



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: November 8, 2015

REGARDING: SZOSTEK (CASE NO. PZ15-0036)

BY: Charles Boulard, Building Official

I. GENERAL INFORMATION:

Applicant

Ryan & Lindsay Szostek

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: R-4, One Family Residential
Site Location: 1310 East Lake Drive, west of Novi Road and south of 14 Mile Road
Parcel #: 50-22-02-151-033

Request

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES; Section 3.1.5(d) to allow construction of a new third floor living area addition with an attic (living area) addition over the existing footing on an existing nonconforming lakefront parcel: 1) a variance of 4.83 feet in the required south side yard setback (10 feet required, 5.17 feet proposed); 2) a variance from Section 4.19.1G of 5.0 feet for the required separation distance from detached accessory building (10.0 feet required, 5.0 feet proposed) and 3) a variance from Section 3.1.5(d) for 0.5 stories of building height (2.5 stories permitted, 3 stories proposed).



II. ZONING AND LAND USE:

The table below lists the zoning district, existing land use and future land use for the subject site and surrounding parcels.

Parcel	Zoning District	Existing Land Use	Future Land Use
Subject Property	R-4, One Family Residential	Shore Acres Subdivision	Single Residential
North	R-4, One Family Residential	Shore Acres Subdivision	Single Residential
South	R-4, One Family Residential	Shore Acres Subdivision	Single Residential
East	RM-1, Low Rise Multiple-Family District	Shore Acres Subdivision	Single Residential
West	*****	Walled Lake	*****

III. STAFF COMMENTS:

Existing Condition

The subject property consists of two- (2) lots located on the west side of East Lake Drive within Shore Acres Subdivision. The parcel has approximately 60.0 feet of frontage on East Lake Drive and approximately 153.0 feet deep as measured along south side yard lot line. The total lot area of the parcel is approximately 6,600.0 square feet. The existing residence is located 36.4 feet from the front yard lot line, 5.17 feet from the south side yard lot line, 34.41 feet from the north side yard lot line, and 70.15 feet from the rear (lake side) yard lot line.

The existing detached garage is located 6.69 feet from the north side yard lot line, 5.0 feet from the existing house, and 38.67 feet from the front (street side) yard lot line.

Proposed Changes

The applicant is proposing to construct a new third floor living area addition with an attic (living area) addition over the existing footing on an existing nonconforming lakefront parcel. As proposed, the second floor addition measure 20.45' x 46.5' for a total floor area of 951.0 square feet with an attic area of 426.0 square feet.

The addition would result in a setback of 5.17 feet from the south side yard lot line, 34.41 feet from the north side yard setback, 70.15 feet from the rear (lake side) yard lot line, and 36.4 feet from the front (street side) yard lot line. **This requires a variance of 4.83 feet in the required north side yard setback.**

IV. DEVELOPMENT STANDARDS:

The table below summarizes the zoning district development standards for the subject parcels.

Lot Size		Minimum Setback			
Area	Width	Front	Sides	Aggregate Side	Rear
R-4 10,000 sq. ft.	80 ft.	30 ft.	10 ft. (one side)	25 ft. (total of two side)	35 ft.

1. Building Height (Section 3.1.5(d)). The maximum height of the building is 35 feet/2.5 stories. The addition(s) is proposed to be 25.3 feet, three-story.
2. Lot Coverage (Section 3.1.5(d)). The percentage of lot coverage including the existing residence and the proposed addition would result in 23.6 percent.

V. USE STANDARDS:

Required Separation Distance (Section 4.19.1G). A detached accessory building shall not be located closer than ten (10) feet to any main building and shall not be located closer than six (6) feet to any interior side lot or rear lot line. As proposed the existing detached garage is located 5.0 feet from the existing house and the proposed addition. **This requires a variance of 5.0 feet for the required separation distance from detached accessory building.**

VI. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. Grant I move that we **grant** the variance(s) in **Case No.PZ15-0036**, sought by _____,for _____ because the Petitioner has established that _____ causes a practical difficulty relating to the property, including some or all of the following criteria:

(a) Petitioner has established that the property is unique because _____, or that the physical condition of the property creates the need for a variance because _____.

And, the condition is not a personal or economic hardship.

(b) The need for the variance is not self-created, **because** _____.

(c) Strict compliance with dimensional regulations of the Zoning Ordinance, including _____, will (either):

1. unreasonably prevent Petitioner from using the property for the permitted purpose as a _____, because _____, and/or,
2. will make it unnecessarily burdensome to comply with the regulation because _____.

(d) Petitioner has established that variance is the minimum variance necessary because a lesser variance would not _____.

(e) The requested variance will not cause adverse impact on surrounding property, property values, or the enjoyment of property in the neighborhood or zoning district, because _____.

(f) The variance granted is subject to the conditions that:

- 1. _____
- 2. _____
- 3. _____
- 4. _____

2. Deny I move that we **deny** the variance in **Case No.PZ15-0036**, sought by _____, for _____ because the Petitioner has **not** established a practical difficulty because:

(a) Petitioner has shown no unique circumstance or physical condition of the property because petitioner can reasonably comply with the ordinance by _____.

(b) The difficulty described by the Petitioner is a personal or economic difficulty only in that Petitioner stated _____.

(c) The need for the variance is self-created because Petitioner _____.

(d) Conforming to the ordinance would not (either):

1. be unnecessarily burdensome because _____, or,

2. unreasonably prevent petitioner from using the property for _____, because _____.

(e) A lesser variance consisting of _____ would do substantial justice to Petitioner and surrounding property owner's because _____.

(f) The proposed variance would have adverse impact on surrounding property because _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0415.

Charles Boulard
Building Official
City of Novi



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 Novi, MI 48375
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 www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

SEP 08 2015

CITY OF NOVI
 COMMUNITY DEVELOPMENT

Application Fee: \$200-
 Meeting Date: 10-13-15
 ZBA Case #: PZ 15-0036

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION <u>SZOSTEK</u>			
ADDRESS <u>1310 EAST LAKE DR</u>		LOT/SIUTE/SPACE #	
SIDWELL # <u>50-22-02-151-033</u>		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY <u>DAVE & E. LAKE BDR.</u>			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS <u>Lindsay.Szostek@gmail.com</u>	
NAME <u>RYAN + LINDSAY</u>		CELL PHONE NO. <u>231 740 5317</u>	
ORGANIZATION/COMPANY		TELEPHONE NO.	
ADDRESS <u>1310 EAST LAKE DR</u>		CITY <u>NOVI</u>	
		STATE <u>MI</u>	
		ZIP CODE <u>48377</u>	
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	
NAME <u>RYAN + LINDSAY SZOSTEK</u>		CELL PHONE NO. <u>231 740 5317</u>	
ORGANIZATION/COMPANY		TELEPHONE NO.	
ADDRESS <u>1310 EAST LAKE DR</u>		CITY <u>NOVI</u>	
		STATE <u>MI</u>	
		ZIP CODE <u>48377</u>	
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section _____ Variance requested _____			
2. Section _____ Variance requested _____			
3. Section _____ Variance requested _____			
4. Section _____ Variance requested _____			
IV. FEES AND DRAWINGS			
A. FEES			
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			

FUTURE HOMES + DESIGN
 MATT JESHURUN (248) 766-4668
 MAJESHURUN@GMAIL.COM

Copy on emails in addition to owner
 m: zba case



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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

SOUTH SIDE OF HOME IS 5' OFF PROPERTY LINE.
RAISING ROOF 6' WITH NEW SIDE WALLS ON ALL SIDES

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

SEE 1A

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

HOME OWNER NEEDS MORE SPACE IN ATTIC. CAN'T DO SO WITHOUT VARIANCE

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

ONLY 5' OFF PROPERTY LINE ON SOUTH SIDE OF HOME

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

YES, USING EXISTING FOOTPRINT

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

VARIANCE WILL NOT INCREASE FOOTPRINT OF HOME. ADDITION WILL INCREASE HOME VALUE, AND THEREFORE INCREASE SURROUNDING PROPERTIES

PZ15-0036

1310 East Lake Drive



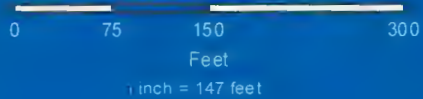
Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, and the GIS user community



Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal



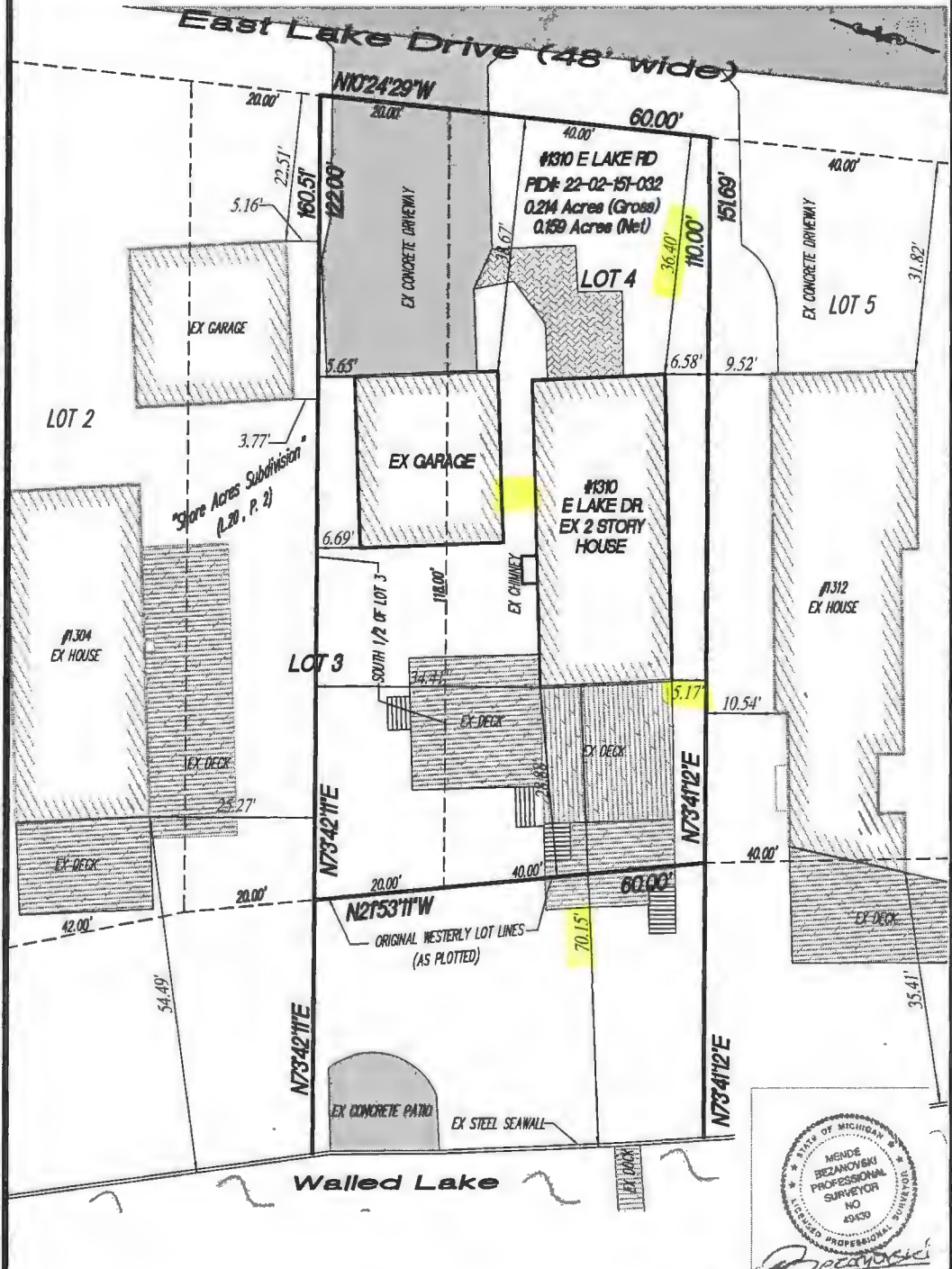
Author:
Date: 9/16/2015



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map. This map was produced under the terms of the City's Internet Site Use Policy available at <http://cityofnovi.org/Resources/SiteUsePolicy.asp>

ARCHITECTURAL SURVEY



Note:
 Please see page 2 for a property legal description.
 All bearings as shown herein are in relation to: "TRUE NORTH"

Mende Bezanovski, P.S. 49430
 0 10' 20' 40'

<p>ABSB LAND SURVEY, P.C. 36636 North Pointe Dr. New Baltimore, MI, 48047 TEL (586) 822-4964, FAX: (586) 591-5930 info@ab-sb-landsurvey.com; www.ab-sb-landsurvey.com</p>	SCALE: 1" = 20'	PAGE: 1 OF 2
	JOB NUMBER: 2015-08-06-184-MJ	DRAWN: MB
	FIELD: MB	CHECKED: MB
	REVISIONS:	DATE: 08-31-2015
	CLIENT: Mr. & Mrs. Szostek	
ADDRESS: 1310 East Lake Drive Novi, MI, 48377	TEL: FAX:	



COMMUNITY DEVELOPMENT DEPARTMENT

PZ15-0036 - ACTION SUMMARY

PROJECT SUMMARY:

NEW SECOND FLOOR LIVING AREA ADDITION WITH AN ATTIC ADDITION - OCTOBER 13, 2015 MEETING

POSTPONED UNTIL NOVEMBER 8, NEED TO READVERTISE FOR ADDITIONAL VARIANCE

APPLICANT/OWNER INFORMATION:

APPLICANT

SZOSTEK, RYAN MICHAEL & LINDSAY
1310 EAST LAKE
NOVI MI 48377

OWNER

SZOSTEK, RYAN MICHAEL & LINDSAY
1310 EAST LAKE
NOVI MI 48377

PROPERTY INFORMATION:

LOCATION/ADDRESS: 1310 EAST LAKE DR

PARCEL NUMBER: 50-22-02-151-033

ZONING DISTRICT: R-4

SUBDIVISION: SHORE ACRES

LOT/UNIT #: 1/2 OF LOT

ACTION SUMMARY:

ZBA MEETING DATE: 10/13/2015

SZOSTEK (CASE NO. PZ15-0036), RYAN & LINDSAY SZOSTEK, 1310 EAST LAKE DRIVE, WEST OF NOVI ROAD AND SOUTH OF 14 MILE ROAD, PARCEL #: 50-22-02-151-033

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES; Section 3.1.5(d) to allow construction of a new second floor living area addition with an attic (living area) addition over the existing footing on an existing nonconforming lakefront parcel: 1) a variance of 4.83 feet in the required south side yard setback (10 feet required, 5.17 feet proposed); and 2) a variance from Section 4.19.1G of 5.0 feet for the required separation distance from detached accessory building (10.0 feet required, 5.0 feet proposed).

Moved by Chairperson Gronachan to postpone Case PZ15-0036 until the November 10, 2015 meeting to gather more information and clarify if a third variance is needed for a third story addition. If additional variances need to be added to the request, the meeting will be postponed until the December 8, 2015 meeting so the case can be re-advertised.

GENERAL NOTES:

- GENERAL CONDITIONS
- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLAN OR IN THE SPECIFICATION, THE STRICTEST PROVISION SHALL APPLY. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PROVISIONS, PERMITS AND RECORDS AND TO ENSURE THAT ALL APPLICABLE REGULATIONS ARE FULLY COMPLIED WITH. COMPONENT PARTS DURING THE CONSTRUCTION PROCESS, THIS INCLUDES, BUT IS NOT LIMITED TO, PROVIDING AND MAINTAINING TEMPORARY FIRE PROTECTION, FIRE BRIDGING, BRACING, SHORING, SHIELDING, AND ALL OTHER NECESSARY SHEETING, SHORING, BRACING, SAFETY EQUIPMENT OF THE EXCAVATION, AND OTHER CONSTRUCTION AND PERSONNEL CONCEPTS.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS IS TO BE 3000 PSI. UNO USE 4000 PSI CONCRETE WITH 6% W/W ENTRAINED AIR. WHEREVER CONCRETE IS EXPOSED TO EFFECTS OF WEATHER.
- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ACI 308 BUILDING CODE REQUIREMENTS.
- REINFORCING STEEL SHALL BE CONFORM TO ASTM A63, GRADE 60. REINFORCING STEEL SHALL BE CONFORM TO ASTM A996, GRADE 60. ALL LAPS PER ACI CLASS C SPICES WITH MINIMUM LAPS OF 36 BAR WITH ACI 308 HOOK TOP BARS AT DISCONTINUOUS ENDS.
- REINFORCING STEEL IN FOOTINGS, GRADE BEAMS AND WALLS SHALL BE SPACING AS THE HORIZONTAL STEEL.
- SLAB-ON-GRADE SHALL BE A MINIMUM 4" THICK ON COMPACTED SAND AND FILL, REINFORCED WITH 6x6 W4 X W4 AT MID-DEPTH OR HIGHER OR AS SHOWN ON DRAWINGS.
- MASONRY
- ALL MASONRY WORK IS TO BE DONE IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530, TACCS B) AND ALL BLOCK SHALL CONFORM TO ASTM C90, TYPE 1 (N, 1600 PSI).
- MORTAR SHALL BE TYPE 'M' (1800 PSI) PER ASTM C-270.
- FROM UNDESIGNATED LINES THERE SHALL BE NO DEVIATION WITHIN 1/8" GRADE SIDE WALLS WITH VERTICAL REINFORCING STEEL SHALL HAVE 'LADDER' TYPE REINFORCEMENT.
- ALL REINFORCING BARS SHALL BE ASTM A63, GRADE 60. SPICE LENGTH TO BE PER ACI CODE CLASS C SPICES WITH MINIMUM 36 BAR DIAMETERS.
- STRUCTURAL FIBERGLASS BRACING ON MAISONRY SHALL EXTEND A MINIMUM SHALL BEAR ON MINIMUM 1 1/2" X 6" X 8" BEARING PLATE AND BE CONNECTED WITH (2) 3/4" DIAM ANCHOR BOLTS.
- EXCEPT WHERE OTHERWISE SHOWN OR NOTED, PROVIDE (1) ANGLE 4x3 1/2 D, 1/6" LAY FOR EACH OF MAISONRY PER SPACING TO A 3/8" SPACING LONG FIELD 8" ON CENTER.
- ALL MAISONRY BELOW GRADE OR FLOOR LINE SHALL BE GRADETED SOLID.
- MAISONRY JOINT SHALL CONFORM TO ASTM C 416, WITH FEA GRAVEL/AGGREGATE STRENGTH TO MATCH BLOCK, AND A MINIMUM STRENGTH OF 8000 PSI.
- STRUCTURAL STEEL
- STRUCTURAL STEEL DESIGN FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A58, OR ASTM A572, GRADE 50A.
- STEEL TUBING ASTM A500, GRADE B PIPE ASTM A56, GRADE B.
- WELDED CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH, AND BY WELDER QUALIFIED UNDER THE AWS CODE, USING E70XX ELECTRODES.
- BOLTED CONNECTIONS SHALL BE MADE WITH ASTM A325 OR A307 BOLTS, INSTALLED IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL STEEL BOLTS OR AS SHOWN.
- MAISONRY IS TO DESIGN BEAT END CONNECTIONS FOR THE REACTIONS SHOWN IN THE AISC MANUAL BEAM LOAD TABLES.
- THE DESIGN CONFIGURATION AND ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNECTIONS ARE THE RESPONSIBILITY OF THE STEEL FABRICATOR REVEAL AND ACCEPTANCE OF THE STRUCTURAL STEEL DRAWINGS BY THE CONTRACTOR SHALL CONSTITUTE APPROVAL OF THE DETAILED CONNECTIONS ONLY.
- TEMPORARY ERECTION BEATS SHALL BE PROVIDED BY THE FABRICATOR, WHENEVER REQUIRED, AND AS RECOMMENDED ON PAGE 3-59 OF THE AISC MANUAL.
- THE STEEL FRAME IS NON SELF-SUPPORTING PER THE AISC CODE OF STANDARD PRACTICE. SECTIONS 13.2 AND 13.3 ERECTION BRACING SHALL BE PROVIDED BY THE FABRICATOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES, MATERIALS AND SEQUENCE.
- WOOD
- WOOD DESIGN AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH BOCA CODE REQUIREMENTS NATIONAL DESIGN SPECIFICATION, AND NATIONAL FOREST PRODUCTS STANDARDS AND SPECIFICATION, AND NOTED OTHERWISE.
- FO + 1600 PSI (1600 PSI REPERITIVE USE)
- FV + 1600 PSI
- FV + 1600 PSI
- FIXED END TRUSS STOPS AT BEARING POINTS FOR HEADERS, MINIMUM 2-2x6 AT EXTERIOR WALLS.
- GLUED LAMINATED WOOD BEAMS ARE TO BE 22F-V1 OR AS APPROVED.
- FABRICATION AND ERECTION PER AITC.
- TRUSS SUPPLIER SHALL SUPPLY SHOP DRAWINGS AND CALCULATIONS SEALED BY A LICENSED REGISTERED ENGINEER SHOP DRAWINGS SHALL BE IN ACCORDANCE WITH AITC 208. TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR WOOD BEAMS AND HEADERS LIVE LOAD ON ROOF TRUSSES SHALL BE 20 PSF EXCEPT AT DRAFT CONDITIONS WHERE BOCA PROVISIONS SHALL APPLY. TRUSS DESIGN SHALL CONFORM TO THAT SHOWN ON THE DRAWINGS IF CHANGES ARE MADE THE ARCHITECT SHALL BE NOTIFIED IN WRITING, BEFOREHAND.
- TRUSS TOP AND BOTTOM CHORDS SHALL BE BRACED AS REQUIRED BY THE DESIGN SHOP DRAWINGS SHALL SHOW ALL NEEDED BRACING.
- DESIGN OF TRUSSES AND CONNECTIONS SHALL BE PER THE TRUSS PLATE ASHTUTE (TP) SPECIFICATION SUPPLIER SHALL FURNISH CALCULATIONS AND PLAN AND DETAIL DRAWINGS OF TRUSSES.
- WOOD COLLUMS ARE TO TERMINATE AT THEIR BOTTOMS ON SOLID BEARINGS ON STEEL, MAISONRY OR CONCRETE UNLESS SHOWN OTHERWISE.

DO NOT SCALE DRAWINGS, USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

ALL FOUNDED CONC. FTGS TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE AND SHALL BEAR ON UNDISTURBED VIRGIN SOIL. A MINIMUM BEARING OF 3000 PSF IS ASSUMED FOR THE FOOTINGS SHOWN.

ALL FOUNDED CONC WALLS TO BE BACKFILLED WITH A SUITABLE MATERIAL THAT IS NOT LAY CLAY OR IN PROZON CHANES AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF BUILDING IS IN PLACE.

ALL FOUNDED CONC WALLS OF 1'-0" OR MORE TO BE REINFORCED WITH 5 BARS 3/8" VERTICALLY WITH ONE 4 BAR AT TOP & BOTTOM OF WALL. HORIZONTALY ALTERNAE 5 BARS 24" OC WITH ONE 4 BAR TOP & BOTTOM OF WALL HORIZONTALY.

ALL HEADERS AND FLOOR JOISTS TO BE 5/8" OR BETTER HER WITH 1X CROSS BRIDGING ALL 2X2 RO BE 5/8" OR BETTER DOUG FIR.

ALL MICRO LAM ARE BY MANUFACTURER AND JOINED TOGETHER PER MANUFACTURER SPECIFICATIONS.

ALL WINDOW NUMBERS REFER TO C AND C UNDOUS.

ROOF TRUSS DESIGN BY TRUSS MANUFACTURER BRACING PER TRUSS MANUFACTURER SPEC.

ONLY JOIST HANGERS, NO JOIST ANGLES.

ALL STRAIGHT, STRAIGHT GUARDS, AND HANDRILLS TO COMPLY WITH ALL CURRENT CODE REQUIREMENTS.

ALL MAISONRY VENEER WALLS TO BE PROVIDED WITH WALL TIES AND WEHPHOLES PER CURRENT CODES.

ALL HANDRILLS, GUARDRAILS, BALUSTERS, HEADROOM, RIBERS AND TREADS TO MEET CURRENT CODES.

ALL EXTERIOR WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 4" ABOVE THE FLOOR. HAVE A NET CLEAR OPENING NOT MORE THAN 1" IN CLEAR HEIGHT OF 24" AND A 1/8" CLEAR OPENING WIDTH OF 20".

DESIGN LOAD CENTEREA

FLOORS

CARPET/INWOOD 3/4" MAX

LIVE LOAD = 40 PSF (136.0)

DEAD LOAD = 15 PSF

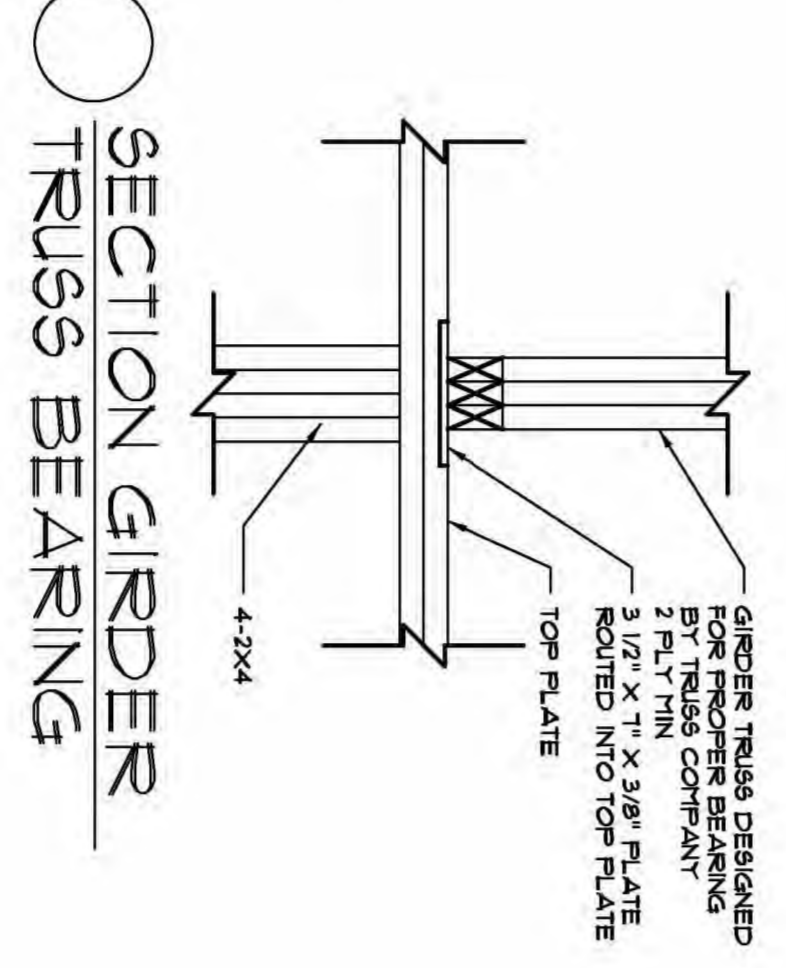
TOTAL LOAD = 55 PSF (174.0)

CEILING TILE

LIVE LOAD = 40 PSF (146.0)

DEAD LOAD = 25 PSF

TOTAL LOAD = 65 PSF (186.0)



NOTE:
EXHAUST FAN TO BE INSTALLED IN ALL BATHROOMS AND LAUNDRY ROOM. ALL FANS ARE TO BE VENTED TO EXTERIOR OF HOUSE.
WATER RESISTANT GYP/UM BACKER BOARD IS TO BE USED AS SUBSTRALIGHT IN ALL TUB AND SHOWER SURROUNDS
ALL WATER RESISTANT GYP BOARD SHALL COMPLY WITH ASTM C6 STD'S.

NOTE:
VERIFY DEPTH SPACING LAYOUT AND ANY SPECIAL CONDITIONS WITH TRUSS MANUFACTURER.

NOTE:
PROVIDE SMOKE DETECTORS THROUGHOUT ALL EXISTING SLEEPING AREAS.

PROPOSED RENOVATION FOR:
SZOSTEK RESIDENCE
1310 E. LAKE DRIVE
NOVI, MICHIGAN
RYAN SZOSTEK--OWNER

FIRE SEPARATION
FOR CONDITIONS WITH LIVING SPACE OVER GARAGE ONLY

HOUSE WALL
SYSTEM SIMILAR TO UL DES. U320B, 1 LAYER 5/8" SHEETROCK BRAND GYPSUM PANELS, WATER RESISTANT FIRECODE CORNER EACH SIDE - 2" X 6" STUDS 16" OC - 5 1/2" INSULATION, 2" X 8" STUD WALL AT GREAT ROOM

EXTERIOR GARAGE WALL
(REPORTING LIVING GRADE ONLY)
SYSTEM SIMILAR TO UP 805, 1 LAYER 5/8" FINE SHIELD GYPSUM WALLBOARD - 2" X 6" STUDS 16" OC - 1 1/2" APA WOOD SHEATHING.

CEILING
SYSTEM SIMILAR TO C 260N, 2 LAYERS 5/8" FINE SHIELD WALLBOARD - UNFACED GLASS FIBER BATS SUSPENDED ABOVE DRYWALL WITH WIRE HANGERS PROVIDING A CONTINUOUS 1/2" MINIMUM AIRSPACE BETWEEN DRYWALL AND INSULATION.

EGRESS WINDOW REQUIREMENTS

- MIN. NET CLEAR OPENING 57 SQ. FT. (SECOND FLOOR BEDROOM)
- MIN. NET CLEAR OPENING 50 SQ. FT. (FIRST FLOOR BEDROOM OPENING)
- MIN. CLEAR HEIGHT 24"

AREAS THAT REQ. TEMPERED GLASS

- SHOWER AND BATHUB DOORS AND ENCLOSURES (IF APPLICABLE)
- PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH OBESY EDGE LIPS THAN 1/8 INCHES ABOVE THE FINISHED FLOOR LEVEL.
- ALL OTHER AREAS AS CODE REQUIRES

PEGASUS GROUP, INC.
6091 MAYBEE CLARKSTON, MI 48346 (248)318-2666 FX(248)623-1516

PROJECT TITLE:
**PROPOSED RENOVATION TO:
SZOSTEK RESIDENCE
1310 E. LAKE DRIVE
NOVI, MICHIGAN**

CONSULTANTS

REV. **00-00-15**

SCALE **1/4"=1'-0"**

WKG DWGS

CHECK SET

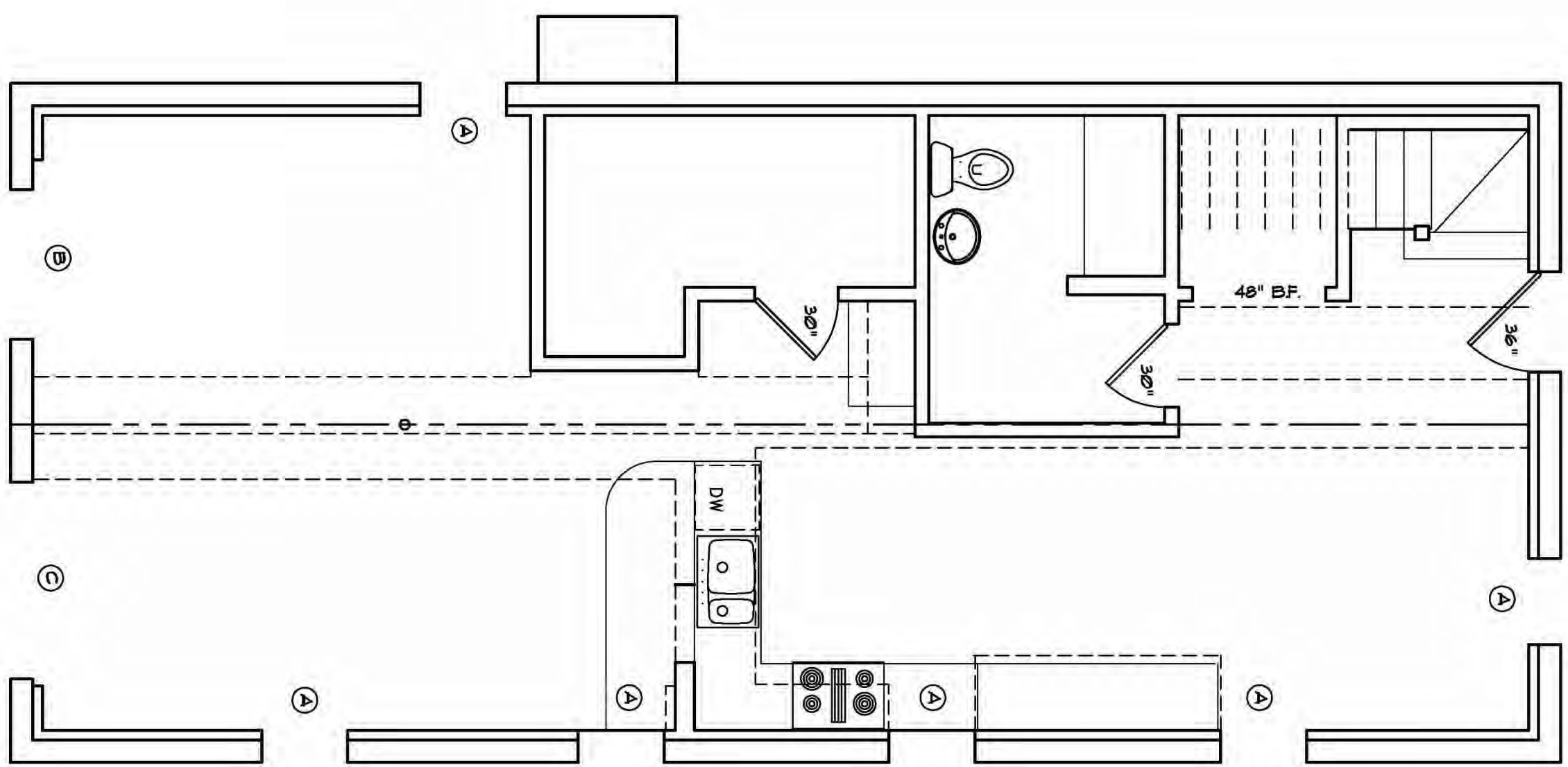
FINAL

DATE **10-14-15**

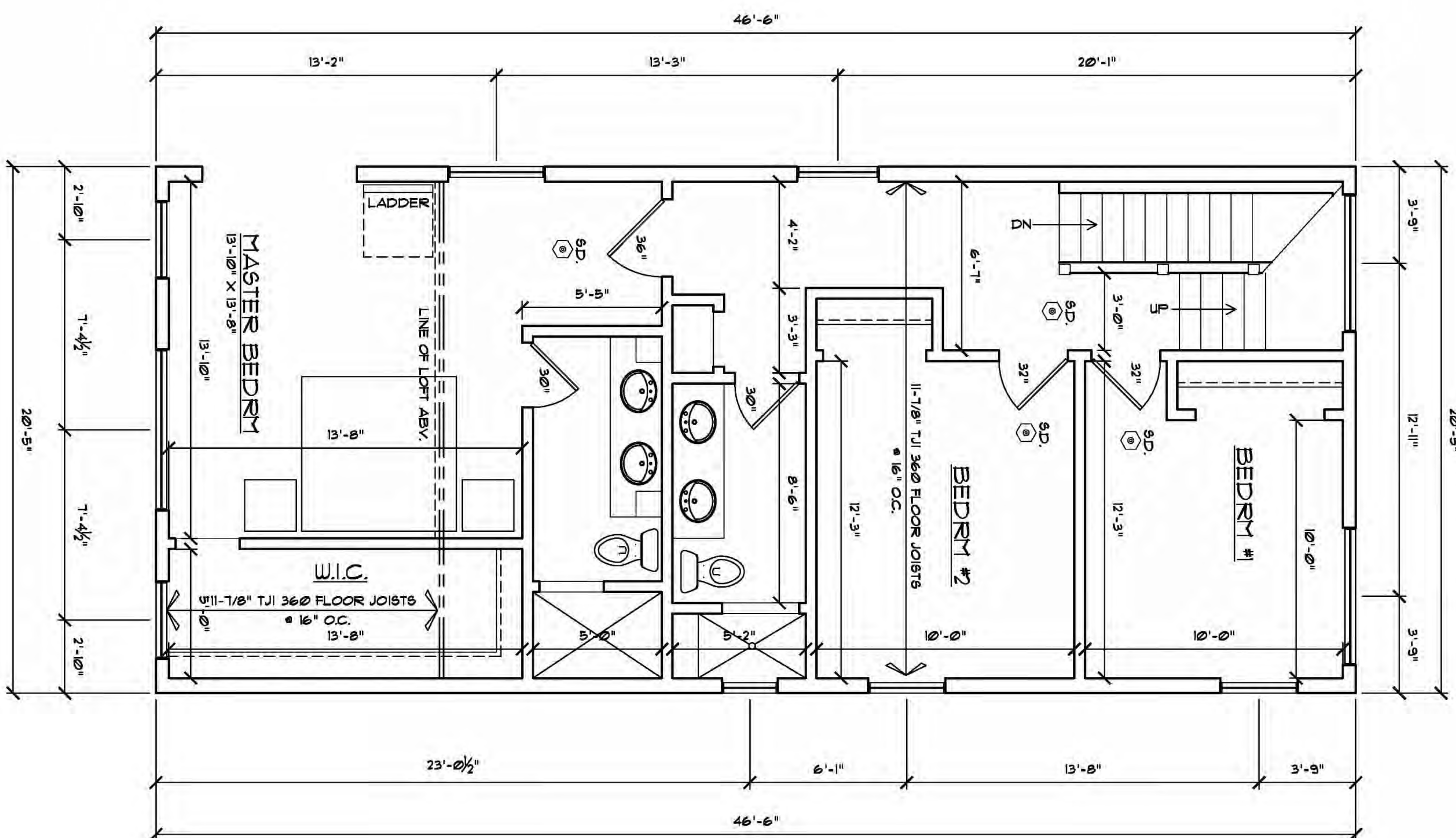
SHEET NUMBER

COVER

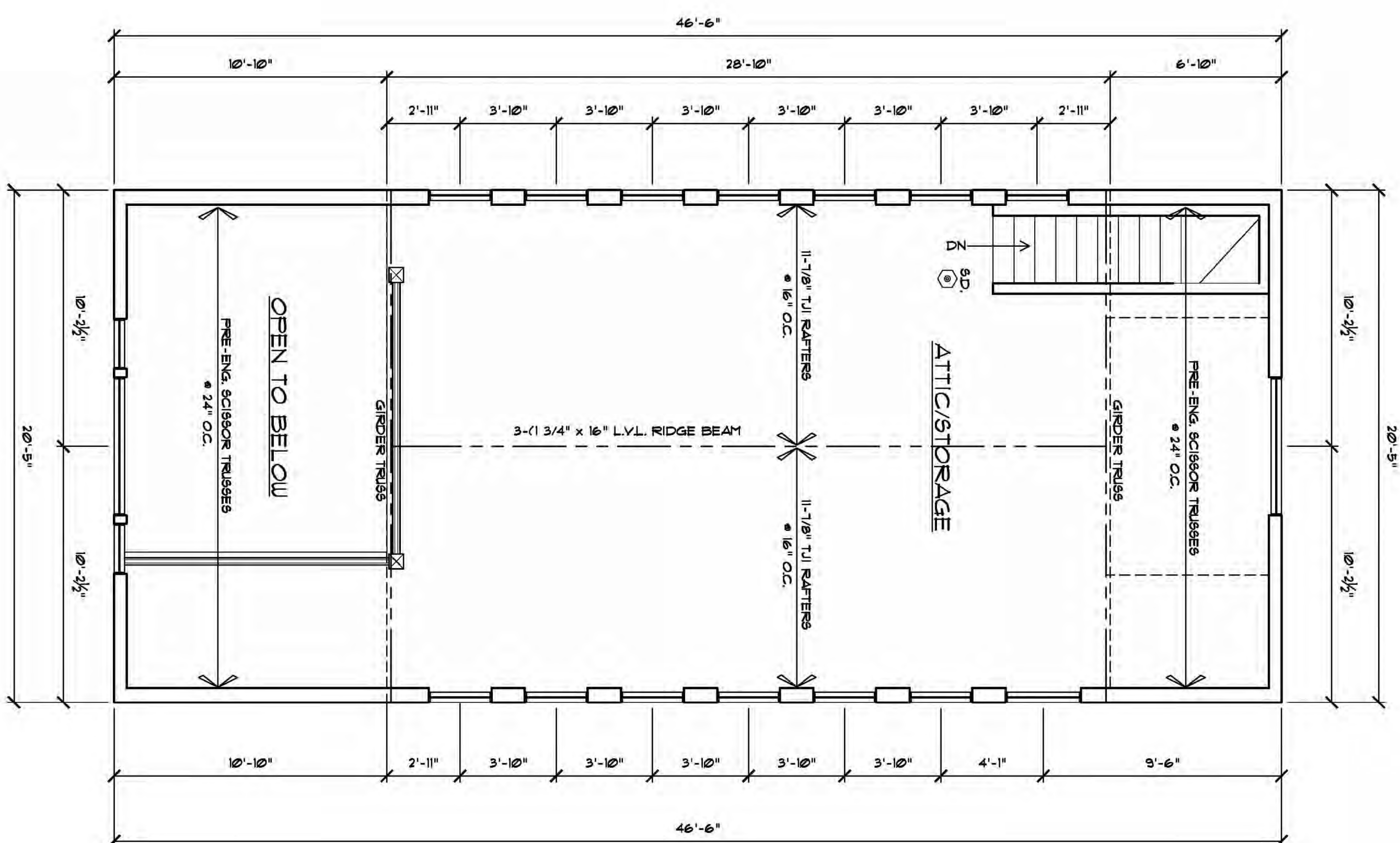
JOB # **00090815**



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED ATTIC PLAN
SCALE: 1/4" = 1'-0"

NOTE:
FROM THE SOURCE DETECTORS
ALL EXISTING SLEEPING
AREAS.



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NOVI, MICHIGAN**

CONSULTANTS

REV. 00-00-15

SCALE 1/4" = 1'-0"

WKG DWGS

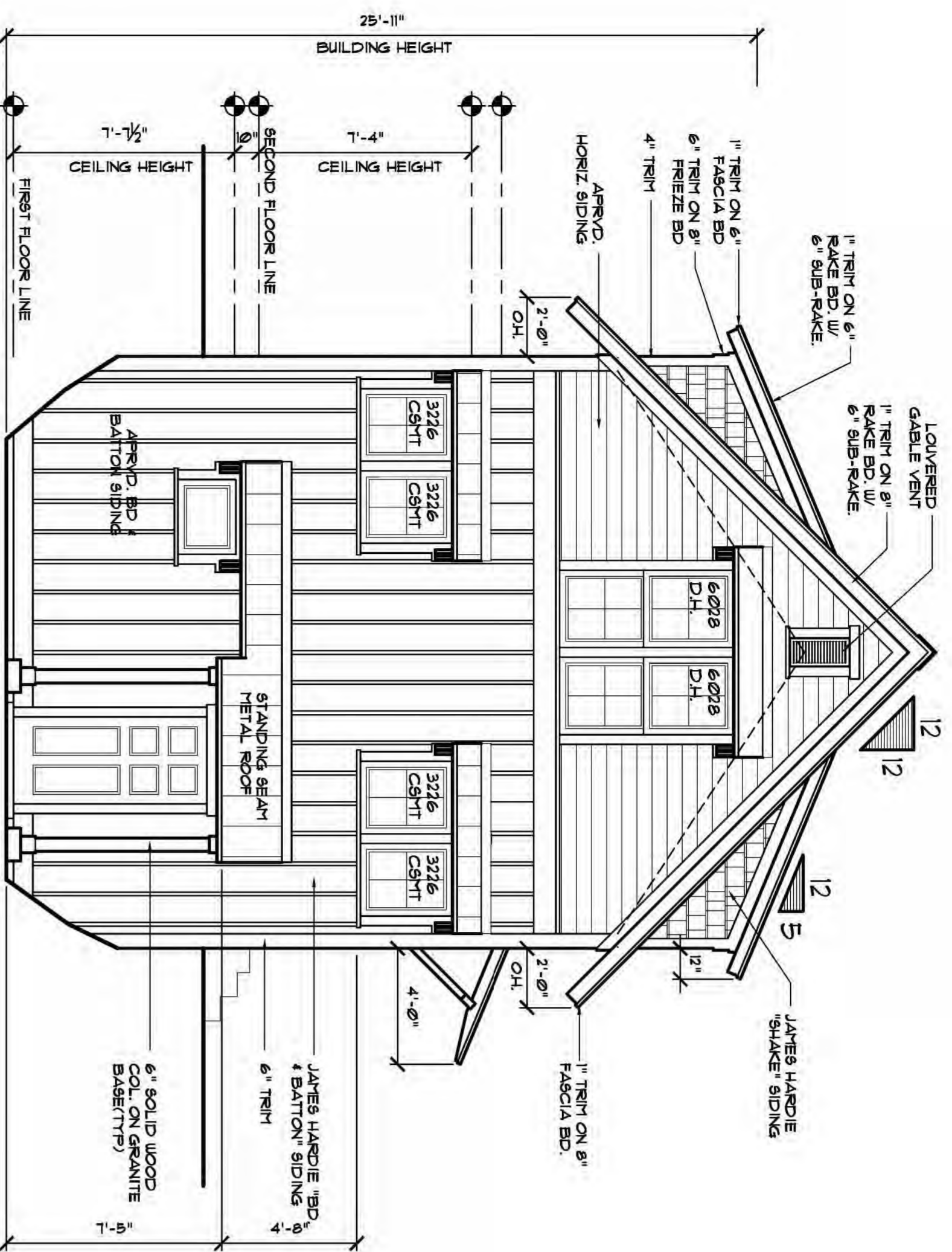
CHECK SPT

FINAL

DATE 10-14-15

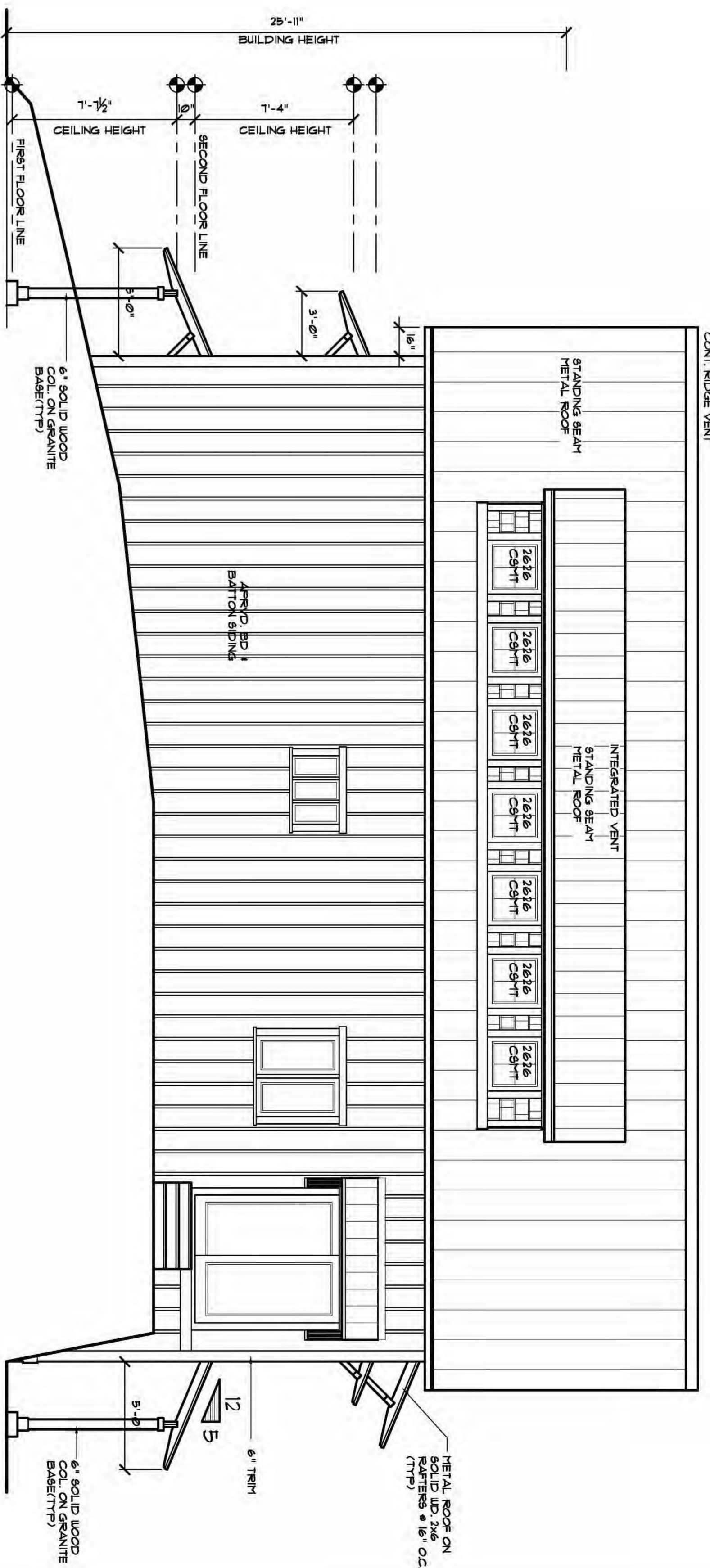
SHEET NUMBER

A1 OF 3



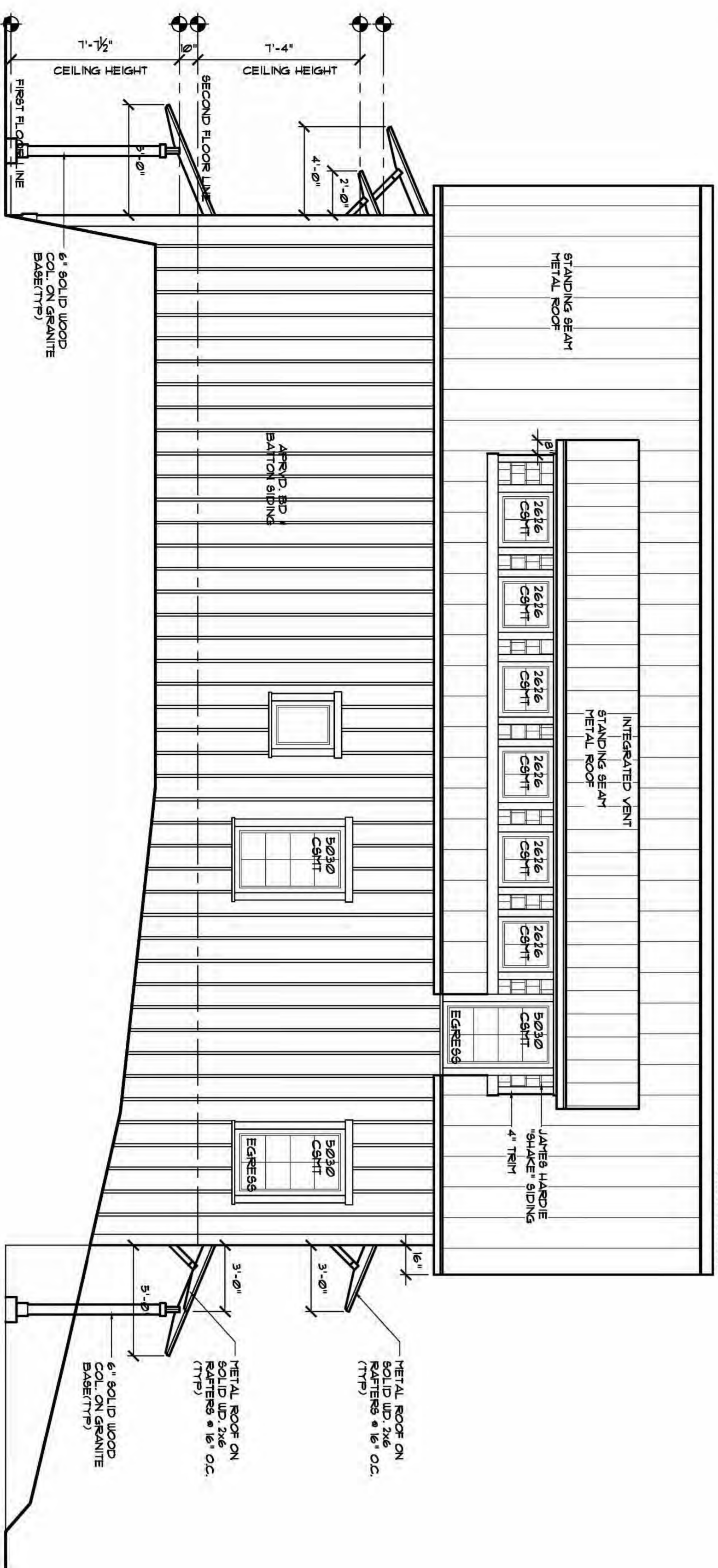
STREET SIDE ELEVATION

SCALE: 1/4"=1'-0"



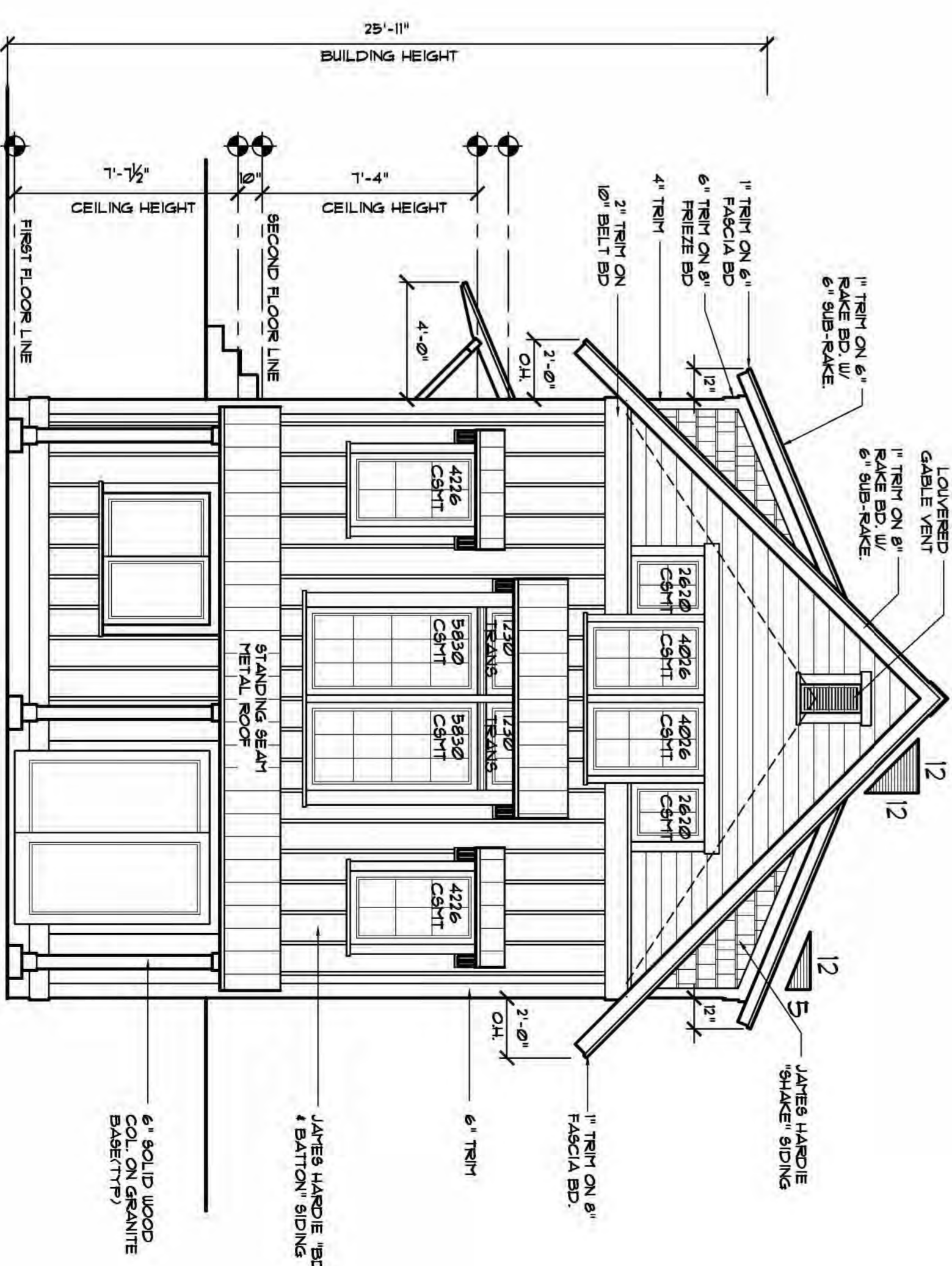
NORTH SIDE ELEVATION

SCALE: 1/4"=1'-0"



SOUTH SIDE ELEVATION

SCALE: 1/4"=1'-0"



LAKE SIDE ELEVATION

SCALE: 1/4"=1'-0"



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SZOSTEK RESIDENCE
1310 E. LAKE DRIVE
NOVI, MICHIGAN*

CONSULTANTS

REV. 00-00-15

SCALE 1/4"=1'-0"

WKG DWGS

CHECK SPT

FINAL

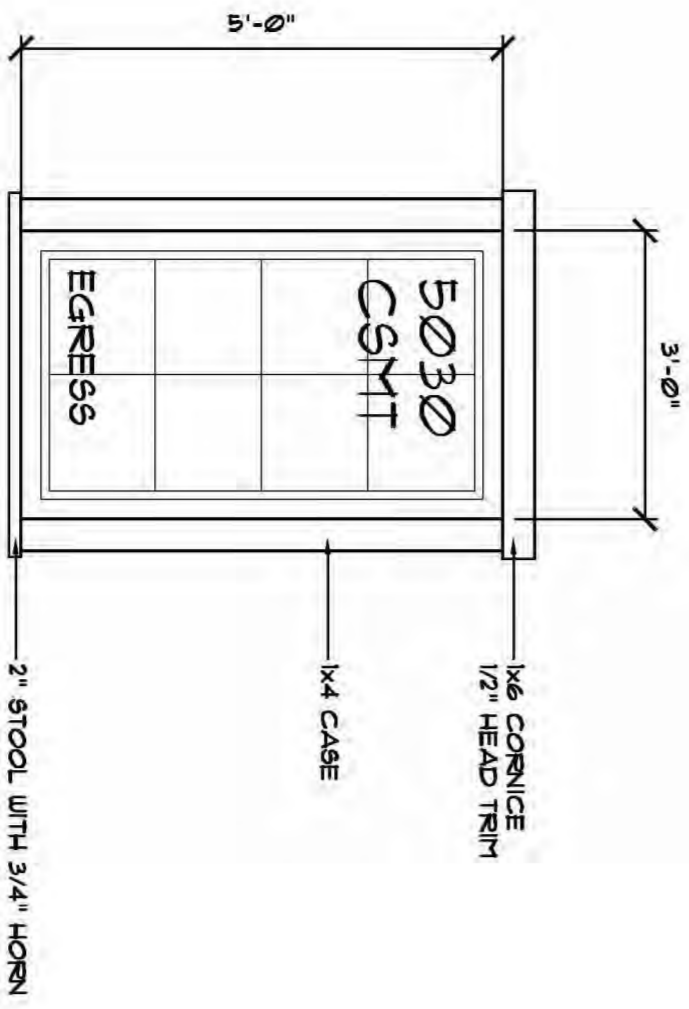
DATE 10-14-15

SHEET NUMBER

A2 OF 3

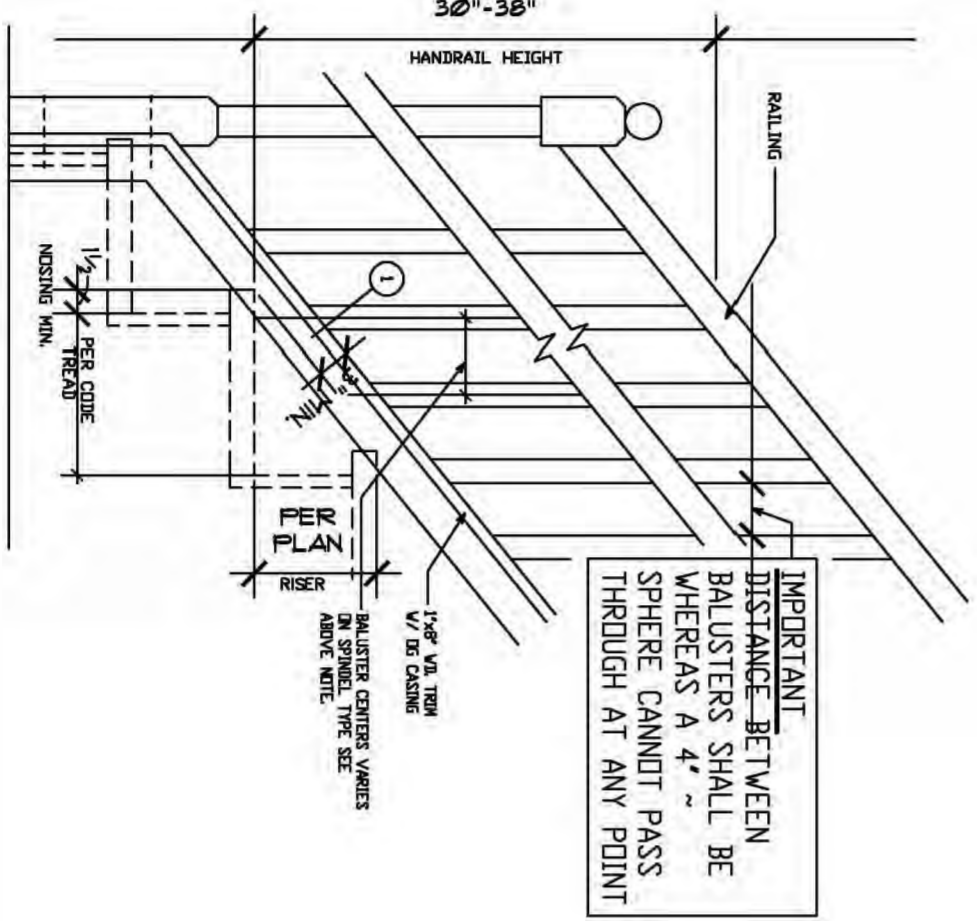
NOTE:
 IN CONNECTION WITH THIS PROJECT, THE ARCHITECT SHALL BE PROVIDING TO THE CLIENT A SET OF CONCEPTUAL DESIGN DRAWINGS. THESE DRAWINGS SHALL BE USED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. THE ARCHITECT SHALL BE PROVIDING TO THE CLIENT A SET OF CONCEPTUAL DESIGN DRAWINGS. THESE DRAWINGS SHALL BE USED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.

NOTE:
 NOTED TO BE APPROVED BY ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. THE ARCHITECT SHALL BE PROVIDING TO THE CLIENT A SET OF CONCEPTUAL DESIGN DRAWINGS. THESE DRAWINGS SHALL BE USED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.

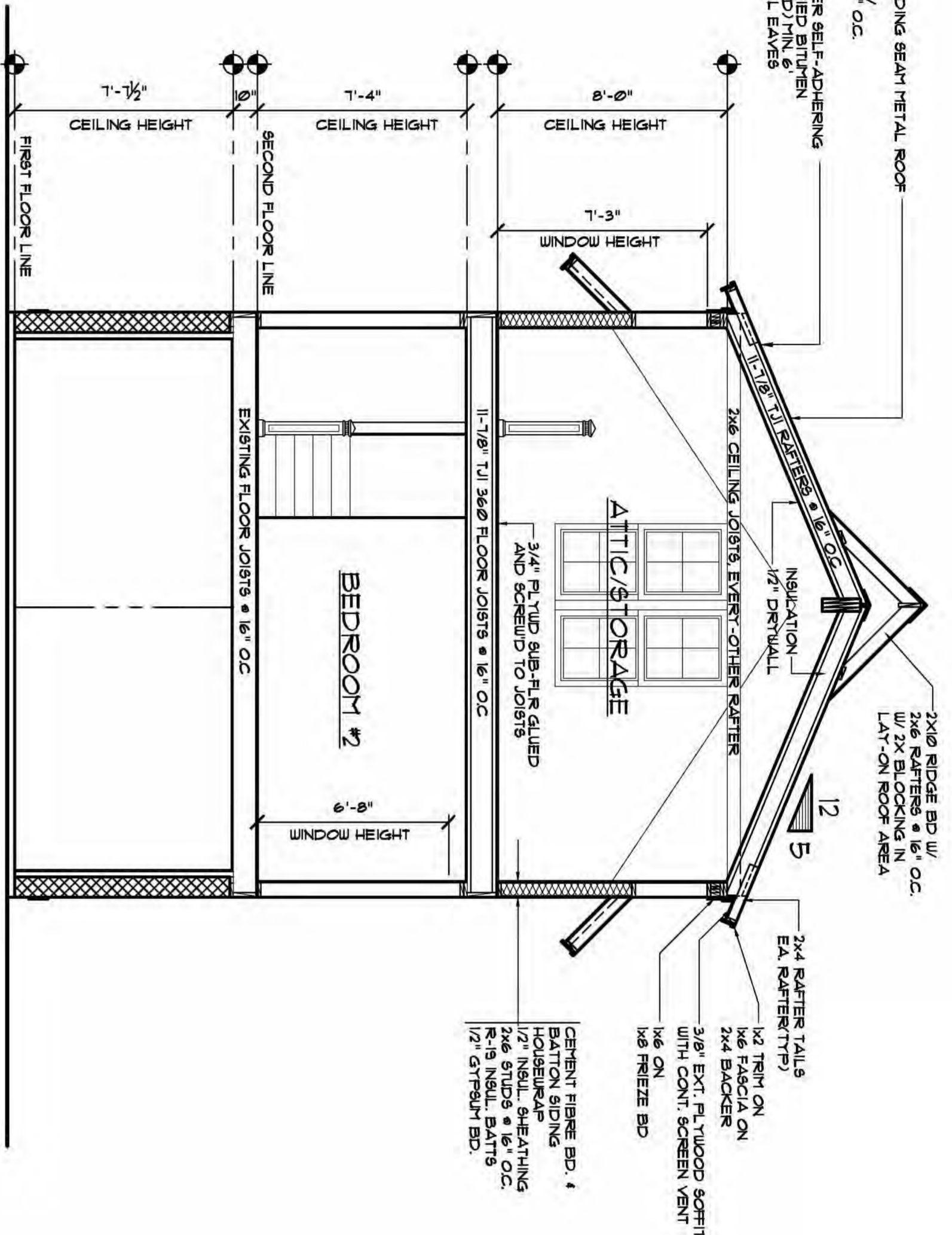


WINDOW INDEX
 (N153)

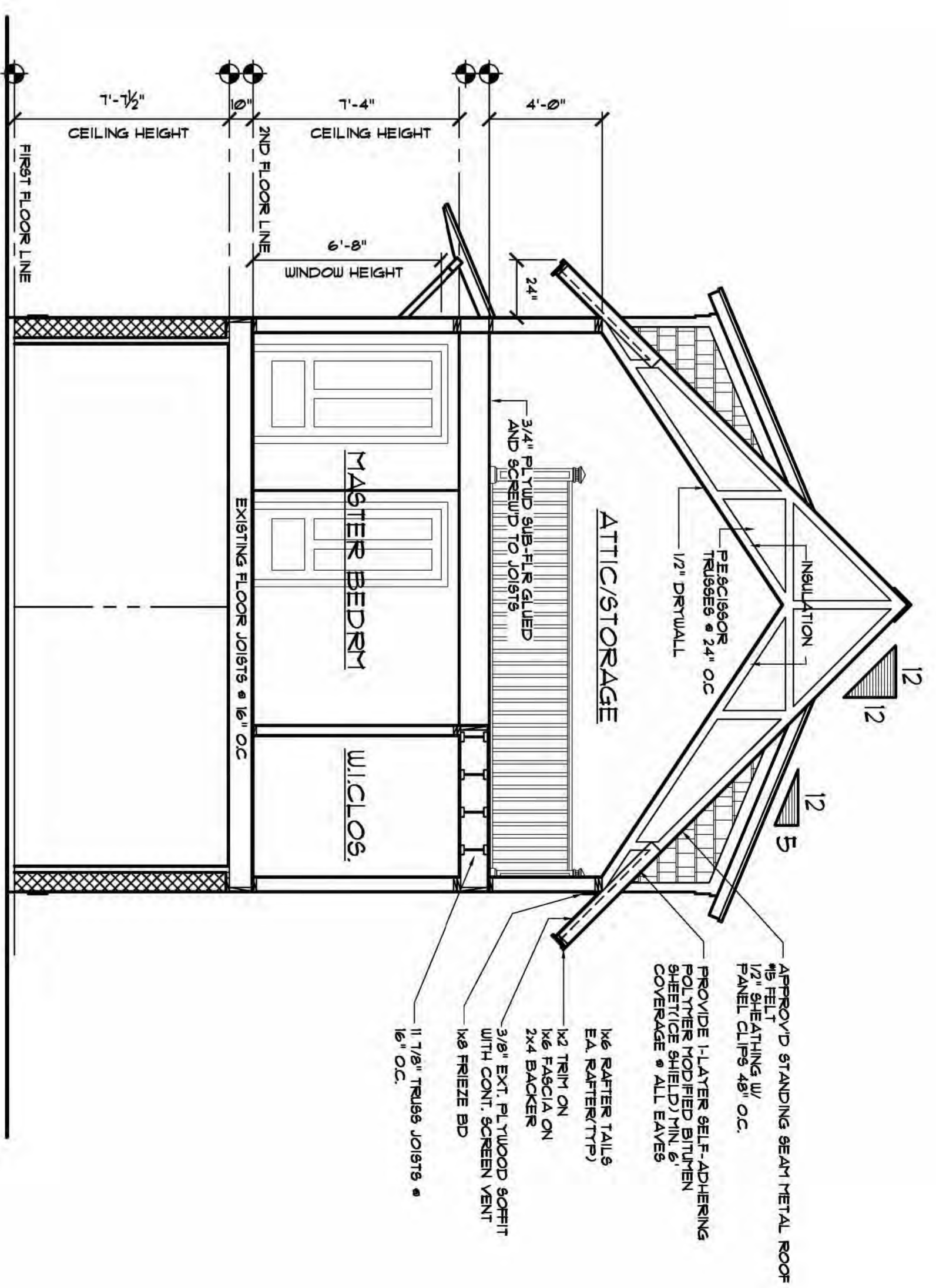
NOTE:
 FIELD VERIFY ALL UNIT SIZES AND CONDITIONS TO BE RELOCATED OR RELOCATED.



STAIR DETAIL
 SCALE: 1/2" = 1'-0"



LAKE SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



NOTE:
 PROVIDE SMOKE DETECTORS IN ALL EXISTING SLEEPING AREAS.

- ELEVATION NOTES**
1. PROVIDE DRIP CAPE AT ALL WINDOWS AND DOORS
 2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
 3. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL EAVES
 4. ROOF VENT LOCATIONS BASED ON 60 SQ IN NET FREE SPACE PER ROOF VENT.

FIRE SEPARATION
 FOR CONDITIONS WITH LIVING SPACE OVER GARAGE ONLY

HOUSE WALL:
 SYSTEM SIMILAR TO UL D68, UL 965, 1 LAYER 5/8" SHEETROCK BRAND GYPSUM PANELS, WATER RESISTANT FIRECODE CORE EACH SIDE - 2" x 6" STUDS 16" O.C. - 5 1/2" INSULATION, 2" x 8" STUD WALL AT GREAT ROOM

EXTERIOR GARAGE WALL:
 SUPPORTING LIVING SPACE ONLY.
 SYSTEM SIMILAR TO UL 965, 1 LAYER 5/8" FIRE SHIELD GYPSUM WALLBOARD - 2" x 6" STUDS @ 16" O.C. - 1/2" APA WOOD SHEATHING.

CEILING:
 SYSTEM SIMILAR TO C 2601, 2 LAYERS 5/8" FIRE SHIELD WALLBOARD - UNFACED GLASS FIBER BATT SUSPENDED ABOVE DRYWALL WITH WIRE HANGERS PROVIDING A CONTINUOUS 1/2" MINIMUM AIRSPACE BETWEEN DRYWALL AND INSULATION

EGRESS WINDOW REQUIREMENTS

- MIN. NET CLEAR OPENING 5.7 SQ. FT. (SECOND FLOOR BEDROOM)
- MIN. NET CLEAR OPENING 5.0 SQ. FT. (FIRST FLOOR BEDROOM OPENING)
- MIN. CLEAR HEIGHT 24"

AREAS THAT REQ. TEMPERED GLASS

- FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS
- SHOWER AND BATHING DOORS AND ENCLOSURES (IF APPLICABLE)
- PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH LOWER EDGE LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR LEVEL.
- ALL OTHER AREAS AS CODE REQUIRES

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JOB # 00090815

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 SZOSTEK RESIDENCE
 1310 E. LAKE DRIVE
 NOVI, MICHIGAN**

CONSULTANTS

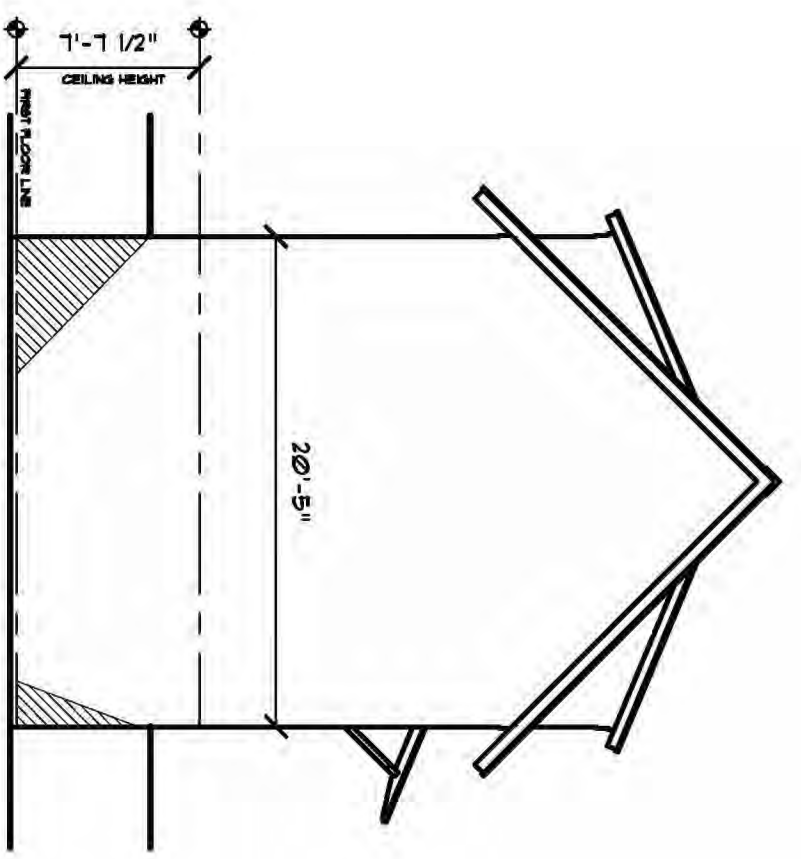
REV. 00-00-15

SCALE 1/4" = 1'-0"

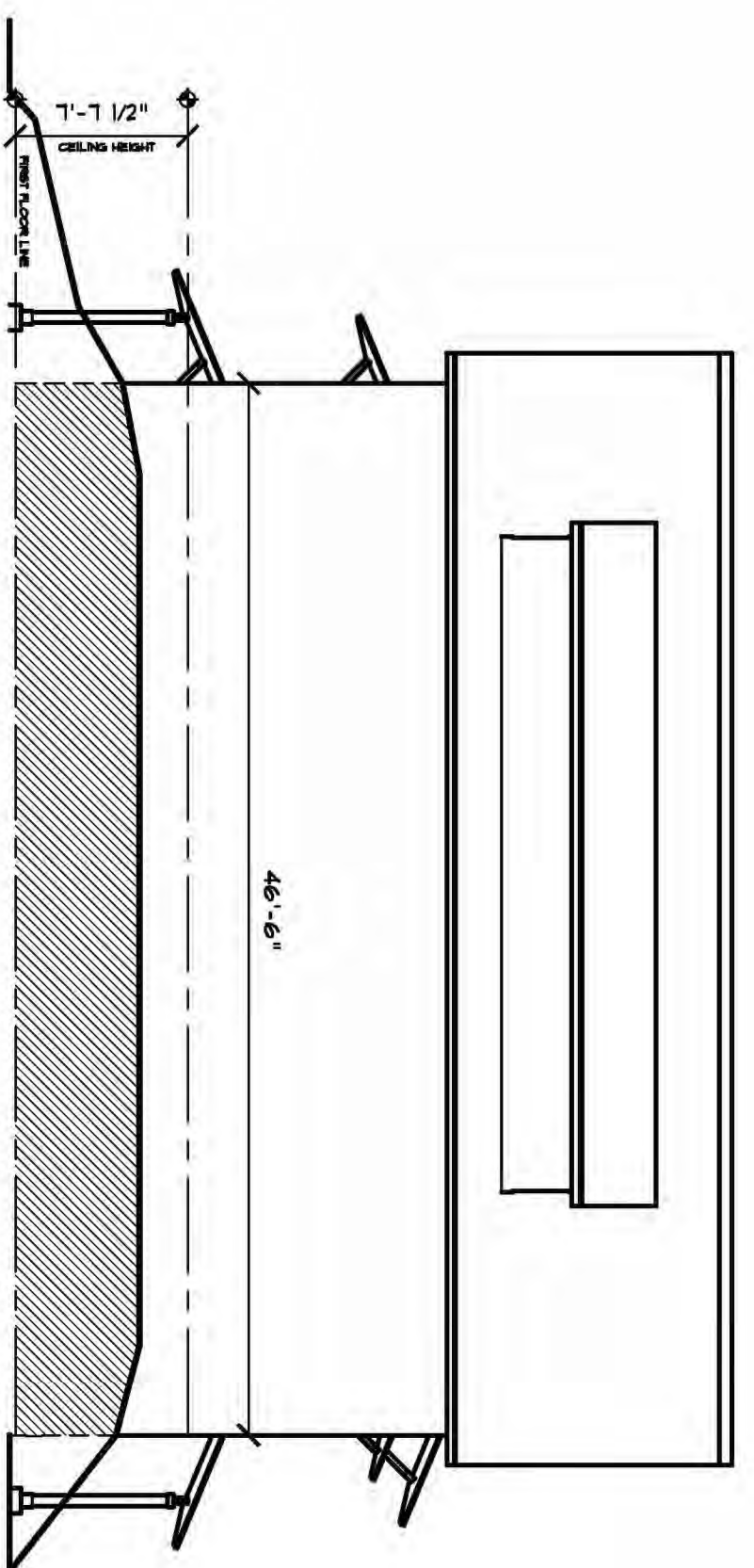
WKG DWGS

CHECK SPT

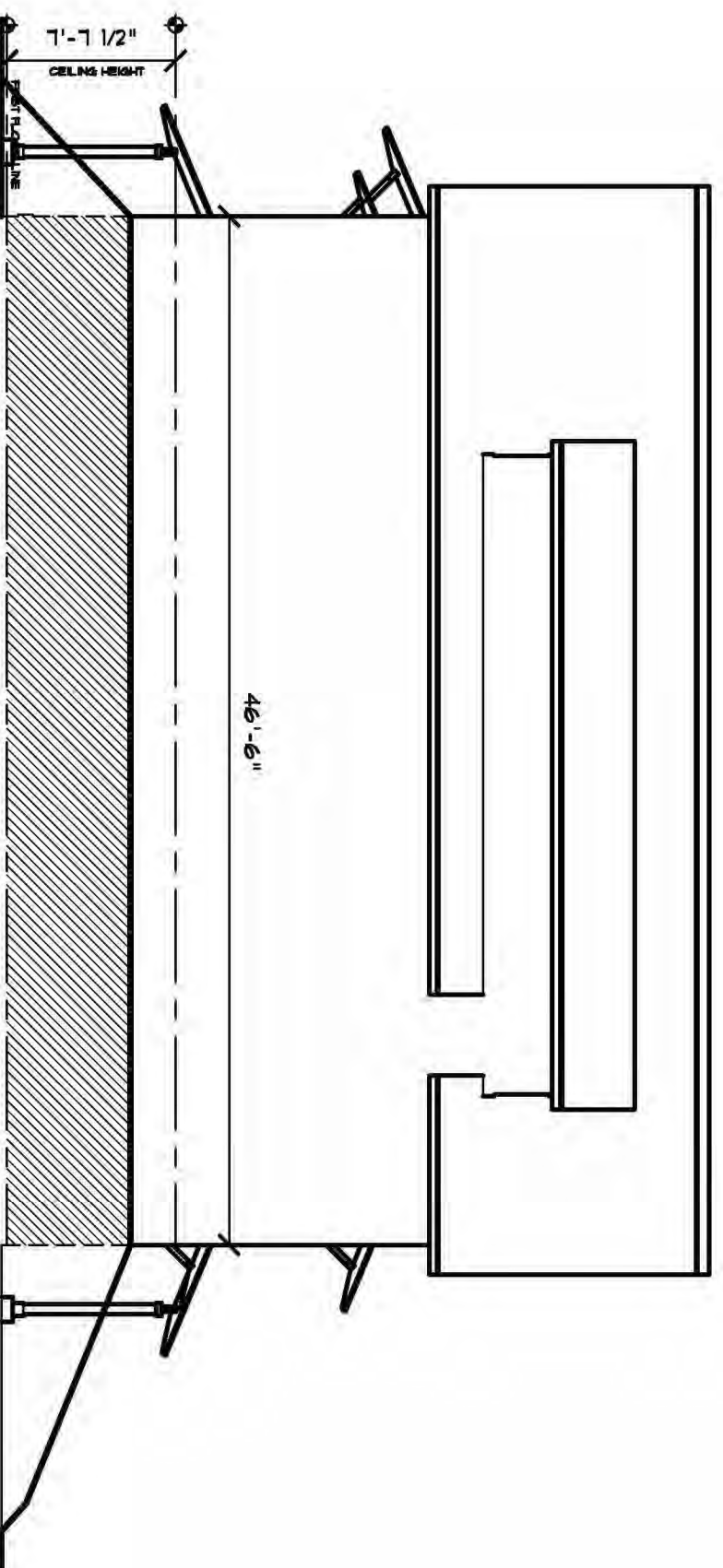
SHEET NUMBER
A3 OF 3



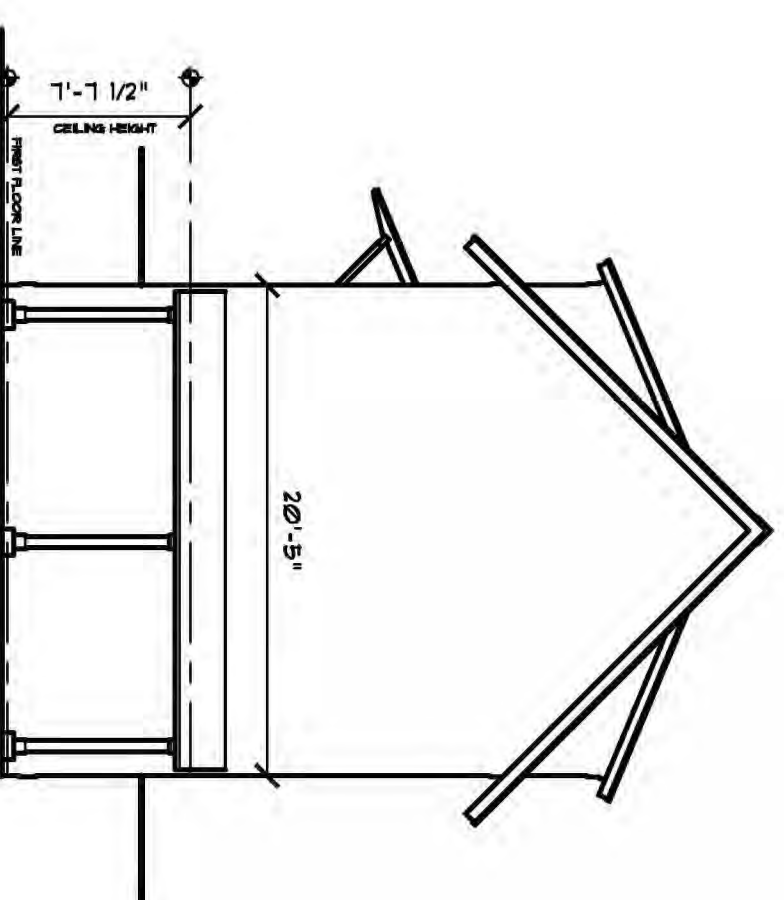
STREET SIDE ELEVATION
SCALE: 1/8" = 1'-0"



NORTH SIDE ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH SIDE ELEVATION
SCALE: 1/8" = 1'-0"



LAKE SIDE ELEVATION
SCALE: 1/8" = 1'-0"

TOTAL LOWER LEVEL WALL AREA: FIN. FLOOR TO FIN. CEILING	
NORTH & SOUTH WALLS: 46'-6" x 7'-1 1/2" = 3545 SQ/FT EA. =	7090 SQ/FT
EAST & WEST WALLS: 20'-5" x 7'-1 1/2" = 1567 SQ/FT EA. =	3134 SQ/FT
TOTAL =	10203.4 SQ/FT
WALL AREA BELOW FIN. GRADE:	
NORTH WALL	252.30 SQ/FT
SOUTH WALL	259.90 SQ/FT
EAST WALL	20.00 SQ/FT
WEST WALL	0.00 SQ/FT
TOTAL =	533.00 SQ/FT
AREA OF LOWER LEVEL BELOW GRADE:	
533.00 / 10203.4 = 0.522 =	5.22%



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1310 E. LAKE DRIVE
NOVI, MICHIGAN*

CONSULTANTS

REV. 11-01-15

SCALE 1/8" = 1'-0"

WKG DWGS

CHECK SET

FINAL

DATE 10-14-15

SHEET NUMBER

GRADE