE RD., SUITE 230
GRAND RAPIDS, MI 49508

PROJECT TITLE
THE STATION FLATS
WIXOM RD. BETWEEN GRAND RIVER AVE. AND 11 MILE RD.
NOVI, MICHIGAN

REVISIONS

PRE-APPLICATION SUBMITTAL	1/13/2023
SIPA SUBMITTAL	3/9/2023
CITY COMMENTS	5/4/2023

CITY OF NOVI ISSUE DATE:
DECEMBER 1, 2022

DRAWING TITLE
PRELIMINARY UTILITY PLAN-SOUTH

PEA JOB NO. 2021-0449
P.M. JPB
D.N. AJM
DES. SWS

DRAWING NUMBER:
C-6.2

NOT FOR CONSTRUCTION



Map Unit Symbol	Map Unit Name	Acres in ACP	Percent of ACP
10B	Medium sandy loam, 1 to 6 percent slopes	4.6	29.7%
11B	Coarse sandy loam, 0 to 4 percent slopes	10.4	66.8%
27	Houghton and Ashland bluffs	0.5	3.5%
Totals for Area of Interest		15.6	100.0%



LOCATION MAP
NO SCALE

SITE DATA TABLE:
 SITE AREA: 24.78 ACRES (1,079,271 SF) NET AND GROSS
 TAX ID: 22-17-101-032
 ZONING: I-1 LIGHT INDUSTRIAL
 PROPOSED RE-ZONE: RM-1 LOW DENSITY MULTIPLE-FAMILY
 EXISTING USE: VACANT LAND
 PROPOSED USE: RESIDENTIAL MULTI-FAMILY

LANDSCAPE CALCULATION-ENTIRE SITE:
 PER CITY OF NOV ZONING ORDINANCE (AMENDED 6.22.17) - ENTIRE SITE
 BEZIAN, NOV: 2015-2018

INTERIOR PARKING LOT LANDSCAPE
 REQUIRED LOT 1:
 SF OF PAVED AREA UNDER 50,000 SF = 21,676 SF x 7.5% = 1,626 SF
 1,626/200 = 8 CANOPY TREES REQUIRED
 REQUIRED LOT 2:
 SF OF PAVED AREA UNDER 50,000 SF = 18,454 SF x 7.5% = 1,384 SF
 1,384/200 = 7 CANOPY TREES REQUIRED
 REQUIRED LOT 3:
 SF OF PAVED AREA UNDER 50,000 SF = 11,512 SF x 7.5% = 863 SF
 863/200 = 5 CANOPY TREES REQUIRED

PROVIDED LOT 1:
 2,633 SF OF INTERIOR LANDSCAPE ISLAND AREA
 8, 3" CAL. DEC. TREES ALSO COUNTING AS MULTIFAMILY TREES
PROVIDED LOT 2:
 7,720 SF OF INTERIOR LANDSCAPE ISLAND AREA
 7, 3" CAL. DEC. TREES ALSO COUNTING AS MULTIFAMILY TREES
PROVIDED LOT 3:
 1,164 SF OF INTERIOR LANDSCAPE ISLAND AREA
 5, 3" CAL. DEC. TREES ALSO COUNTING AS MULTIFAMILY TREES

PERIMETER PARKING LOT TREES
 REQUIRED LOT 1:
 DECIDUOUS TREE PER 35 LF
 606 LF/35 = 17 TREES
 REQUIRED LOT 2:
 DECIDUOUS TREE PER 35 LF
 498 LF/35 = 14 TREES
 REQUIRED LOT 3:
 DECIDUOUS TREE PER 35 LF
 205 LF/35 = 6 TREES

PROVIDED LOT 1:
 1 EXISTING TREE TO REMAIN AND 16 TREES ALSO COUNTING AS
 MULTI-FAMILY TREES
 101 ADDITIONAL SHRUBS ADDED PER NOV REVIEW LETTER DATED
 2.28.2022
PROVIDED LOT 2:
 14 TREES ALSO COUNTING AS MULTI-FAMILY TREES
PROVIDED LOT 3:
 6 TREES ALSO COUNTING AS MULTI-FAMILY TREES

INTERIOR ROADWAY TREES
 REQUIRED: 1 DECIDUOUS TREE PER 35 LF ON OUTER ROAD EDGE, DEDUCTING
 CLEAR VISION ZONE
 1,125 LF / 35 = 32 TREES
 PROVIDED: 32 TREES

MULTI-FAMILY FOUNDATION PLANTINGS
 REQUIRED: A MIX OF SHRUBS, SUB-CANOPY TREES, GROUNDCOVERS,
 PERENNIALS, ANNUALS AND/OR ORNAMENTAL GRASSES PROVIDED AT THE
 FRONT OF EACH GROUND FLOOR UNIT COVERING 35% OF BUILDING FACADE.
 1,238 LF X .35 = 418 LF REQUIRED
 PROVIDED: 1,100 LF

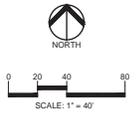
UNIT TREE PLANTINGS
 REQUIRED: 1 DECIDUOUS TREES OR LARGE EVERGREENS PER EACH
 DWELLING UNIT ON THE FIRST FLOOR, 35 FIRST FLOOR UNITS X 3 = 105
 TREES, WITH UP TO 20% SUB CANOPY TREES FOR DIVERSITY
 PROVIDED: 32 LARGE EVERGREENS, 13 DECIDUOUS, 16 SUB CANOPY, 38
 PERIMETER PARKING TREES COUNTING AS UNIT TREES, AND 20 INTERIOR
 PARKING TREES COUNTING AS UNIT TREES

NOTE:
 7 OVERHEAD UTILITY LINES
 HIGHLAND DEDICATION WAS
 COMPLETED ON 2/20/2023

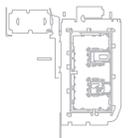
KEY

- = INTERIOR PARKING TREES COUNTING AS MULTI-FAMILY TREES
- = PARKING PERIMETER TREES COUNTING AS MULTI-FAMILY TREES
- = INTERIOR ROADWAY TREES
- = MULTI-FAMILY LANDSCAPE TREES
- = ADDITION TREES PER CITY COMMENT
- = EXISTING TREE
- = TREE PROTECTION FENCING
- = EXISTING TREE COUNTING AS PARKING LOT PERIMETER TREE
- = SHRUBS
- = SNOW STORAGE AREA
- = IRRIGATED SEED LAWN
- = NON-IRRIGATED SEED LAWN
- = FOUNDATION PLANTS TO BE DETAILED AT CONSTRUCTION
- = ECONOMY PRAIRIE SEED MIX BY EROSION MAT

PEA GROUP
 t: 844.813.2949
 www.peagroup.com



CAUTION!
 THIS PLAN IS PRELIMINARY AND SUBJECT TO CHANGES. APPROVED FOR CONSTRUCTION BY THE CITY OF NOVEMBER 1, 2022. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE CITY OF NOVEMBER 1, 2022. THE CITY OF NOVEMBER 1, 2022. THE CITY OF NOVEMBER 1, 2022.



CLIENT
MF NOVI, LLC.
 280 WEST MAPLE RD., SUITE 230
 GROUNDWATER, MI 48046

PROJECT TITLE
THE STATION FLATS
 WISCONSIN RD. BETWEEN GRAND RIVER AVE. AND 11 MILE RD.
 48046-0004

REVISIONS	DATE
PRE-APPLICATION SUBMITTAL	1/13/2023
81A SUBMITTAL	3/9/2023
CITY COMMENTS	5/4/2023

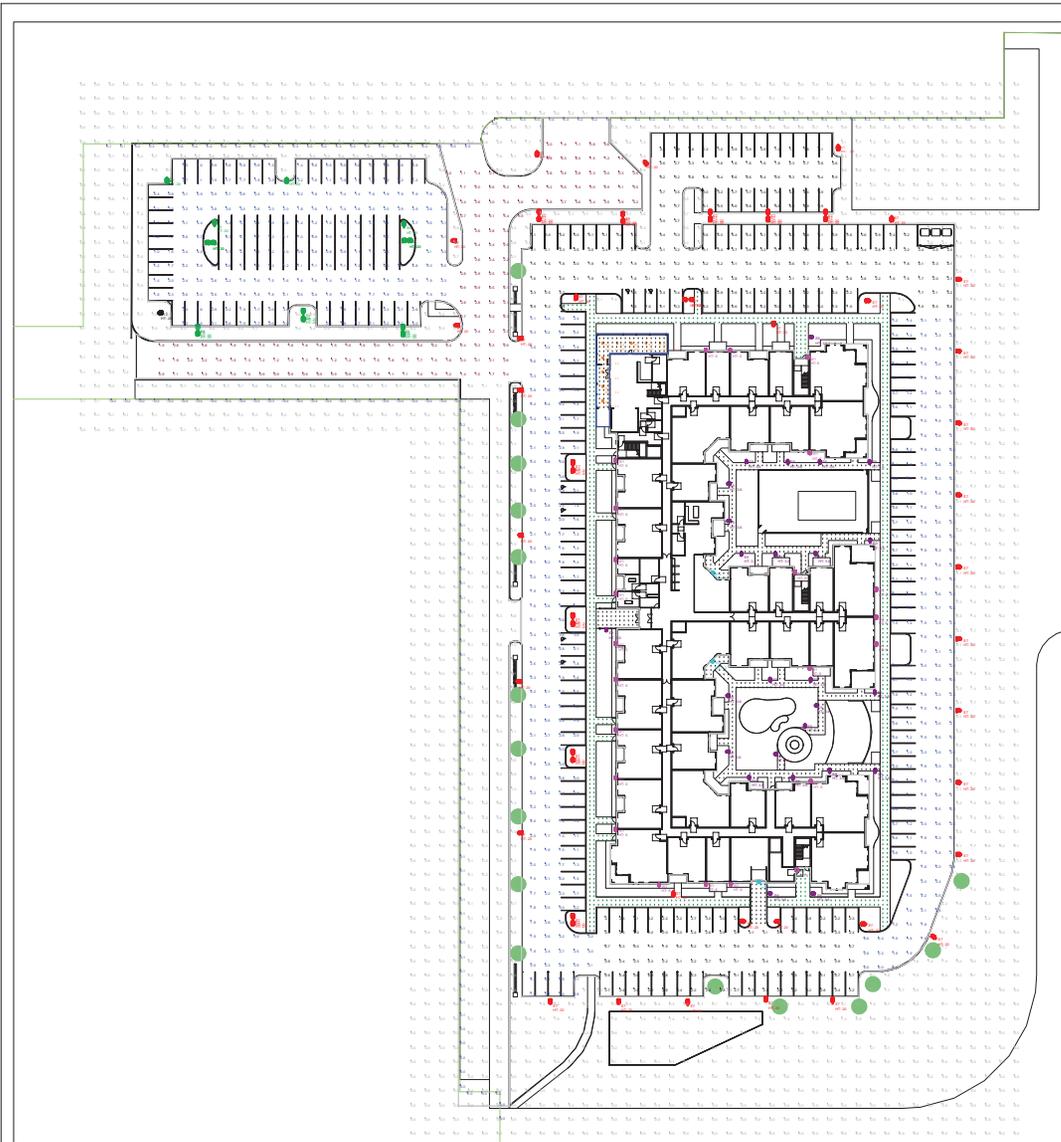
ORIGINAL ISSUE DATE:
 DECEMBER 1, 2022

DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN- OVERALL

PEA JOB NO.	2021-0449
P.M.	JPB
D.N.	AEB
D.E.S.	LAW

DRAWING NUMBER:
L-1.0

NOT FOR CONSTRUCTION



Label	Symbol	Qty	Manufacturer	Catalog Number	Light Loss Factor	Lumens Per Lamp	Watts
E12		1	US ARCH LIGHTING E12	RZR-M-LED-IV-24LED-350mA-40K	0.900	2943	28.2
W3		3	LITHONIA W3	ARC1-LED-P1-40K	0.900	1454	10.8751
E6		14	US ARCH LIGHTING E6	RZR-LED-III-W-40LED-350mA-40K	0.900	6247	42.7
W1		23	VISA LIGHTING W1	OW1291-L35K-H	0.900	1286	14.1
E7		53	US ARCH LIGHTING E7	RZR-LED-IV-40LED-350mA-40K	0.900	6677	42.7
E9		26	US ARCH LIGHTING E9	RZRB1-LED-III-W-20LED-175mA-40K	0.750	1695	11
E2		9	BEGA E2	55622_BEGA_IES 40K	0.900	299	6

Description	Avg fc	Max fc	Min fc	Avg/Min (±1)	Max/Min (±1)
BOH STORAGE AREA	5.45	12.5	3.2	1.70	3.91
DRIVE ISLE TO WINOM RD	2.16	4.2	0.6	3.50	7.00
MAIN ENTRANCE	3.04	3.8	2.2	1.38	1.73
MAIN ENTRY UNDER OVERHANG	3.25	10.1	0.8	4.26	12.63
NORTH PARKING	2.71	4.9	0.9	3.01	5.44
OVERALL SITE	0.52	4.9	0.0	N.A.	N.A.
PIED PATHWAY COURTYARD	3.90	12.1	0.1	39.00	121.00
PIED PATHWAY POOL AREA	3.69	11.5	0.0	N.A.	N.A.
PIED PATHWAY WEST	2.07	11.6	0.4	5.18	29.00
PROPERTY LINE	0.22	0.5	0.0	N.A.	N.A.
SOUTH PARKING	2.62	3.6	1.9	1.38	1.89
UPPER LEFT PARKING LOT AREA	2.06	4.7	0.5	4.10	9.40
VERTICAL EAST PARKING	1.75	2.7	0.6	2.92	4.50
VERTICAL WEST PARKING	2.33	3.8	1.1	2.12	3.45

PLAN VIEW: NOT TO SCALE

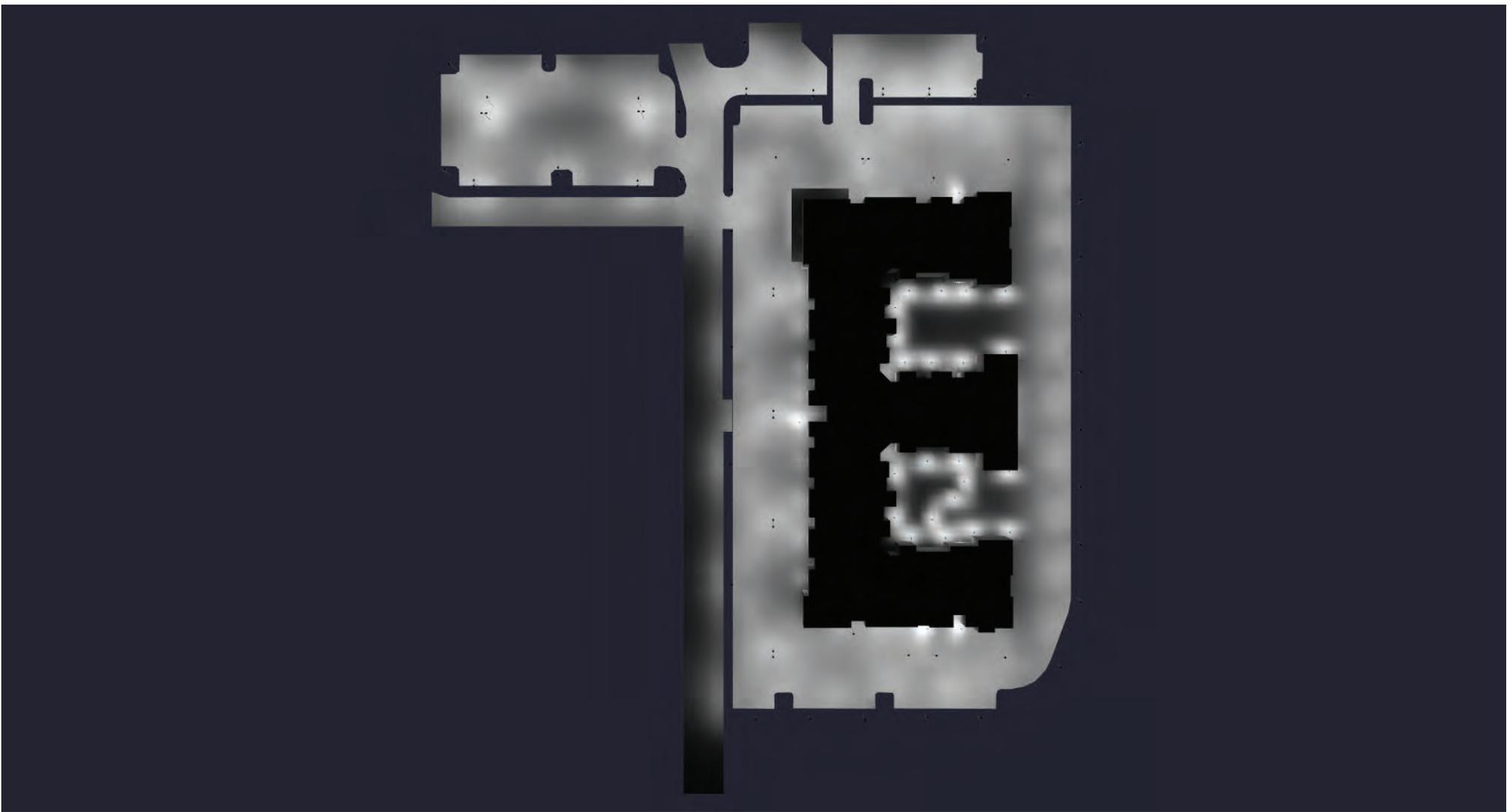
STANDARD NOTES:

- Electrical service to light fixtures shall be placed underground
- Flashing light shall not be permitted
- Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation

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ISOMETRIC VIEWS: CONTRAST & PSEUDO COLOR

GENERAL NOTE
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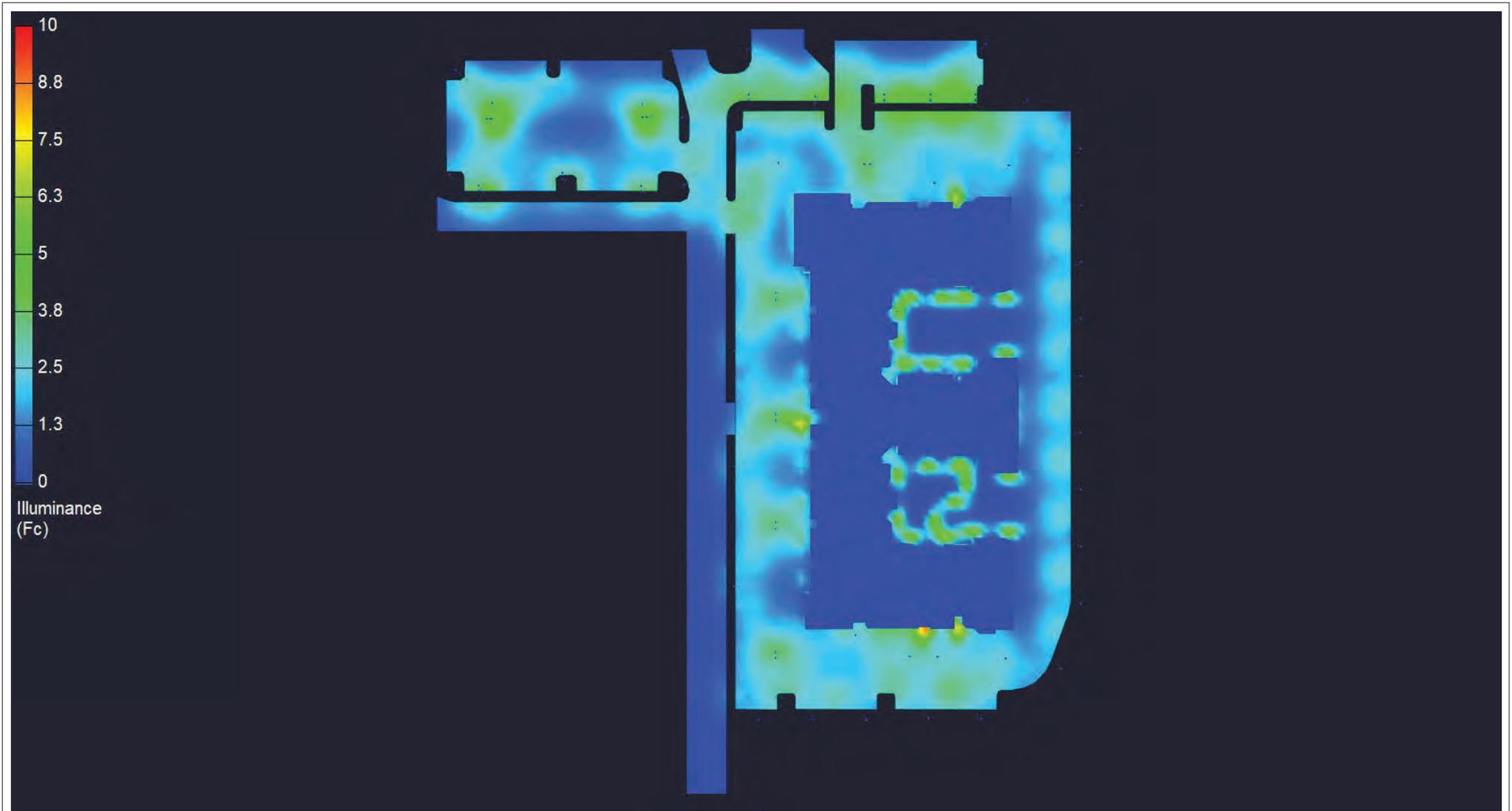
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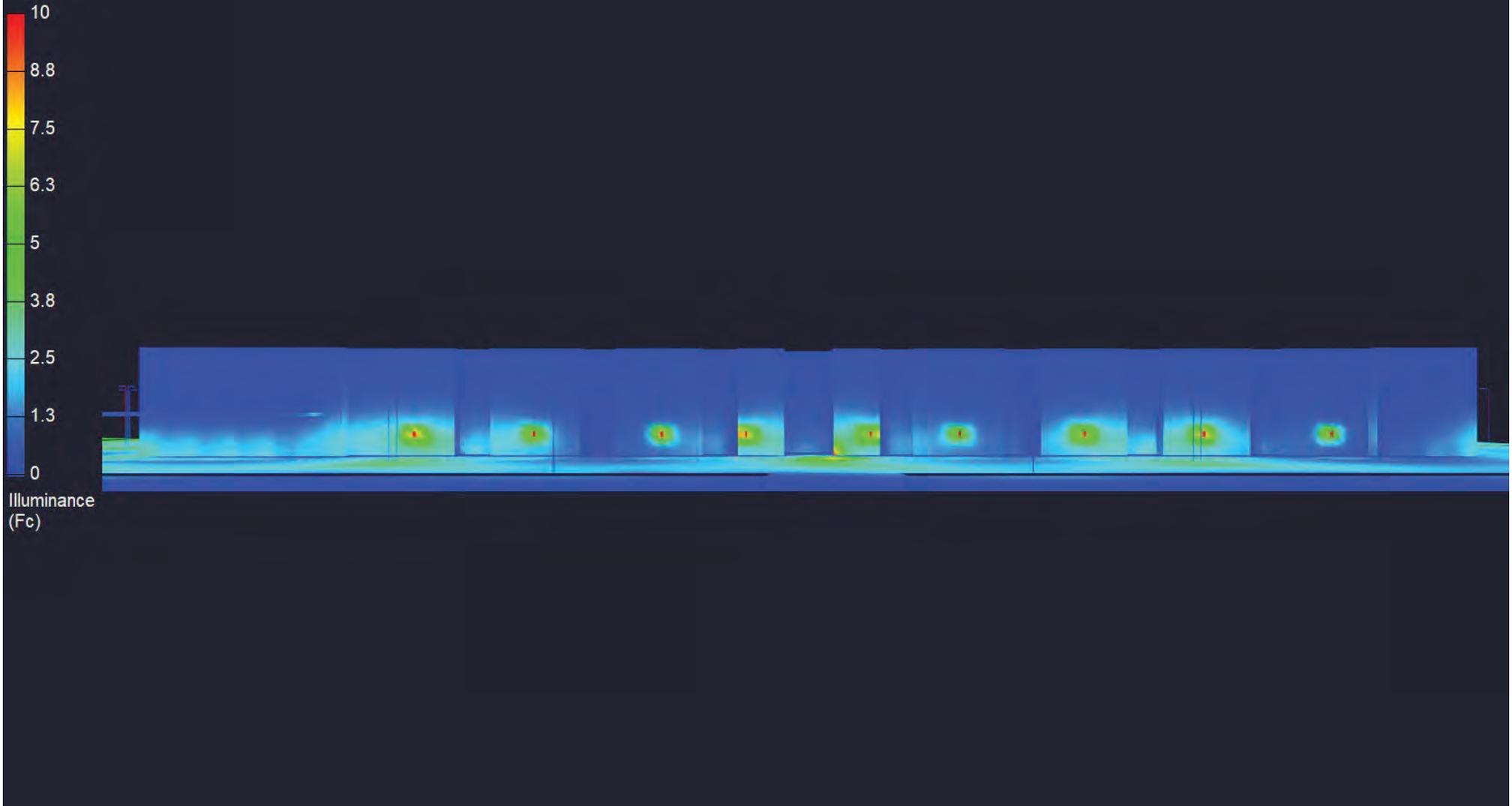
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FRONT ELEVATION (WEST): PSEUDO COLOR

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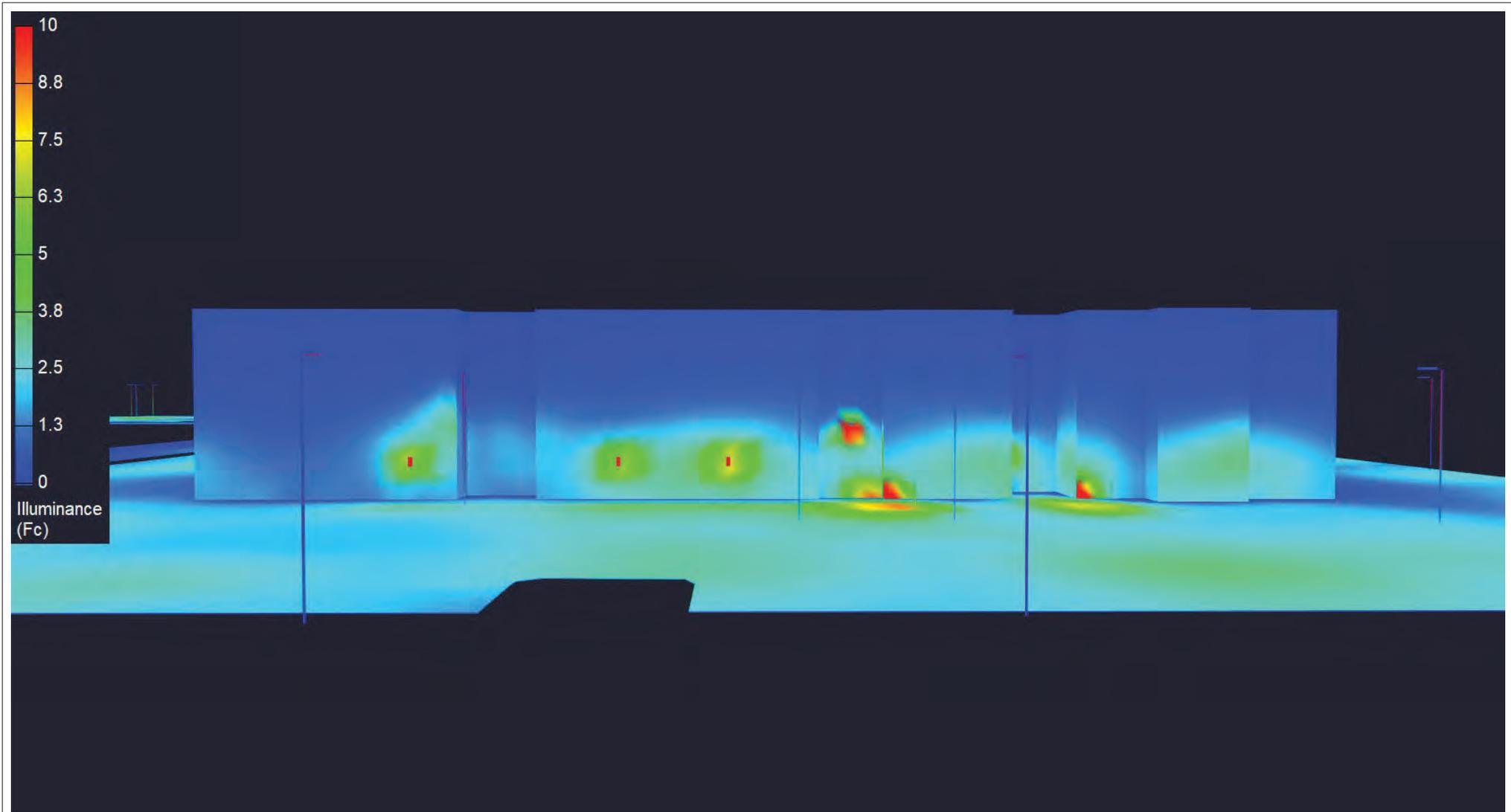
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RIGHT ELEVATION (SOUTH); PSEUDO COLOR

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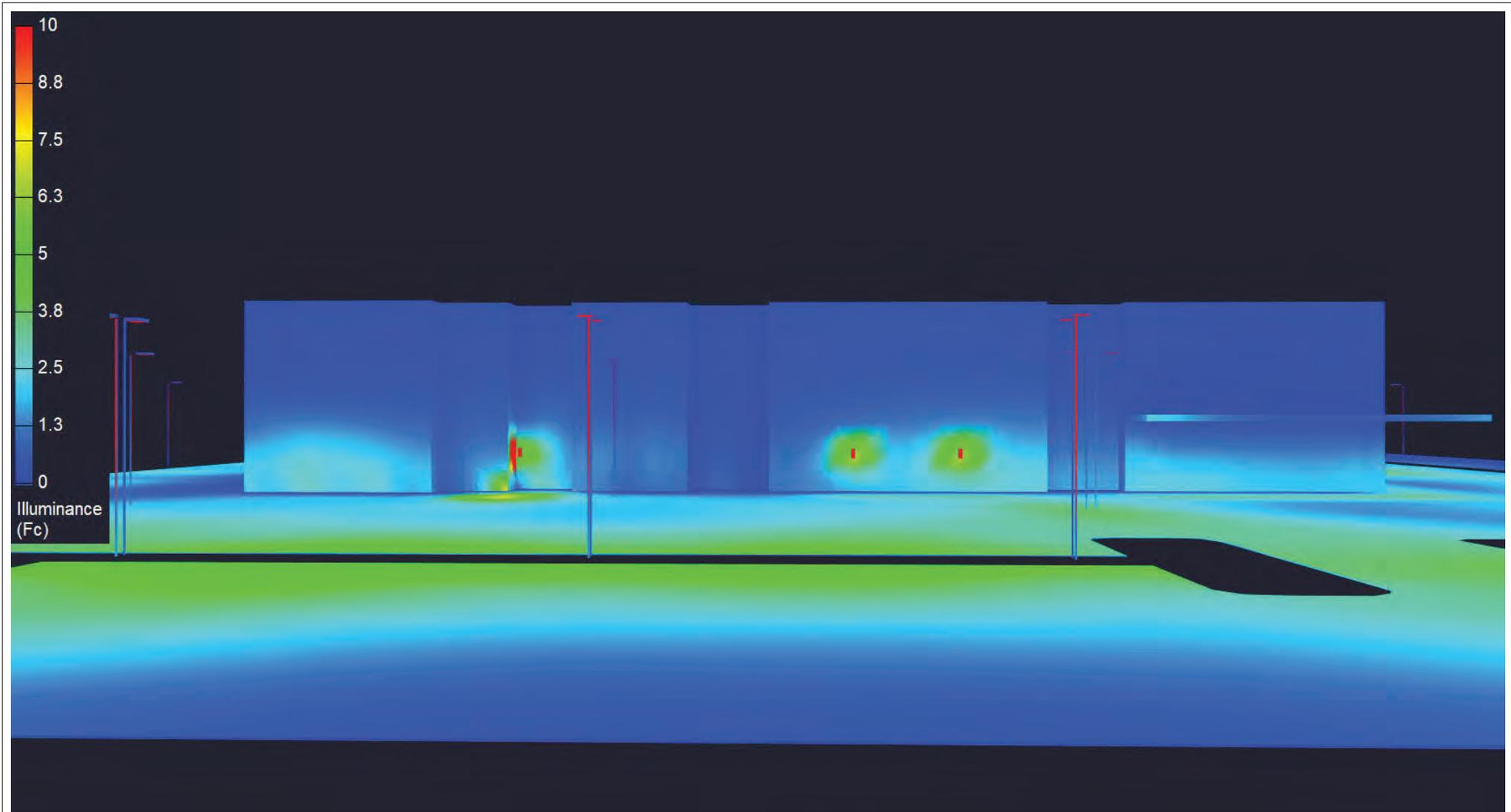
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LEFT ELEVATION (NORTH): PSEUDO COLOR

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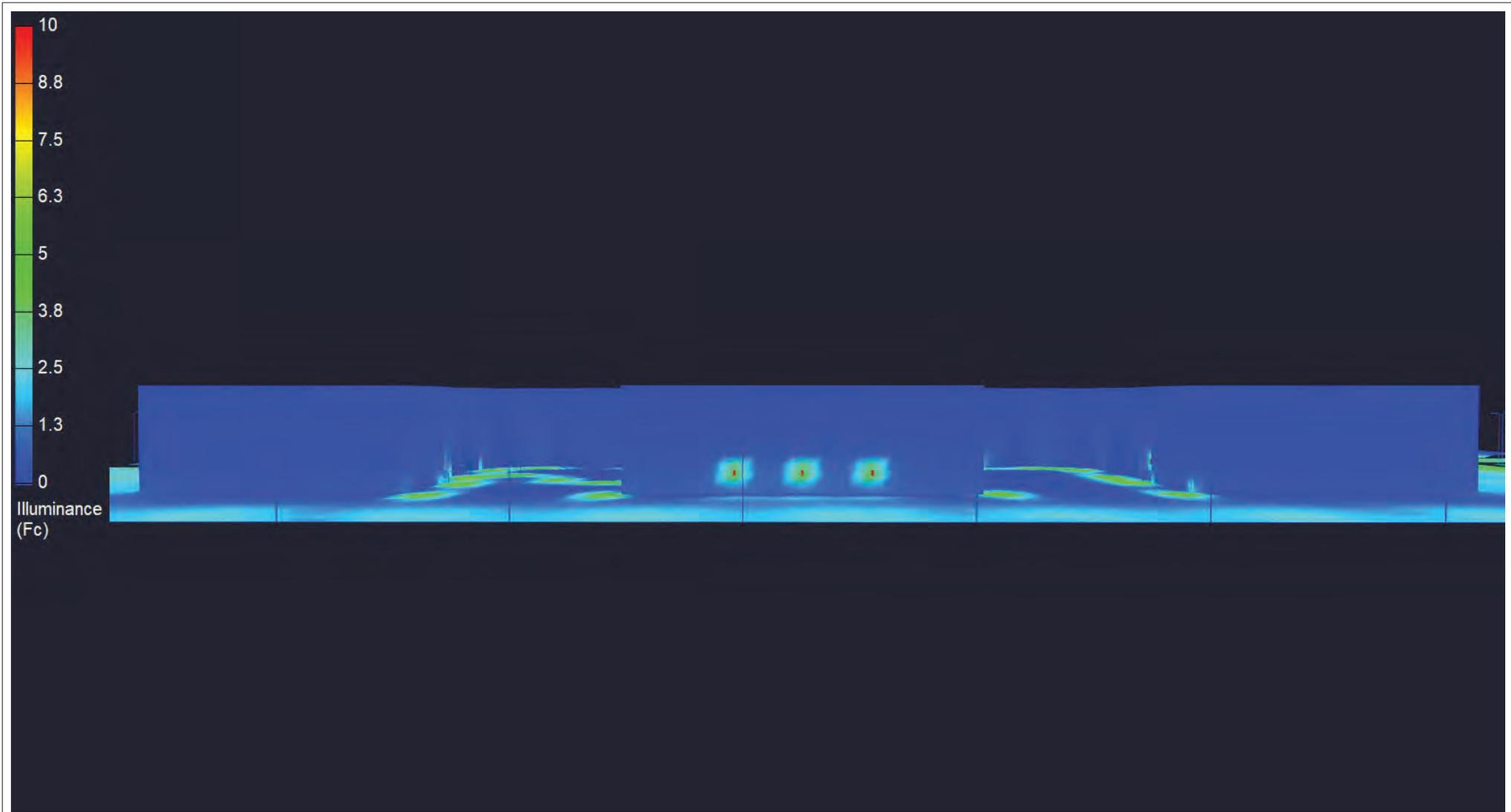
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REAR ELEVATION (EAST): PSEUDO COLOR

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SPECIFICATION ATTACHED AS SEPERATE PDF'S

SPECIFICATION SHEETS

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PLANNING REVIEW



PLAN REVIEW CENTER REPORT

May 22, 2023

Planning Review

Station Flats

JSP23-02 with Amendment to Consent Judgment

PETITIONER

Cypress Partners, LLC

REVIEW TYPE

Revised Concept Plan and Request to Amend Consent Judgment

PROPERTY CHARACTERISTICS

Section	17	
Site Location	22-17-101-032; East of Wixom Road, South of Grand River Avenue	
Site School	Novi Community School District	
Watershed	Huron River Watershed & Rouge River Watershed	
Site Zoning	I-1, Light Industrial, with Consent Judgment (B-2, General Business)	
Adjoining Zoning	North	I-1, Light Industrial, with Consent Judgment (B-2, General Business)
	East	I-1, Light Industrial
	West	R-1, One-Family Residential
	South	I-2, Heavy Industrial with PSLR (Planned Suburban Low Rise)
Current Site	Vacant	
Adjoining Uses	North	Sam's Club
	East	Vacant
	West	Catholic Central High School & Target
	South	Villas at Stonebrook
Site Size	24.77 acres	
Plan Date	May 5, 2023	

PROJECT SUMMARY

The petitioner is requesting an amendment to a Consent Judgment, which currently limits the site to retail use, and has submitted a Concept Plan for the 24.77 acre site located on the east side of Wixom Road and south of Grand River Avenue (Section 17). The parcel proposed to be developed is currently vacant, and is located immediately to the south of the Sam's Club store, and northeast of the Target store. The property also contains an existing access drive to Wixom Road, a lawn area that is to be used as a parking lot, and existing wetlands and wetland mitigation areas to the east of the proposed development.

The use of this site is limited due to a Consent Judgment on the property that designates this site for retail uses that conform to the Community Business (B-2) District standards. The Consent Judgment lists several binding conditions on the property, which initially envisioned this property being

developed as a traditional “big box” store. If the Consent Judgment were to be amended to allow a multi-family residential development, this would be a significant change to the site. In particular, uses permitted in the Consent Judgment under the Community Business (B-2) district standards significantly differ from those permitted in the High-Density Mid-Rise Multiple-Family Residential (RM-2) district, which is proposed.

Through the review process, the Planning Commission and the City Council would consider the presented plan and determine whether to amend the Consent Judgment to open the site to the standards and uses permitted in the RM-2 district, or another district that is better suited to the proposed use.

The proposed site will consist of 157 multi-family rental units, with 7 live/work units, 24 studio units, 60 one-bedroom units, 64 two-bedroom units, and 2 three-bedroom units. One building consisting of four stories is proposed. The building will include a clubhouse, a two-story co-working/café space on the northwest portion of the building. The site is proposed to have 247 parking spaces. Other site amenities include a pool, clubhouse, and a putting green.

MASTER PLAN FOR LAND USE & LAND USE NARRATIVE

The Future Land Use Map of the 2016 City of Novi Master Plan for Land Use identifies this property as Community Commercial. As the Master Plan states, “this land use is designated for comparison-shopping needs of a larger population base. They are along major thoroughfares and roadway intersections.” The Community Business (B-2) District and the General Business (B-3) District generally fall within areas planned for Community Commercial. The subject site is zoned Light Industrial (I-1), but is subject to a Consent Judgment that states that the subject site “shall conform to the uses permitted in the B-2 zoning district as described in the City of Novi Zoning Ordinance [...],” which is generally consistent with the Community Commercial land use designation.

The properties to the north are identified in the Master Plan as Community Commercial and Office Research Development Technology, the properties to the east are identified as Office Research Development Technology, the properties to the west are identified as Educational Facility and Community Commercial, and the properties to the south are identified as Planned Suburban Low-Rise.

The applicant provided a Land Use Narrative dated March 10, 2023 that lists several objectives that the project is intended to achieve:

1. Objective (Objective 5, Page 124): Attract new residents to the City by providing a full range of quality housing opportunities that meet the housing needs of all demographic groups including but not limited to singles, couples, first time home buyers, families and the elderly.

Applicant Comment: “While the City has done a good job of providing a variety of housing types, the provision for additional upscale rental units in a key location will further the above goal and objective.”



Figure 1: 2020 Aerial of Subject Property

Staff Comment: While the proposed development increases the amount of rental housing stock within the City, this particular site was envisioned as a site for a big-box retailer, which is supported by the Consent Judgment and Goal A.17.5 of the Master Plan, which states “support retail commercial uses along established transportation corridors that are accessible for the community at large, such as along Grand River Avenue, to preclude future traffic congestion.”

2. Objective (General Goal for the Grand River Corridor, Provide Housing Options, Page 79): The City of Novi is well-known in the region for its thriving single-family neighborhoods, but alternative housing types can serve two segments of the population that may wish to live in a different setting: Millennials and Empty Nesters. Housing in the Grand River Corridor will provide small to medium-sized housing and will fit the low-maintenance needs of both age groups.

Applicant Comment: “The proposed [project] will also place additional residents in close proximity to businesses along the Grand River Corridor; further strengthening the viability of those uses.”

Staff Comment: While staff agrees that additional rental units within the City would benefit the community, the Consent Judgment envisioned this area to have a mix of retail uses, which is not currently proposed on this site with the exception of 7 live/work units and a co-working space.

The applicant has also noted several other conditions in the provided Land Use Narrative that do not reference the Master Plan, but rather justify the proposal through a land use analysis. These conditions are listed below:

1. Viability of Subject Site for Commercial Use

- a. Lack of Visibility: The applicant has noted that the “ability to develop this site for commercial use has been in place for 22 years yet remained vacant [...] one of the primary reasons is the lack of visibility from primary roads. [...] The only real option would be development of a strip shopping center with numerous, small retail spaces.”

Staff Comment: While the site does lack visibility from a major thoroughfare, it is still easily accessible.

- b. Online Shopping & Specialty Retailers: “From a planner’s perspective, I am seeing an increase in retail vacancies in shopping centers across the region [...] this is due, in part, to the advent of on-line shopping from virtual companies [...] it is difficult for small retailers to compete with the price and selection offered by larger companies. Those specialty retailers that are able to compete locate in either traditional downtowns or in high visibility, high traffic shopping centers.”

Staff Comment: Staff concurs that online shopping and the pandemic have fueled a decreased interest in retail development, but still feels that the subject site is a viable site for retail use.

- c. Increased Construction Costs: “Developers are also telling me that increased construction costs are limiting the types of development that are feasible. These two factors indicate that in-store retailing has contracted and also become more price-competitive. It is far more likely that the above-mentioned specialty retailers looking for space will gravitate toward existing buildings and the lower rent structures than space in a new shopping center. This is further supported by the increase in

construction costs, making new commercial development even more expensive and challenging.”

Staff Comment: Staff agrees that while construction costs are high, it does not affect the long-term viability of the subject property.

2. Housing Options

a. Change in Tax Laws: “All of the renter options are now supported by the change in the tax laws, which have increased the standard deduction and with many have eliminated the need for mortgage interest and property tax deductions. This is especially true for many empty nesters that have either paid off their mortgages or have small balances. They can take the equity in their existing houses by selling and use it for other purposes, while maintaining the same standard of living in the community. This is not currently happening due to the housing shortage and inability of empty nesters to find replacement housing within the community, either owner- or renter-occupied. First-time and move-up buyers are having difficulty finding available housing because empty nesters are staying in place, due primarily to lack of replacement units.”

Staff Comment: Staff agrees that the demand for rental units by empty nesters has increased over the last several years.

b. Housing Supply: “The proposed project would provide empty-nester homeowners with an option that allows them to sell their existing homes without having to buy another one immediately, or at all, while remaining in the City of Novi. This in turn will help free up for-sale houses, thereby adding supply to new and move-up home buyers. Once the existing homes are sold, this will also remove the cap on property taxes and provide an increase in revenue for the City. This project will also provide additional short-term corporate housing for companies bringing executives into the area for temporary assignment. There is a shortage of high-quality rental housing in the region and many companies have resorted to buying houses for their temporary transfers to live in.”

Staff Comment: Staff agrees that the proposed project will increase the housing supply within the City of Novi. However, staff feels that there are more compatible sites for multi-family residential elsewhere within the City.

3. Walkability: “The proposed apartment complex will be in close proximity to a wide range of retail, restaurant, office, and medical services [...] this meets the City’s goal of having a walkable community and providing services in close proximity to housing.”

Staff Comment: Staff agrees that the proposed location has significant walkability potential and the walkability of the site is improved given the site constraints.

EXISTING ZONING AND LAND USE

The following table summarizes the zoning and land use status for the subject property and surrounding properties.

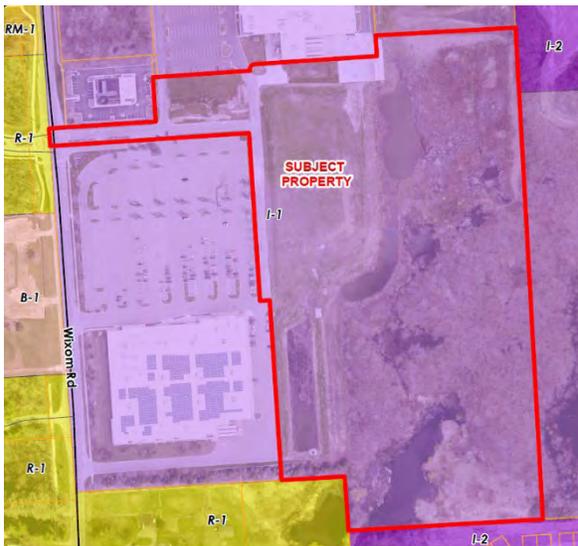
Land Use and Zoning: For Subject Property and Adjacent Properties

	Existing Zoning	Existing Land Use	Master Plan Land Use Designation
Subject Property (Project Area)	I-1 Light Industrial District with	Vacant	Community Commercial

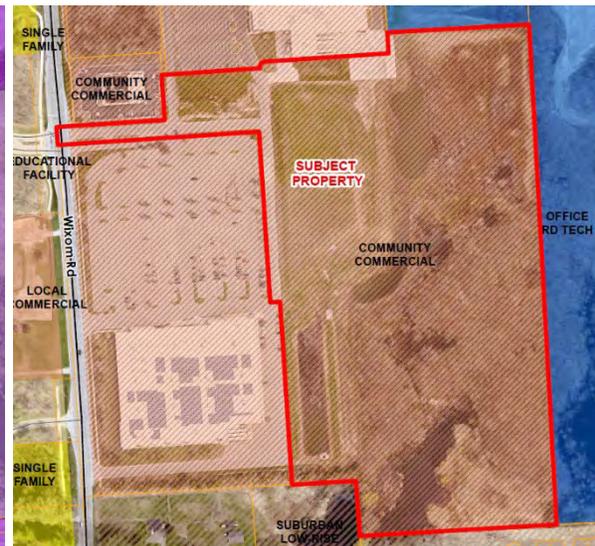
	Consent Judgment B-2 Local Business District		(Uses consistent with B-2 Local Business District)
Northern Parcels	I-1 Light Industrial District with Consent Judgment B-2 Local Business District	Sam's Club & Industrial Building	Community Commercial (Uses consistent with B-2 Local Business District) and Industrial Research Development Technology (Uses consistent with I-1 Light Industrial District)
Southern Parcels	I-2 Heavy Industrial with PRO Agreement	Villas at Stonebrook	Planned Suburban Low Rise
Eastern Parcels	I-1 Light Industrial District	Vacant/Wetland	Industrial Research Development Technology (Uses consistent with I-1 Light Industrial District)
Western Parcels	R-1 One-Family Residential, I-1 Light Industrial District with Consent Judgment B-2 Local Business District	Catholic Central High School, Target	Educational Facility, Community Commercial

COMPATIBILITY WITH SURROUNDING LAND USE

The surrounding land uses are shown in the above chart. The compatibility of the proposed development with the zoning and uses on the adjacent properties should be considered by the Planning Commission in making the recommendation to City Council. In particular, the Planning Commission should review the plan carefully to ensure that negative impacts are minimized and mitigated.



ZONING



FUTURE LAND USE

DEVELOPMENT POTENTIAL

The parcel proposed to be developed is currently vacant. The use of this site is limited due to a Consent Judgment on the property that designates this site for retail uses that conform to the

Community Business (B-2) District standards. The Consent Judgment lists several binding conditions on the property, which initially envisioned this property being developed as a traditional “big box” store. If the Consent Judgment were to be amended to allow a multi-family residential development, this would be a significant change to the site. In particular, uses permitted in the Consent Judgment under the Community Business (B-2) district standards significantly differ from those permitted in the High-Density Mid-Rise Multiple-Family Residential (RM-2) district, which is proposed. Through the process, the applicant and the City would agree to restrict the RM-2 use allowed to 157 multi-family residential units with limited retail/office space located on the first two floors of the building as shown in the proposed concept plan. Any other uses typically permitted in the RM-2 district would not be permitted within the terms of the Amendment to the Consent Judgment.

COMPARISON OF ZONING DISTRICTS

The following table provides a comparison of the current and proposed zoning development standards. The applicant is requesting a change of districts from the existing Community Business (B-2) District with a Consent Judgment to High-Density Mid-Rise Multiple-Family Residential (RM-2) with a Consent Judgment. The types of uses allowed in these districts differ significantly as shown below.

	B-2 (Existing)	RM-2 (Proposed)
Principal Permitted Uses & Special Land Uses	<p>Principal Permitted Uses</p> <ol style="list-style-type: none"> 1. Retail business use 2. Retail business service uses 3. Business establishments which perform services on the premises 4. Dry cleaning establishments, or pick-up stations, dealing directly with the consumer 5. Professional services 6. Retail businesses 7. Service establishments of an office showroom or workshop nature 8. Restaurants (sit-down), banquet facilities or other places serving food or beverage 9. Theaters, assembly halls, concert halls, museums or similar places of assembly 10. Business schools and colleges or private schools operated for profit 11. Day care centers and adult day care centers 12. Private clubs, fraternal organizations and lodge halls 13. Places of worship 14. Hotels, and motels 15. Professional and medical offices, including laboratories 16. Other uses similar to the above uses 17. Accessory structures and uses, customarily incident to the above permitted uses <p>Special Land Uses</p> <ol style="list-style-type: none"> 1. Fueling station 2. Sale of produce and seasonal plant materials outdoors 3. Veterinary hospitals, or clinics 	<p>Principal Permitted Uses</p> <ol style="list-style-type: none"> 1. Multiple-family dwellings 2. Accessory buildings and uses customarily incident to any of the above uses <p>The following uses are regulated according to the standards and regulations in the RM-1, Low-Density, Low Rise Multiple Family (Section 3.1.7):</p> <ol style="list-style-type: none"> 1. Independent and congregate elderly living facilities 2. Accessory buildings and uses customarily incident to any of the above uses <p>The following uses are regulated according to the standards and regulations in the RT Two-Family Residential District (Section 3.1.6):</p> <ol style="list-style-type: none"> 1. Two-family dwellings (site built) 2. Shared elderly housing 3. Accessory buildings and uses customarily incident to any of the above uses <p>The following uses are regulated according to the standards and regulations in the R-4 One Family Residential District (Section 3.1.5):</p> <ol style="list-style-type: none"> 1. One-family detached dwellings 2. Farms and greenhouses 3. Publicly owned and operated parks, parkways and outdoor recreational facilities 4. Cemeteries 5. Home occupations 6. Keeping of horses and ponies 7. Family day care homes

		8. Accessory buildings and uses customarily incident to any of the above uses Special Land Uses 1. Retail commercial services and office uses
Minimum Lot Size	2 acres	See Section 3.8.1
Minimum Lot Width	See Section 3.6.2.D	See Section 3.8.1
Maximum Lot Coverage	See Section 3.6.2.D	45%
Building Height	30 feet or 2 stories, whichever is less	65 feet or 5 stories, whichever is less
Building Setbacks	Front Yard: 40 feet Rear Yard: 30 feet Side Yard: 30 feet	Front Yard: 75 feet Rear Yard: 75 feet Side Yard: 75 feet
Parking Setbacks	Front Yard: 20 feet Rear Yard: 10 feet Side Yard: 10 feet	Front Yard: 75 feet* (Sec. 3.6.2.B) Rear Yard: 20 feet Side Yard: 20 feet

INFRASTRUCTURE & FAÇADE

Engineering (Preliminary Review – 3/30/23)

The Staff Engineer has reviewed the request and indicated that the proposed project will likely meet the general requirements of Chapter 11 Code of Ordinances, the Storm Water Management Ordinance, and the Engineering Design Manual. The Engineering Review letter attached indicates that the requirements were not met, but new information has since been provided and is still under review.

Traffic & Traffic Study (Preliminary Review – 3/31/23, 2/8/23)

The proposed site will be accessed from Wixom Road. Traffic is looking for some comments to be addressed in the next submittal, which is still currently under review. Meanwhile, the Traffic Impact Study has been reviewed by the City’s Traffic Consultant.

Façade (Preliminary Review – 3/17/23)

The proposed façade consists of brick, stone, flat metal, cement fiber lap siding, and metal panels. The percentage of cement fiber lap siding exceeds the ordinance maximum on all elevations and exceeds what would qualify for a Section 9 Façade Waiver. It is recommended that the applicant consider changing the Lap Siding to a Patterned/Textured siding as described in Footnote 15 of the Façade Ordinance. This material is allowed up to 25% on all elevations. The applicant has made some adjustments to the proposed façade and the plans are still currently under review by the City’s Façade Consultant.

Fire (Revised Preliminary Review – 5/17/23)

The City Fire Marshal has reviewed the site plan and has provided several comments to be addressed with the next submittal.

NATURAL FEATURES & EASEMENTS

The proposed site has several easements and natural features located on its premises as shown in the ALTA survey. The site’s wetlands and woodlands shall continue to be protected as indicated in the plans and should remain as part of the existing preservation conservation easements. Please see below for a summary of the Wetland, Landscape, and Woodland reviews.

Wetland (Preliminary Review – 3/31/23)

A minor encroachment into the 25-foot wetland buffer setback area has been identified on the site plan. However, the site plan does not depict any other proposed impacts to the regulated wetland area or the conservation easement. The City's Wetland Consultant recommends the applicant retain a qualified wetland consultant to delineate and record the wetland boundaries. The applicant has since provided additional wetland information that is currently under review by the City's Wetland Consultant.

Landscape & Woodland (Revised Preliminary Review & Preliminary Review – 5/22/23, 3/27/23)

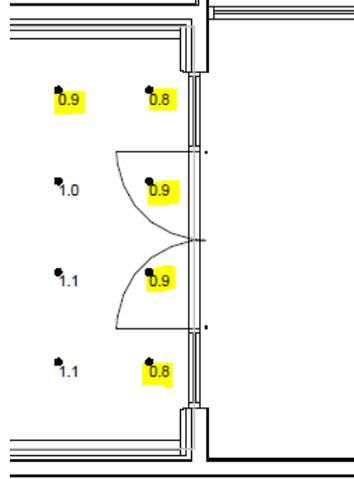
The proposed landscape plan meets several ordinance requirements, but does not meet screening requirements near the Sam's Club loading docks. Please refer to the Landscape Review for more information. In addition, complete tree survey information has not been provided. Please refer to the Landscape Review and Woodland Review for more information.

REVIEW CONCERNS

Staff is requesting additional clarification on the following items. In particular, items in **bold** should be responded to in the next submittal. Please note that any review concerns related to deviations requested as part of the amendment to the Consent Judgment are listed in the following section (Ordinance Deviations).

1. 2016 Master Plan for Land Use (Master Plan): The proposed site is identified as Community Commercial in the 2016 Master Plan for Land Use, which is not consistent with the proposed use of the site. **As the Master Plan did not envision a residential use, the proposal will need to be reviewed by the Master Planning & Zoning Committee prior to going before the Planning Commission or City Council for consideration. This is scheduled for May 24.**
2. Consent Judgment & Zoning: The site is currently bound to a Consent Judgment that requires the site to be developed for retail purposes under the Community Business (B-2) District standards. **An amendment to the Consent Judgment would be required for the current proposed multiple-family use.**
 - a. Uses Permitted (Item 12, B, Consent Judgment): Per the Consent Judgment, retail is only permitted on this site currently (i.e., Big Box store). **Therefore, an amendment to the consent judgment will be required.**
 - b. Buffering & Setback from Dissimilar Uses: The Consent Judgment anticipated that the site would be developed with a big box store, and no buffering between commercial uses was anticipated. Sam's Club's loading zones are immediately adjacent to the subject site, and are actively used. **The applicant is encouraged to provide buffering suitable for the proposed multiple family use adjacent to a loading zone to reduce any adverse effects of the loading/unloading, trash removal, and other aspects of the existing development.**
3. Open Space Area (Sec. 3.1.8.D): An open space calculation of 82,944 square feet has been indicated, which meets the required 32,000 square feet. However, the usable open space is not accurately represented. **Useable open space cannot be placed in a conservation area. Please revise or remove and seek a deviation for lack of meeting the usable open space requirements.**
4. Maximum Dwelling Unit Density/Net Size Area (Sec. 3.1.7.D, Sec. 3.8.1.A.ii): The unit mix breakdown has been provided. However, the percentages for studio, 1-bed, and 2-bed units have been incorrectly listed. **Please revise.**
5. End Islands (Sec. 5.3.12): End islands have been provided in the appropriate locations. However, one end island does not meet minimum square foot requirements. **Please revise.**
6. Entryway Lighting (Sec. 5.7.N): One streetlight is required per entrance from a major throughfare. **Please provide site lighting at the entrance to the site off Wixom Road and show it on the photometric plan.**

7. Economic Impact Information: The requested economic impact information has not been provided at this time. **Please provide a total estimated cost of the project and the number of jobs it is anticipated to create (temporary construction jobs and permanent jobs).**
8. Development/Business Sign: At this time, a business sign has only been shown on the renderings. **Please show the location of any entranceway signs if proposed as deviations from the sign ordinance may be included in the Consent Judgment if approved.**
9. Lighting & Photometric Plan (Sec. 5.7): There are several items that should be addressed on the photometric plan with the next submittal as listed below.
 - a. Lighting Specifications (Sec. 5.7.A.2.ii): **Please provide specification sheets for the proposed light fixtures, fixture mounting detail, fixture design, and fixture hours of operation.**
 - b. Minimum Illumination (Sec. 5.7.3.K): **Please revise the main entrances to buildings to meet the 1 fc minimum (0.8 fc shown).**



CONDITIONS OF ANY AMENDMENT TO THE CONSENT JUDGMENT (IF THE CITY COUNCIL AGREES TO THE AMENDMENT)

The Amendment to a Consent Judgment typically involves a concept plan and specific conditions in conjunction with the request. The applicant and City Council would need to eventually agree on a series of conditions to be included as part of the approval before the judgment goes before court.

The applicant is required to submit a conceptual plan and a list of terms that they are willing to include within the agreement. The applicant has submitted a conceptual plan showing the general layout of the driveways, parking, building, stormwater detention, and a general layout of landscaping throughout the development. The applicant has provided a narrative describing the proposed public benefits. At this time, staff can identify some conditions to be included in the agreement **if** the current design moves forward:

1. Use: The use of the site shall be limited to 160 multi-family units consisting of one building no greater than the building footprint shown on the concept plan.
2. Density: The unit density of the site shall not exceed the density requirements for the RM-2 district.
3. Parking: The proposed development shall provide sufficient parking as required by the Zoning Ordinance or through a shared parking study as part of the site plan submittal that indicates sufficient parking is provided.
4. Open Space: The overall open space of the site shall be a minimum of 40% of the site and any existing preservation easements shall be maintained.

Development and use of the property shall be subject to the more restrictive requirements shown or specified on the plan, and/or in the conditions imposed, and/or in other conditions and provisions

set forth in the Amendment.

ORDINANCE DEVIATIONS

The Amendment to Consent Judgment may permit deviations from the strict interpretation of the Zoning Ordinance if approved by City Council. These deviations must be accompanied by a finding by City Council that *" each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."* Such deviations must be considered by City Council, who will make a finding of whether to include those deviations in the proposed amendment. The proposed amendment would be considered by City Council after tentative approval of the proposed concept plan and amendment.

Staff has reviewed the Concept Plan provided in as much detail as possible to determine what deviations from the Zoning Ordinance are currently shown. The applicant may choose to revise the concept plan to better comply with the standards of the Zoning Ordinance or may proceed with the plan as submitted with the understanding that those deviations would have to be approved by City Council in a proposed Amendment to the Consent Judgment. The following are deviations from the Zoning Ordinance and other applicable ordinances shown on the concept plan.

The applicant has submitted a narrative describing the deviations present in the proposed plans. The deviations identified are as follows:

1. Parking Setbacks (Sec. 3.1.7.D, Sec. 3.6.2.B): The proposed parking lot layouts generally comply with the ordinance requirements. However, two proposed out-lots and the main parking lot do not meet the 20 foot side yard setback requirement or the 75 foot front yard setback requirement. The applicant is requesting a deviation of 10 feet (20 feet required, 10 feet proposed) from the north side yard setback in the west out-lot and a deviation of 30 feet (75 feet required, 45 feet proposed) from the front yard setback in the west out-lot. In addition, the applicant is requesting a deviation of 8.29 feet (20 feet required, 11.71 feet proposed) from the north side yard setback in the north out-lot. The applicant is also requesting a deviation of 5 feet (75 feet required, 70 feet proposed) from the front yard setback in the main parking lot.

Staff Comment: Staff supports the request for this deviation as the proposed parking lots are necessary to provide sufficient parking for the development as long as there are not any conflicts with existing easements or required landscaping.

2. Maximum Number of Units (Sec. 3.8.1.B.ii): The proposed unit mix exceeds the maximum percentage allowed for both efficiency units and one bedroom units. The applicant is requesting a deviation of 5.3% (10% required, 15.3% proposed) for efficiency units and a deviation of 9.6% (33% required, 42.6% proposed) for one bedroom units.

Staff Comment: Staff supports this deviation as the applicant has provided additional 2-bedroom units (64 units, 40.8%) to help provide a good balance of units for the proposed development.

3. Maximum Length of the Buildings (Sec. 3.8.2.C): A single building cannot exceed 180 feet in length. The applicant is requesting a deviation of 188 feet (180 feet required, 368 feet proposed) for the building length.

Staff Comment: Staff supports the request for this deviation as the proposed building fits the design of the site more cohesively than previous proposals.

4. Building Orientation (Sec. 3.8.2.D): The proposed buildings are required to be oriented 45° in relation to the property lines. Currently, the proposed buildings are oriented parallel to the property lines.

Staff Comment: Staff supports the request for this deviation as the proposed building fits the design of the site more cohesively than previous proposals.

5. Yard Setback Restrictions (Sec. 3.8.2.E): Within any required yard setback, off-street parking, maneuvering lanes, service drives, or loading areas cannot exceed 30% of the required yard area. The applicant is requesting a deviation of 17.96% (30% required, 47.96% proposed) from this requirement.

Staff Comment: Staff supports the request for this deviation as long as there are not any conflicts with required landscaping or usable open space.

6. Off-Street Parking or Related Drives (Sec. 3.8.2.F): Off-street parking shall be no closer than 25 feet to any wall of a dwelling structure that contains openings involving living areas and off-street parking shall be no closer than 20 feet from any property line. Currently, neither of these requirements are met. The applicant is requesting a deviation of 8 feet (25 feet required, 17 feet proposed) from the setback requirements from living areas and a deviation of 10 feet (20 feet required, 10 feet proposed) from the property line setback requirements.

Staff Comment: Staff supports the request for this deviation as the layout of the parking lot does not negatively impact the site with the proposed setbacks.

7. Pedestrian Connectivity (Sec. 3.8.2.G): 5 foot wide sidewalks are required on both sides of the proposed private access drive. A 7 foot wide sidewalk connecting to Target on the south side of the property has been provided. However, a sidewalk located on the north side of the property is still required.

Staff Comment: Staff supports this request as pedestrian connectivity has been maximized given the site constraints.

8. Number of Parking Spaces (Sec. 5.2.12.A): Based on current calculations, 315 parking spaces are required and only 247 are provided. The applicant is requesting a deviation of 68 parking spaces (315 required, 247 provided).

Staff Comment: Staff supports this request if a shared parking study and narrative is provided to show that sufficient parking exists.

9. Maneuvering Lanes (Sec. 5.3.2): A minimum maneuvering lane width of 24 feet is required when adjacent to parking. The applicant is requesting a deviation of 2 feet (24 feet required, 22 feet proposed).

Staff Comment: Staff supports this request if fire access and traffic access to the parking spaces is not impeded.

10. Parking on Major and Minor Drives: Off-street parking shall be no closer than 25 feet to any wall of a dwelling structure that contains openings involving living areas. In addition, it is not permitted on a major drive. The applicant is requesting a deviation of 8 feet (25 feet required, 17 feet proposed) from the setback requirements and requests a deviation allowing parking on a major drive.

Staff Comment: Staff supports the request for this deviation as the layout of the parking lot does not negatively impact the site with the proposed setbacks or traffic flow.

11. Pedestrian Connectivity (Sec. 3.8.2.G): Five foot wide sidewalks are required on the north and south portion of the site. Currently, the applicant is only proposing a five foot wide sidewalk on the south portion of the site and a five foot sidewalk connecting to the west out-lot. The applicant is requesting a deviation from providing a required five foot sidewalk along the north portion of the site that connects to the Wixom Road sidewalk system.

Staff Comment: Staff supports this request as pedestrian connectivity has been maximized given the site constraints.

12. Gross Building Area – Retail (Item 12, A, Consent Judgment): Per the Consent Judgment, Retail “B,” which is proposed to be located on this property, shall not exceed 100,000 square feet in total square footage. The proposed development is estimated to be 183,300. The applicant is requesting a deviation of 83,300 gross square feet (100,000 square feet required, 183,300 square feet proposed).

Staff Comment: Staff supports the request for this deviation so long as the proposed use is considered compatible by the Planning Commission and City Council.

13. Parking (Item 12, E, Consent Judgment): Per the Consent Judgment, a total of 1,725 parking spaces shall be provided between Retail A, B, and C. 1,470 total spaces are proposed for Retail A,B, and C. The applicant is requesting a deviation of 255 parking spaces (1,725 required, 1,470 proposed).

Staff Comment: Staff supports the request for this deviation so long as the Traffic Impact Study is approved, and a shared parking study and narrative is provided as part of the site plan submittal.

14. Entranceway Sign (City Code Section 28.3): A proposed entranceway sign appears on the rendering provided with the site plan. The dimensions of the proposed entranceway sign are unclear and will be provided at a later date. The applicant is requesting a deviation of 91 square feet in size (24 square feet required, 115 square feet proposed).

Staff Comment: Staff supports the request for this deviation so long as the signage is designed in a manner that complements the design of the site.

NEXT STEPS

Once all outstanding review comments have been addressed, and provided there is support for moving forward with the amendment, the Concept Plan would be presented to the Planning Commission for public hearing after preliminary discussion with the Master Planning & Zoning Committee. Following the hearing, the Planning Commission would either make a recommendation to City Council or postpone pending further information. City Council would make the final determination on the Concept Plan and Amendment to the Consent Judgment. There is no obligation on the City Council’s part to agree to an amendment.

If approved, the applicant will still need to seek the required approvals from Planning Commission for the Preliminary Site Plan, Stormwater Management Plan, Woodland Use Permit, Wetland Use Permit, and any other applicable provisions at the time of site plan review.

The following elaborations on each of the steps in an amendment process depend, of course, on whether the City decides to move the question forward. City Council could, for example, determine at any step in the process outlined here that it does not intend to amend the Consent Judgment.

FUTURE STEP: PLANNING COMMISSION PUBLIC HEARING

Once all outstanding review comments have been addressed, the Concept Plan will be scheduled for a public hearing before the Planning Commission. Following the hearing, the Planning Commission will either make a recommendation to City Council or postpone pending further information. If a recommendation is made, the Concept Plan will then be scheduled for consideration by the City Council. If the City Council grants tentative approval at that time, they will direct the City Attorney to draft an Amendment to the Consent Judgment describing the terms of the Amendment. If approved, the applicant will still need to seek the required approvals from Planning Commission for the Preliminary Site Plan, Stormwater Management Plan, Woodland Use Permit, Wetland Use Permit, and any other applicable provisions.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or ccarroll@cityofnovi.org.



Christian Carroll, Planner



PLANNING REVIEW CHART: B-2, Community Business w/Consent Judgment

Review Date: May 22, 2023
Review Type: Revised Consent Judgment Concept Plan
Project Name: **JSP23-02 STATION FLATS**
 50-22-17-101-032; East of Wixom Rd, South of Grand River Ave
Plan Date: May 5, 2023
Prepared by: Christian Carroll, Planner
E-mail: ccarroll@cityofnovi.org **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant with next submittal. *Italicized* items should be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan	Community Commercial	Multiple-Family Residential – Land Use Narrative provided.	No	<i>As the Master Plan did not envision multiple-family use, it will need to be reviewed by Master Plan & Zoning Committee of the Planning Commission.</i>
Zoning	B-2, Community Business (Consent Judgment)	RM-2, High-Density, Mid-Rise Multiple-Family Residential	No	An amendment to the consent judgment would be required.
Uses Permitted (Sec 3.1.11.B & C)	B-2 Uses permitted listed in Section 3.1.11.B & C	Multiple-Family Residential (RM-2)	No	<i>All review comments below pertain to the current Consent Judgment and the proposed change to RM-2 Zoning.</i>
Residential: Height, Bulk, Density, and Area Limitations (Sec. 3.1.8.D)				
Frontage on a Public Street (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Wixom Road	Yes	
Access to a Major Thoroughfare (Sec. 5.13)	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive OR access driveway on other street type is not across street from existing or planned single-family uses	Complies	Yes	
Minimum Zoning Lot Size for each Unit: in Acres (Sec 3.8.1)	RM-2 Required Conditions <u>See below</u>	Unit mix and height provided	Yes	
Minimum Zoning Lot Size for each Unit: Width in Feet (Sec 3.8.1)		Unit mix and height provided	Yes	
Open Space Area (Sec. 3.1.8.D)	200 sf Minimum usable open space per dwelling unit For a total of 157 dwelling units, <u>required Open Space: 31,400 SF</u>	Courtyards: 16,200 sf Balconies: 11,055 sf Designated open space: 4,000 sf Total: 31,475 sf	TBD	The proposed designated open space is located within a conservation easement and would not be permitted. Please revise the location or seek a deviation for reduced usable open space.
Maximum % of	25%	4.24%	Yes	

Item	Required Code		Proposed	Meets Code	Comments
Lot Area Covered (By All Buildings)					
Building Height (Sec. 3.1.8.D)	65 ft or 5 stories, whichever is less		4 stories, 46 ft tall	Yes	
Minimum Floor Area per Unit (Sec. 3.1.8.D)	Efficiency	400 sf	500 sf	Yes	
	1 bedroom	500 sf	720 sf	Yes	
	2 bedroom	750 sf	860 sf	Yes	
	3 bedroom	900 sf	1,600 sf	Yes	
	4 bedroom	1,000 sf	None	NA	
Maximum Dwelling Unit Density/Net Size Area (Sec. 3.1.8.D)	Efficiency	Max 10%	15.3%, 24 units/8.64 net ac = 2.77 du/ac	No	Please update the percentage in Sheet C-3.0 as it is incorrect. See max number of units
	1 bedroom and Live/Work (1 bedroom)	31.1 du/net ac. Max 33%	38.2% + 4.4% = 42.6%, (60 + 7)/8.64 net ac = 7.75 du/ac	No	Please update the percentage in Sheet C-3.0 as it is incorrect. See max number of units
	2 bedroom	20.7 du/net ac.	40.8%, 64/8.64 net ac = 7.41 du/ac	No	Please update the percentage in Sheet C-3.0 as it is incorrect. See max number of units
	3+ bedroom	15.6 du/net ac.	1.3%, 2/8.64 net ac = 0.23 du/ac	No	See max number of units.
Residential Building Setbacks (Sec. 3.1.8.D, Sec. 3.6.2.B, and Sec. 3.8.2.C - if applicable)					
Front (West)	75 feet		103.21 feet	Yes	
Side (North)	75 feet		163.89 feet	Yes	
Side (South)	75 feet		660.79 feet	Yes	
Rear (East)	75 feet		484.48 feet	Yes	
Parking Setbacks (Sec. 3.1.8.D) Refer to applicable notes in Sec. 3.6.2					
Front (West)	75 feet (Street frontage)		~45 feet (west out lot), ~70 feet (main lot)	No	Deviations requested as part of the Consent Judgment.
Side (North)	20 feet		10 feet (west out lot), 11.71 feet (north out lot)	No	Deviation requested as part of the Consent Judgment.
Side (South)	20 feet		Complies	Yes	
Rear (East)	20 feet		Complies	Yes	
RM-2: Note to District Standards (Sec. 3.6.2)					
Area Requirements (Sec. 3.6.2.A)	Pursuant to the definition contained in Section 2.2, lot width shall be measured between the two points where the front setback line intersects the side lot lines. Within the residential districts, where a main building is		Reduction not proposed at this time	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	<p>placed behind the front setback line, the distance between the side lot lines shall not be reduced below 90% of the required minimum lot width at any point between the front set back line and such main building. The purpose of this amendment is to protect against the creation within the city of irregularly-shaped flag lots.</p>			
<p>Structure Setback Requirements (Sec. 3.6.2.B)</p>	<p>For all uses permitted other than single-family or two-family residential, the building or structure setback shall at least equal to: (1) the height of the main building; (2) seventy-five (75) feet; or (3) the setback required in the Development Standards of Section 3.1 of this Ordinance, whichever is greater. However, the minimum building setback from access streets may be reduced to fifty (50) feet for fire department structures where quick access to the street network is required. For all off-street parking lots serving any use other than single-family residential, the setback from any interior side or rear lot line shall be not less than twenty (20) feet, and the setback from the front and any exterior side lot line shall comply with the building setback required for such uses specified above. Further, for churches there shall be no parking in the front yard. (See also Section 4.10.)</p>	<p>75 foot building setback from all property lines is required and is met.</p> <p>Off-street parking lot in the two out lots do not meet 20 foot minimums.</p>		<p><i>The minimum building setback from access streets may be reduced to 50 feet for fire department structures where quick access to the street network is required.</i></p> <p>Off-street parking lots shall not be setback less than 20 feet from any interior side or rear lot line. Deviation requested as part of the Consent Judgment.</p>
<p>Exterior Side Yard Abutting a Street (Sec 3.6.2.C)</p>	<p>All exterior side yards abutting a street shall be provided with a setback equal to front yard.</p>	<p>Complies</p>	<p>Yes</p>	
<p>Wetland/Watercourse Setback (Sec 3.6.2.M)</p>	<p>A setback of 25ft from wetlands and from high watermark course shall be maintained</p>	<p>Shown</p>	<p>Yes</p>	<p>Authorization to Encroach into Wetland Buffer Area will be required.</p>
<p>RM-2 District Required Conditions (Sec. 3.8 & 3.10)</p>				

Item	Required Code	Proposed	Meets Code	Comments
Total number of rooms (Sec. 3.8.1.B)	Total No. of rooms < Net site area in SF/700 <i>376,534 SF/700 = 538</i>	358 rooms	Yes	
Public Utilities (Sec. 3.8.1)	All public utilities should be available	Shown	Yes	
Maximum Number of Units (Sec. 3.8.1.B.ii)	Efficiency < 10 percent of the units	15%	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
	1 bedroom units < 33 percent of the units	42.6%	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
	Balance should be at least 2 bedroom units	42.1% - percentages are closer than previous submittal	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Room Count per Dwelling Unit Size (Sec. 3.8.1.C) <i>An extra room such as den, library or other extra room count as an additional bedroom</i>	Dwelling Unit Size	Room Count *		
	Efficiency	1	24 units – 24 rooms	Yes
	1 bed* (live/work included)	2	67 units – 134 rooms	Yes
	2 bedroom	3	64 units – 192 rooms	Yes
	3 or more bedrooms	4	2 units – 8 rooms	Yes
For the purpose of determining lot area requirements and density in a multiple-family district, a room is a living room, dining room or bedroom, equal to at least eighty (80) square feet in area. A room shall not include the area in kitchen, sanitary facilities, utility provisions, corridors, hallways, and storage. Plans presented showing one (1), two (2), or three (3) bedroom units and including a "den," "library," or other extra room shall count such extra room as a bedroom for the purpose of computing density.				
Setback along natural shoreline (Sec. 3.8.2.A)	A minimum of 150 feet along natural shoreline is required.	No shoreline	NA	
Structure frontage (Sec. 3.8.2.B)	Each structure in the dwelling group shall front either on a dedicated public street or approved private drive.	Drives will be private	Yes	
Maximum length of the buildings (Sec. 3.8.2.C)	A single building or a group of attached buildings cannot exceed 180 ft.	368 feet	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Modification of maximum length (Sec. 3.8.2.C)	Planning Commission may modify the extra length up to 360 ft if common areas with a minimum capacity of 50 persons for recreation or social purposes. Additional setback of 1 ft. for every 3 ft. in excess of 180 ft. from all		NA	<i>Applicant is not seeking a modification at this time.</i>

Item	Required Code	Proposed	Meets Code	Comments
	property lines.			
Building Orientation (Sec. 3.8.2.D)	Where any multiple dwelling structure and/ or accessory structure is located along an outer perimeter property line adjacent to another residential or nonresidential district, said structure shall be oriented at a minimum angle of 45 degrees to property line.	Building is not currently angled, required to be angled 45°	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Yard setback restrictions (Sec. 3.8.2.E)	Within any front, side or rear yard, off-street parking, maneuvering lanes, service drives or loading areas cannot exceed 30% of yard area	47.96%	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Off-Street Parking or related drives (Sec. 3.8.2.F)	No closer than 25 ft. to any wall of a dwelling structure that contains openings involving living areas	17 ft	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
<i>Off-street parking and related drives shall be...</i>	No closer than 8 ft for other walls	17 ft	Yes	
	No closer than 20 ft from ROW and property line	10 ft	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Pedestrian Connectivity (Sec. 3.8.2.G)	5 feet sidewalks on both sides of the Private drive are required to permit safe and convenient pedestrian access.	7 foot wide sidewalk connecting to Target. No sidewalk on the north side.	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
	Where feasible sidewalks shall be connected to other pedestrian features abutting the site.	Connected to main sidewalk system via Target.	Yes	
	All sidewalks shall comply with barrier free design standards	Barrier free markings shown	TBD	See Traffic Review for more information.
Minimum Distance between the buildings (Sec. 3.8.2.H)	(Total length of building A + total length of building B + 2(height of building + height of building B))/6		NA	<i>One building proposed.</i>
Minimum Distance between the buildings (Sec. 3.8.2.H)	In no instance shall this distance be less than thirty (30) feet unless there is a corner-to-corner relationship in which case the minimum		NA	<i>One building proposed.</i>

Item	Required Code	Proposed	Meets Code	Comments
	distance shall be fifteen (15) feet.			
Number of Parking Spaces Residential, Multiple-family (Sec. 5.2.12.A)	Two (2) for each dwelling unit having two (2) or less bedrooms and two and one-half (2 ½) for each dwelling unit having three (3) or more bedrooms 2 x (7 L/W + 24 studio + 60 1-bed + 64 2-bed) = 310 2.5 x 2 3-bed = 5 Spaces Required: 315	247 spaces are provided ITE Calculation shows 1.1539 spaces per dwelling unit = 238 spaces	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment. See the Traffic Review for more information.
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	4" curb with 9' x 17' spaces	No	Minimum width of a maneuvering lane is 24 feet when parking is proposed. Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall	End Islands provided	Yes	The end island located on the northwest corner of the site does not meet minimum square footage requirements. See Landscape Review for more information.
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	25 feet (1 space in out lot)	Yes	
Barrier Free Spaces Barrier Free Code	With 321 spaces required, 6 standard BF and 2 van-accessible BF spaces required	6 van accessible, 2 standard	Yes	
Barrier Free Space Dimensions Barrier Free Code	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces	8' wide with curb, 8' access	Yes	
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space.	Shown	Yes	
Corner Clearance (Sec. 5.9)	No fence, wall plant material, sign or other obstruction shall	Shall comply	Yes	See Landscape Review.

Item	Required Code	Proposed	Meets Code	Comments
	be permitted within the clear view zone above a height of 2 feet from established street grade			
Minimum number of Bicycle Parking (Sec. 5.16.1) <u>Multiple-family residential</u>	One (1) space for each five (5) dwelling units Required: 32 Spaces	24 exterior spaces shown, 8 interior spaces	Yes	
Bicycle Parking General requirements (Sec. 5.16)	No farther than 120 ft. from the entrance being served	Complies	Yes	
	When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations	Complies	Yes	
	Spaces to be paved and the bike rack shall be inverted "U" design Shall be accessible via 6 ft. paved sidewalk	Complies	Yes	
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Complies	Yes	
Additional Road Design, Building Setback, And Parking Setback Requirements, Multiple-Family Uses (Sec. 5.10)				
Road standards (Sec. 5.10)	A private drive network within a cluster, two-family, multiple-family, or non-residential uses and developments shall be built to City of Novi Design and Construction Standards for local street standards (28 feet back-to-back width)	Minimum 28 feet wide	Yes	
Major Drives	Width: 28 feet, no parking	Minimum 28 feet wide	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Minor Drive	- Cannot exceed 600 feet - Width: 24 feet with no on-street parking - Width: 28 feet with parking on one side - Parking on two sides is not allowed - Needs turn-around if longer than 150 feet	None shown	NA	
Parking on Major and Minor Drives	- Angled and perpendicular parking, permitted on minor	All conditions met, except the	No	Applicant is requesting a deviation from this

Item	Required Code	Proposed	Meets Code	Comments
	drive, but not from a major drive; - minimum centerline radius: 100 feet - Adjacent parking and on-street parking shall be limited near curves with less than two-hundred thirty (230) feet of centerline radius - Minimum building setback from the end of a parking stall shall be 25 feet in residential districts.	minimum building setback appears to be 17 feet		requirement as part of the Consent Judgment.
Accessory and Rooftop Structures (Sec. 4.19)				
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	<ul style="list-style-type: none"> - In Rear Yard - Complies - Complies - Complies - Complies 	Yes	
Dumpster Enclosure (Sec. 21-145. (c) Chapter 21 of City Code of Ordinances)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	<ul style="list-style-type: none"> - Screening not sufficient - 6 ft tall - Complies - Complies - Complies - Masonry 	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Shown – will be required to be screened	TBD	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Shown – will be required to be screened	TBD	
Sidewalks and Other Requirements				
Non-Motorized Plan	No additional pathways shown.	None shown	NA	

Item	Required Code	Proposed	Meets Code	Comments
Sidewalks (Subdivision Ordinance: Sec. 4.05)	Sidewalks are required on both sides of proposed drives	Only shown on one side (Target)	No	Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Public Sidewalks (Chapter 11, Sec.11-276(b), Subdivision Ordinance: Sec. 4.05)	Connection to main sidewalk on Wixom Road required.	Connection provided	Yes	
Entryway lighting (Sec. 5.7.N)	One streetlight is required per entrance.	Photometric plan provided	TBD	Lighting may be required along entry drive.
Consent Judgment Requirements - Attached				
Total Green and Open Space (Item 11, A)	-The total green and open space, including preservation areas and interior landscaping, shall be preserved and maintained by the Developer on the property, and shall be a minimum of 40% of the total (not including 2.34 acres of right-of-way) land area. - The area depicted on Exhibit B as "Preserved Woodlands, Wetland and Storm Water Detention" shall be permanently preserved, and prior to the issuance of any development approval, the Developer shall execute and record the Conservation Easement attached as Exhibit C prior to any site development approvals [...]	80%	Yes	
Landscape Areas (Item 11, B)	The landscape areas [...] shall be constructed and preserved by the Developer, and shall be subject to the maintenance obligations set forth in this judgment.	Shall comply	Yes	See Landscape Review.
Gross Building Area – Retail (Item 12, A)	Retail "B" located on this property, which shall not exceed 100,000 square feet.	183,300 gross square feet	No	The proposed square footage of the site exceeds 100,000 square feet. Applicant is requesting a deviation from this requirement as part of the Consent Judgment.
Uses Permitted (Item 12, B)	Retail "A," "B" and "C" shall conform to the uses permitted in the B-2 zoning district as described in the City of Novi	RM-2 Proposed.	No	Amendment to the Consent Judgment will be required.

Item	Required Code	Proposed	Meets Code	Comments
	Zoning Ordinance [...]			
Uses Not Permitted (Item 12, D)	Arcades and adult business uses (or any other uses involving sexually explicit activities, all as defined in the City Zoning Ordinance, as amended) shall not be permitted.	Not proposed	Yes	
Parking (Item 12, E)	Plaintiffs shall provide 1,725 parking spaces for Retail "A," "B" and "C."	247 spaces proposed. 1,470 spaces for Retail A-C.	No	Applicant is requesting a deviation of 255 total spaces from this requirement as part of the Consent Judgment.
Building Code and Other Requirements				
Woodlands (City Code Ch. 37)	Replacement of removed trees	No impacts.	NA	<i>Woodland & Wetland Area to be preserved.</i>
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	Proposed retaining wall impacting wetland area.	TBD	See Wetland Review.
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Generally provided	Yes	<i>Additional sheets may be requested, as necessary.</i>
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Generally provided	Yes	
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	None provided	No	Please provide listed information (i.e., estimated cost, jobs) with the next submittal.
Building Exits	Building exits must be connected to sidewalk system or parking lot.	Complies	Yes	
Phasing	All projects must be completed within two years of the issuance of any starting permit or phasing plan should be provided	One phase	NA	
Other Permits and Approvals				

Item	Required Code	Proposed	Meets Code	Comments
Development/ Business Sign (City Code Sec 28.3)	The leading edge of the sign structure shall be a minimum of 10 ft. behind the right-of-way. Entranceway shall be a maximum of 24 square feet, measured by completely enclosing all lettering within a geometric shape. Maximum height of the sign shall be 5 ft.	Appears on rendering, not shown on plan	No	Show the location of any entranceway signs if proposed; deviation from sign ordinance has been requested.
Project & Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	One street name approved	Yes	Contact Diana Shanahan at 248.347.0475 or via email dshanahan@cityofnovi.org
Parcel Split or Combination or Condominium Approval	Any parcel splits or combinations or condominium approvals must be completed before Stamping Set approval.	None proposed	NA	
Other Legal Requirements				
Master Deed/Covenants and Restrictions	Applicant is required to submit this information for review with the Final Site Plan submittal	Not applicable at this moment	TBD	<u>If proposed, Master Deed draft shall be submitted prior to Stamping Set approval.</u>
Conservation easements	Conservation easements may be required for woodland impacts	Additional wetland and woodland easements may be required	TBD	<u>Draft documents would be required prior to stamping set approval.</u>
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided	Yes	
Lighting Plan (Sec. 5.7.2.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Provided	Yes	
Lighting Specifications (Sec. 5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Not provided	No	Provide specification sheets for light fixtures, mounting detail and design, hours of operation.
	Photometric data	Provided	Yes	
	Fixture height	Max 20 feet	No	
	Mounting & design	Not provided	No	

Item	Required Code	Proposed	Meets Code	Comments
	Glare control devices (Also see Sec. 5.7.3.D)	Appears to comply	Yes	
	Type & color rendition of lamps	LED Lamps	Yes	
	Hours of operation	Not provided	No	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided	Yes	
Max Height (Sec. 5.7.3.A)	Height not to exceed maximum height of 25 feet	Max 20 feet	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Provided	Yes	
Security Lighting (Sec. 5.7.3.H)	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Complies	Yes	
Average Light Level (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Generally complies	Yes	
Lighting Type (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED Lighting	Yes	
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 fc min	0.5 fc	Yes	Revise the main entrances to meet 1.0 foot candle minimum.
	Loading & unloading areas: 0.4 fc min	1 fc	Yes	
	Walkways: 0.2 fc min	0.3 fc	Yes	
	Building entrances, frequent use: 1.0 fc min	0.8 fc	No	
	Building entrances, infrequent use: 0.2 min	0.4 fc	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	0.5 fc	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level	Not applicable	NA	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

March 30, 2023

Engineering Review

Station Flats

JSP23-02

Applicant

MF Novi, LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Wixom Rd between Grand River Ave & 11 Mile Rd.
- Site Size: 24.77 acres
- Plan Date: 3/9/2023
- Design Engineer: PEA Group.

Project Summary

- Construction of a four-story building and associated parking. Site access would be provided via Public or Private roadways.
- Water service would be provided by an extension from the existing 12-inch water main along the northern side of the development. A domestic lead and a fire lead would be provided to serve the building, along with four additional hydrants.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer along the western side of the development.
- Storm water would be collected by a single storm sewer collection system and conveyed to an existing detention basin in the southern region of the development.

Recommendation

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Comments:

The Preliminary Site Plan does not meet the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual. The following items must be addressed prior to resubmittal:

1. The plans shows that the storm collection system discharges to the existing storm sewer system. Provide all documents and calculations to show if the existing detention pond will accommodate the storm water discharge.
2. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).
3. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water to the existing basin including providing justification that the basin and outlet control structure is sized to accommodate the runoff from the proposed development. If existing pre-treatment systems are not sized for this development, then a new one will be required before drainage is sent to the existing basin.
4. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr.), resulting in a flow rate of approximately TBD CFS. Higher flows shall be bypassed.
5. Provide calculations for the Time of concentration according to section 5.5.1.C of the Design Manual.
6. Provide the 10- year conveyance calculations Table as required in Section 5.4 of the Design Manual.
7. Provide supporting calculations for the runoff coefficient determination.
8. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns) and 0.95 shall be used for all impervious surfaces.
9. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
10. Provide profiles for all storm sewer 12-inch and larger.
11. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
12. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
13. Illustrate all pipes intersecting storm structures on the storm profiles.
14. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
15. An easement is required over the storm sewer accepting and conveying off-site drainage.
16. A 25-foot vegetated buffer shall be provided around the perimeter of each storm water basin. This buffer cannot encroach onto adjacent lots.

Additional Comments (to be addressed upon Final Site Plan submittal):

General

17. A full engineering review was not performed due to the limited information provided in this submittal. Further information related to the utilities, easements, etc. will be required to provide a more detailed review.
18. The site plan shall be designed in accordance with the Design and Construction Standards (Chapter 11).
19. A right-of-way permit will be required from the City of Novi.
20. Provide the access agreement for the properties adjacent to this development (Target, Sam's Club, and Siddiqui Properties LLC).
21. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan submittal highlighting the changes made to the plans and addressing each of the comments in this review.
22. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets) and Boardwalks/Pathways (1 sheet). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
23. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas and illustrate and label on the profiles.
24. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
25. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
26. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
27. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
28. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
29. Refer to the City standard details for the proposed design.
30. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a

- radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.
31. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Water Main

32. Our records show that there is an existing 12-inch water main on the west side of the building that can be extended to serve the proposed development.
33. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
34. Provide a Water Main basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 2.5).

Sanitary Sewer

35. Extend the proposed sanitary sewer monitoring manhole easement to the existing public sewer easement.
36. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 REU).
37. Provide a note on the Utility Plan stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.

Paving & Grading

38. Provide existing topography and 2-foot contours extending at least 100 feet past the site boundary. Any off-site drainage entering this site shall be identified.
39. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
40. Provide a note on the Grading Plan stating that the proposed pathway within the road right-of-way shall match existing grades at both ends.
41. Show proposed grades for all adjusted sanitary, water, and storm structures.
42. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms. Numerous areas appear to exceed this standard.

43. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.
44. Dimensions of parking stalls abutting a curb or sidewalk are to the face of curb or walk. All other dimensions are to back of curb unless otherwise indicated.
45. Provide a line designation representing the effective 19-foot stall length for 18-foot perimeter stalls.
46. Curbing and walks adjacent to the end of 18-foot stalls shall be reduced to 4-inches high (rather than the standard 6-inch height to be provided adjacent to 19-foot stalls). Provide additional details as necessary.
47. Retaining wall sheets shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.
48. A License Agreement will be required for the proposed retaining wall within any utility easements. A plan view and cross-section shall be included with the agreement showing the relationship between the wall foundation and the existing/proposed utility.

Flood Plain

49. Flood plain does not appear to be impacted by this development.

Soil Erosion and Sediment Control

50. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>

Agreements

51. A license Agreement will be required for the retaining wall proposed within the existing sanitary sewer/water main easement. The agreement shall state that the wall and all site facilities within the influence of the wall that may be removed or damaged in the event the utility requires maintenance will be **the responsibility of the property owner** to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the wall foundation and the utility. A template agreement is available from the Engineering Division.

The following must be submitted with the Final Site Plan:

52. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

The following must be submitted with the Stamping Set:

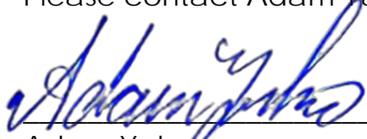
(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

53. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
54. A draft copy of the 20-foot-wide easement for the sanitary sewer monitoring manhole access to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
55. A draft copy of the 20-foot-wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Yako at (248)735-5695 with any questions.



Adam Yako
Project Engineer

cc: Christian Carroll, Community Development
Adam Chludzinski, Engineering
Ben Croy, City Engineer
Humna Anjum, Project Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
May 22, 2023
Station Flats
Revised Preliminary Site Plan - Landscaping

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP23-0002

Property Characteristics

- Site Location: Wixom Road, south of Sam's Club
- Site Acreage: 24.78 ac.
- Site Zoning: I-1 Proposed RM-1 with PRO
- Adjacent Zoning: North, East, South, West: I-1 (Commercial Use)
- Plan Date: 5/4/2023

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal and underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendation:

Left blank on purpose

LANDSCAPE WAIVERS REQUIRED FOR PROPOSED LAYOUT:

- Lack of screening berm between I-1 and RM-1 on north side – *supported by staff as the proposed screening is not complete and may not provide sufficient audible buffering*
- Removal of woodland replacement trees from east side of site without replacements – *not supported by staff*
- Two bays of parking greater than 15 spaces without a landscaped island – *not supported by staff.*
- Insufficient area provided for a tree – *not supported by staff.*

Please revise the landscaping to correct the conditions requiring the unsupported waivers.

Please add the city project number, JSP23-0002, to the bottom right corner of the Krieger/Klatt cover sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. A tree chart must be provided to match the tree chart.
2. A woodland use permit is required for the removal of those trees, which would either need to be replaced on the site, or a contribution to the tree fund would be required for

- any replacements not planted on the site.
- 3. No woodland replacements are proposed.
- 4. **A landscape waiver is required for the lack of the tree replacements.** *It is not supported by staff.*
- 5. **Only plants native to Michigan may be planted in the conservation easement.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

- 1. The residential project is adjacent to I-1 zoned property with a commercial use. At a minimum, a 6-8 foot tall, landscaped berm is required between the uses. No such berm is proposed. A 10-foot-tall evergreen hedge is proposed along the north and eastern edge of Parking Lot 2.
- 2. No screening is provided on the west edge of Parking Lot 2 or the north end of the western parking area.
- 3. **The evergreen hedge should be extended to wrap around the parking lot and along the north edge of the 7 space bay west of the parking lot to completely screen the loading areas.**
- 4. **The current configuration requires a landscape waiver that would not be supported by staff.**

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

- 1. The project does not require any additional right-of-way berms or landscaping.
- 2. The landscaping in the boulevard island at Wixom Road is in poor condition and an acceptable replacement landscape plan for it is proposed. **The applicant may reduce the number of lindens used in that island if desired to provide more room for them to grow to their full size.**

Multi-family Landscaping:

- 1. **Unit landscaping:**
 - a) Based on the number of ground-floor units (36), 108 unit trees are required for the site. 116 trees are provided, including parking lot trees and subcanopy trees.
 - b) If desired, the excess trees may be removed from the plan.
- 2. **Interior drive trees** - All required interior drive trees are provided.
- 3. **Building foundation Landscaping**
 - a) 35% of the building frontage facing drives are required to be landscaped
 - b) 71% of the west side of the building are proposed to be landscaped.
 - c) Detailed foundation landscaping plans are required on the Final Site Plans.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

- 1. In general, the required parking lot landscaping interior area and trees and perimeter trees are proposed, but there are issues with the bays at the north and south ends of the building that require landscape waivers which *are not supported by staff.*
- 2. **Please see the landscape chart for a detailed discussion of those issues and correct the site plan to address them.**

Plant List (LDM 4, 10)

- 1. 14 of 22 species used (64%) are native to Michigan.
- 2. The tree mix meets the diversity requirements of LDM Section 4.
- 3. Please keep the percentage of native plants close to or greater than 64% when foundation plantings are added.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

No new detention basin is proposed so no new landscaping is required for this project.

Irrigation (LDM 10)

Either a plan for an automated irrigation system, or an alternative method of providing sufficient water for the landscaping's establishment and long-term survival must be provided in the Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or at rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: May 22, 2023
Project Name: JSP23 – 0002: Station Flats
Plan Date: May 4, 2023
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed on the Final Site Plan.

LANDSCAPE WAIVERS REQUIRED FOR PROPOSED LAYOUT:

- Lack of screening berm between I-1 and RM-1 on north side – *not supported by staff as the proposed screening is not complete and may not provide sufficient audible buffering.*
- Removal of woodland replacement trees from east side of site without replacements – *not supported by staff*
- Two bays of parking are greater than 15 spaces without a landscaped island – *not supported by staff.*
- Insufficient area provided for a tree – *not supported by staff.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements – Basic Information (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"-20' minimum with proper North. Variations from this scale can be approved by LA 	<ul style="list-style-type: none"> • Overall Scale 1" = 40' • Detail Scale 1" = 20' 	Yes	
Owner/Developer Contact Information <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	Please add phone number or email address to title block
Project Information <i>(LDM 10)</i>	Name and Address	Location map on L-1.0 shows site location	Yes	
Survey information <i>(LDM 10)</i>	Legal description or boundary line survey	<ul style="list-style-type: none"> • Sheets C-1.1 and C1.2 have survey and description • Southern property line shown on C-1.3 	<ul style="list-style-type: none"> • Yes • Yes 	
Landscape Architect contact information <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	PEA Group – Lynn Whipple	Yes	

Item	Required	Proposed	Meets Code	Comments
Sealed by LA. <i>(LDM 10)</i>	Requires original signature	Yes		<u>Final stamping sets must be sealed by LA and have live LA signature</u>
Miss Dig Note (800) 482-7171 <i>(LDM 10)</i>	Show on all plan sheets	On Site Plans' and Landscape Plans' title block	Yes	
EXISTING CONDITIONS				
Existing plant material Existing woodlands or wetlands <i>(LDM 10.h)</i>	<ul style="list-style-type: none"> • Show location type and size. • Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Tree survey is provided but no corresponding tree chart is • Current wetland delineation by PEA is provided 	<ul style="list-style-type: none"> • Yes/No • Yes 	<ol style="list-style-type: none"> 1. Please add a tree chart for the survey to T-1.0 2. The plan for Novi Promenade (included with this review) shows approximately 38 woodland replacement trees along the eastern and southern sides of the site. The tree survey shows 23 of those, of which 15 or 16 are being removed (it is unclear what is happening with #798). 3. Indicate all trees to be removed on the tree chart. 4. <u>Please show the tree fence at the actual dripline on the plans, not just at the outside of the tree symbol, which may or may not accurately represent the dripline.</u>
Natural Features protection & Woodland Replacements		<ul style="list-style-type: none"> • Existing Conservation Easement is shown • No woodland replacements are indicated. 	<ul style="list-style-type: none"> • Yes • No 	<ol style="list-style-type: none"> 1. <u>Please be sure that proper buffers and protection for adjacent ponds are provided</u> 2. <u>Add the replacements for the removed and missing woodland replacements from the original plan.</u> 3. <u>Per the original plan showing 38</u>

Item	Required	Proposed	Meets Code	Comments
				<u>replacements and the proposed plan which shows 5 being preserved, 33 replacements must be added to the plan. They can be planted in the existing conservation easement if desired.</u>
Soil type (LDM 10)	As determined by Soils survey of Oakland county	Sheet L-1.0	Yes	
Zoning (LDM 10)	<ul style="list-style-type: none"> • Site: I-1 • Proposed: RM-1 with PRO • North, East, South, West: I-1 (Commercial use) 	Sheet L-1.0	Yes	
PROPOSED IMPROVEMENTS (LDM 10)				
Existing and proposed improvements	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> • Yes • Dimensions provided on Sheets C-3.0-C3.2 	Yes	
Existing and proposed utilities	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts 	<ul style="list-style-type: none"> • Proposed utilities are shown on the Utility Plan and Landscape Plans • No light posts are shown on the landscape plan. 	<ul style="list-style-type: none"> • Yes • No 	Please add all proposed light fixtures to the landscape plan and resolve light/tree conflicts.
Proposed topography - 2' contour minimum	Provide proposed contours at 2' interval	Spot elevations and TW/BW elevations are on Sheets C-4.1 and C-4.2	Yes	
Clear Zones	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Berms and ROW Planting				
<ul style="list-style-type: none"> • All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours • Berm should be located on lot line except in conflict with utilities. • Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.3.A)	<u>Residential adjacent to I-1 requires:</u> <ul style="list-style-type: none"> • 10-15 foot tall landscape berm with 6 foot wide crest. • Opacity 80% winter, 	<ul style="list-style-type: none"> • No berm is proposed • A line of evergreen shrubs is proposed along the north edge of 	<ul style="list-style-type: none"> • No • No 	<ol style="list-style-type: none"> 1. A landscape waiver for the lack of the berm is required. 2. The evergreen hedge should be extended to wrap

Item	Required	Proposed	Meets Code	Comments
	90% summer. <u>Residential adjacent to commercial requires:</u> <ul style="list-style-type: none"> • 6-8 foot tall landscape berm with 6 foot wide crest. • Opacity 80% winter, 90% summer. 	the project, except around the sections facing the western Sam's loading area. A note indicates they will be maintained at a 10' ht – no screening beyond the parking lot perimeter trees is proposed there		around the northern parking areas on the west side of the parking lot and north edge of the 7-space bay west of that (but it should not block the hydrant). 3. The applicant must provide some sort of demonstration of the visual and audible screening that will be provided by the proposed configuration. <i>Currently, the landscape waiver would not be supported by staff.</i>
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b) (RM-1)				
Greenbelt width	<ul style="list-style-type: none"> • Adj to parking: 20 ft • Not adj to parking: 34 ft 	Site is over 567 feet from Wixom Road	Yes	
Min. berm crest width	2 ft	0 ft	Yes	
Min. berm height	3 ft	0 ft	Yes	
3' wall	(4)(7)	No wall is proposed		
Canopy deciduous or large evergreen trees (7)(10)(11)	NA – not adjacent to ROW The flowering pear trees and other landscaping in the boulevard island at Wixom Road are in poor condition.	None A plan for replacing the failing entry island landscaping is provided	Yes	As lindens get larger than the existing flowering pears, fewer lindens should be planted in the boulevard island to provide better space for the trees' root systems.
Sub-canopy deciduous trees Notes (5)(6)(10)(11)	NA – not adjacent to ROW	None	Yes	
Canopy deciduous trees in area between sidewalk and curb (10)	NA – not adjacent to ROW	None	Yes	
Multi-Family Residential (Sec 5.5.3.F.iii)				
Multi-family Unit Landscaping (Zoning Sec 5.5.3.F.iii.b)	<ul style="list-style-type: none"> • 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor. • 36 units * 3 = 108 trees 	116 proposed, including 66 deciduous canopy trees, 32 large evergreen trees, 18 subcanopy trees	Yes	1. See the discussion regarding parking lot trees below. 2. If desired, excess multifamily trees may be removed from the

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Up to 25% of requirement can be subcanopy trees 			plan.
Interior Street Landscaping (Zoning Sec 5.5.3.F.iii.b)	<ul style="list-style-type: none"> 1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives. 1125/35 = 32 trees 	32 trees	Yes	
Foundation Landscaping (Zoning Sec 5.5.3.F.iii.b)	35% of building façades facing road must be landscaped	71% of building facing interior drive is landscaped	Yes	<u>Include details at scale of 1"=10' or 1"=20' on Final Site Plans (not Construction Plans)</u>
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C & LDM 5)				
General requirements	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No trees are located in the clear vision zones.	Yes	
Name, type and number of ground cover	As proposed on planting islands	Seed lawn	Yes	
General (Zoning Sec 5.5.3.C)				
Parking lot Islands (Zoning Sec 5.5.3.c.ii, iii)	<ul style="list-style-type: none"> A minimum of 200 SF to qualify 200sf landscape space per tree planted in island. 6" curbs Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> The endcap island at the northwest corner of the building has been reduced to just 53sf which is not enough to support the required tree planted in it. The greenspace east of the walk leading from Lot 3 to the building is now large enough to support a required tree. 	<ul style="list-style-type: none"> No Yes 	Please restore the greenspace in the endcap island at the northwest corner of the building and add the required tree. It can be a multi-family unit tree.
Curbs and Parking stall reduction (Zoning Sec 5.5.3.c.ii)	Parking stall can be reduced to 17' with 4" curb adjacent to a sidewalk of minimum 7 ft.	17 ft spaces except in interior of western parking lot	Yes	
Contiguous space limit (Zoning Sec	Maximum of 15 contiguous spaces	<ul style="list-style-type: none"> The northern bay on the east side 	No	1. Please add a tree adjacent to the

Item	Required	Proposed	Meets Code	Comments
5.5.3.c.ii.o))		of the building has 22 spaces without a tree. <ul style="list-style-type: none"> The bay at the southern end of the building has 18 spaces without a tree. There is no endcap island with a tree at the northwest corner of the building. 		enlarged island east of the southern building entry walk. <ol style="list-style-type: none"> Please add a tree in the island in the eastern 22 space bay Please add a tree to the island shown as a snow deposit area. The snow should be deposited elsewhere. As noted above, there needs to be a tree in the endcap island at the northwest corner of the building. Multi-family unit trees can be used for all of those islands.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas x 7.5%	<ul style="list-style-type: none"> $A = x \text{ SF} \times 7.5\% = A \text{ sf}$ Lot #1 $A = 21676 \times 7.5\% = 1626 \text{ sf}$ Lot #2 $A = 18,454 \times 7.5\% = 1384 \text{ sf}$ Parking Lot #3 $A = 11,512 \times 7.5\% = 862 \text{ sf}$ 			
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 1 %	<ul style="list-style-type: none"> $B = x \text{ SF} \times 1\% = B \text{ sf}$ 	NA		
All Categories				
C = A+B Total square footage of landscaped islands	$A + B = C \text{ SF}$ <ul style="list-style-type: none"> Lot #1: 1626 sf Lot #2: 1384 sf Lot #3: 862 sf 	<ul style="list-style-type: none"> Lot #1: 2013 sf Lot #2: 1719 sf Lot #3: 793 sf 	<ul style="list-style-type: none"> Yes Yes No 	The area provided in an island cannot be counted toward the requirement unless a canopy tree is planted in it.
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> $D = C/200$ Minimum 200sf/tree Lot #1: $1626/200 = 8$ trees Lot #2: $1384/200 = 7$ trees Lot #3: $862/200 = 4$ trees 	<ul style="list-style-type: none"> Lot #1: 8 trees Lot #2: 7 trees Lot #3: 5 trees 	<ul style="list-style-type: none"> Yes Yes Yes 	<ol style="list-style-type: none"> Lot 2 – the 53sf island at the northwest corner of the building is not large enough to support a tree or count toward the total. That island must be restored to 200sf as the tree is

Item	Required	Proposed	Meets Code	Comments
				required as an endcap tree. 2. Lot 3 – there must be a canopy tree in the expanded island east of the walk leading to the building and the area. 3. There must also be a tree in the island marked as snow deposit area. 4. Multifamily unit trees may be used to meet the above requirements.
Parking Lot Perimeter Trees (Zoning Sec 5.5.3.c.ii)	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf • Perimeter trees are not required when the building is within 20 feet of the parking lot. • Lot #1: 606/35 = 17 trees • Lot #2: 439/35 = 13 trees • Lot #3: 200/35 = 6 trees 	<ul style="list-style-type: none"> • Lot #1: 17 trees • Lot #2: 11 trees • Lot #3: 6 trees 	<ul style="list-style-type: none"> • Yes • No • Yes 	1. At least 2 of the perimeter trees are required on the west side Lot 2. 2. Please remove enough of that pavement or the loading zone pavement, or shift the parking lot so a 10 foot green strip along the edges of the paving is provided. 3. Please shift the perimeter tree at the northeast corner of the building to the west so it is within 15 feet of the Lot 2 parking lot. 4. Please switch the two crabapples used as perimeter trees to canopy trees.
Accessway Perimeter (Zoning Sec 5.5.3.C.iv.j)	1 Canopy tree per 35 lf	NA		
Parking land banked	NA	None		
Miscellaneous Landscaping Requirements				
Plantings around Fire Hydrant (Zoning Sec 5.5.3.c.ii.j)	<ul style="list-style-type: none"> • No plantings with matured height greater than 12' within 10 ft. of fire hydrants, manholes, catch 	No hydrants have trees too close to them.	Yes	1. <u>If the building has Fire Department Connector(s) (FDCs), please show them on the Landscape Plans</u>

Item	Required	Proposed	Meets Code	Comments
	basins or other utility structures. • Trees should not be planted within 5 feet of underground lines.			<u>and keep all plants in front of or immediately next to shorter than the FDC.</u> 2. A note regarding spacing is on Sheet L-1.1. <u>Please copy it to Sheet L-1.2.</u>
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes		
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	Seed or other landscaping is proposed and indicated with hatching	Yes	
Snow deposit (LDM 10)	Show leave snow deposit areas on plan in locations where landscaping won't be damaged	Yes	Yes/No	Please do not use the island in the southwest corner of the parking lot for snow deposit It should have a canopy tree planted in it to shade the lot.
Transformers/Utility boxes (LDM 6)	<ul style="list-style-type: none"> • A minimum of 2 ft. separation between box and the plants • Ground cover below 4" is allowed up to pad. • No plant materials within 8 ft. from the doors 	None are shown	TBD	1. <u>Please show transformers and other utility boxes when their locations are determined.</u> 2. <u>If box locations are not determined by final site plans, add a note to plan stating that all utility boxes are to be landscaped per the detail.</u> 3. <u>Please add the city Utility Box planting detail (attached with this review)</u> 4. <u>Please add an allowance of 10 shrubs per box on the plant list and label as such</u>
Detention/Retention Basin Planting requirements (Sec. 5.5.3.e, LDM 3)	<ul style="list-style-type: none"> • Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 ft away from the permanent water line. • Canopy trees must be 	There is no indication of storm calculations	TBD	If the existing detention pond needs to be enlarged or modified, the modified areas must be landscaped per the current ordinance.

Item	Required	Proposed	Meets Code	Comments
	located at 1 per 35lf of the pond rim 10 feet away from the permanent water level <ul style="list-style-type: none"> • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix • Include seed mix details on landscape plan 			
Phragmites australis and Japanese Knotweed control <i>(Zoning Sec 5.5.6.3.i.)</i>	<ul style="list-style-type: none"> • Show on plans all populations of Phragmites australis and/or Japanese knotweed on the site. • If none are found, add a note to that effect. • If any are found, add notes stating that the weed shall be completely removed from the site. This may take several years of consistent treatments to achieve. 	None are noted	TBD	1. There is a very large, dense population of Phragmites in the wetland east of the proposed building. 2. <u>Please show it on T-1 and add plans for its removal. Chemical treatments by a licensed ANC applicator will be required, generally in September and early October.</u>
Landscape Notes and Details– Utilize City of Novi Standard Notes				
Plant List (LDM 4,11) – Include all cost estimates				
Quantities and sizes		On plant list	Yes	
Root type		On plant list	Yes	
Botanical and common names	<ul style="list-style-type: none"> • At least 50% of plant species used, not including seed mixes or woodland replacement trees, must be species native to Michigan. • The non-woodland replacement tree diversity must meet the standards of the Landscape Design Manual section 4. 	<ul style="list-style-type: none"> • 14 of 22 species used (64%) are native to Michigan • The tree mix meets the tree diversity requirement of LDM 4 	<ul style="list-style-type: none"> • Yes • Yes 	1. <u>When the foundation plantings are designed, the 50% threshold must still be met. Hopefully the 65% currently shown can be maintained.</u> 2. <u>Bald cypress are not native to Michigan, so they should not be used in the conservation easement.</u>
General Landscape Requirements (LDM)				
Type and amount of lawn		Seed lawn or economy prairie mix are proposed	Yes	<u>Need for final site plan</u>
Cost estimate (LDM 10.h.(11))	For all new plantings, mulch and sod as listed on the plan	No	No	1. <u>Need for final site plan</u> 2. <u>Please include the</u>

Item	Required	Proposed	Meets Code	Comments
				<u>costs for all seeding to be done on the plant cost estimate</u>
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree		Yes	Yes	
Perennial/ Ground Cover		No	TBD	<u>Please add if perennials or ornamental grasses are added on the Final Site Plans.</u>
Tree stakes and guys	Wood stakes, fabric guys.	Yes	Yes	
Cross-Section of Berms (LDM 1.a.(1))				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% slope • Constructed of loam • 6" top layer of topsoil 	No berms are proposed so no detail is provided		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants	<ul style="list-style-type: none"> • Utilities are shown • No overhead utilities are shown 	Yes	
Walls (LDM 10 & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	A long retaining wall on the east side is proposed.	TBD	<u>Provide dimensioned wall details</u>
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		TW/BW elevations indicate it will be approximately 5 feet tall	TBD	<u>That wall will need to be designed by an engineer and reviewed with the building plans.</u>
Notes (LDM 10) – Utilize City of Novi Standard Details				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> • Provide intended date • Between Mar 15 – Nov 15 	Yes	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	for the 2-year warranty period.			
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	No	No	<u>Please add this note.</u>
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
General Conditions (LDM 11)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Other information (LDM 10.n)	Required by Planning Commission	NA		<u>Please add a note near the native seed mix stating that the contractor shall provide proof of the seed mix to be used (invoice or photo of seed bag) to rmeader@cityofnovi.org for approval prior to installation.</u>
Irrigation (LDM 10.l.)	<ul style="list-style-type: none"> • A plan detailing how all plants will be provided with sufficient water for establishment and long-term survival must be provided. • If an irrigation system will be provided, the plan for it must be included in the Final Site Plans. • If alternative methods of providing the required water will be used, details concerning them must be provided on Final Site Plans. 	None		<ol style="list-style-type: none"> 1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u> 2. <u>The plan should meet the requirements listed at the end of this chart.</u> 3. <u>If xeriscaping is used, please provide information about plantings included.</u>
Landscape tree credit (LDM11.b.(d))	<ul style="list-style-type: none"> • Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. • Refer to Landscape tree Credit Chart in LDM 	No credits are taken		
Plant Sizes for ROW, Woodland replacement and others	<ul style="list-style-type: none"> • Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. 	On plant list	Yes	

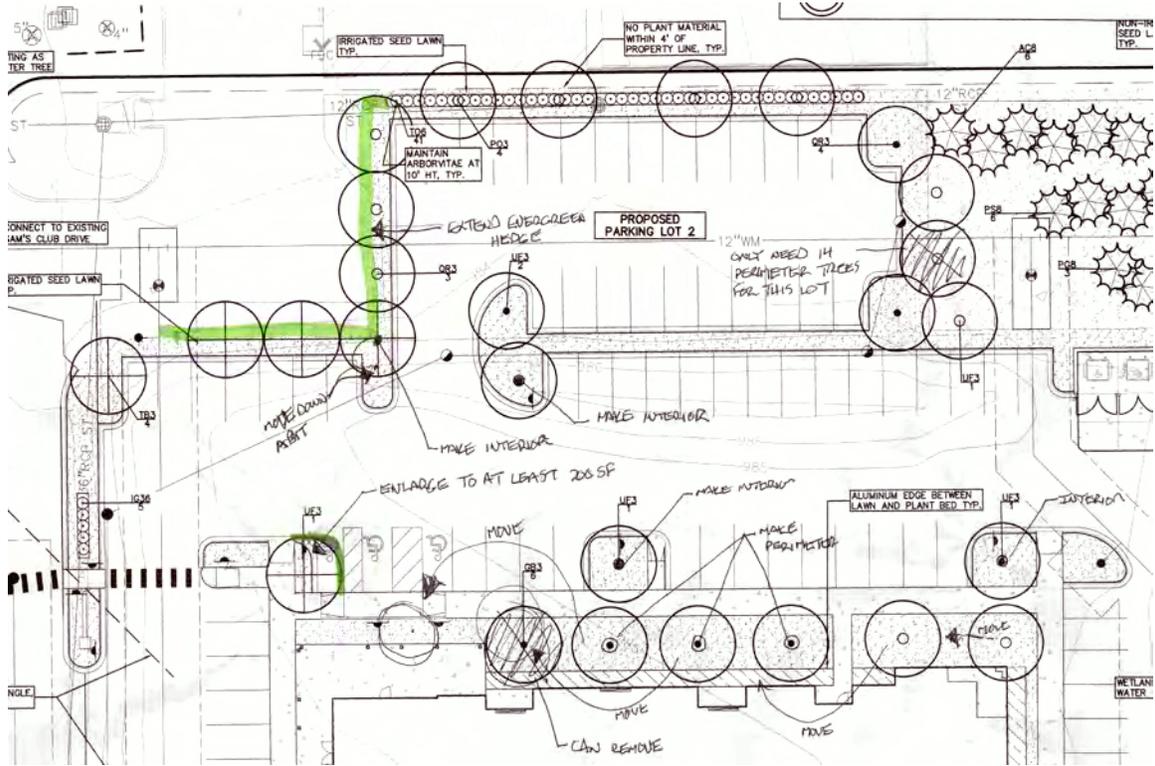
Item	Required	Proposed	Meets Code	Comments
(LDM 11.b)	<ul style="list-style-type: none"> Refer to LDM section 11.b for more details 			
Plant size credit (LDM 11.b)	NA	No credits are taken		
Prohibited Plants (LDM 11.b)	Do not use any plants on the Prohibited Species List	No prohibited species are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No overhead lines are indicated		
Collected or Transplanted trees (LDM 11.b.(2)(c))		None		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Information shown on planting details		

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

1. Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
2. The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
3. The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
4. The RPZ must be installed a minimum of 12-inches above FINISHED grade.
5. Attached is a handout that addresses winterization installation requirements to assist with this.
6. A plumbing permit is required.
7. The assembly must be tested after installation with results recorded on the City of Novi test report form.



WOODLAND REVIEW



Corporate Headquarters
295 South Water Street, Suite 300
Kent, OH 44240
800-828-8312

Local Office
3381 Lapeer Rd. West
Auburn Hills, MI 48326

To: Christian Carroll, City of Novi Planner
Community Development Department, City of Novi

From: Kerry Gray, Principal Consultant
Davey Resource Group

CC: Barbara McBeth City Planner
Lindsay Bell, City of Novi Senior Planner
Rick Meader, City of Novi Landscape Architect
Ben Peacock, City of Novi Planner
Diana Shanahan, City of Novi Planning Assistant
Douglas Repen, Mannik and Smith Group

Date: March 27, 2023

RE: Station Flats
Woodland Review #1 – JSP23-02

Davey Resource Group, Inc. (DRG) has conducted a review of the preliminary site plan submittal for the proposed Station Flats multi-family residential development located on Wixom Road between 11 Mile Road and Grand River Ave. (Parcel No. 22-17-101-032). The plan set prepared by Krieger Klatt Architects/ PEA Groups (dated: 03/09/2023), proposes a single four story building with 160 units.

DRG reviewed the preliminary site plan set for conformance with the City of Novi’s Woodland Protection Ordinance, Chapter 37. Based on our review of the site plan, and the City of Novi Official Regulated Woodlands Map (see Figure 1) - City regulated woodlands are present on the site. The woodlands will not be impacted by development because they are located within an existing wetland/watercourse easement on the east side of the property that will be protected.

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The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8) & Financial Guarantee (Chapter 26.5-5)	NO
Tree Protection (Fence) (Chapter 37, Section 37-9) & Financial Guarantee (Chapter 26.5-5)	YES
Woodland Conservation Easement (Chapter 37-30 (e))	Already In Place

Woodland Impacts and Replacement Requirements

The Station Flats preliminary site plan does not propose disturbance or removal of any City of Novi Regulated Woodlands or trees for construction of the residential building, associated utilities, and stormwater infrastructure. A permanent conservation easement on the site, per the 2001 Consent Judgement, protects the regulated woodlands and wetlands on the southern portion of the site.

While regulated woodland trees are protected – the plan proposes the removal of trees that were planted as woodland replacements for the Novi Promenade development – the removal of these trees will require replacement (see woodland comments).

Woodland Review Comments

1. **A Woodland Use Permit is required** to perform construction on any site containing regulated woodlands. The proposed removal of the woodland replacement trees will require a permit. The permit for this site **will require Planning Commission approval**.
2. **Tree Inventory.** As stated in the Landscape Review memo prepared by Rick Meader, City of Novi Landscape Architect, the **woodland replacement trees are required to be inventoried and shown on the plan and in the regulated tree table**. The plans and tree table should also indicate if a tree will be removed or preserved and include associated tree protection fencing if preserved.
3. **Woodland Replacements.** Woodland replacement credits can be provided by:
 - a. Planting the woodland tree replacement credits on-site.
 - b. Payment to the City of Novi Tree Fund at a rate of \$400/woodland replacement credit.
 - c. Combination of on-site tree planting and payment into the City of Novi Tree Fund (\$400/woodland replacement credit).

Revise plans to provide the number of woodland replacements that are required for the removal of the previously planted woodland replacement trees and how the woodland replacement requirements will be met.

4. **Financial Guarantees & Maintenance Bonds.** The following financial guarantees and maintenance bonds may be required for this project – they will be determined after information outlined in comments 2 and 3 have been provided.
 - a. **A woodland fence guarantee of \$6,000 (\$5,000 x 120%) is required** per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - b. **Woodland Replacement Financial Guarantee of \$400 per woodland replacement credit** is required as part of the Woodland Use Permit fees to ensure planting of the on-site Woodland Replacement tree credits.

Based on inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Financial Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection. Following acceptance of the planted woodland replacement trees, a 2-year performance bond must be paid to ensure the continued health and survival of the replacement trees (comment 6).

- c. **Tree Fund Payment.** Payment into the City of Novi Tree Fund at \$400 per woodland replacement for any woodland replacements not planted on site. This payment is not refundable.
- d. **The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance,** per The City's Performance Guarantees Ordinance. **A two-year maintenance bond in the amount twenty-five (25) percent of the value of the trees but in no case less than one thousand dollars (\$1,000.00),** shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).

Based on a successful inspection 2 years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection.

- 5. **Woodland Guarantee Inspection.** If the woodland replacements, street trees or landscaping guarantee period is scheduled to end during the period of time when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in late summer/early fall prior to the 2 year expiration to schedule an inspection. **The Applicant is responsible for walking the entire site to confirm that all of the material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection.** Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at asosnowski@cityofnovi.org / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2 year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant



Figure 1. Station Flats Development Site
 City of Novi Regulated Woodland Map
 Bold red line = property boundary;
 Green areas = City-regulated woodlands

General Site Photos



WETLAND REVIEW



March 31, 2023

Christian Carroll
City Planner
Department of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: Station Flats; JSP23-02
Wetland Review of Preliminary Site Plan
MSG Project No. N1030143

Dear Mr. Carroll:

The Mannik & Smith Group, Inc. (MSG) completed a project site inspection on June 10, 2022 relative to the plan set titled *The Station Flats* prepared by Kreiger Klatt Architects dated June 20, 2022 and stamped Received by the City of Novi on June 23, 2022. The project site is located east of Wixom Road and south of Grand River Avenue, parcel 50-22-17-101-032, in Section 17 (Site). The 2022 plan set was compared to the plan set titled *The Station Flats* prepared by Kreiger Klatt Architects dated March 9, 2023 and stamped Received by the City of Novi on March 13, 2023 (PSP). The PSP depicts construction of one multi-story multi-family building with associated paved parking, landscaping, utilities, and other improvements.

Published Data

Upon review of published resources, the portion of the Site included in the Project appears to contain:

- City-regulated wetlands, as identified on the City of Novi Wetlands interactive map website (Figure 1).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2). NWI and MIRIS wetlands are identified through interpretation of topographic data and aerial photographs by the associated governmental bodies.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2).

The Site also contains a conservation easement along the eastern edge of the proposed development area. The conservation easement was established by agreement between the City of Novi and Novi Promenade Holdings, LLC in November 2016. The 2.25-acre Novi conservation easement is bordered on its east side by a previously established conservation area that extends beyond the Site boundaries. The conservation area may be regulated by EGLE based on its size and its apparent interconnectedness with surface water bodies in the area.

MSG Wetland Boundary Verification

The PSP does not depict wetland(s) on the Site; rather it depicts the limits of the conservation easement, a "wetland high water mark", and a 25-foot setback relative to the wetland high water mark. On June 10, 2022, MSG evaluated



the conditions at the Site. MSG observed the Site is predominantly vacant, level land with an approximately 20 percent downward slope along the conservation easement boundary. The ground cover observed consisted of herbaceous vegetation with young trees (generally 2- to 4-inch diameter) along the conservation easement boundary. Wetland delineation markers were not observed at the Site. Selected inspection photographs are provided at the end of this letter.

Proposed Impacts

The PSP does not depict proposed impacts to the regulated wetland area or the conservation easement, except as follows:

- Minor encroachment into the 25-foot setback area (as identified in the PSP) is depicted on Sheets C-3.0. The City of Novi regulates both wetlands and the associated 25-foot natural resources setback buffer. The 25-foot limit is measured as horizontal feet, regardless of grade change.

The City of Novi Site Plan and Development Manual states, "The boundary lines of any watercourses or wetlands on property should be clearly flagged or staked and such flagging or staking shall remain in place throughout the conduct of permit activity." Since wetlands typically extend beyond the limits of open water, a high water mark is not a recognized means of wetland delineation. Consequently, the 25-foot setback depicted in the PSP, which is drawn relative to the high water mark, is not considered a valid representation of the natural resources setback buffer. The setback buffer is to be measured from the defined wetland limits. **MSG recommends the applicant retain a qualified wetland consultant to delineate and record the wetland boundaries.**

In addition, EGLE typically regulates wetlands within 500 feet of an inland lake, pond, stream, or river, and/or greater than 5 acres in size. As noted above, the Site wetlands appear to meet one or both of these criteria so they are likely regulated by EGLE. It is the applicant's responsibility to confirm the need for a State permit for proposed wetland or watercourse impact, if any. Of note, a Consent Judgement was established in 2001 that appears to indicate wetlands associated with the Site are subject to EGLE regulation (the City of Novi provided only a partial, unsigned copy of the Consent Judgement to MSG). **It is recommended that this Consent Judgment be provided in its entirety for the applicant's review for applicability to Site development plans.**

Permits and Regulatory Status

The majority of the PSP does not appear to depict encroachment into wetlands but does appear to depict encroachment into the natural resources setback buffer. The limits of the natural resources setback buffer relative to the delineated wetland boundary must be depicted on Site plans. The area(s) of encroachment into the natural resources setback buffer and/or conservation easement must be depicted and quantified in square feet and/or acres on Site plans. As noted above, wetland delineation flagging is to be maintained throughout the duration of the project.

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Potentially required
Wetland Buffer Authorization	Likely required
Wetland Mitigation	Potentially required
EGLE Wetland Permit	Likely required
Wetland Conservation Easement	Potentially required

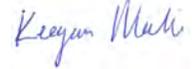
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MSG requests the associated wetland delineation report be provided to the City of Novi for review with the revised Site plans.

Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,

The Mannik & Smith Group, Inc.



Keegan Mackin
Environmental Scientist



John A. Freeland, PhD, PWS
Senior Scientist

CC: Sarah Marchioni, City of Novi Project Coordinator
Barbara McBeth, City of Novi Planner
Lindsay Bell, City of Novi Planner
Madeleine Daniels, City of Novi Planner
Ben Peacock, City of Novi Planning Assistant
Rick Meader, City of Novi Landscape Architect

FIGURES



Figure 1

City of Novi Regulated Wetland Map. Approximate tax parcel boundaries are shown in red. Regulated Wetland areas are shown in blue.

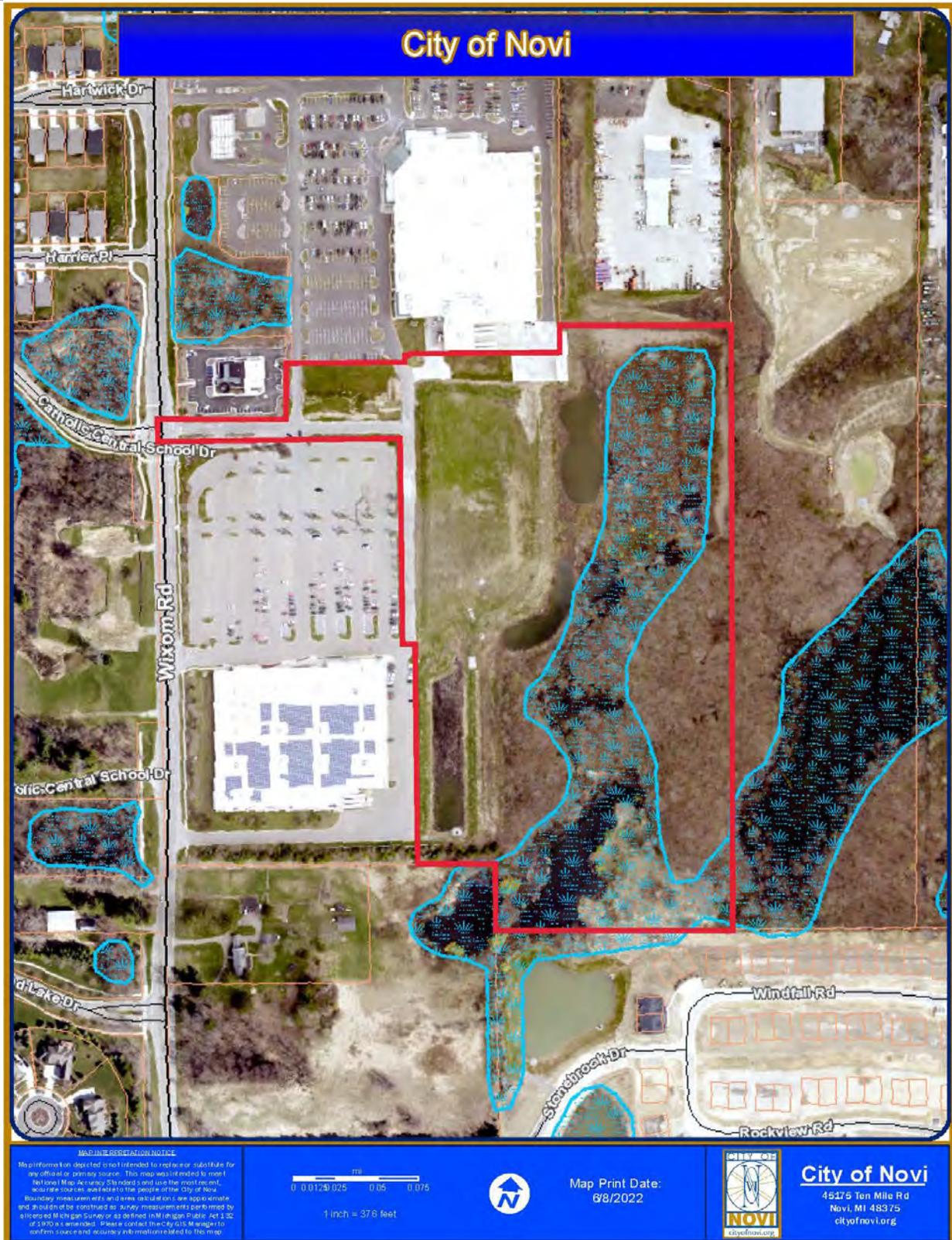


Figure 2 | EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.

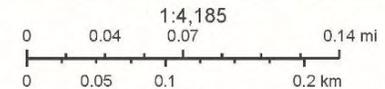
Wetlands Map Viewer



June 15, 2022

Part 303 Final Wetlands Inventory

-  Wetlands as identified on NWI and MIRIS maps
-  Soil areas which include wetland soils
-  Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Disclaimer: This map is not intended to be used to determine the specific

SITE PHOTOGRAPHS





Photo 1: General view of the Site, facing southwest. 6/10/2022



Photo 2: General view of the Site with conservation easement area in background, facing southeast. 6/10/2022



Photo 3: View of the downward slope from the project area to the conservation easement, facing south. Conservation easement signage is in left foreground. 6/10/2022



Photo 4: Close view of downed conservation easement signage. 6/10/2022



Photo 5: View of detention pond in southern area of the Site, facing south. 6/10/2022

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP23-02 – Station Flats Preliminary Site Plan
 Traffic Review

From:
 AECOM

Date:
 March 31, 2023

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Christian Carroll, Humna Anjum, Ben
 Peacock, Diana Shanahan

Memo

Subject: JSP23-02 – Station Flats Preliminary Site Plan Traffic Review

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GENERAL COMMENTS

1. The applicant, Novi Promenade Holdings, LLC, is proposing a 1-building, 160 unit apartment complex.
2. The development is located on the east side of Wixom Road, between Grand River Avenue and 11 Mile Road. Wixom Road is under the jurisdiction of the City of Novi.
3. The site is zoned I-1 (Light Industrial). The applicant is requesting a rezoning to RM-2 (Low Density Multiple-Family).
4. The following traffic related deviations have been requested by the applicant:
 - a. Minimum distance for off-street parking.
 - b. Pedestrian sidewalk on only one side of the drive.
 - c. Parking located closer than 25' from dwelling structure that contains openings.
 - d. Reduced number of parking spaces.
5. The following traffic related deviations have **not** been requested by the applicant but will be required to proceed if changes to the plans are not made:
 - a. Reduced maneuvering aisle (22' and 23').
 - b. Perpendicular parking on a major drive.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 221 – Multifamily Housing (Mid-Rise)
 Development-specific Quantity: 160 Dwelling Units
 Zoning Change: I-1 to RM-2

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	59	45	100	No
PM Peak-Hour Trips	63	38	100	No
Daily (One-Directional) Trips	717	N/A	750	No

- The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
TIA	Previous land use exceeded threshold. Current land use is within 10% of threshold, indicating a TIA. A full TIS was submitted and is reviewed in a separate letter.
RTS	Applicant is proposing rezoning the parcel.

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed.
2	Driveway Width O Figure IX.3	-	N/A	No changes proposed.
3	Driveway Taper O Figure IX.11	-	N/A	
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	No changes proposed.
4	Emergency Access O 11-194.a.19	-	N/A	No changes proposed.
5	Driveway sight distance O Figure VIII-E	-	N/A	Does not directly access City road.
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	-	N/A	Does not directly access City road.
6b	Opposite side O 11.216.d.1.e	-	N/A	Does not directly access City road.
7	External coordination (Road agency)	-	N/A	
8	External Sidewalk Master Plan & EDM	5'	Met	
9	Sidewalk Ramps EDM 7.4 & R-28-J	Indicated	Met	Provide detail in future submittals.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	-	N/A	
12	Trash receptacle ZO 5.4.4	Indicated in NE corner	Met	
13	Emergency Vehicle Access	Turning movements provided, not accurate for north end of main section.	Inconclusive	Provide accurate turning movements in revised submittal.
14	Maneuvering Lane ZO 5.3.2	22'	Not Met	22' aisles are not permitted, aisle should be increased to 24'. Waiver would be required if not revised.
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Not dimensioned, appear to be same length as space.	Inconclusive	Provide dimensions for end islands relative to adjacent parking space.
15b	Internal to parking bays	3' shorter	Met	Applicant can increase length of internal islands to match adjacent spaces.
16	Parking spaces ZO 5.2.12			
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<=15 spaces	Met	
18	Parking space length ZO 5.3.2	17' with 2' clear overhang and 19'	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4"	Met	
21	Accessible parking – number ADA	8	Met	Spaces are not evenly distributed amongst the assumed entrances of the building. As elevators are provided at the north and south ends of the building, accessible spaces could be provided at both ends. Not all accessible spaces have signage indicated, include in future submittals.
22	Accessible parking – size ADA	8' spaces with 5' aisles and 8' aisles (for van accessible)	Met	
23	Number of Van-accessible space ADA	3	Met	
24	Bicycle parking			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24a	Requirement ZO 5.16.1	3 locations indicated with 8 spaces at each. 8 spaces indicated in indoor storage room.	Met	Applicant should provide detail of indoor storage area. Current indicator states 8 spaces minimum to be provided indoors but no dimensions or facilities are detailed.
24b	Location ZO 5.16.1	3 locations	Inconclusive	Indicate building entrances to confirm compliance. The southern most set of 8 spaces appears to be greater than 150' from the nearest building entrance.
24c	Clear path from Street ZO 5.16.1	5' clear path	Not Met	8' sidewalk required with 2' clear overhang for a 6' clear path, 7' provided.
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Layout for 8 parallel spaces provided, not provided for other two configurations or indoor	Inconclusive	Layout provided for 1 of 4 setups. Include in future submittals.
25	Sidewalk – min 5' wide Master Plan	5', 7' with 2' overhang at parking	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated at entrance	Met	Provide detail in future submittals.
27	Sidewalk – distance back of curb EDM 7.4	No Offset	Met	Sidewalk abuts parking.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A	-	-
30	Major Drive ZO 5.10	Perpendicular parking on major drive	Not Met	Perpendicular parking is currently proposed on the major drive encircling the building. Waiver is required for parking on a major drive.
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Not included	Not Met	Include for any proposed signs.
33	Signing table: quantities and sizes	Not included	Not Met	Include for any proposed signs.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Not included	Not Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Not included	Not Met	
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	Shown on sign details.
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Detail included from face of curb	Partially Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Not included	Not Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Not included	Not Met	
40	Parking space striping notes	Included	Met	
41	The international symbol for accessibility pavement markings ADA	Not included	Not Met	Provide detail in future submittals.
42	Crosswalk pavement marking detail	Included	Met	
43	Any Other Comments:	Ensure all proposed signs are labeled on the site plan, there is no "Do Not Enter" sign labeled but is shown in the sign legend. The applicant could add a "Stop" sign at the northwest parking lot exit.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, PE
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:

JSP23-02 – Station Flats Traffic Impact Study Review

From:

AECOM

Date:

February 8, 2023

To:

Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:

Lindsay Bell, Christian Carroll, Humna Anjum, Ben Peacock, Diana Shanahan

Memo

Subject: JSP23-02 – Station Flats Traffic Impact Study Review

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GENERAL COMMENTS

1. The following sections will go section through section of the report.

INTRODUCTION

1. The intersections identified as in the study area are as follows:
 - a. Wixom Road and Grand River Avenue (signalized).
 - b. Wixom Road and Catholic Central High School (CCHS)/Novi Promenade (signalized).
 - c. Wixom Road and North Driveway (existing unsignalized driveway along north face of Target).
 - d. Wixom Road and South Driveway (existing unsignalized driveway along south face of Target).
2. Volumes and turning movement counts were collected on Thursday, May 5, 2022 at the intersections listed above for a total of 4 hours, 7 am to 9 am and 4 pm to 6 pm.
3. The preparer reviewed pre-pandemic volume counts and determined that there was no compelling evidence to apply a correction factor.

EXISTING CONDITIONS ANALYSIS

1. The preparer conducted a HCM Synchro analysis for AM and PM peaks for the 4 intersections.
2. The following approaches operate at LOS E during the AM and/or PM peak periods:
 - a. NB Wixom Road at Wixom and Grand River (AM)
 - b. SB Wixom Road at Wixom and Grand River (PM)
 - c. EB Catholic Central High School at Wixom and CCHS/Novi Promenade (AM and PM)
 - d. WB Novi Promenade at Wixom and CCHS/Novi Promenade (AM and PM)
3. The preparer proposed timing optimization at Wixom and Grand River and both timing optimization and lane realignment at the Wixom and CCHS/Novi Promenade intersection to allow for right turns to overlap with the corresponding left turns.
 - a. A type confusing northbound-lane and northbound-left is present in this section of the report.

- b. This proposal would increase delay on northbound Wixom Road in both the AM and PM peaks, however total intersection delay would decrease by approximately 4 seconds in both instances. However, NB Wixom Road would change from LOS D to LOS E for the PM peak.
- c. The preparer notes that both these intersections are part of the County's adaptive traffic system, SCATS.

BACKGROUND CONDITIONS ANALYSIS

1. The following projects were included in background conditions for this project:
 - a. Walbridge Industrial Park Development (Built and Unoccupied)
 - b. Township Warehouse (Under Construction)
 - c. Township Manufacturing Facility (Not Built)
 - d. South Hill Business Park West Phase 1
2. The preparer indicated the trips for these would be distributed according to the existing traffic patterns of the area, as the study area was outside the study areas for the respective developments.
3. A growth rate of 0.5% per year was applied to grow volumes to 2024.
 - a. A growth rate of 4 to 7% per year was indicated from SEMCOG data for 2016 to 2019.
 - b. The preparer indicated the SEMCOG community profile for the city indicated growth of 0.05-0.1% per year from 2020 to 2045.
 - c. The preparer indicates a growth rate of 0.5% was assumed based on anticipated population growth in the City and historical data.
4. When the background conditions volumes are applied to the Synchro model, 50% or more of the approaches operate at LOS E or F for the signalized intersections.
 - a. The preparer notes that at 3 of the LOS E approaches and 1 LOS F approach, actuated signals would decrease delay in practice.

SITE TRAFFIC CHARACTERISTICS

1. The preparer has accurately indicated the proposed development's trip generation counts.
2. The trip distribution was based on the existing volumes on Wixom and Grand River.
 - a. Trip distribution shows both driveways for the site being utilized equally, which is unlikely to occur. Vehicles heading north would utilize the north driveway and vehicles heading south would utilize the south driveway. If other revisions are required, this could be corrected.

FUTURE CONDITIONS ANALYSIS

1. Turn lane warrants were done for the three possible site driveways.
 - a. According to Figure IX.10, neither a right turn taper nor a turn lane is warranted.
2. Future conditions with the site traffic were examined in Synchro.
 - a. At Wixom and Grand River, 50% of approaches during AM peak and PM peak operate at LOS E or F.
 - b. At Wixom and CCHS/Novi Promenade, the two sidestreets operate at LOS E during both AM and PM peak.
3. The preparer modeled timing optimization at Wixom and Grand River, which would reduce total delays to 1 approach with LOS E during AM peak and 2 approaches with LOS E during PM peak.

FINDINGS AND RECOMMENDATIONS

1. The preparer concludes that the development should not result in any significant impact on the road network with SCATS is in effect.
2. Driveway storage length is expected to be able to absorb the increased traffic without incident.

CONCLUSIONS

1. The preparer could correct the minor typos, however, all Synchro values are accurate in the report text, in that they agree with the appendix reports.
2. The preparer indicates that the improvement scenarios were to demonstrate capacity exists at the intersections for SCATS to make use of with adaptive controls.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.
Sincerely,

AECOM



Patricia Thompson, PE
Traffic Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



March 17, 2022

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City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE – Station Flats, JSP23-02**
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth;

This review is based on the drawings prepared by Krieger Klatt Architects, dated 1/13/23. Material percentages that are in non-compliance with the Façade Ordinance, if any, are indicated in **bold** in the chart below. The sample board required by Section 5.15.4.D was provided in the form of photographs on sheet A.202.

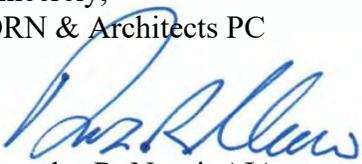
	West (Front)	North (Left)	South (Right)	East (Rear)	Ordinance Maximum (Minimum)
Brick (Glen Gery, Ebonite, Smooth)	37%	33%	37%	32%	100% (30% Min.)
Stone (Shouldice Cast Stone)	11%	24%	17%	10%	50%
Flat Metal (Knotwood, Faux Wood)	14%	11%	12%	21%	50%
Cement Fiber Lap Siding (James Hardie)	25%	20%	25%	23%	0%
Metal Panels (Pac-Clad)	13%	12%	9%	14%	50%

Recommendation – Cement Fober Lap Siding is considered Wood Siding with respect to the Façade Ordinance (Footnote 13). As shown above, the percentage of this material exceeds the maximum amount allowed by the Ordinance. The Ordinance allows an increased amount (50%) of this material if the building is located in a Residential Zoning District and its use is consistent with residential style architecture. In this case the building does not meet these conditions. A Section 9 Waiver would be required for this deviation. In this case the extent of deviation exceeds what would qualify for a Waiver. It is recommended that the applicant consider changing the Lap Siding to a Patterned / Textured Siding as described in Footnote 15 of the Ordinance, which is allowed up to 25%.

General Notes:

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.
2. The dumpster enclosure must meet the Façade Ordinance; typically Brick to match the primary building.
3. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant’s responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



May 17, 2023

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Christian Carroll - Plan Review Center
Ben Peacock – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

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Assistant Fire Chief
John B. Martin

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: Station Flats

PSP# 23-0004

PreApp# 23-0002

Project Description:

Build a 45,825 Sq. Ft. Multi-tenant Structure off Wixom Rd south of Grand River

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 3/27/23 KSP-** Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all “fire lane – no parking” signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- **Corrected 3/27/23 KSP-** An unobstructed outside turning radius of 50 feet minimum and an inside turning radius of 30 feet maximum are to be provided at intersections of private or public roadways and cul-de-sacs. **(International Fire Code 503.2.4) (South entrance from Target).**
- The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. **(D.C.S. Sec.11-68(a))**
- Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**

- Fire hydrant spacing shall be measured as “hose laying distance” from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.
- Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. (**International Fire Code 912.2.1**)
- Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. (**Fire Prevention Ord. Sec. 15-17 912.2.3**)
- **Corrected 3/27/23 KSP-** A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- Water main sizes shall be put on the plans for review.
- Water mains greater than 25’, shall be at least 8” in diameter. Shall not on plans for review. (**D.S.C. 11-68(C)(1)(c)**)

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Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER

1849 Pond Run
Auburn Hills, MI 48326

844.813.2949
peagroup.com

May 04, 2023
Project No.: 21-0449

Mr. Christian Carroll, Planner
City of Novi Community Development
45175 West Ten Mile Road
Novi, Michigan 48375

RE: Station Flats JSP23-02

Dear Mr. Carroll:

Our office is in receipt of the review comments from the various City Departments and Consultants for the subject development. The site plan documents have been revised based upon the comments received, please note the following regarding the revisions:

Planning Department (Review Concerns):

Buffering and Setbacks:

The plans have been revised to add additional landscaping along the north property line a provide additional buffering. Please note that there are existing utilities (storm sewer and water main) in this area that affect the location of the landscaping.

Conflicts with Easements:

Any existing easements of record have been added to the revised plans.

Site Plan Consistency:

Sheet C-3.0 has been revised to state the requirements for the RM-2 standards. The net site area calculations have been revised to reflect the elimination of the existing wetland area.

Open Space Area:

The usable open space area has been revised.

Yard Setback Restrictions:

The requested calculation has been added to the revised plans.

Maneuvering Lane:

We are requesting a deviation for the reduction in the width of the drive aisle from 24' to 22' in two areas of the site.

End Islands:

The landscape islands have been revised to provide for the minimum area.

Bicycle Parking:

Please refer to the architectural plan for interior bike parking.

Major Drive:

We are requesting a deviation to have perpendicular parking on a major drive.

Rooftop Unit Screening:

Please refer to architectural plan for details of the rooftop screening.

Planning Department (Ordinance Deviations):

Parking Setbacks:

We are requesting a deviation for the 20' parking setback.

Off-Street Parking or Related Drives:

We are requesting a deviation for the 20' parking setback.

Pedestrian Connectivity:

As we discussed during our meeting, due to the limited area available along the access drive to Wixom Road, the installation of any pedestrian connection is not possible.

Number of Parking Spaces:

For this project we are requesting a deviation for the number of parking spaces.

Engineering Review:

The revised plans have address items 1-3 of the review letter. Please note that per the plans provided for the Novi Promenade project the existing storm water detention basin was sized to handle the proposed development for a 100-year rainfall event. Therefore, no additional storm water management will be required for the proposed development. The storm water system has an existing oil/gas sediment chamber at the point of discharge into the detention basin. This structure appears to provide pre-treatment of storm water prior to discharge.

Landscape Review:

A tree survey has been completed and is included in the submittal set.

As possible an evergreen hedge has been added along the northerly property line.
The number of lindens used has been reduced.
As possible additional landscape has been added along the east side of the development.
The landscape islands have been revised to permit the planting of additional trees.

Woodland Review:

A tree survey has been completed and is included in the submittal set.

Wetland Review

The existing wetland limits were flagged by our office and are depicted on the revised plans.
A plan sheet has been added to the revised plan set depicting the impacts of the 25' wetland buffer. There are wetland impacts required for this project.

Traffic Review:

We are requesting deviations for the following:

- Minimum distance for off-street parking.
- Pedestrian Sidewalk on one side of the drive.
- Parking located closer than 25' from the dwelling structure.
- Reduction in the number of parking spaces.
- Reduction in the width of the maneuvering aisles.
- Perpendicular parking on a major drive.

We have added additional dimensions to the plan to confirm the 8' sidewalk clearance adjacent to bike racks.

Fire Department:

Comments noted.

If you should have any questions, please feel free to contact this office.

Sincerely,

PEA Group



James P. Butler, PE
Principal/Project Executive