



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **ZONING BOARD APPEALS DATE:** March 14, 2023

REGARDING: 27225 Wixom Road, Parcel # 50-22-18-200-026 & 027 (PZ23-0001)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Catholic Central High School

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned Residential Acreage (RA) and One-Family Residential (R-4)

Location: south of Twelve Mile Road, west of Wixom Road

Parcel #: 50-22-18-200-026 & 50-22-18-200-027

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance from: Section 3.1.1.E to allow the maximum height of the parking deck to be 42 feet (35 feet permitted, variance of 7 feet) at the stairwells and for the light poles; Section 5.3.12 to eliminate painted end islands within the parking structure; and Section 5.7.3.A to allow the height of the field light poles of 80 feet (25-feet permitted, variance of 55 feet). This property is zoned Residential Acreage (RA) and One-Family Residential (R-4).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ23-0001**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.
- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____
- (b) The property is unique because _____

- (c) Petitioner did not create the condition because _____
_____.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____
_____.
- (e) The relief is consistent with the spirit and intent of the ordinance because _____
_____.
- (f) The variance granted is subject to:
 - 1. _____.
 - 2. _____.
 - 3. _____.
 - 4. _____.

2. I move that we **deny** the variance in Case No. **PZ23-0001**, sought by _____,
for _____ because Petitioner has not shown practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because _____
_____.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.
- (d) The variance would result in interference with the adjacent and surrounding properties by _____.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.
Larry Butler - Deputy Director Community Development - City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: _____	
PROJECT NAME / SUBDIVISION Catholic Central High School North Campus				Meeting Date: _____	
ADDRESS 27225 Wixom Rd., Novi, MI 48374		LOT/SIUTE/SPACE #		ZBA Case #: PZ _____	
SIDWELL # 50-22-18 - 290 - 026 and -027		May be obtain from Assessing Department (248) 347-0485			
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS eturek@catholiccentral.net		CELL PHONE NO. 248-318-9690	
NAME Edward Turek				TELEPHONE NO. 248-596-3899	
ORGANIZATION/COMPANY Catholic Central High School				FAX NO.	
ADDRESS 27225 Wixom Rd.		CITY Novi	STATE MI	ZIP CODE 48374	
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY	STATE	ZIP CODE	
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input checked="" type="checkbox"/> R-A <input checked="" type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input checked="" type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input checked="" type="checkbox"/> OTHER <u>B-1</u>					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3.1.1.E</u> Variance requested		<u>Increase the height of the parking deck to a max 42 feet at the stairwells and for the light poles</u>			
2. Section <u>5.3.12</u> Variance requested		<u>Eliminate painted end islands within the parking structure</u>			
3. Section <u>5.7.3.A</u> Variance requested		<u>Increase the height of the field light poles to 80 feet</u>			
4. Section _____ Variance requested		_____			
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable 		<ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

11/5/23

Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

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ZONING BOARD OF APPEALS VARIANCE APPLICATION CHECKLIST

The following items are required for a complete Variance application. Incomplete applications will be returned.

Signed Application Form

Complete the Zoning Board of Appeals application form. Application must be signed by the applicant and the property owner (if different).

Response to Variance Review Standards – Dimensional, Use, or Sign

Select the applicable Review Standards for the requested Variance and complete in full. Use additional paper if needed. If you don't know which Review Standards to complete, call the Community Development Department at 248.347.0415 for guidance.

Dimensioned Site Plan (1 copy & 1 digital copy submitted as a PDF)

- Existing or proposed buildings or additions on the property.
- Number and location of all on-site parking spaces.
- Existing and proposed distances to adjacent property lines.
- Location of existing and proposed signs, if applicable.
- Any other information relevant to the Variance application.

Dimensioned Drawings and Plans (1 copy & 1 digital copy submitted as a PDF)

- Floor plans and elevations with all proposed buildings and additions.
- All existing and proposed signs on the property (photographs may be used).
- For use variances, include floor plan showing the existing and proposed layout and functions of each area.
- For multi-family residential structures or projects, a summary showing the existing and proposed number of dwelling units by type (efficiency, one-bedroom, two-bedroom, etc.)

Other Helpful Information – Optional (1 copy & 1 digital copy submitted as a PDF)

- Photographs of the lot or structure that shows the special conditions or circumstances described in the application.
- Photographs or maps that show how other properties in the area enjoy the same type of property rights related to the Variance.
- Letters of support from the neighbors who would be most affected by your request.

Fee (make check payable to the City of Novi)

Single Family Residential (Existing) \$200 (With Violation) \$250
Single Family Residential (New) \$250
Multiple/Commercial/Industrial \$300 (With Violation) \$400
Signs \$300 (With Violation) \$400
House Moves \$300
Special Meetings (At discretion of Board) \$600

Additional Information

In the course of reviewing the application, the Planning Department staff may request additional information from the applicant.



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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Describe below:

OR

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

OR

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

Standard #2. Not Self-Created. 42 feet at the stairwells and for the light poles.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

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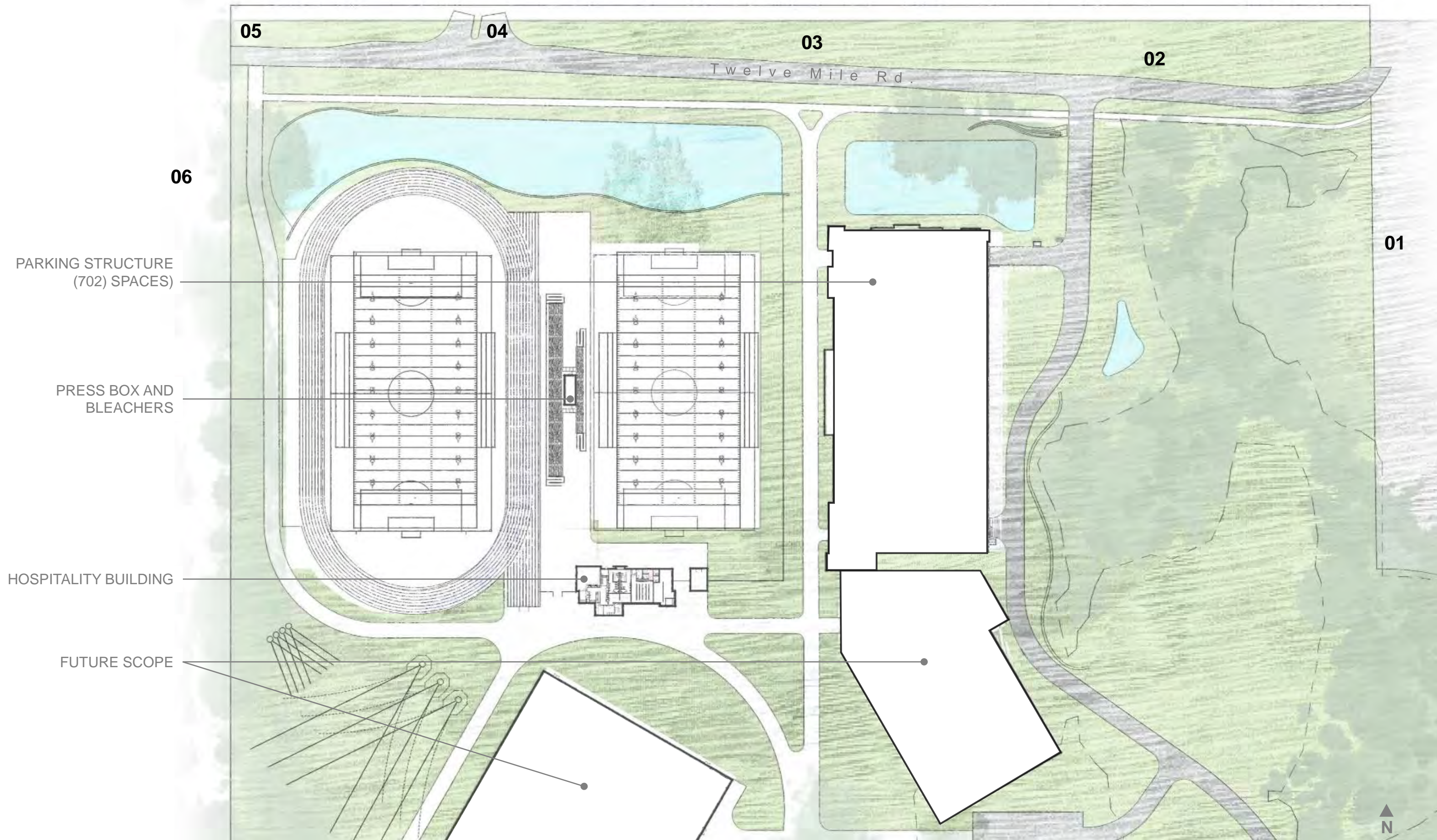
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Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

Attachments for Section 3.1.1.E Variance Request



NORTH CAMPUS ATHLETICS SITE-LINE KEY PLAN



01

EAST PROPERTY LINE

DETROIT CATHOLIC CENTRAL

11.14.2022

2





02

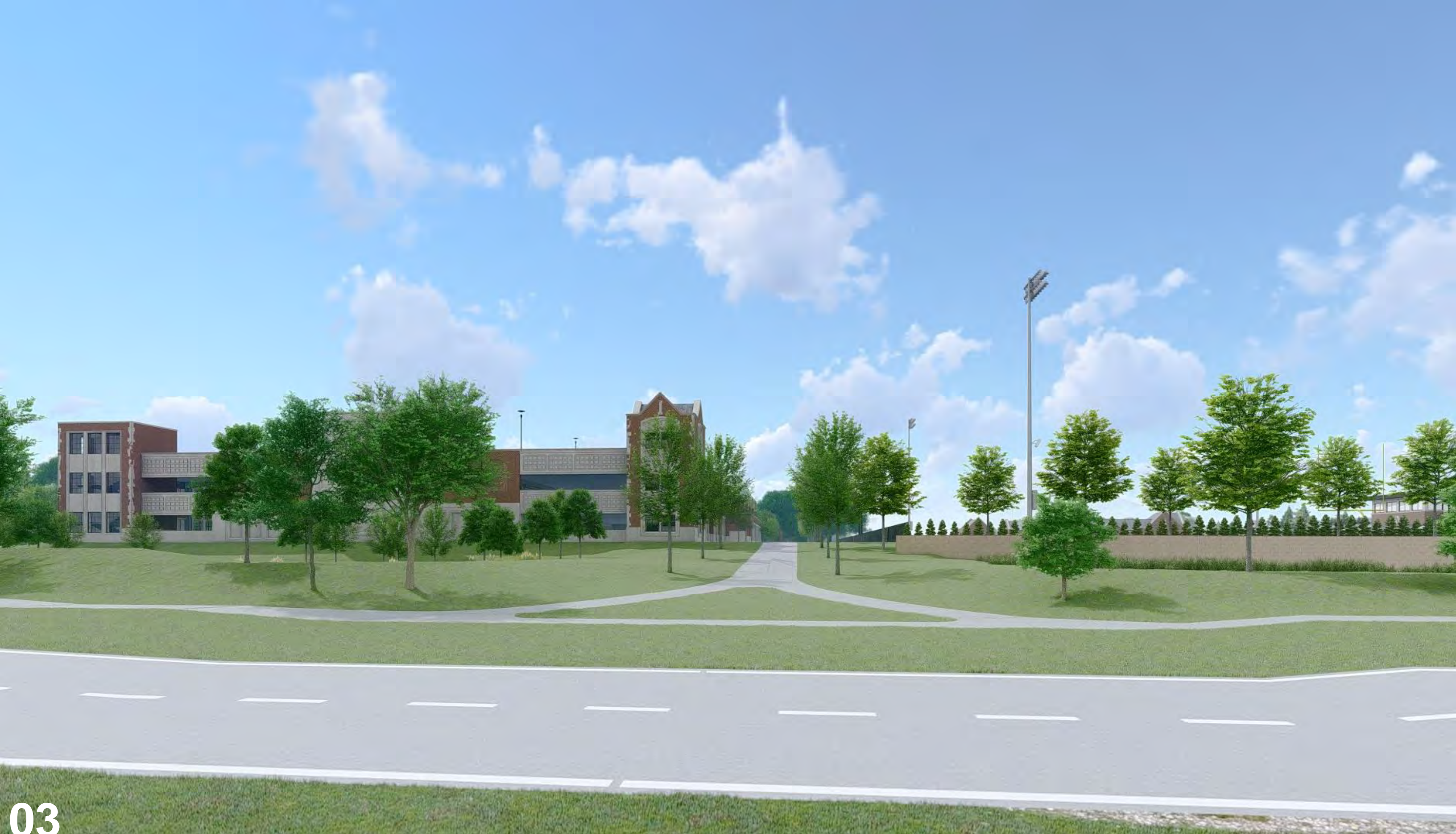
12 MILE

DETROIT CATHOLIC CENTRAL

11.14.2022

3





03

12 MILE

DETROIT CATHOLIC CENTRAL

11.14.2022

4





04

12 MILE

DETROIT CATHOLIC CENTRAL

11.14.2022

5





05

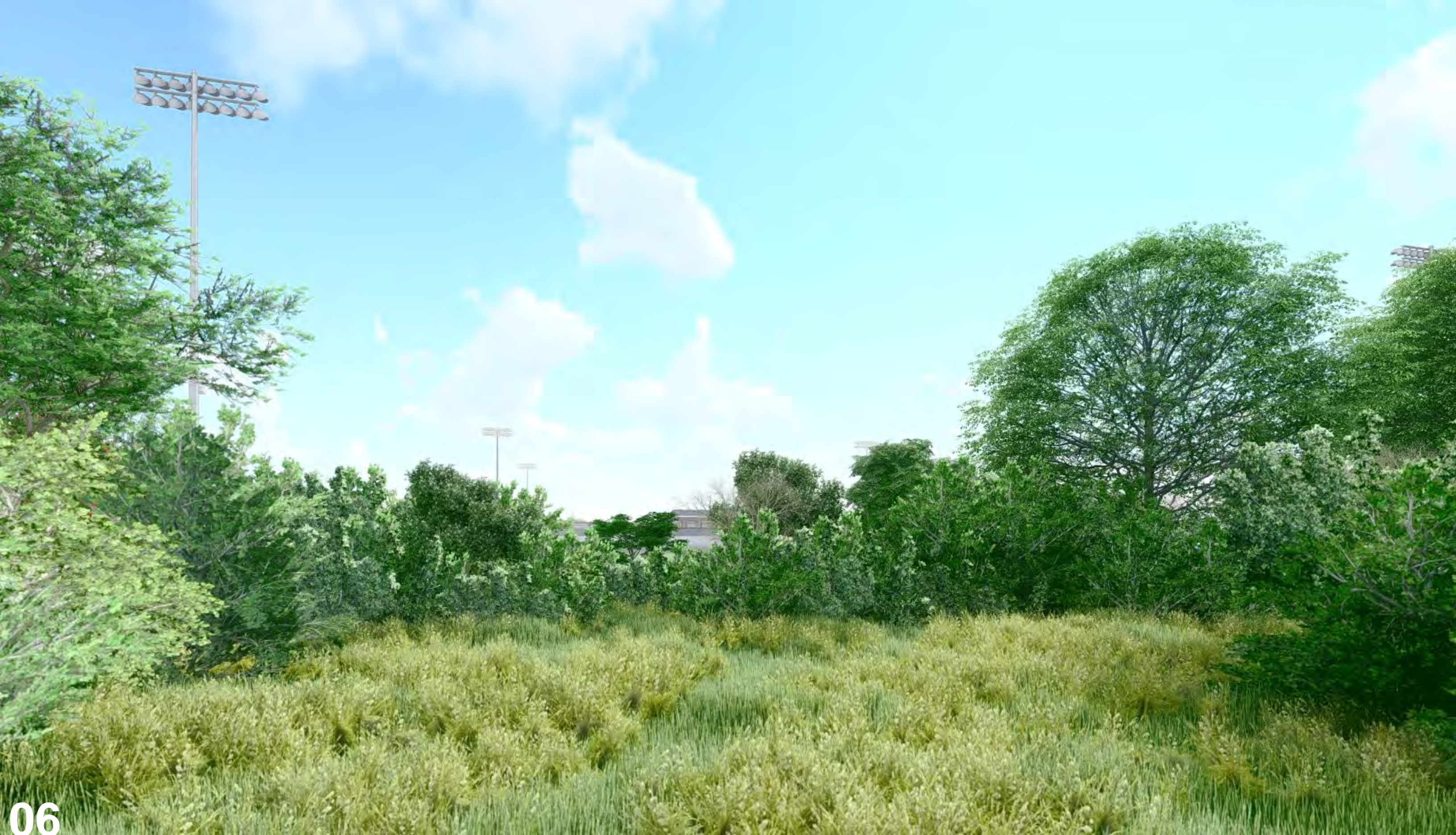
12 MILE

DETROIT CATHOLIC CENTRAL

11.14.2022

6

iDS



06

WEST PROPERTY LINE

DETROIT CATHOLIC CENTRAL

11.14.2022

7

iDS



North Campus Athletics

27225 Wixom Rd.
Novi, MI 48374

Key Plan



PARKING DECK NORTH RENDERING - NTS



PARKING DECK NORTHWEST RENDERING - NTS



PARKING DECK SOUTHWEST RENDERING - NTS



PARKING DECK NORTHEAST RENDERING - NTS

Project Administrator
A. Everett
Project Designer
A. LaTona
Project Architect / Engineer
R. Gurche
Drawn By
R. Gurche
Q.M. Review
N. LaForest
Approved
B. Sunberg
Drawing Scale
As Noted

Issued for	Issue Date
Pre App Submittal	07-25-2022
PSP Submittal	09-16-2022
Rev. PSP Submittal	11-14-2022



North Campus Athletics and Parking Structure

27225 Wixom Rd.
Novi, MI 48374

Key Plan

Project Administrator

A. Everett

Project Designer

A. LaTona

Project Architect / Engineer

M. Nowakowski

Drawn By

R. Gurche

Q.M. Review

N. LaForest

Approved

B. Sunberg

Drawing Scale

As Noted

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IDS Drawing Title

Parking Structure Exterior Elevations

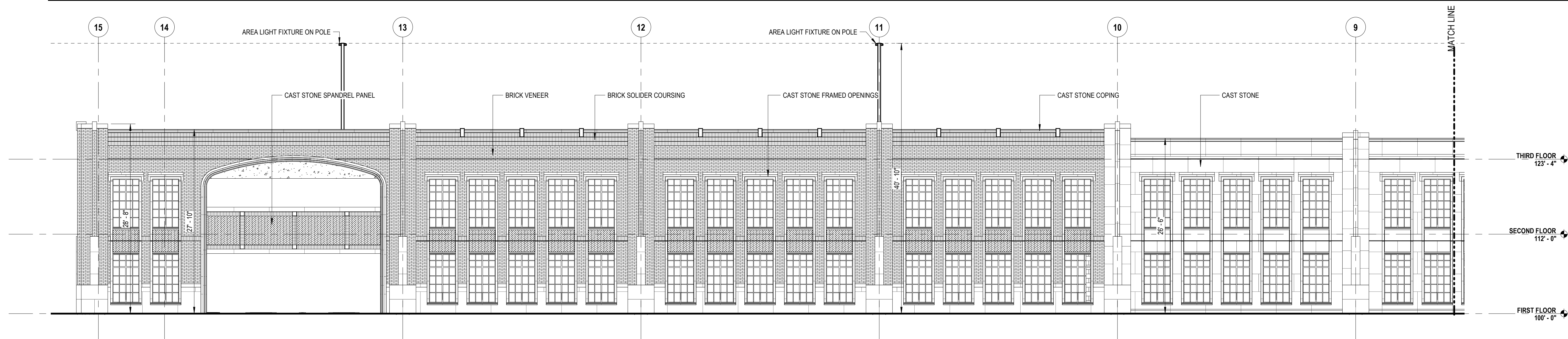
NOT FOR CONSTRUCTION

IDS Project Number

Drawing Number

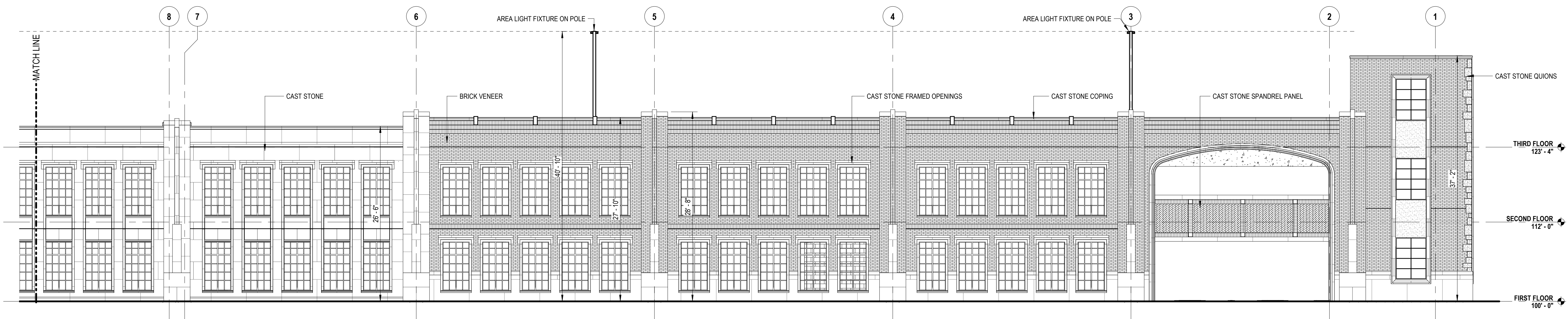
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SA3.3



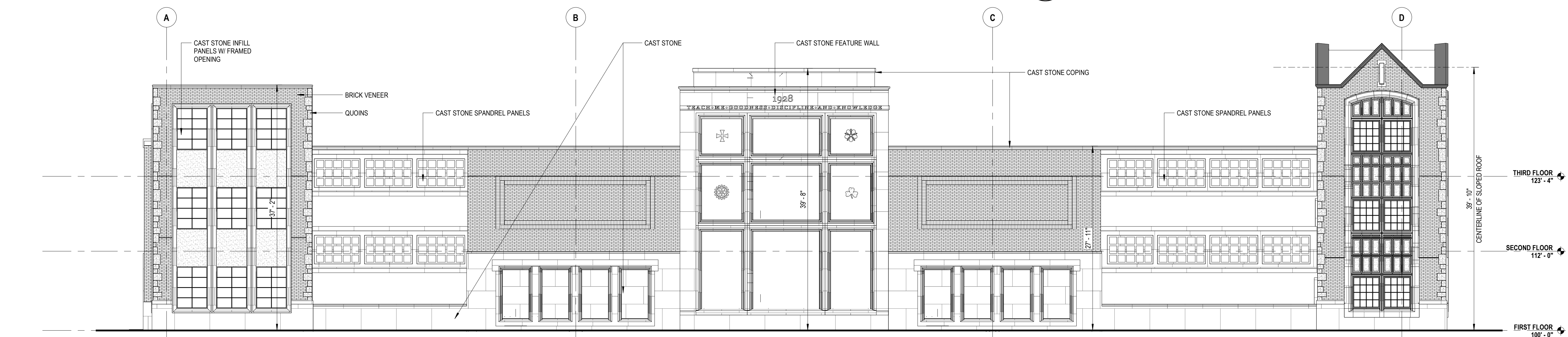
5 PARKING STRUCTURE PARTIAL EAST ELEVATION

SA1.3 1/8" = 1'-0"



4 PARKING STRUCTURE PARTIAL EAST ELEVATION

SA1.3 1/8" = 1'-0"



6 PARKING STRUCTURE NORTH ELEVATION

SA1.3 1/8" = 1'-0"



North Campus Athletics and Parking Structure

27225 Wixom Rd.
Novi, MI 48374

Key Plan

Project Administrator

A. Everett

Project Designer

A. LaTona

Project Architect / Engineer

M. Nowakowski

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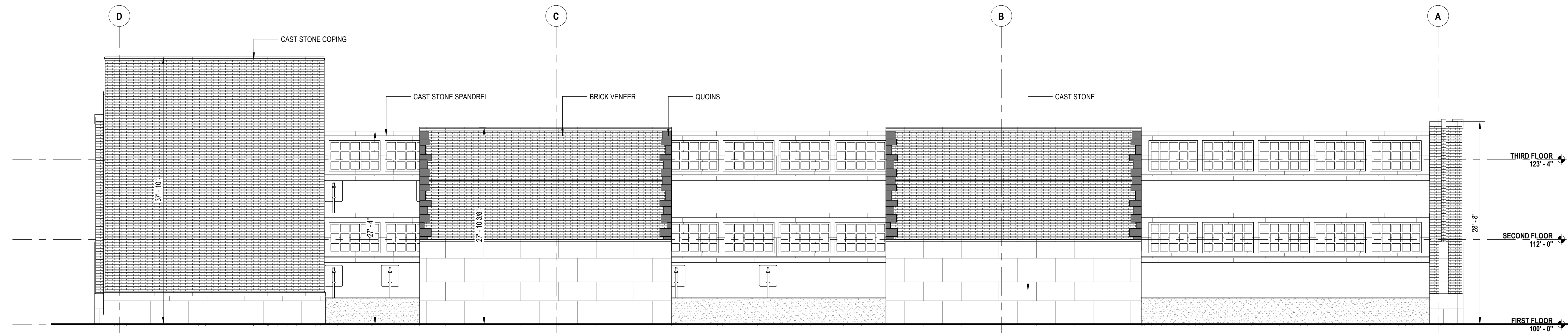
Parking Structure Exterior Elevations

NOT FOR CONSTRUCTION

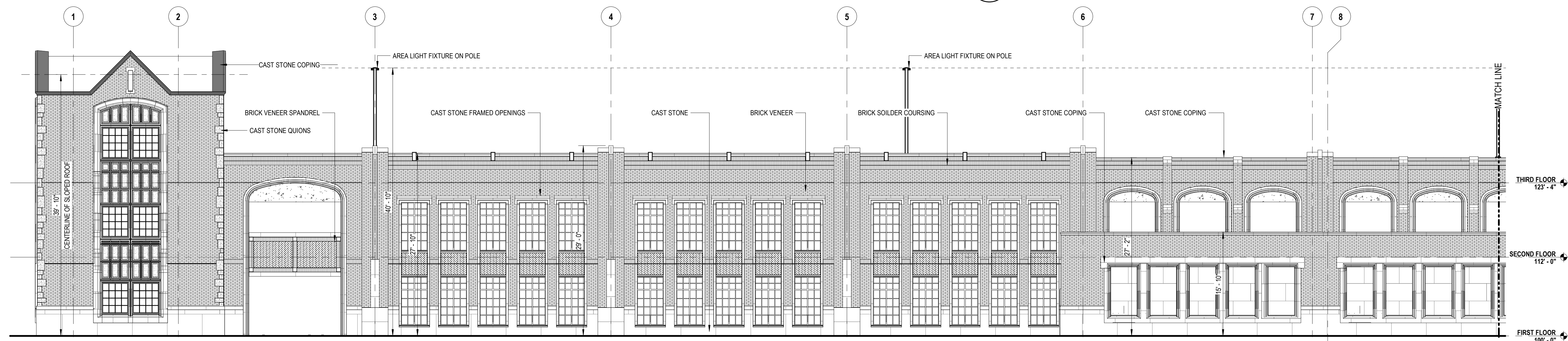
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19200.4000

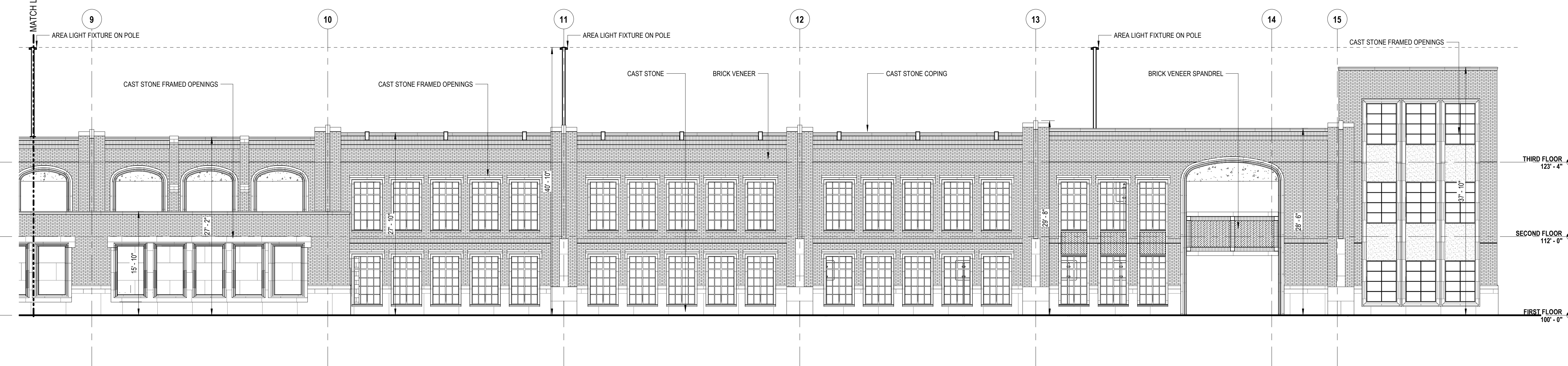
SA3.4



5 PARKING STRUCTURE SOUTH ELEVATION
SA1.3 1/8" = 1'-0"



4 PARKING STRUCTURE PARTIAL WEST ELEVATION
SA1.3 1/8" = 1'-0"

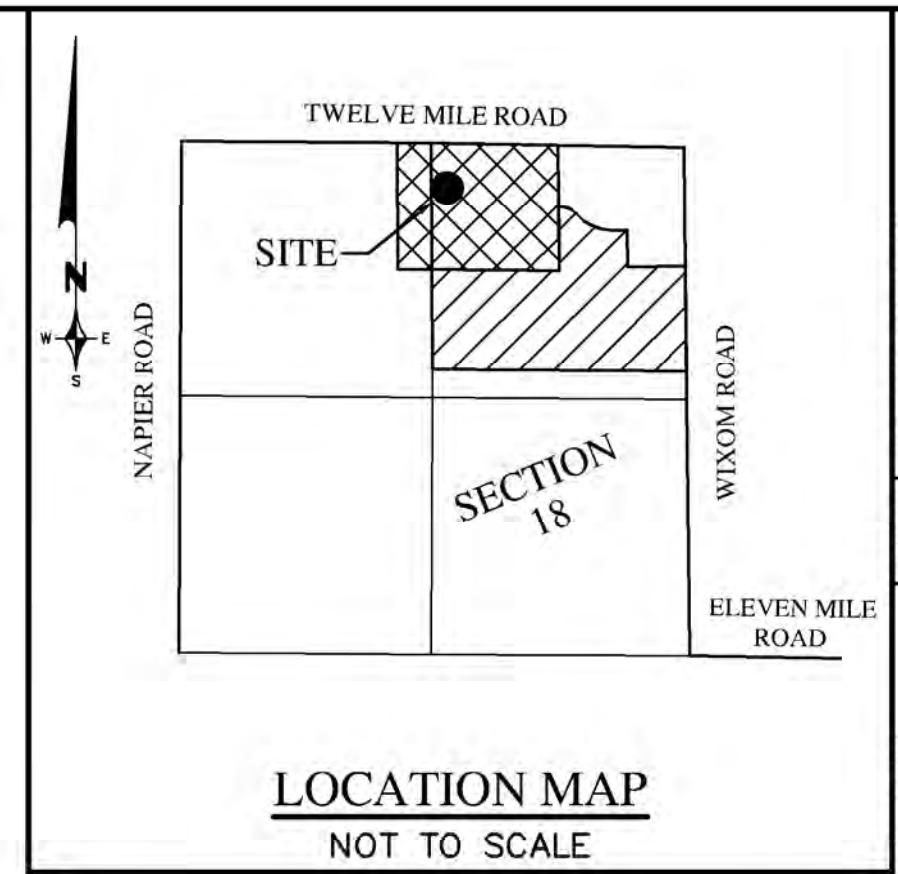


3 PARKING STRUCTURE PARTIAL WEST ELEVATION
SA1.3 1/8" = 1'-0"



PRELIMINARY SITE PLAN AND STORMWATER MANGEMENT PLAN FOR NORTH CAMPUS ATHLETICS AND PARKING STRUCTURE CATHOLIC CENTRAL HIGH SCHOOL SECTION 18, CITY OF NOVI, MICHIGAN

TAX I.D. NUMBER: 22-18-200-026



SITE DATA:

PROPOSED USE: ATHLETIC FIELDS AND PARKING STRUCTURE FOR CATHOLIC CENTRAL HIGH SCHOOL

ZONED: R-4

DENSITY/AREA CALCULATIONS:

	GROSS BUILDING AREA	LOT COVERAGE
EXISTING	193,602 S.F.	3.85%
PROPOSED	87,525 S.F.	1.75%
TOTAL	281,127 S.F.	5.60%

BUILDING SETBACKS:

PROPOSED-	PRESS BOX	HOSPITALITY	PARKING STRUCTURE
FRONT (NORTH)	357.22'	604.09'	146.53'
SIDE (EAST)	1,051.31'	879.44'	515.13'
SIDE (WEST)	416.65'	433.97'	740.38'
REAR (SOUTH)	876.79'	602.75'	671.35'

BUILDING HEIGHT:

ALLOWED: 35'

PROPOSED:

PRESS BOX	28'-1"
HOSPITALITY	21'-8 1/2"
PARKING STRUCTURE	41'-7"

Catholic Central Parking Schedule

Parking Provided after STEM addition and North Athletic Fields

Parking Lot	Regular	Barrier Free	Van Accessible	Total
East	87	2	2	91
West & Visitor	175	4	2	181
Stadium	198	4	2	204
North	277	5	2	284
South	37	0	2	39
Parking Deck	686	11	5	702
TOTAL	26	26	15	1501
Total Barrier Free Provided				41

Parking Required

1 Space for every Teacher/Administrator/Day Employee	120
1 Space for every 4 students of driving age (606)	152
Total	272
or	
1 space for each 3.4 auditorium seats (Gym Capacity 2,052)	603
1 space for every employee	120
Total	723

or

1 space for each 3 stadium seats (Existing Stadium 3,500)	1167
(No simultaneous events are scheduled during football games)	

Parking Lot	Barrier Free	Van Accessible	Total
East	3	1	4
West & Visitor	5	1	6
Stadium	6	1	7
North	6	1	7
South	0	2	2
Parking Deck	13	2	15
TOTAL	33	8	41

PARCEL 22-18-200-026 LEGAL DESCRIPTION:

PART OF THE NORTH 1/2 OF SECTION 18, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE NORTH 1/4 CORNER OF SECTION 18 AND PROCEEDING ALONG THE NORTH LINE OF SAID SECTION 18, SAID LINE ALSO BEING THE CENTERLINE OF 12 MILE ROAD (33 FEET WIDE, 1/2 WIDTH) S. 88°55'17" E. 1316.65 FEET; THENCE S. 00°44'12" E. 1306.18 FEET; THENCE N. 89°31'51" W. 1492.48 FEET; THENCE N. 00°15'03" W. 1320.00 FEET; THENCE ALONG THE NORTH LINE OF SAID SECTION 18, SAID LINE ALSO BEING THE CENTERLINE OF 12 MILE ROAD (33 FEET WIDE, 1/2 WIDTH) S. 89°31'51" E. 165.00 FEET TO SAID NORTH 1/4 CORNER OF SECTION 18 AND POINT OF BEGINNING CONTAINING 44.84 ACRES MORE OR LESS BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD AND THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL AGENCY OVER 12 MILE ROAD.

OVERALL LEGAL DESCRIPTION:

PART OF THE NORTH 1/2 OF SECTION 18, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE NORTH 1/4 CORNER OF SECTION 18 AND PROCEEDING ALONG THE NORTH LINE OF SAID SECTION 18, SAID LINE ALSO BEING THE CENTERLINE OF 12 MILE ROAD (33 FEET WIDE, 1/2 WIDTH) S. 88°55'17" E. 1316.65 FEET; THENCE THE FOLLOWING SEVEN (7) COURSES ALONG BERKSHIRE POINTE, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 2080, 1) S. 00°44'12" E. 630.03 FEET, 2) S. 89°31'51" E. 29.92 FEET, 3) 177.40 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 200.00 FEET, CENTRAL ANGLE 50°49'12" AND A CHORD THAT BEARS S. 64°07'16" E. 171.64 FEET, 4) 417.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 459.96 FEET, CENTRAL ANGLE 51°58'21" AND A CHORD THAT BEARS S. 64°41'50" E. 403.07 FEET, 5) N. 89°19'00" E. 165.00 FEET, 6) S. 00°41'00" E. 384.00 FEET AND 7) N. 89°19'00" E. 539.99 FEET TO A POINT ON THE 60 FOOT RIGHT OF WAY LINE OF WIXOM ROAD; THENCE ALONG SAID LINE S. 00°41'00" E. 1098.12 FEET TO A POINT ON THE NORTH LINE OF ISLAND LAKE VINEYARDS, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 1271; THENCE ALONG SAID LINE N. 89°23'05" W. 2585.76 FEET TO A POINT ON THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 18, ALSO BEING THE EAST LINE OF ANDELINA RIDGE, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 2063; THENCE ALONG SAID LINE N. 00°15'03" W. 1028.05 FEET; THENCE N. 89°31'51" W. 165.00 FEET; THENCE N. 00°15'03" W. 1320.00 FEET TO A POINT ON SAID NORTH LINE OF SECTION 18, ALSO BEING THE CENTERLINE OF 12 MILE ROAD; THENCE ALONG SAID LINE S. 89°31'51" E. 165.00 FEET TO SAID NORTH 1/4 CORNER OF SECTION 18 AND POINT OF BEGINNING CONTAINING 115.11 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD AND THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL AGENCY OVER WIXOM ROAD AND 12 MILE ROAD.

APPLICANT/OWNER:
CATHOLIC CENTRAL HIGH SCHOOL
27225 WIXOM ROAD
NOVI, MI 48374
PHONE: (248) 596-3899
CONTACT: MICHAEL WILSON

CIVIL ENGINEER/LAND SURVEYOR:
ZEIMET WOZNAK AND ASSOCIATES, INC.
3005 BOARDWALK DR.
NEW HUDSON, MI 48165
PHONE: (248) 437-5099 FAX: (248) 437-5222
CONTACT: ANDY WOZNAK

WETLAND/WOODLAND CONSULTANT:
BARR ENGINEERING
3005 BOARDWALK DR.
ANN ARBOR, MI 48108
PHONE: (734) 922-440
CONTACT: WOODY HELD

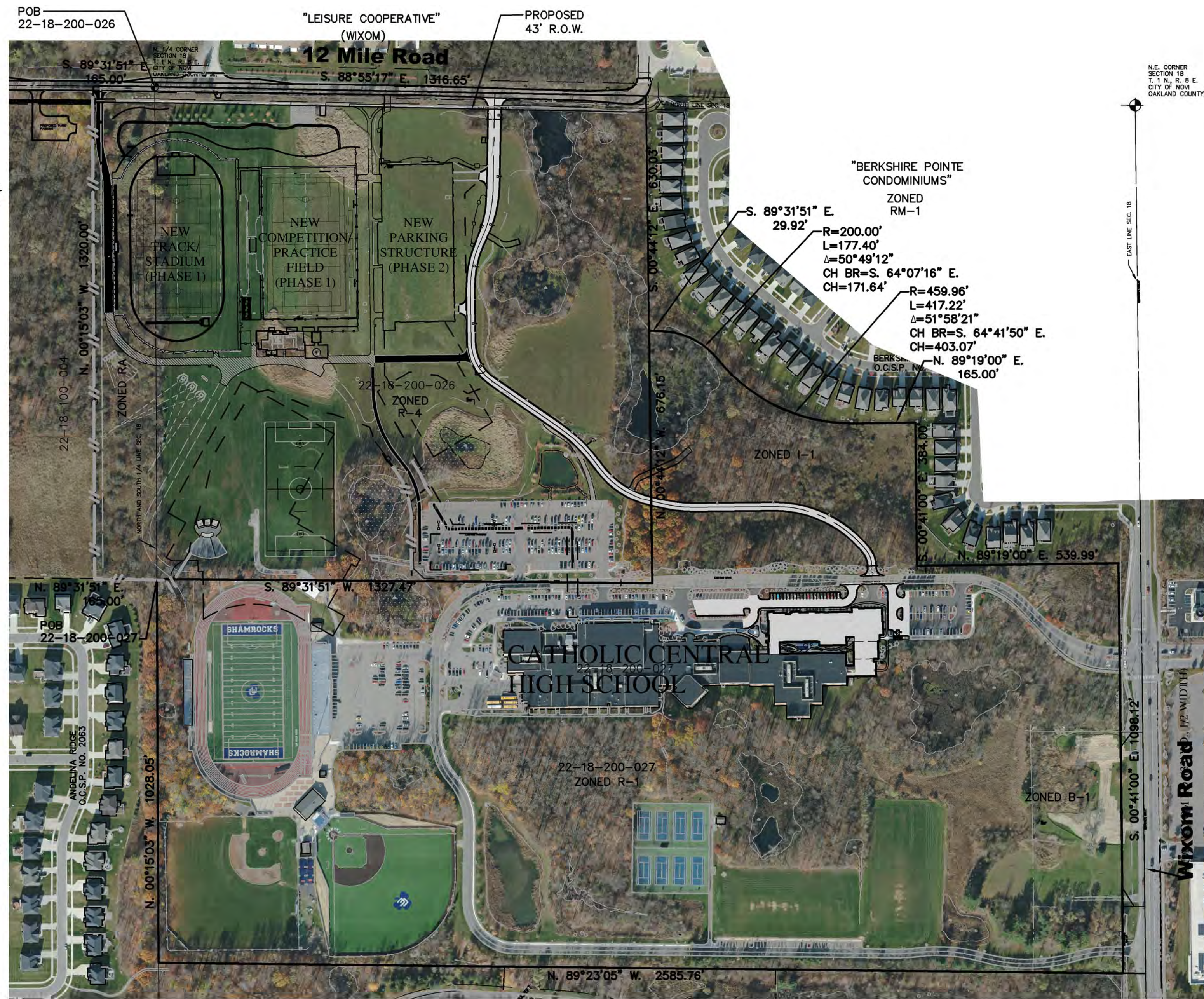
LANDSCAPE ARCHITECT:
GRISSIM METZ ANDRIESE ASSOCIATES
15000 N. EDWARD HINES DRIVE
PLYMOUTH, MI 48170
PHONE: (734) 922-440
CONTACT: RICH HOUDEK

ARCHITECT:
IDS
1441 WEST LONG LAKE, SUITE 200
TROY, MI 48098
PHONE: (248) 823-2100
CONTACT: BRUCE SNYDER

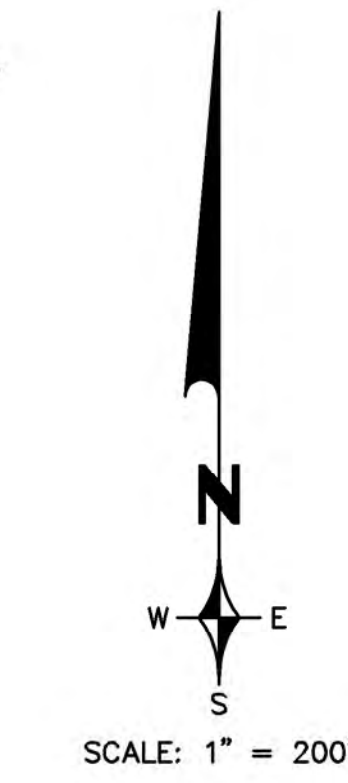
CONSTRUCTION MANAGER:
J.S. VIG CONSTRUCTION COMPANY
15040 CLEAT STREET
PLYMOUTH, MI 48170
PHONE: (734) 283-3002
CONTACT: JOSEPH S. VIG

22-18-100-004
NOVI PARKS &
RECREATION
ZONED
R-A

"ANDELINA RIDGE
OF NOVI"
ZONED
R-4



SITE MAP



"NOVI
PROMENADE"
ZONED
I-1

"TARGET"
ZONED
I-1

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COVER COVER SHEET

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- CE-1.1 SOIL BORINGS
- CE-1.2 TREE SURVEY - NORTH
- CE-1.3 TREE SURVEY - SOUTH
- CE-2 SITE DIMENSION AND PAVING PLAN
- CE-2.1 CONSTRUCTION PLAN NOTES AND DETAILS
- CE-3 GRADING PLAN
- CE-4 STORM SEWER PLAN
- CE-4.1 SANITARY SEWER PLAN
- CE-4.2 WATERMAIN PLAN
- CE-5 POST-DEVELOPMENT DRAINAGE MAP
- CE-5.1 2020 PRE-DEVELOPMENT DRAINAGE MAP
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- CE-7 EROSION CONTROL NOTES AND WETLAND DETAILS
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- L101 TREE REMOVAL PLAN AREA A
- L102 TREE REMOVAL PLAN AREA B
- L103 TREE REMOVAL PLAN AREA C
- L104 TREE REMOVAL PLAN AREA D
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 - SA1.3 PARKING STRUCTURE - FIRST AND SECOND LEVEL FLOOR PLAN
 - SA1.4 PARKING STRUCTURE - THIRD LEVEL AND ROOF PLAN
 - SA3.1 HOSPITALITY BUILDING ELEVATIONS
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 - ES.0 ELECTRICAL SITE COMPOSITE PLAN
 - ES.1 ELECTRICAL SITE PLAN SECTION 1
 - ES.2 ELECTRICAL SITE PLAN SECTION 2
 - ES.3 ELECTRICAL SITE PLAN SECTION 3
 - ES.1 RISER AND ONE LINE DIAGRAM
 - E7.1 DETAILS
 - E7.2 DETAILS
 - E7.3 DETAILS
 - EN.1 SPORTS FIELD ATHLETIC LIGHTING
 - EN.2 SPORTS FIELD ATHLETIC LIGHTING
 - EN.3 SPORTS FIELD ATHLETIC LIGHTING
 - EN.4 SPORTS FIELD ATHLETIC LIGHTING
 - 1 OF 3 SITE LIGHTING CALCULATIONS
 - 2 OF 3 SITE LIGHTING CALCULATIONS
 - 3 OF 3 SITE LIGHTING CALCULATIONS

SITE DEVELOPMENT NOTES:

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS AND STANDARD DETAILS OF THE CITY OF NOVI.
- CALL MISS DIG (1-800-647-7344 / 1-800-MISS DIG) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UNDERGROUND UTILITIES CAUSED BY HIS OPERATIONS.
- TRENCHES UNDER OR WITHIN 3 FT. OF EXISTING OR PROPOSED PAVEMENTS, DRIVEWAYS, AND/OR SIDEWALKS SHALL BE BACKFILLED AND COMPACTED WITH MDOT CLASS II SAND.
- WHERE UTILITIES CROSS, PROVIDE POROUS BACKFILL TAMPED IN 12" LAYERS TO THE UNDERSIDE OF THE HIGHER UTILITY. A 6" MIN. SAND CUSHION SHALL BE PROVIDED BETWEEN UTILITIES.
- ALL SEWER CONSTRUCTION SHALL HAVE MDOT CLASS II BEDDING UNLESS OTHERWISE SPECIFIED ON THE PROFILES.
- ALL ELEVATIONS SHOWN ARE BASED ON U.S.G.S. DATUM.
- ALL DISTURBED AREAS BE PROMPTLY RESTORED BY THE CONTRACTOR.
- ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE EMERGENCY ACCESS TO PROPERTY FOR THE POLICE, FIRE DEPARTMENT, AMBULANCES OR OTHER EMERGENCY VEHICLES TO PROTECT LIFE, HEALTH AND PROPERTY.
- PAVED STREET AND DRIVEWAYS MUST BE MAINTAINED IN A REASONABLE STATE OF CLEANLINESS AND THE CONTRACTOR SHALL REMOVE ACCUMULATIONS OF DEBRIS CAUSED BY CONSTRUCTION OPERATIONS.
- CONTRACTOR MUST PROVIDE ALL NECESSARY SHEETING, SHORING, DEWATERING, BRACING, TRENCH BOXES, ETC. TO PERFORM WORK SAFELY AND PROTECT EXISTING UTILITIES AND IMPROVEMENTS IN ACCORDANCE TO MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (MIOSHA).
- IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THEN A DEWATERING PLAN MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE CITY'S ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
- ALL WORK WITHIN THE 12 MILE ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF NOVI AND REQUIRES A PERMIT.
- BUILDOUT OF THE PARKING STRUCTURE IS PHASE 2. ALL OTHER PROPOSED IMPROVEMENTS, INCLUDING THE PAD AND UTILITIES TO SUPPORT THE PARKING STRUCTURE SHALL BE INSTALLED WITH PHASE 1.

GENERAL NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

NOT FOR CONSTRUCTION

ISSUED FOR: 11/7/22 REV. PSP SUBMITTAL

DATE: 6/30/22 OWNER REVIEW
7/25/22 PRE-APP SUBMITTAL
9/16/22 PSP SUBMITTAL
10/28/22 DD

THREE FULL WORKING DAYS BEFORE THE CITY OF NOVI ENGINEERING DIVISION CALLS FOR THE MISS DIG SYSTEM (1-800-647-7344)

PROJECT SPONSOR:
CATHOLIC CENTRAL HIGH SCHOOL
27225 WIXOM ROAD
NOVI, MI 48374

COVER SHEET
NORTH CAMPUS ATHLETICS AND PARKING DECK
SECTION 18, CITY OF NOVI, MICHIGAN

FIELD BOOK

SCALE: HOR: 1" = 200' / V: 1" = 10'
DESIGNED BY: J.W.M.
JOB NO.: 19120.3
DRAWN BY: D.B.S.
SHEET NO.: COVER

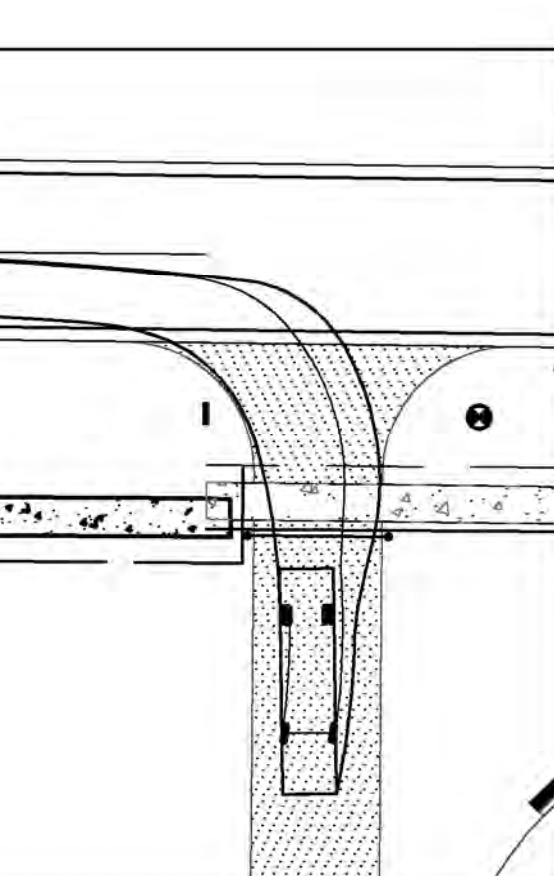
© COPYRIGHT 2022

SIGHT DISTANCE LINE = 360' (35 MPH)

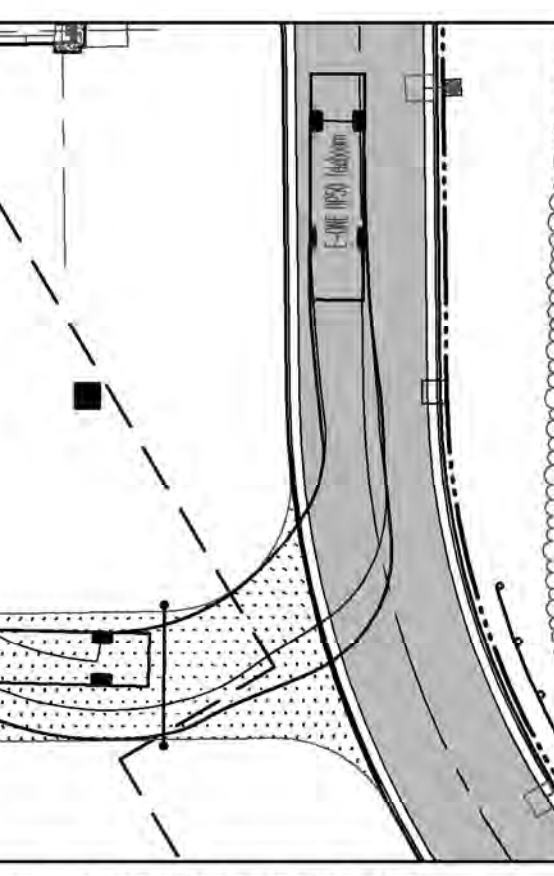


ACCESS GATE

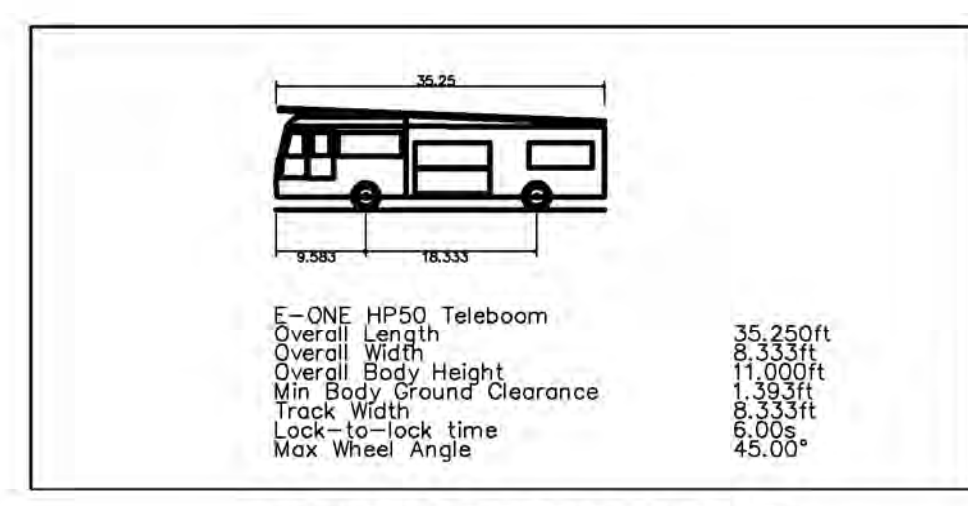
PROPOSED PARK PARKING



TURNING OFF OF 12 MILE ROAD
SCALE: 1"=30'



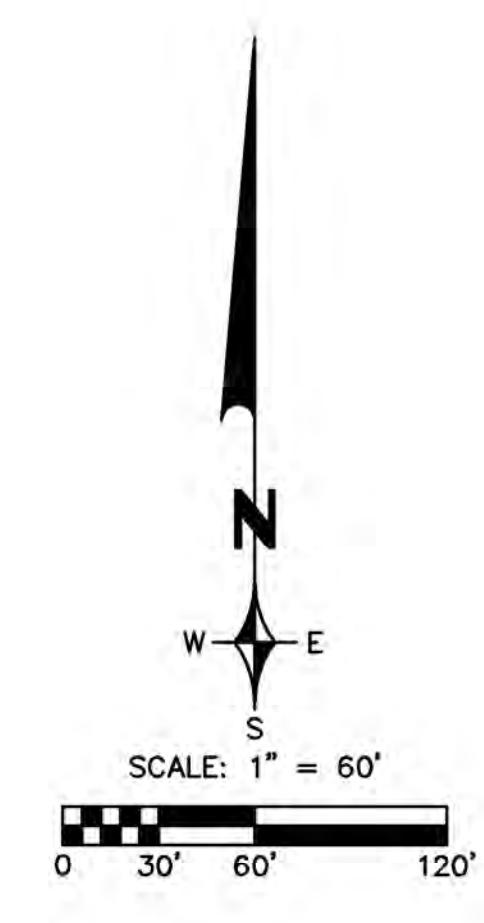
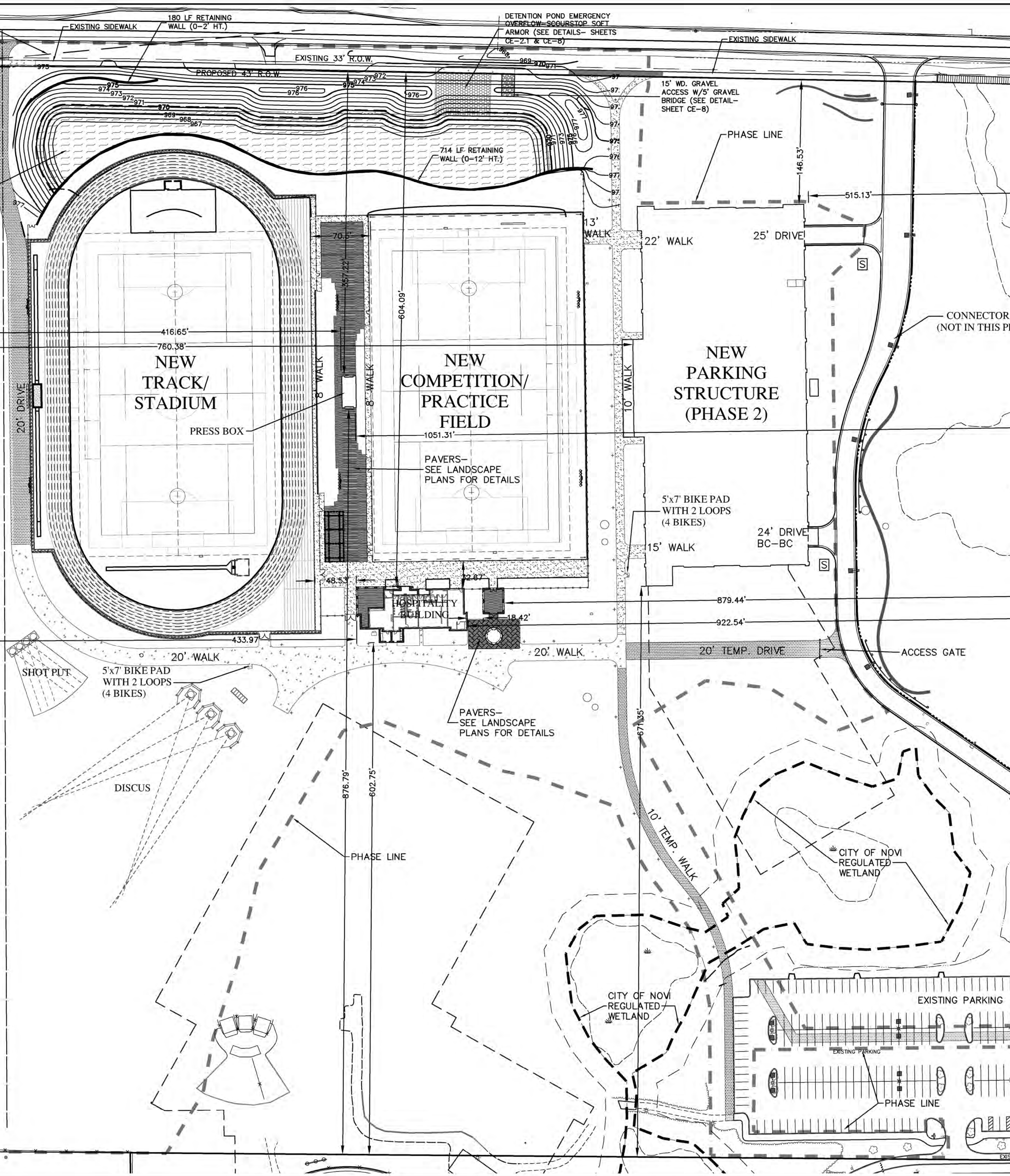
TURNING OFF OF CONNECTOR ROAD
SCALE: 1"=30'



VEHICLE TURNING TEMPLATE
NOT TO SCALE

NORTHWEST DETENTION POND

PHASE LINE



PAVEMENT LEGEND:

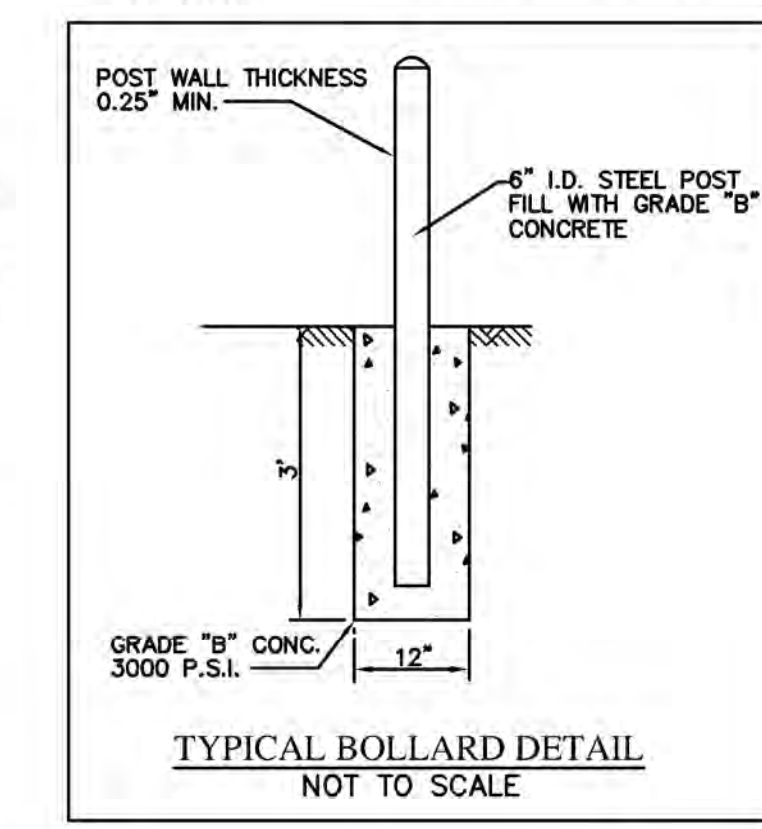
KEY	DESCRIPTION	QUANTITY
	STANDARD DUTY CONCRETE WALKWAY/ MAINTENANCE ACCESS DRIVEWAY PER DETAIL-12	29,307 SF
	HEAVY DUTY CONCRETE WALKWAY PER DETAIL-9B	22,247 SF
	HEAVY DUTY BITUMINOUS ASPHALT DRIVEWAY PER DETAIL-9C	1,723 SF
	STANDARD DUTY BITUMINOUS ASPHALT MAINTENANCE ACCESS DRIVEWAY PER DETAIL-12	22,719 SF
	LIGHT DUTY CONCRETE NON-MOTORIZED PATHWAY/SIDEWALK PER DETAIL-11B (REMOVE AND REPLACE)	649 SF

TRAFFIC SIGNING TABLE:

ITEM	MMUTCD CODE	QUANTITY	SIZE	DESCRIPTION
	R1-1	2	30"x30"	STOP
	R7-8	16	12"x18"	BARRIER FREE PARKING
	R7-8P	5	12"x6"	VAN ACCESSIBLE PLAQUE

PAVEMENT MARKING NOTES:

- STANDARD PARKING SPACES SHALL BE STRIPED WITH FOUR (4) INCH WIDE WHITE STRIPES.
- ACCESSIBLE PARKING SPACES AND ASSOCIATED AISLE SHALL BE STRIPED WITH FOUR (4) INCH WIDE BLUE STRIPES.
- WHERE ADA SPACES ABUT NORMAL SPACE, BLUE STRIPES SHOULD ABUT WHITE STRIPES.



GENERAL NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

NOT FOR CONSTRUCTION

DATE: 11/14/22 REV. P.S.P. SUBMITTAL

DATE: 6/20/22 OWNERS REVIEW

DATE: 7/25/22 PRE-APP SUBMITTAL

DATE: 9/16/22 P.S.P. SUBMITTAL

DATE: 10/28/22 DD

THREE HILLS CONSULTANTS
3300 GRAND RIVER AVE. SUITE 100
CANTON, OHIO 44705
P: (330) 337-5069 F: (330) 337-5222 WWW.THREEHILLSCONSULTANTS.COM

MISS DIG SYSTEM, INC.
CALL THERMS DIG SYSTEM
1-800-852-7171

ZEMET WIZNIAK CONSULTANTS
CIVIL ENGINEERS & LAND SURVEYORS
5500 GRAND RIVER AVE. SUITE 100
CANTON, OHIO 44705
P: (330) 337-5069 F: (330) 337-5222 WWW.ZEMETWIZNIAK.COM

PROJECT SPONSOR:
CATHOLIC CENTRAL HIGH SCHOOL
27225 WYOM ROAD
NOVI, MI 48374

SITE DIMENSION AND PAVING PLAN
NORTH CAMPUS ATHLETICS AND PARKING DECK
SECTION 18, CITY OF NOVI, MICHIGAN

FIELD BOOK

DATE: 5/30/22

SCALE: HOR: 1" = 60'

SCALE: VER: 1" = 12'

JOB NO: 19120.3

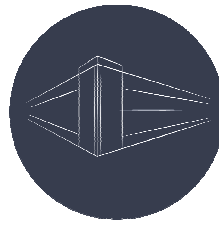
DESIGNED BY: JAY

CHECKED BY: DAB

SHEET NO: CE-2

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Attachments for Section 5.3.12 Variance Request



RICH & ASSOCIATES
PARKING CONSULTANTS

December 21, 2022

Lindsay Bell - Senior Planner AICP
City of Novi
45175 Ten Mile Road
Novi, Michigan 48375

Re: Catholic Central North Campus- Parking Structure
Novi Planning Review Center Report (JSP 22-37)
End Islands (Sec. 3.3.12)

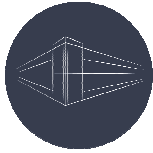
Lindsay

This letter is in specific reference to the need for painted end islands along cross aisles in the referenced parking structure. In Rich & Associates' professional opinion, we do not believe that the islands should be required inside of the proposed structure based on the following comments:

1. Rich & Associates has not in the last 30 years been required by any municipality to add end striping islands inside of parking structures. We have added landscaped islands in surface lots. This requirement is typically considered an undo financial burden by most since the cost per sq. ft. of structured parking is significantly higher than surface parking.
2. Parking Industry associations such as National Parking Association (NPA) and International Parking & Mobility Institute (IPMI) make no reference to the need for including end island striping in their recommended design standards for parking structures.
3. Rich & Associates' standard is to make end cross aisles in 90 degree two way traffic a minimum of 26'-0" (26'-8" provided on current plans). We believe this is a more effective way to minimize vehicular conflicts at the cross aisles in a parking structure.



The nation's foremost parking consultants, planning & designing great places to park since 1963



RICH & ASSOCIATES
PARKING CONSULTANTS

Lindsay Bell - Senior Planner AICP

December 21, 2022

Page 2

4. End striping islands will not stop people from parking in the spots so a wider cross aisle we believe is a better solution.
5. In the case of this parking structure, this requirement will result in the loss of 20 to 24 spaces. These spaces are desperately needed as the other building programs at this campus are creating a greater need for additional parking while at the same time reducing the count of existing spaces.

Should you have any questions about the information provided, please do not hesitate to contact me at your earliest convenience.

Sincerely,

RICH & ASSOCIATES, INC.
PARKING CONSULTANTS

Matthew J. Jobin R.A.
Senior Project Manager/Associate

cc: Andy Wozniak - Zeimet Wozniak & Associates
Bruce Snyder - Integrated Design Solutions
Rick Kinnell - Rich & Associates

Parking Structure at ITC Headquarters

No painted end islands

Energy Way

ITC Grid Development

Fox Run
No painted end islands



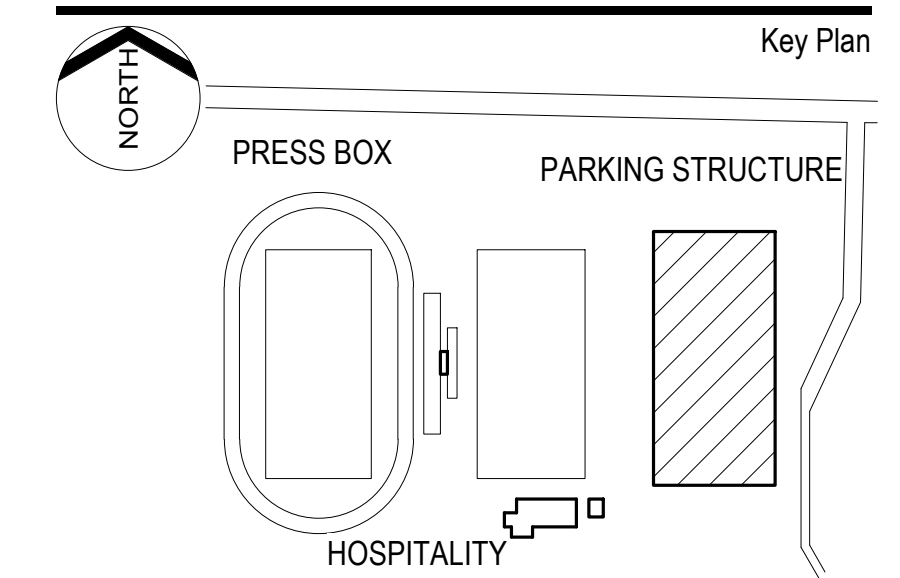
Fox Run Rd



Project Title

North Campus Athletics and Parking Structure

27225 Wixom Rd.
 Novi, MI 48374



Project Administrator
 A. Everett
 Project Designer
 A. LaTona
 Project Architect / Engineer
 M. Nowakowski
 Drawn By
 R. Gurche
 Q.M. Review
 N. LaForest
 Approved
 B. Sunberg
 Drawing Scale
 As Noted

Issued for	Issue Date
Pre App Submittal	07-25-2022
PSP Submittal	09-16-2022
Rev. PSP Submittal	11-14-2022
ZBA Submittal	01-03-2023

© 2020 INTEGRATED design SOLUTIONS, LLC
 IDS Drawing Title

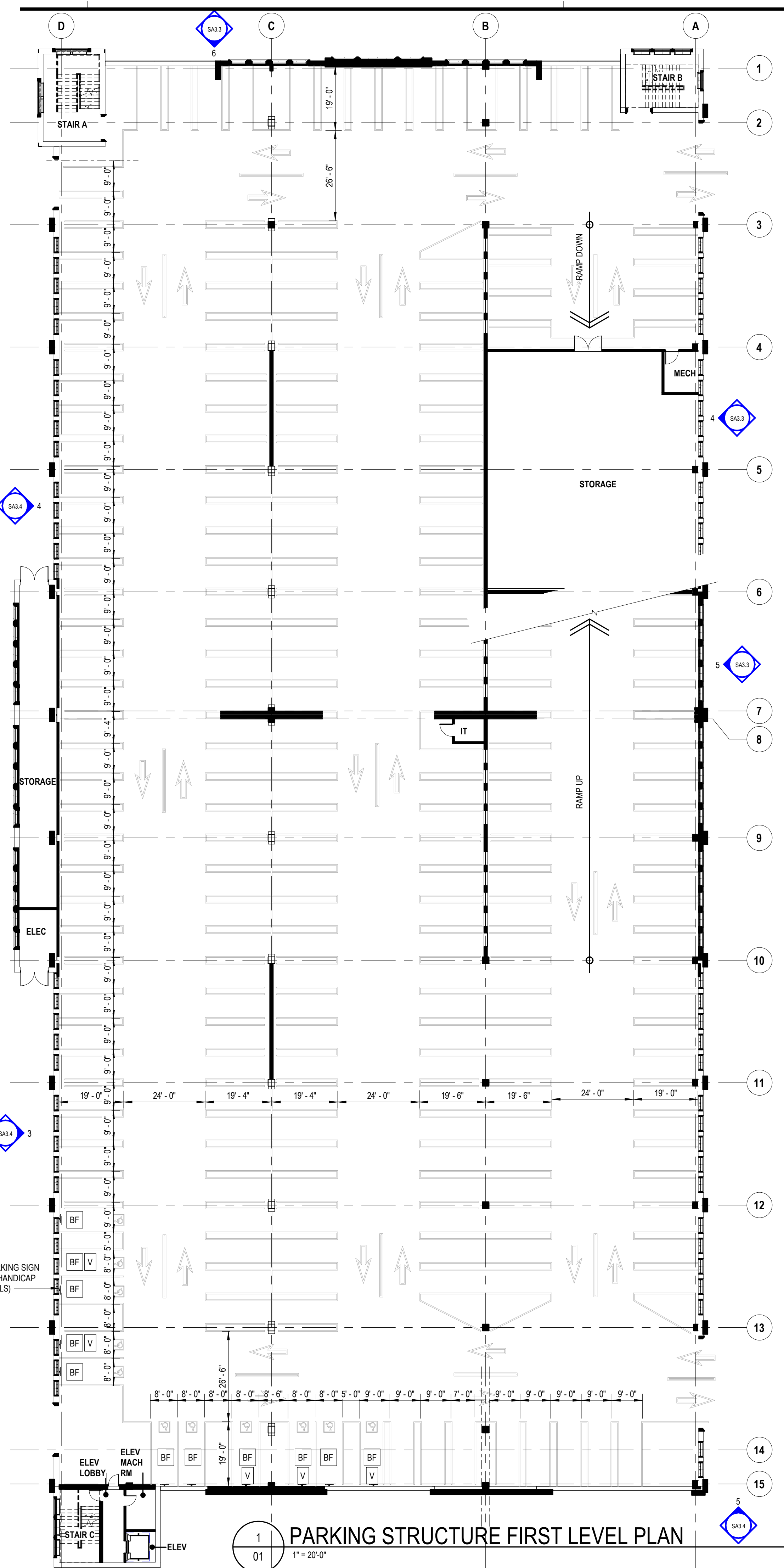
Parking Structure - First and Second Level
 Floor Plan

NOT FOR CONSTRUCTION

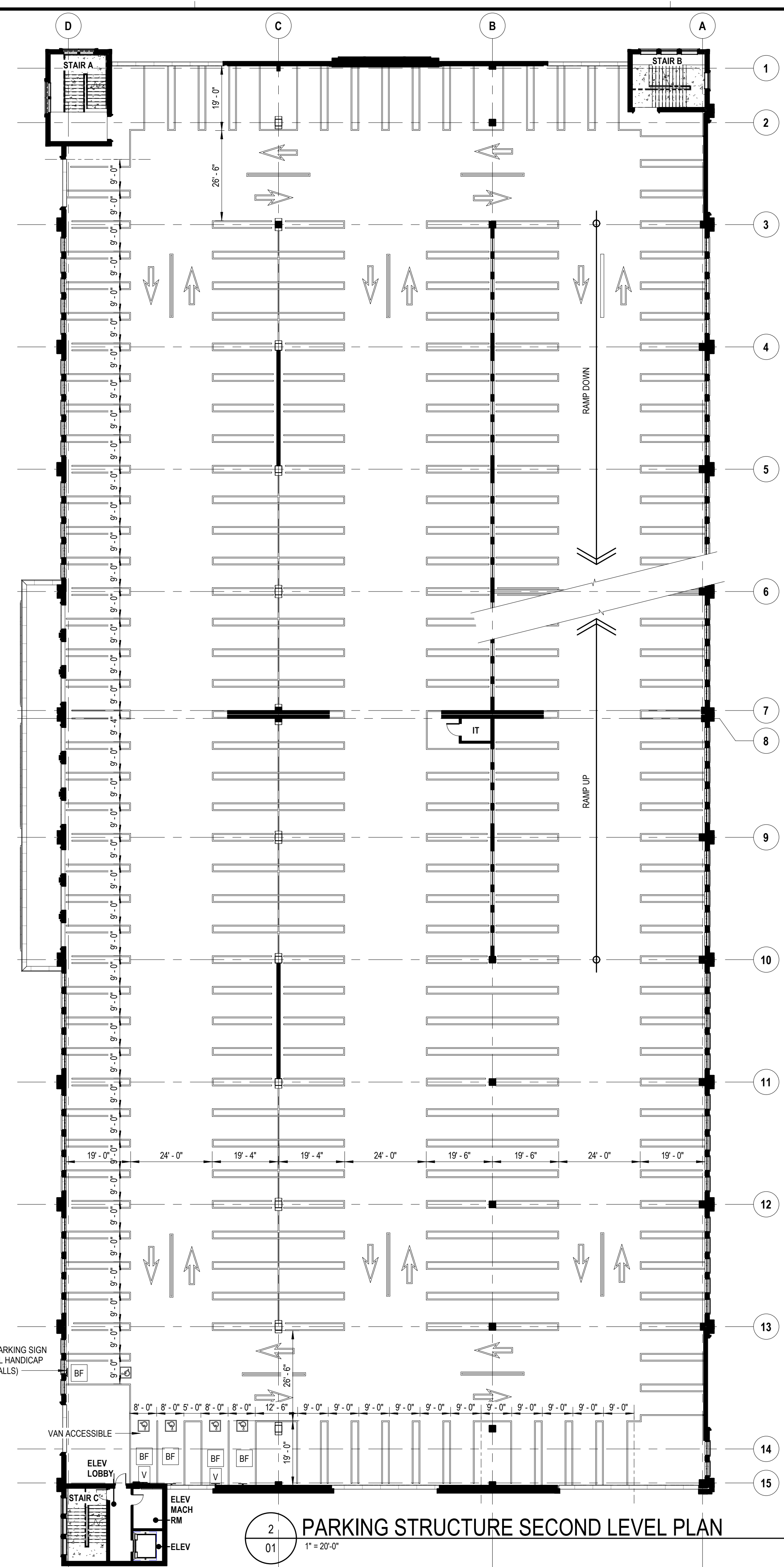
IDS Project Number Drawing Number

19200.4000

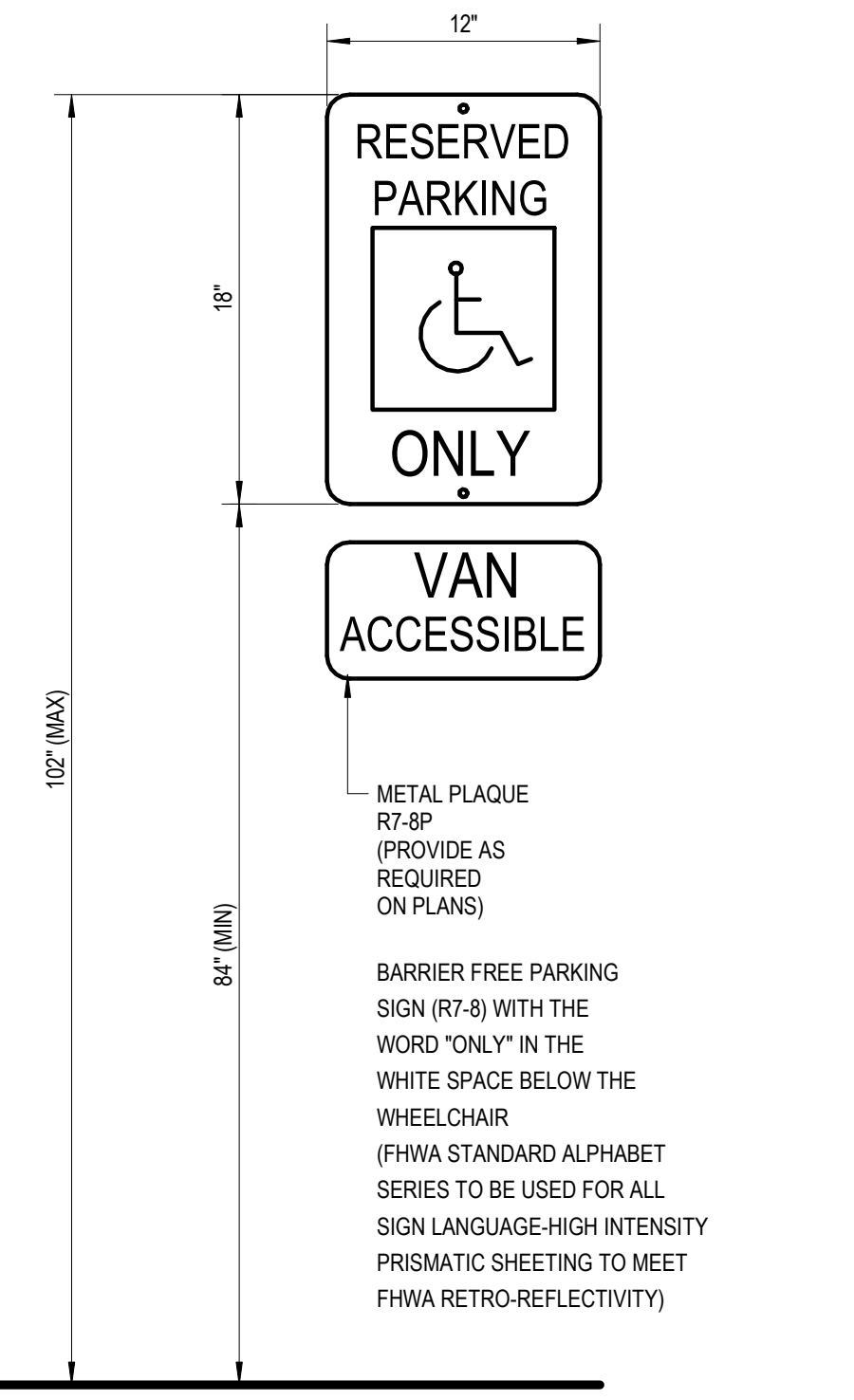
SA1.3



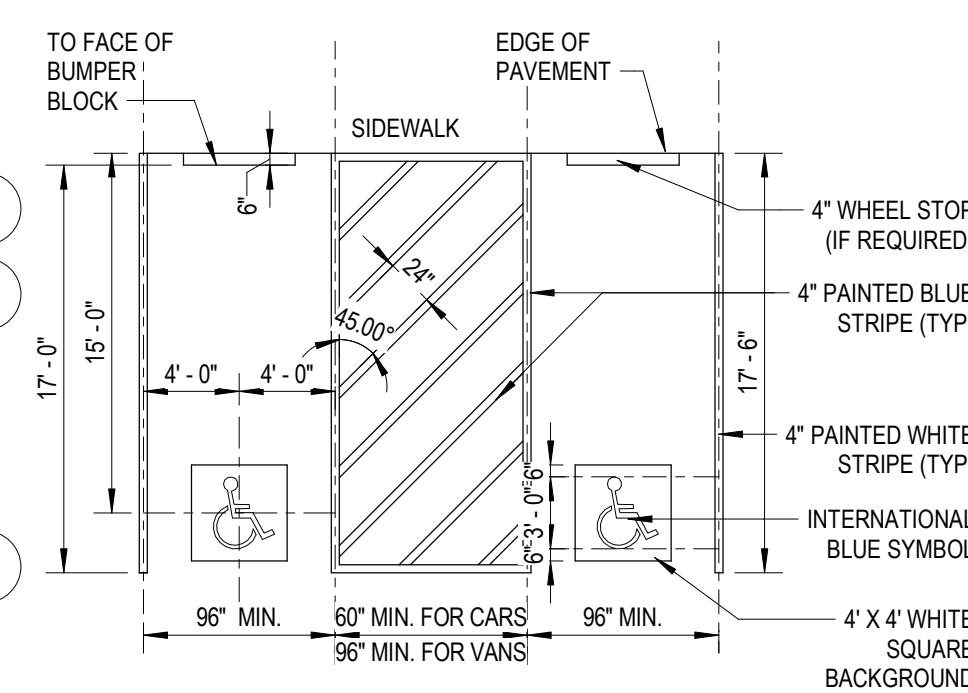
1 PARKING STRUCTURE FIRST LEVEL PLAN
 01 1" = 20'-0"



2 PARKING STRUCTURE SECOND LEVEL PLAN
 01 1" = 20'-0"

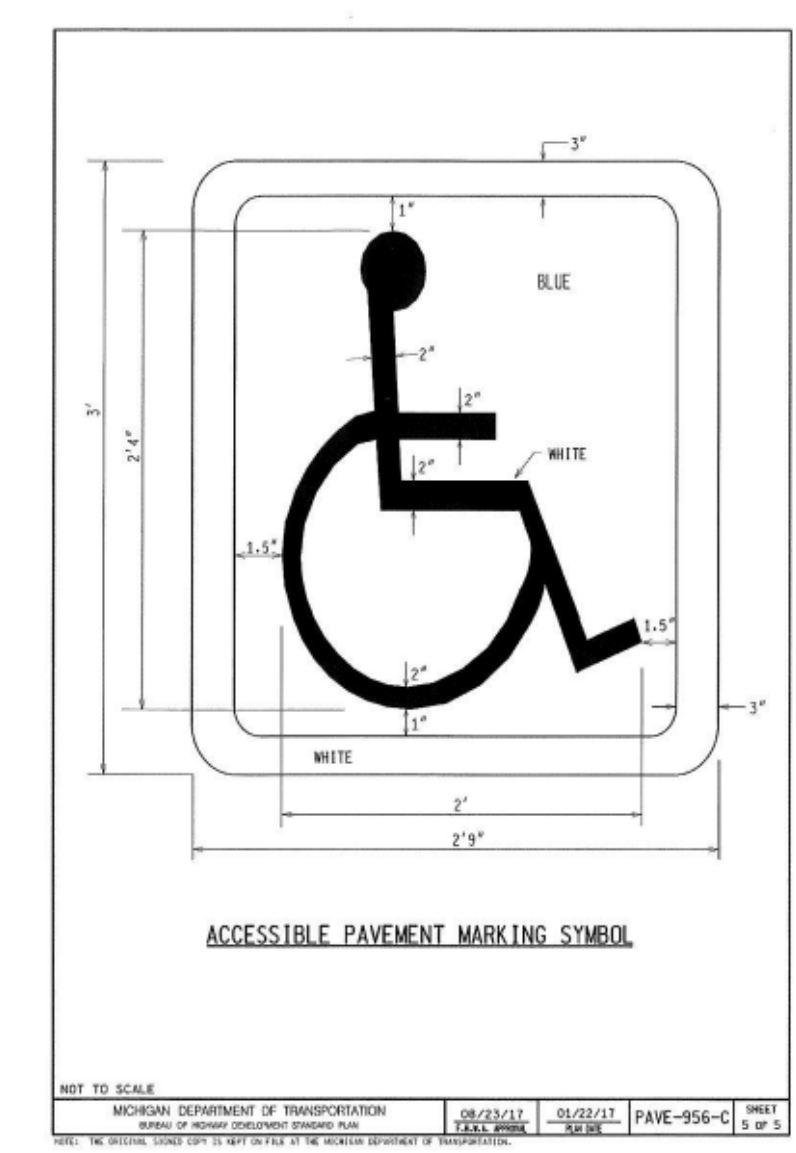


SIGN STANDARD



NOTE:
 STRIPING AND CONSTRUCTION SHALL CONFIRM TO APPLICABLE FEDERAL, STATE AND CITY CODES AND SPECIFICATIONS

STRIPING STANDARD



PAVEMENT MARKING SYMBOL

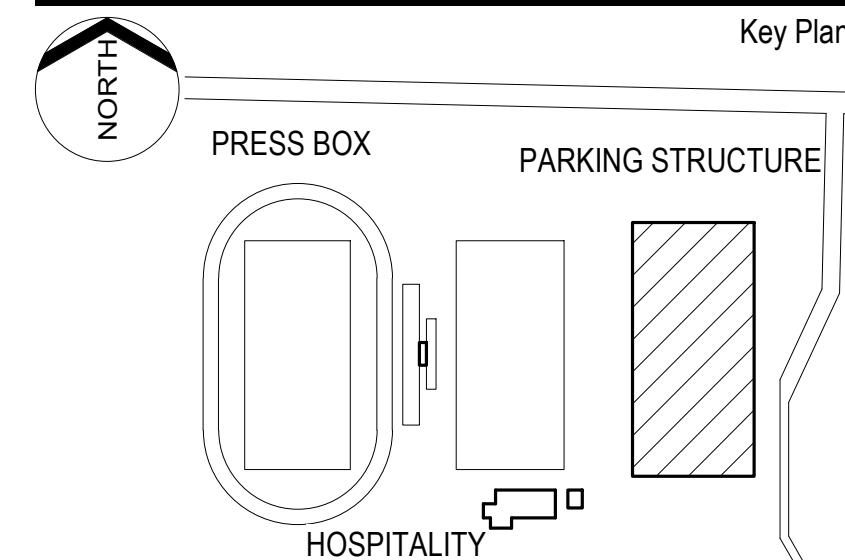
1/27/2022 10:03:26 AM BIM360://Detroit Catholic Central/DCC Parking Deck.rvt



North Campus Athletics and Parking Structure

27225 Wixom Rd.
Novi, MI 48374

Key Plan



Project Administrator

A. Everett

Project Designer

A. LaTona

Project Architect / Engineer

M. Nowakowski

Drawn By

R. Gurche

Q.M. Review

N. LaForest

Approved

B. Sunberg

Drawing Scale

As Noted

Issued for

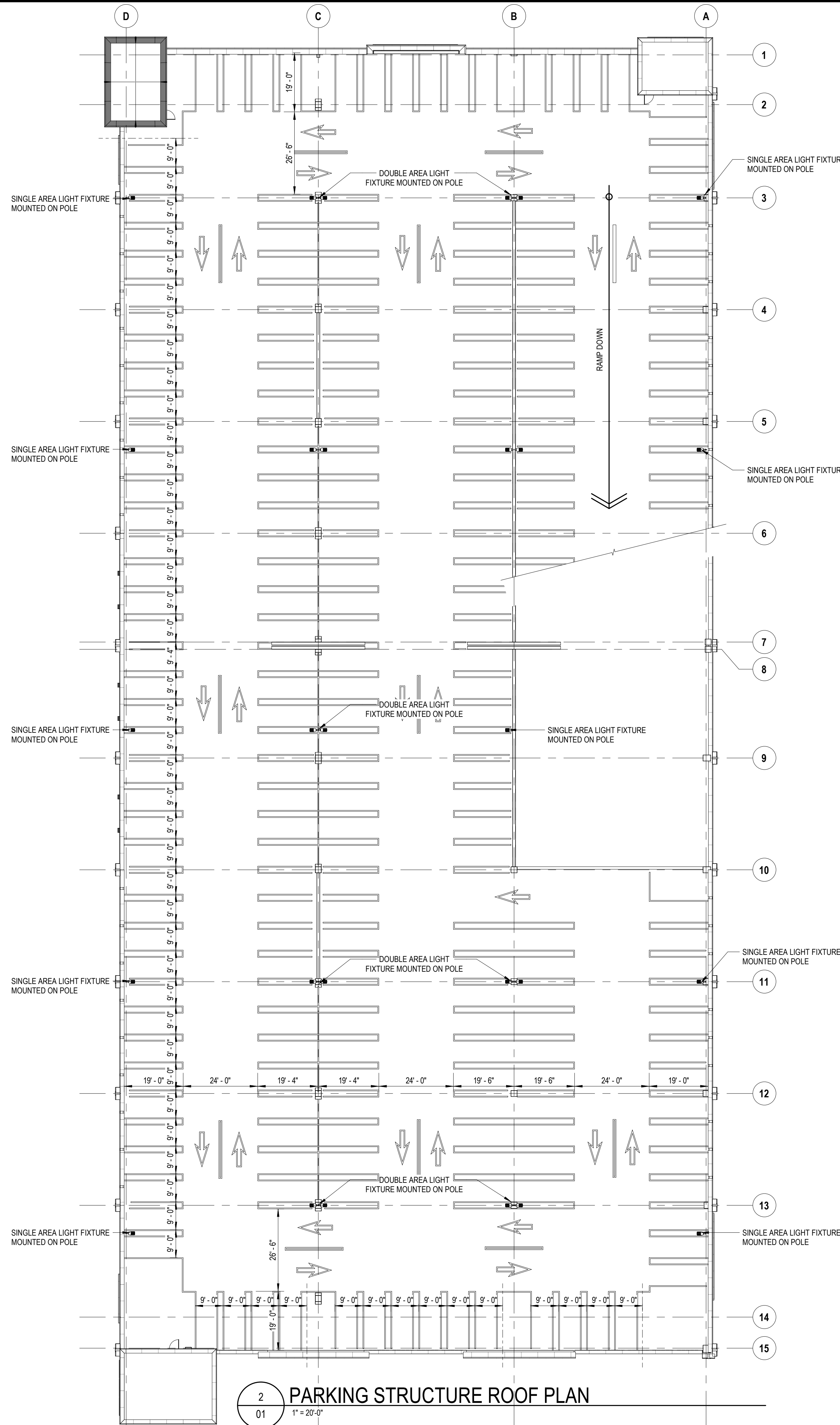
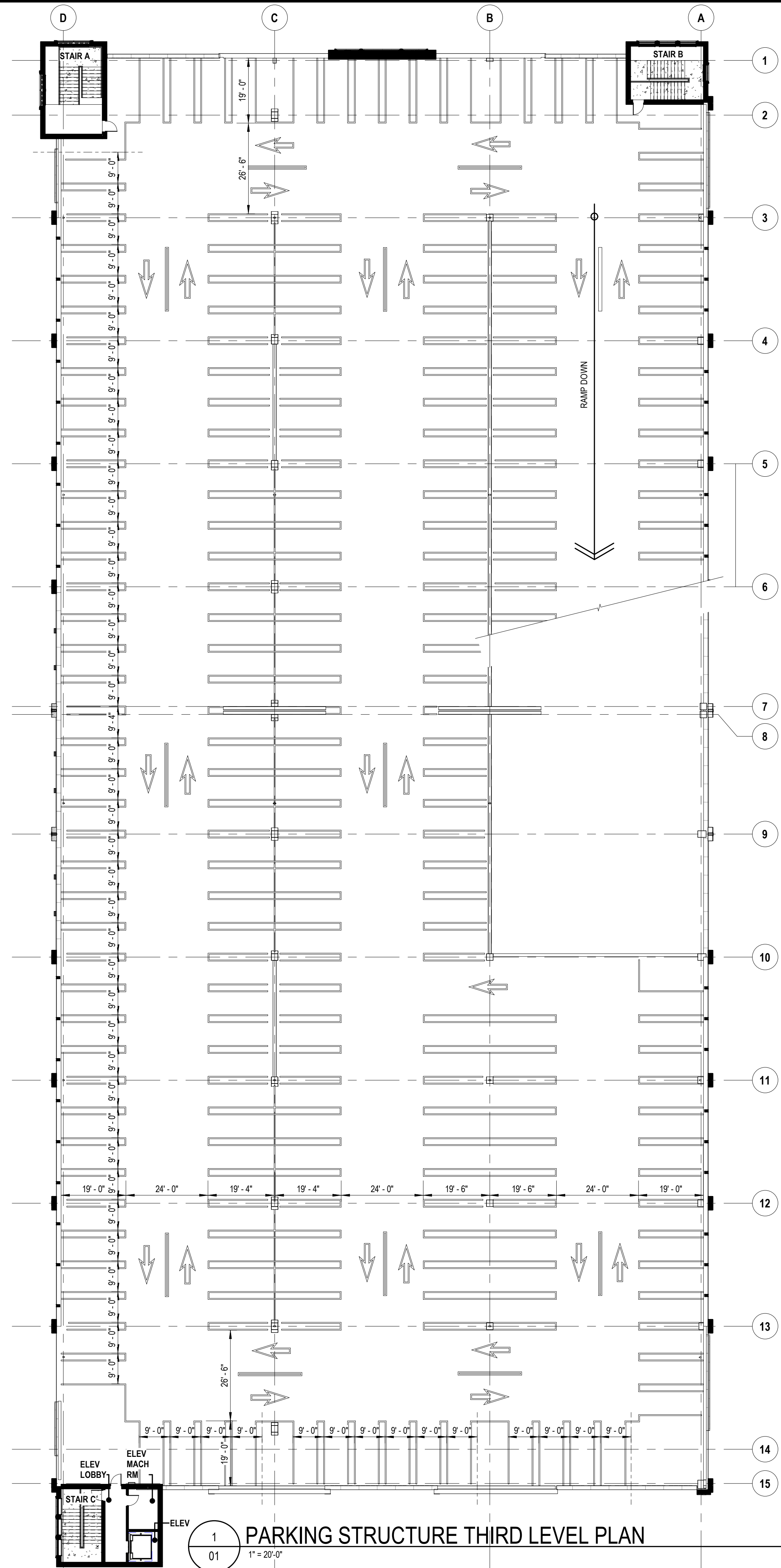
Issue Date

Pre App Submittal 07-25-2022

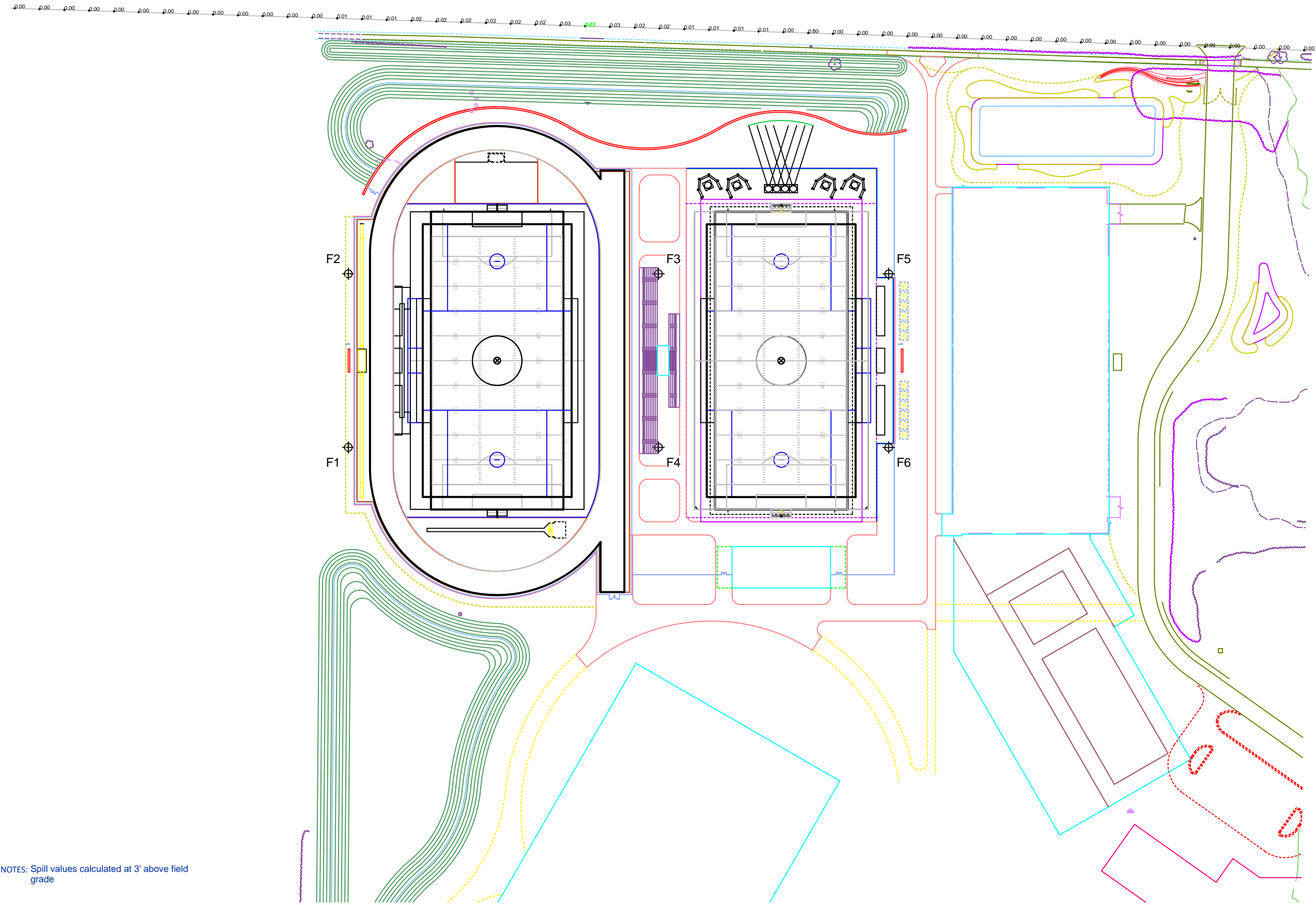
PSP Submittal 09-16-2022

Rev. PSP Submittal 11-14-2022

ZBA Submittal 01-03-2023



Attachments for Section 5.7.3.A Variance Request



GRID SUMMARY	
Name:	Twelve Mile Rd Spill
Spacing:	30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
HORIZONTAL FOOTCANDLES	
Scan Average:	Entire Grid 0.0057
Maximum:	0.03
Minimum:	0.00
No. of Points:	59
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	98
Total Load:	126.46 kW

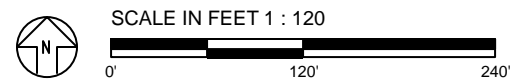
Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

NOTES: Spill values calculated at 3' above field grade



ENGINEERED DESIGN By: C.Hensley · File #202595Ar2 · 31-Aug-22

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



We Make It Happen.

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ILLUMINATION SUMMARY

GRID SUMMARY	
Name:	Blanket Spill
Size:	360' x 160'
Spacing:	10.0' x 10.0'
Height:	3.0' above grade

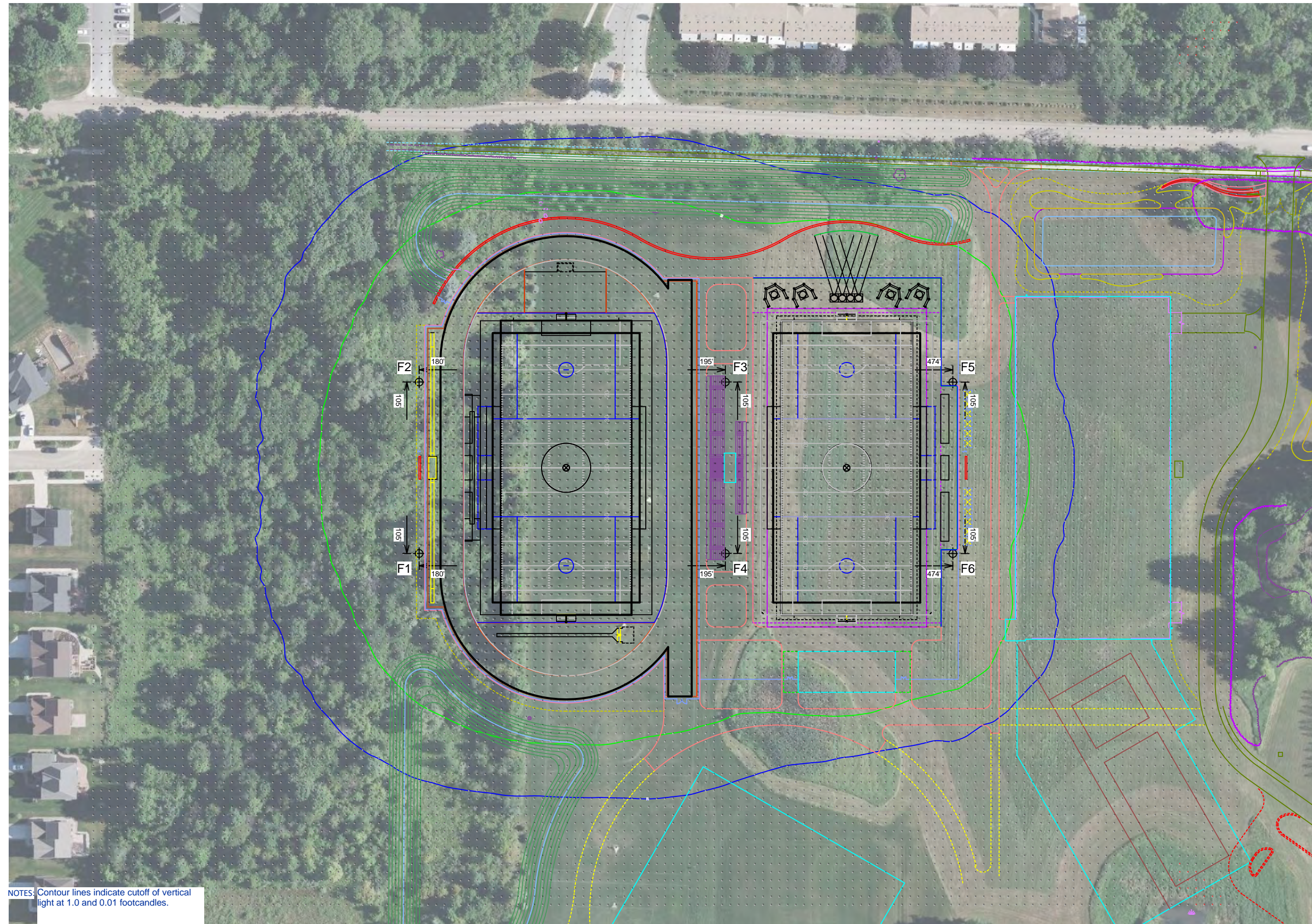
ILLUMINATION SUMMARY	
MAINTAINED MAX VERTICAL FOOTCANDLES	
	Entire Grid
Scan Average:	13.04
Maximum:	118
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	4.65
CU:	0.93
No. of Points:	15369
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	98
Total Load:	126.46 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

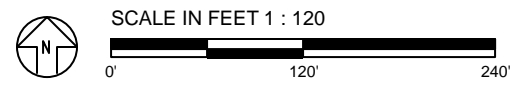
Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



NOTES: Contour lines indicate cutoff of vertical light at 1.0 and 0.01 footcandles.

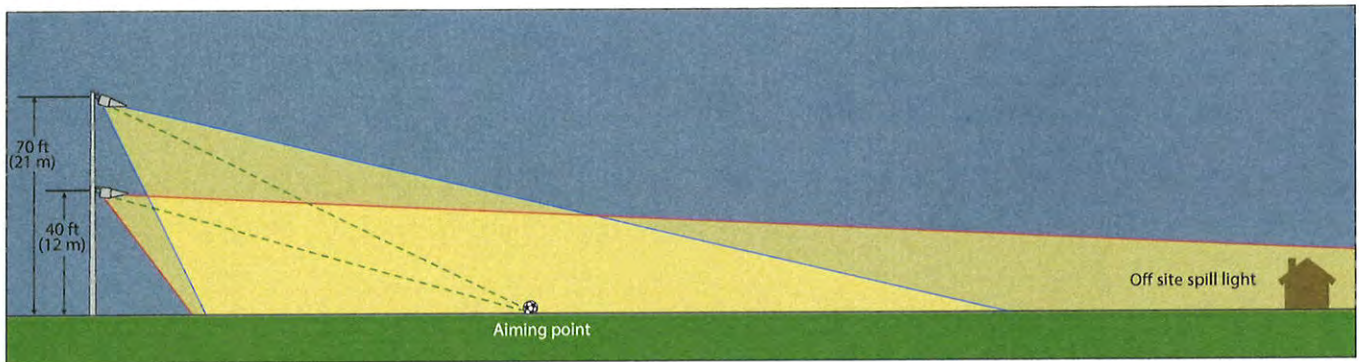


Pole location(s) ⚡ dimensions are relative to 0,0 reference point(s) ⊗



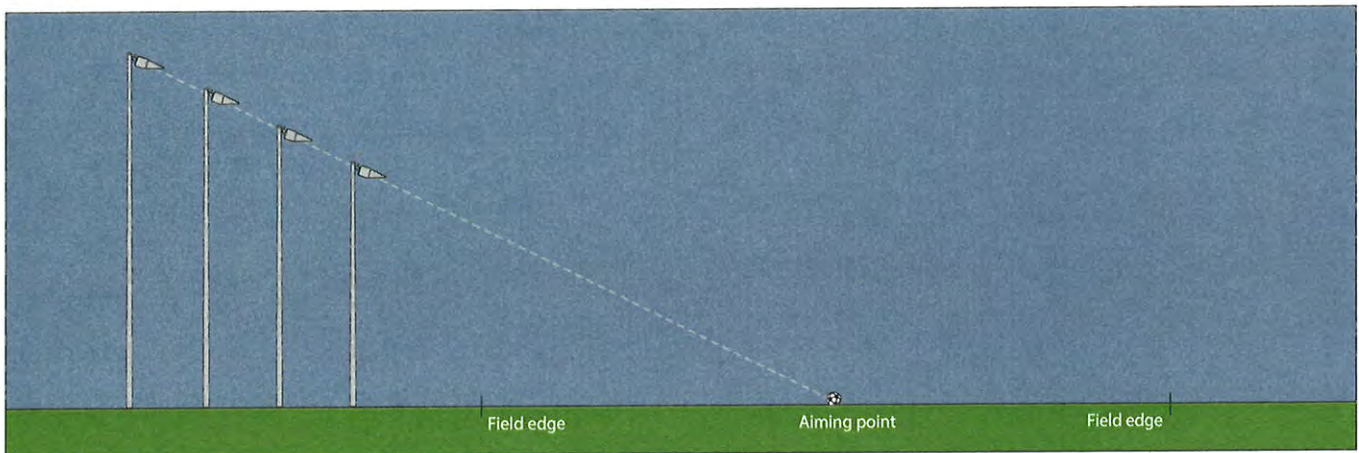
Pole Height

Pole height impacts aiming angles, which directly affect the evenness of light distribution across the field and the potential for spill light pollution. Normally, taller poles allow fixtures to be aimed more directly down onto the playing surface, reducing the amount of light spilling into unwanted areas. In some cases, city ordinances or other factors require the use of shorter poles, a challenge that experienced manufacturers can typically resolve with customizations like additional poles or creative aiming strategies to achieve your lighting goals on and off the field.



Pole Distance

The optimal height of the poles needed for your lighting system and resulting project cost is also affected by their distance from the playing surface. Structures such as bleachers and buildings will impact pole location and resulting distance from the field. Future expansions or other facility plans should be discussed with your lighting manufacturer.



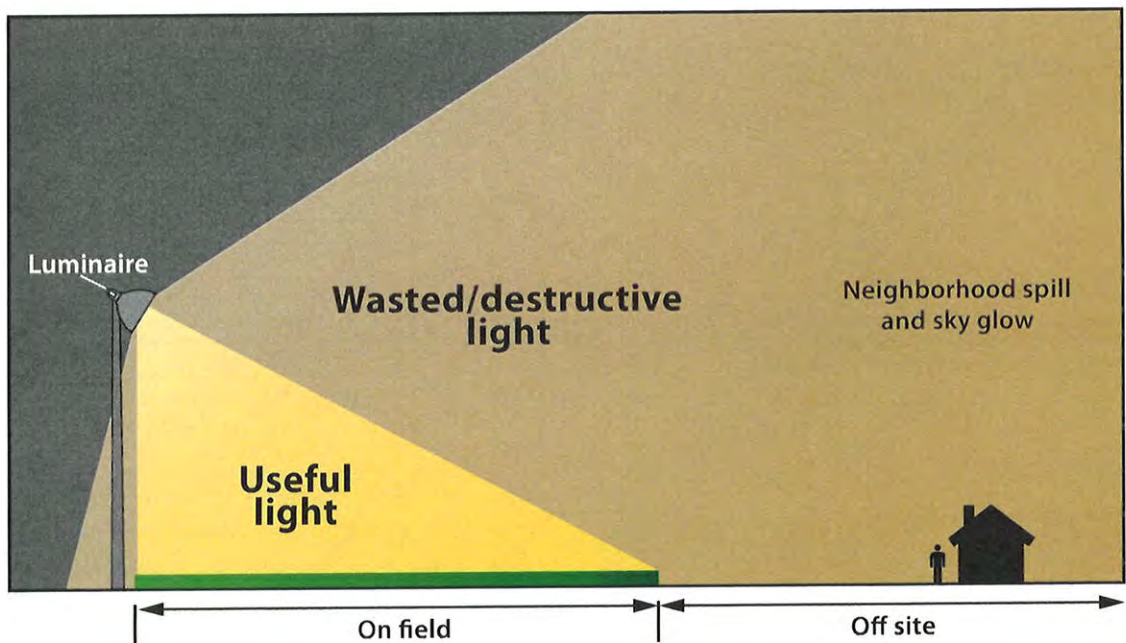
Musco's expert project managers and engineers will work with you to design the ideal lighting system for your specific needs.

5. Why should I be concerned with spill light and glare?

The ability to effectively control spill light and glare is critical for a number of reasons.

Spill Light is Wasted Energy

Fixtures with poor light control waste light by allowing it to go off the field into neighborhood spill and sky glow. Proper light control redirects wasted spill light back onto the playing surface. Efficient fixture and system design, along with application expertise, will reduce the number of fixtures needed to get useful light onto the field. This can also significantly cut the energy consumption and carbon footprint at your facility.



RETROFITS

Planning a retrofit in which new LEDs are swapped in for old fixtures on a 1:1 basis can lead to serious problems with glare and spill if the fixture is not properly designed. Since LED involves hundreds of tiny light sources instead of one large one, effectively controlling the light being emitted is more challenging.

Impact on Players and Fans

Due to the intensity of the LED light source, increased measures should be taken to provide optic controls that minimize glare. Poorly designed fixtures create excessive glare, making it difficult for fans to follow the action and for players to follow the ball, creating the possibility for injury. Players competing on multi-field complexes can also be affected by glare from adjacent fields.



Glare impacts players



Musco gets the glare out of the players' eyes

Impact on Neighbors

Neighboring homes and businesses can be significantly impacted if your lights create glare and/or spill that disrupt their evening hours. Some schools and organizations have even been forced to leave their lights off by homeowners associations and municipalities until they resolve problems with glare and spill.

There's a growing concern for wasting energy and for limiting the impact of light pollution. Many communities are enacting environmental light pollution ordinances to keep wasted light from impacting roadways, astronomical research facilities, and nearby wildlife habitats.

Community Growth

Even if there aren't currently homes in the immediate area around your facility, that could change. Communities often grow around sports facilities, and your lighting system should last 20 years or more. By minimizing spill light and glare now, you'll ensure happy neighbors when they do arrive and receive fewer complaints in the future.



Musco has been evolving its advanced glare and spill control technology for over four decades, and has nearly two dozen patents focused on better light control.



Novi High School Novi, Michigan, USA

Request Information

Variance request is for the same light system that was installed at Novi High School



Novi High School Achieves Lighting Goals with LED System Designed Specifically to Meet Its Structural Needs

With the existing HID lighting at Novi High School's football stadium outdated and consuming far too much energy, administrators decided to upgrade to a more efficient and versatile LED system. They also needed a solution that would include new poles for most of the lighting, while using an existing mounting structure for the rest. Having partnered together on several past projects, Novi again turned to Musco and its **Total Light Control—TLC for LED™ technology** for a customized, hybrid system that would adapt to this unique architectural setting, improve energy efficiency, simplify facility management with easy-to-use controls, and create a more memorable experience for fans and athletes.

- **Energy consumption is reduced by 74 percent** compared to the previous metal halide equipment, resulting in a more energy-efficient operation.
- **Staff can control the lights instantly, from anywhere, with a smartphone**, avoiding the need to go to the stadium late at night to manually turn them off.
- **The school gains proactive 24/7 scheduling and monitoring support** from the Control-Link® system, ensuring reliable performance and necessary light levels.
- **The school won't pay maintenance costs through the year 2044** as a result of Musco's long-term warranty covering every part and all labor.
- **Fans and players will enjoy superior visibility** with the system's custom optics designed around the LEDs and Musco's unique BallTracker® technology, achieving greater on-field light uniformity.



Benefits of the proposed lighting system which requires 80' high poles.

TLC for LED® - Total Light Control



For nearly a decade, Musco has been testing the Light Emitting Diode (LED) light source and applying it on projects in which it was the best option. While LED saved energy, for a typical recreational facility the hours of operation weren't great enough to offset the higher cost.

With our Total Light Control – TLC for LED™ technology, we've paired our expertise in light control with the advancing output of LED to the point where it's a cost-effective option for recreational facilities.

The result is a system that makes Musco's great lighting even better.

Better for Players... who want to perform their best and be able to track the entire flight of the ball.

Better for Neighbors... who don't want glare in or around their homes or lights left on when not in use.

Better for the Night Sky... with bright, uniform light directed onto the field and not spilling above it.

Better for Your Budget... an affordable system that's built to last and control operating costs.

And with Musco's long-term parts and labor warranty, you can mark maintenance costs off your list for 25 years.

Standard #2. Not Self-Created. 42 feet at the stairwells and for the light poles.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.



North Campus Athletics

27225 Wixon Rd.
Novi, MI 48374

Key Plan



PARKING DECK NORTH RENDERING - NTS



PARKING DECK NORTHWEST RENDERING - NTS



PARKING DECK SOUTHWEST RENDERING - NTS



PARKING DECK NORTHEAST RENDERING - NTS

Project Administrator
A. Everett
Project Designer
A. LaTona
Project Architect / Engineer
R. Gurche
Drawn By
R. Gurche
Q.M. Review
N. LaForest
Approved
B. Sunberg
Drawing Scale
As Noted

Issued for	Issue Date
Pre App Submittal	07-25-2022
PSP Submittal	09-16-2022
Rev. PSP Submittal	11-14-2022



Angela Hill <ahill@catholiccentral.net>

Catholic Central Athletic Fields and Parking Deck

1 message

ldhome <ldhome@ameritech.net>
To: Lbell@cityofnovi.org

Thu, Jan 5, 2023 at 2:03 PM

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Name: Jerry and Lolita Brocks

Address: 24971 Samoset court

Novi, MI 48374

Best,
Jerry and Lolita Brocks

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.org

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Monish and Roshnee Verma

50976 Drakes Bay Drive

Novi, MI 48374



Angela Hill <ahill@catholiccentral.net>

CC Support letter for expansion

1 message

Lora Leneschmidt <lleschmidt@yahoo.com>
To: "lbell@cityofnovi.org" <lbell@cityofnovi.org>

Tue, Jan 10, 2023 at 4:10 PM

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
[45175 Ten Mile Road](#)
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck Via: lbell@cityofnovi.org
STEM Addition
JSP 22-37

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,
Lora and James Leneschmidt
[47749 Aberdeen Drive](#)
Novi, MI 48374
248-946-4078

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.org

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Name: David Baratta
Address: 25868 Shoreline Dr.
Novi, MI 48374

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking
Deck Via: lbell@cityofnovi.org
STEM Addition
JSP 22-37

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Name: Jim Kitchen
Address: 45299 Courtview Tr.
NOVI, MI 48375



Angela Hill <ahill@catholiccentral.net>

Athletic fields support letter

2 messages

Vincent Lee <vince@smprate.com>
To: Angela Hill <ahill@catholiccentral.net>
Cc: Cecilia Morelli <cmorelli@smprate.com>

Mon, Jan 9, 2023 at 1:39 PM

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.org

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Name: Christine Lee

Address: 25603 Shore Line Drive

Novi, MI 48374



Angela Hill <ahill@catholiccentral.net>

CC Support letter for expansion

1 message

Lora Leneschmidt <lleschmidt@yahoo.com>

Tue, Jan 10, 2023 at 4:10 PM

To: "lbell@cityofnovi.org" <lbell@cityofnovi.org>

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
[45175 Ten Mile Road](#)
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck Via: lbell@cityofnovi.org
STEM Addition
JSP 22-37

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,
Lora and James Leneschmidt
[47749 Aberdeen Drive](#)
Novi, MI 48374
248-946-4078

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.org

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Name: Marcella Baratta
Address: 25868 Shoreline Dr.
Novi, MI 48374



Angela Hill <ahill@catholiccentral.net>

Re:Catholic Central Athletic Fields and Parking Deck

3 messages

Marie Cregar <mecregar@yahoo.com>
To: lbell@cityofnovi.org

Mon, Dec 19, 2022 at 9:35 PM

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck
org
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.

City of Novi Planning Commission:

We are residents of the City of Novi and live close to Catholic Central High School. We have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. We support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. We believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. We ask that the Planning Commission approve this project.

Sincerely,

Christopher and Marie Cregar
24803 Reeds Pointe Drive
Novi, MI 48374

Sent from my iPhone

Angela Hill <ahill@catholiccentral.net>
To: Marie Cregar <mecregar@yahoo.com>

Tue, Dec 20, 2022 at 9:40 AM

Thank you so much, Marie!

Angela Hill

"The secret of happiness is to live moment by moment and to thank God for all that He, in His goodness, sends to us day after day." St. Gianna Molla



Angela Hill <ahill@catholiccentral.net>

Catholic Central Projects

3 messages

Chuck Childress <child1776@gmail.com>
To: lbell@cityofnovi.org

Thu, Dec 29, 2022 at 2:15 PM

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
[45175 Ten Mile Road](#)
[Novi, MI 48375](#)

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.org

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Name: ___ Charles Childress _____

Address: ___ [25924 Island Lake Dr](#) _____
___ [Novi, 48374](#) _____

Chuck Childress <child1776@gmail.com>
To: Angela Hill <ahill@catholiccentral.net>

Wed, Jan 4, 2023 at 2:59 PM

This what I sent

Sent from my iPhone

Begin forwarded message:

From: Chuck Childress <child1776@gmail.com>
Date: December 29, 2022 at 2:16:01 PM EST
To: [Lbell@cityofnovi.org](mailto:lbell@cityofnovi.org)
Subject: Catholic Central Projects

[Quoted text hidden]



Angela Hill <ahill@catholiccentral.net>

Catholic Central Athletic Fields and Parking Deck

1 message

joephdulzo <joephdulzo@aol.com>
Reply-To: joephdulzo <joephdulzo@aol.com>
To: "Lbell@cityofnovi.org" <Lbell@cityofnovi.org>

Thu, Jan 5, 2023 at 1:57 PM

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
[45175 Ten Mile Road](#)
[Novi, MI 48375](#)

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,
Joe Dulzo

[42786 Sandstone Dr](#)
[Novi, MI 48377](#)

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.org

City of Novi Planning Commission:

I am a resident of the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Name: Michael Stanford
Address: 49251 Grand River Ave
Novi 48375



Angela Hill <ahill@catholiccentral.net>

Letter of support for CC Addition - JSP 22-37

2 messages

Beth <Beth@signarama-novi.com>
To: "lbell@cityofnovi.org" <lbell@cityofnovi.org>
Cc: Angela Hill <ahill@catholiccentral.net>

Thu, Jan 5, 2023 at 8:47 AM

Also attached.

Ms. Lindsay Bell, Senior Planner
City of Novi Planning Commission
[45175 Ten Mile Road](#)
[Novi, MI 48375](#)

Re: Catholic Central Athletic Fields and Parking Deck
STEM Addition
JSP 22-37

Via: lbell@cityofnovi.org

City of Novi Planning Commission:

I am a business owner, and our business, Signarama of Novi, is just North of CC on Grand Reiver. I have reviewed the plans for the Athletic Fields and Parking Deck proposed by Catholic Central High School. I support this project and believe that the location of the fields, architectural design and height of the parking deck and press box are appropriate. I believe that continued improvements to the Catholic Central campus are a benefit not only to the students and faculty but to the entire Novi community. I ask that the Planning Commission approve this project.

Sincerely,

Beth Powers

Name: Beth Powers, Owner, Signarama of Novi

Address: [49677 Grand River](#)

Beth Powers

Signarama Novi and Flint

Check out our Catalog - <https://docs.signarama.com/catalog/>

Phone: 248-924-3324 x 104 - **Mobile:** 248-472-7620

TO: CITY OF NOVI
ZONING BOARD OF APPEALS
45175 TEN MILE ROAD
NOVI, MI 48375

Please note my comments to:

27225 Wixom Road, Parcel # 50-22-18-200-026 & 50-22-18-200-027 (PZ23-0001)

Please note my: (Approval) (Objection) to the requested variance.

Comments:

The light poles are much higher than the
allowed permitted height. The light from these
poles will cause light pollution and disturbance
to the houses in the neighbourhood.

(PLEASE PRINT CLEARLY)

Name: ARUN CHANDRASEKARAN

Address: 49669 HARTWICK DR NOVI MI 48374

Date: 2-22-23

Anonymous comments will not be considered.

Zoning Board of Appeals meetings are broadcast live on Spectrum channel 13-1 and AT&T U-verse channel 99. They are also streamed live on the City's website at cityofnovi.org.