



## COMMUNITY FINANCIAL CREDIT UNION JSP24-08

### **COMMUNITY FINANCIAL CREDIT UNION- JSP24-08**

Public Hearing at the request of Level 5 Construction LLC for Preliminary Site Plan, Woodland Permit, and Stormwater Management Plan approval to build a Community Financial Credit Union. The subject parcel is zoned TC, Town Center District and is located at the northeast corner of Crescent Boulevard and Grand River Avenue. The applicant is proposing a 3000 square foot building on 1.57 acres of land.

### **Required Action**

Approve/Deny the Preliminary Site Plan, Woodland Permit, and Stormwater Management Plan, and Section 9 Façade Waiver.

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	Approval Recommended	08.05.24	<b>ZBA variance for deficiency of 3 parking spaces (20 spaces required, 17 proposed).</b>
Engineering	Approval Recommended	08.08.24	Items to be addressed at Final Site Plan submittal.
Landscape	Contingent Approval Recommended	07.23.24	<b>Landscape waiver for the 364 sq. ft. landscape area provided at the southeast corner of the site instead of at the building foundation.</b>
Woodland/ Wetland	Approval Recommended	05.24.24	<b>A Woodland Permit is required for the removal of 30 regulated trees, requiring 57 replacement trees.</b>
Traffic	Approval Recommended	05.24.24	Items to be addressed at Final Site Plan submittal
Fire	Approval Recommended	07.22.24	Items to be addressed at Final Site Plan submittal
Façade	Approval Recommended	05.21.24	<b>Section 9 Façade Waiver for an overage of cast-in-place concrete (2-4% concrete proposed, 0% permitted).</b>

**MOTION SHEET:**

**Approval – Preliminary Site Plan and Section 9 Façade Waiver**

In the matter of Community Financial Credit Union JSP24-08, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. **ZBA variance for deficiency of 3 parking spaces (20 spaces required, 17 proposed).**
- b. **Landscape waiver for the 364 square foot landscape area provided at the southwest corner of the site instead of a location at the building foundation, as supported by staff since the proposed landscaping provides an attractive element near the corner of the property.**
- c. **Section 9 Façade Waiver for an overage of cast-in-place concrete (2-4% proposed, 0% permitted), as supported by staff due to small amount that it is proposed and because the decorative element of the proposed concrete meets the intent and purpose of the ordinance.**
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan;
- e. (additional conditions here, if any)

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**– AND –**

**Approval – Woodland Permit**

In the matter of Community Financial Credit Union JSP24-08, motion to approve the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any)

*(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**– AND –**

**Approval – Stormwater Management Plan**

In the matter Community Financial Credit Union JSP24-08, motion to approve the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any)

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**– OR –**

**Denial – Preliminary Site Plan and Section 9 Façade Waiver**

In the matter of Community Financial Credit Union JSP24-08, motion to deny the Preliminary Site Plan...  
*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

- AND -

**Denial – Woodland Permit**

In the matter of Community Financial Credit Union JSP24-08, motion to deny the Woodland Permit...  
(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

**Denial – Stormwater Management Plan**

In the matter of Community Financial Credit Union JSP24-08, motion to deny the Stormwater Management Plan... (because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)


MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# JSP24-08: COMMUNITY FINANCIAL CREDIT UNION

## LOCATION



### LEGEND

 Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Heathe Zeigler  
Date: 8/21/2024  
Project: JSP24-08 Community Financial Credit Union  
Version #: 1



### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP24-08: COMMUNITY FINANCIAL CREDIT UNION


## ZONING



**LEGEND**

- R-4: One-Family Residential District
- I-1: Light Industrial District
- I-2: General Industrial District
- TC: Town Center District
- TC-1: Town Center -1 District

Subject Property



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cityofnovi.org

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Version #: 1

0 20 40 80 120 Feet  
1 inch = 97 feet

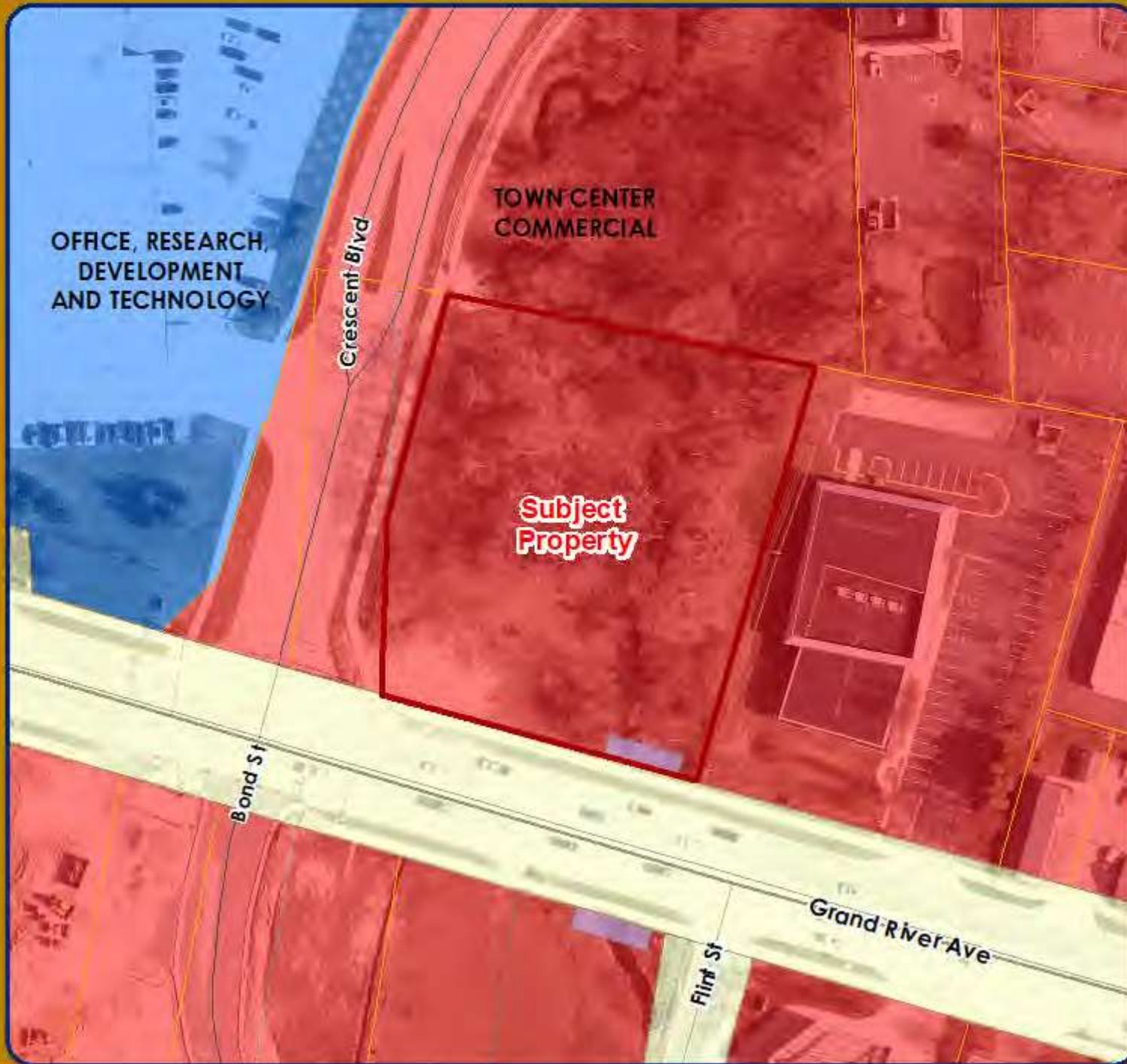


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# JSP24-08: COMMUNITY FINANCIAL CREDIT UNION

## FUTURE LAND USE



### LEGEND

- Single Family
- Office, Research, Development and Technology
- Industrial, Research, Development and Technology
- Town Center Commercial
- Private Park
- Subject Property



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
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Novi, MI 48375  
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# JSP24-08: COMMUNITY FINANCIAL CREDIT UNION

## NATURAL FEATURES



### LEGEND

- WETLANDS
- WOODLANDS
- Subject Property



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**SITE PLAN**

City of Novi,  
Oakland County, Michigan  
**PRELIMINARY SITE PLAN PACKAGE**  
Prepared For  
**Level 5**

**Owner**

LEVEL 5  
2018 POWERS FERRY ROAD SE, SUITE 750  
ATLANTA, GA 30339  
CONTACT:  
MR. DAVID LAPP  
PHONE: (313) 949-0542  
EMAIL: DLAPP@LEVEL5.COM

**Architect**

NOVUS ARCHITECTS, INC.  
656 KING STREET  
CHARLESTON, SOUTH CAROLINA 29403  
CONTACT:  
MR. TRIPP MASSENGILL  
PHONE: (843) 849-7407  
EMAIL: TRIPP.MASSENGILL@NOVUSARCHITECTS.COM

**Civil Engineer**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342  
CONTACT:  
MR. TIMOTHY D. WOOD, P.E.  
PHONE: (248) 332-7931  
EMAIL: TWOOD@NFE-ENGR.COM

**Landscape Architect**

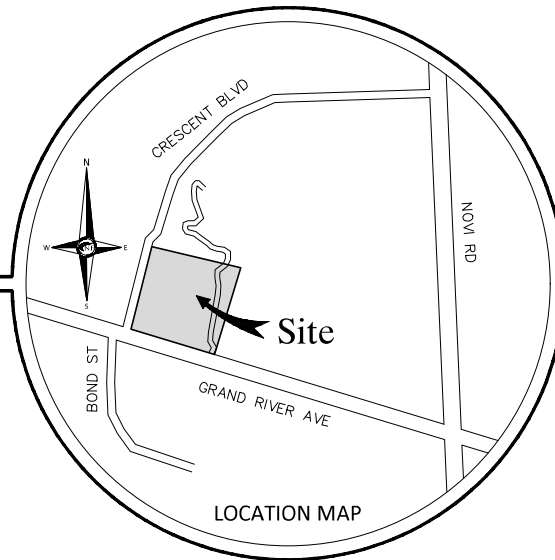
NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342  
CONTACT:  
MR. GEORGE OSTROWSKI  
PHONE: (248) 332-7931  
EMAIL: GOSTROWSI@NFE-ENGR.COM

**SHEET INDEX**

C0	Cover Sheet
C1	Boundary, Topographic, and Tree Survey
C2	Preliminary Dimensional Site Plan
C3	Preliminary Grading Plan
C4	Preliminary Sanitary and Water Main
C5	Preliminary Storm Water Management Plan
C6	Soil Erosion and Sedimentation Control Plan
C7	Fire Protection Plan
C8	Truck Maneuvering and Open Space Plan
C9	Geotechnical Report
C10	Notes and Details
C11	Notes and Details
L1	Tree Preservation Plan
L2	Landscape Plan
L3	Landscape Notes and Details
IR1	Irrigation Plan
E101	Photometric Plan
E102	Light Fixture Specification Sheet
	Facade Materials Board

**Standard Details**

1 of 2	City of Novi Paving Standard Details
2 of 2	City of Novi Paving Standard Details
1 of 3	City of Novi Sanitary Sewer Standard Details
2 of 3	City of Novi Sanitary Sewer Standard Details
3 of 3	City of Novi Sanitary Sewer Standard Details
1 of 2	City of Novi Storm Sewer Standard Details
2 of 2	City of Novi Storm Sewer Standard Details
1 of 5	City of Novi Water Main Standard Details
2 of 5	City of Novi Water Main Standard Details
3 of 5	City of Novi Water Main Standard Details
4 of 5	City of Novi Water Main Standard Details
5 of 5	City of Novi Water Main Standard Details
1 of 1	OCWRC Soil Erosion and Sedimentation Control Details



**LEGAL DESCRIPTION**

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI.

PART OF LOT 6, SUPERVISOR'S PLAT NO. 4, AS RECORDED IN LIBER 54A, PAGE 83 OF PLATS, OAKLAND COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 6; THENCE SOUTH 71 DEG. 19' 00" EAST 221.53 FEET; THENCE NORTH 18 DEG. 27' 00" EAST 294.49 FEET; THENCE NORTH 76 DEG. 40' 30" WEST ALONG THE NORTH LOT LINE TO THE NORTHWEST LOT CORNER; THENCE SOUTH 05 DEG. 57' 00" WEST 274.90 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT, SOUTHEAST QUARTER OF SECTION 15, T1N, R8E, BEGINNING AT A POINT ON THE WEST LINE OF LOT 6, LOCATED DISTANT N05°57'00"E 123.62 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 6; THENCE CONTINUING N05°57'00"E 151.28 FEET TO THE NORTHWEST CORNER OF SAID LOT 6; THENCE S76°40'30"E, ALONG THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 33.09 FEET; THENCE S18°31'54"W 150.65 FEET TO THE POINT OF BEGINNING, AS RECORDED IN LIBER 18891, PAGE 665.

FOR INFORMATIONAL PURPOSES ONLY:

TAX PARCEL IDENTIFICATION NUMBER: 50-22-15-476-031 (PART OF)

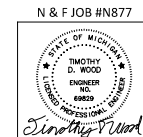
**REVISIONS:**  
2024-04-15 - ISSUED FOR PSP REVIEW  
2024-07-02 - REVISED PER PSP REVIEW

Project Name

# Community Financial Credit Union

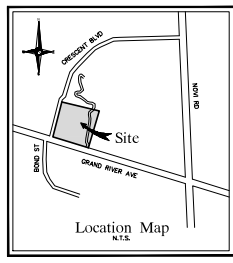
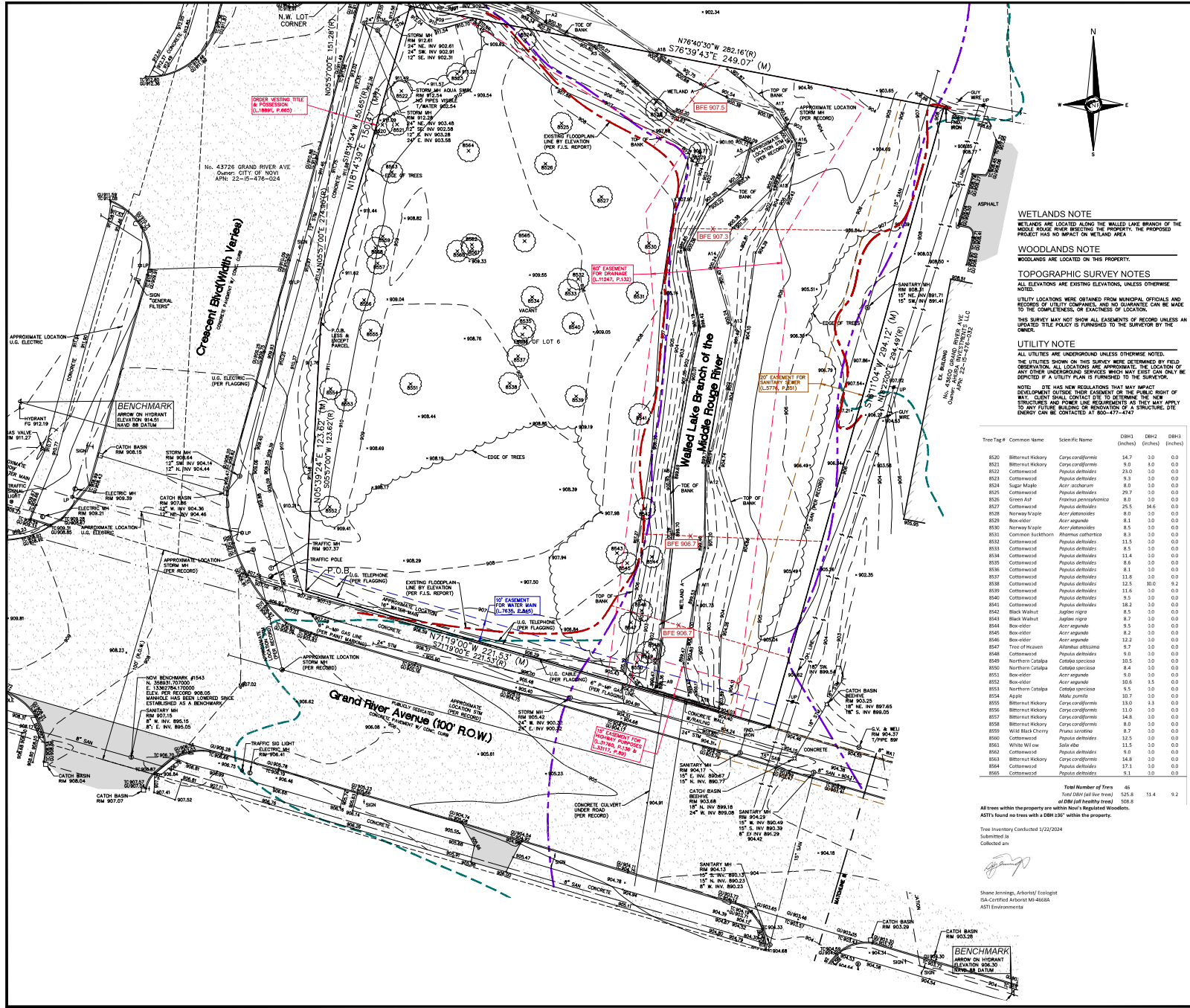


CITY OF NOVI NUMBER: JSP24-0008



CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
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TEL: (248) 332-7931  
FAX: (248) 332-8257  
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 TEL: (248) 332-7931  
 FAX: (248) 332-8257  
 WWW.NOWAKFRAUS.COM

**LEGAL DESCRIPTION**  
 LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOWI.

PART OF LOT 6, SUPERVISOR'S PLAT NO. 4, AS RECORDED IN LIVER 344, PAGE 83 OF PLATS, OAKLAND COUNTY RECORDS, DESCRIBED AS BEING AT THE SOUTHWEST CORNER OF LOT 6, THENCE SOUTH 79° EAST 294.48 FEET, THENCE NORTH 70° 00' 40" 30" WEST ALONG THE NORTH LOT LINE TO THE NORTHWEST LOT CORNER, THENCE SOUTH 85° 00' 00" WEST 274.80 FEET TO THE POINT OF BEGINNING, AS RECORDED IN LIVER 1180, PAGE 566.

LESS AN EXCEPT SOUTHWEST QUARTER OF SECTION 15, T1N, R1E, BEGINNING AT A POINT ON THE WEST LINE OF LOT 6 LOCATED DISTANT NINETEEN (19) FEET FROM THE SOUTHWEST CORNER OF SAID LOT 6; THENCE CONTINUING NORTHWEST 19.38 FEET TO THE NORTHWEST CORNER OF SAID LOT 6; THENCE SOUTH 85° 00' 00" WEST 274.80 FEET TO THE POINT OF BEGINNING, AS RECORDED IN LIVER 1180, PAGE 566.

FOR INFORMATIONAL PURPOSES ONLY:  
 TAX PARCEL IDENTIFICATION NUMBER: 50-22-15-476-03 (PART OF)

**WETLANDS NOTE**  
 WETLANDS ARE LOCATED ALONG THE WALLED LAKE BRANCH OF THE MIDDLE RIVER BORDERING THE PROPERTY. THE PROPOSED PROJECT HAS NO IMPACT ON WETLAND AREA.

**WOODLANDS NOTE**  
 WOODLANDS ARE LOCATED ON THIS PROPERTY.

**TOPOGRAPHIC SURVEY NOTES**  
 ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.  
 UTILITIES LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETION OR EXTENSION OF LOCATIONS.  
 THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED EASEMENT RECORD IS FURNISHED TO THE SURVEYOR BY THE UTILITY.

**UTILITY NOTE**  
 ALL UTILITIES ARE UNDEGROUND UNLESS OTHERWISE NOTED.  
 THE UTILITIES SHOWN ON THIS SURVEY WERE DETERMINED BY FIELD OBSERVATION. ALL LOCATIONS ARE APPROXIMATE. THE LOCATION OF ANY OTHER UNDERGROUND SERVICES WHICH MAY EXIST CAN ONLY BE DETECTED IF A UTILITY PLAN IS FURNISHED TO THE SURVEYOR.

**NOTICE:** THE HAS NEW RECORDS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT IS ADVISED TO OBTAIN RECORDS OF ALL RECORDS OF RECORDS AND POWER LINE REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE RECORDS OF RECORDS. A STRUCTURE, SITE ENERGY CAN BE CONTACTED AT 800-477-4747

**ACCESS NOTE**  
 THE SUBJECT LAND MAY HAVE VEHICLE AND PEDESTRIAN ACCESS TO GRAND RIVER AVENUE, A PUBLICLY DEDICATED RIGHT OF WAY. VEHICLE AND PEDESTRIAN ACCESS TO CRESCENT BOULEVARD WHICH IS WITHIN CITY OF NOWI PROPERTY, SUBJECT TO MUNICIPAL APPROVAL.

**SITE DATA**  
 GROSS LAND AREA: 6631 SQUARE FEET OR 153.3 ACRES  
 ZONING: C-TOWN CENTER  
 BUILDING SETBACKS:  
 FRONT: 10'  
 SIDES: 10'  
 REAR: 10'  
 MAX. BUILDING HEIGHT PERMITTED: 5 STOREYS/65'

**FLOOD HAZARD NOTE**  
 TOTAL STRIPES PARKING: 0 STRIPES SPACES INCLUDING 0 BARRIER FREE (ADA) ACCESSIBLE SPACES  
 THE ABOVE SETBACK & HEIGHT REQUIREMENTS WERE OBTAINED FROM THE CITY OF NOWI ZONING ORDINANCE.  
 A SURVEYOR CANNOT MAKE A DETERMINATION ON THE BASIS OF AN OBSERVATION OF A PORTION OF A PROPERTY. A CHANGING OR MOVING FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE PROPERTY LIES WITHIN ZONE X OF THE CURRENT AVAILABLE FLOOD INSURANCE RATE MAP, EXCEPT AS MAY NOW BE BEARING AN EFFECTIVE DATE OF 3/10/23.

**CEMETERY NOTE**  
 THERE WAS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS WITHIN THE SUBJECT PROPERTY.

Tree Tag #	Common Name	Scientific Name	DBH1 (inches)	DBH2 (inches)	DBH3 (inches)
8020	Bitternut Hickory	Carya cordiformis	14.7	0.0	0.0
8021	Bitternut Hickory	Carya cordiformis	9.0	0.0	0.0
8022	Cottonwood	Populus deltoides	25.0	0.0	0.0
8023	Cottonwood	Populus deltoides	9.8	0.0	0.0
8024	Sugar Maple	Acer saccharum	8.0	0.0	0.0
8025	Cottonwood	Populus deltoides	29.7	0.0	0.0
8026	Green Ash	Fraxinus pennsylvanica	8.0	0.0	0.0
8027	Cottonwood	Populus deltoides	25.5	14.6	0.0
8028	Common Nettle	Acer glaberrimum	8.0	0.0	0.0
8029	Box-elder	Acer negundo	8.1	0.0	0.0
8030	Norway Spruce	Picea canadensis	8.5	0.0	0.0
8031	Common Buckthorn	Rhamnus cathartica	8.3	0.0	0.0
8032	Cottonwood	Populus deltoides	13.5	0.0	0.0
8033	Cottonwood	Populus deltoides	8.5	0.0	0.0
8034	Cottonwood	Populus deltoides	13.4	0.0	0.0
8035	Cottonwood	Populus deltoides	8.6	0.0	0.0
8036	Cottonwood	Populus deltoides	8.1	0.0	0.0
8037	Cottonwood	Populus deltoides	11.8	0.0	0.0
8038	Cottonwood	Populus deltoides	12.5	0.0	9.2
8039	Cottonwood	Populus deltoides	13.4	0.0	0.0
8040	Cottonwood	Populus deltoides	9.5	0.0	0.0
8041	Cottonwood	Populus deltoides	18.2	0.0	0.0
8042	Black Walnut	Juglans nigra	8.5	0.0	0.0
8043	Black Walnut	Juglans nigra	8.7	0.0	0.0
8044	Box-elder	Acer negundo	9.5	0.0	0.0
8045	Box-elder	Acer negundo	8.2	0.0	0.0
8046	Box-elder	Acer negundo	12.2	0.0	0.0
8047	Tree-of-Heaven	Ailanthus altissima	5.7	0.0	0.0
8048	Cottonwood	Populus deltoides	9.0	0.0	0.0
8049	Northern Catalpa	Catalpa speciosa	30.5	0.0	0.0
8050	Northern Catalpa	Catalpa speciosa	8.4	0.0	0.0
8051	Box-elder	Acer negundo	9.0	0.0	0.0
8052	Box-elder	Acer negundo	10.6	1.5	0.0
8053	Northern Catalpa	Catalpa speciosa	9.5	0.0	0.0
8054	Apple	Malus domestica	10.7	0.0	0.0
8055	Bitternut Hickory	Carya cordiformis	13.0	1.4	0.0
8056	Bitternut Hickory	Carya cordiformis	13.0	0.0	0.0
8057	Bitternut Hickory	Carya cordiformis	14.8	0.0	0.0
8058	Bitternut Hickory	Carya cordiformis	8.0	0.0	0.0
8059	Wild Black Cherry	Prairies serrata	8.7	0.0	0.0
8060	Cottonwood	Populus deltoides	12.5	0.0	0.0
8061	White willow	Salix alba	13.5	0.0	0.0
8062	Cottonwood	Populus deltoides	9.8	0.0	0.0
8063	Bitternut Hickory	Carya cordiformis	14.8	0.0	0.0
8064	Cottonwood	Populus deltoides	17.1	3.0	0.0
8065	Cottonwood	Populus deltoides	9.1	0.0	0.0

Total Number of Trees: 46  
 Total DBH (all tree trunks): 525.8 11.4 9.2  
 0.08 (all healthy trees) 505.8

All trees within the property are within Nowi's Registered Woodlots.  
 AST's found no trees with a DBH > 30" within the property.

The Inventory Conducted 3/22/2024  
 Submitted by:  
 Collected on:

Shane Jennings, Arbolist/Ecologist  
 ISA-Certified Arborist MI-4668A  
 AST's Environmental

**FLOOD PLAIN LEGEND**

[Red dashed line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)
[Blue dashed line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)
[Green dashed line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)
[Purple dashed line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)
[Red solid line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)
[Blue solid line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)
[Green solid line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)
[Purple solid line]	DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAPS (EFFECTIVE SEPTEMBER 01, 2006)

**LEGEND**

[Red dashed line]	MANHOLE	[Blue dashed line]	EXISTING SANITARY SEWER
[Blue dashed line]	HYDRANT	[Red dashed line]	EXISTING SANITARY CLEAN OUT
[Green dashed line]	DATE VALVE	[Blue dashed line]	EXISTING WATER MAIN
[Red dashed line]	MANHOLE CATCH BASIN	[Blue dashed line]	EXISTING STORM SEWER
[Red dashed line]	EX. A.V. CATCH BASIN	[Blue dashed line]	EXISTING BURIED CABLES
[Red dashed line]	UTILITY POLE	[Blue dashed line]	OVERHEAD BURY CABLES
[Red dashed line]	GUY POLE	[Blue dashed line]	LOW POLE
[Red dashed line]	GUY WIRE	[Blue dashed line]	CONDUIT
[Red dashed line]	SON	[Blue dashed line]	EXISTING GAS MAIN

**PROFECT**  
 Community Financial  
 Credit Union

**CLIENT**  
 Level 5  
 2018 Powers Ferry Rd. SE  
 Atlanta, GA 30339  
 Contact:  
 David Lapp  
 Phone: (313) 949-9542  
 Email: dlapp@level5.com

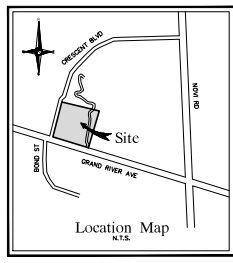
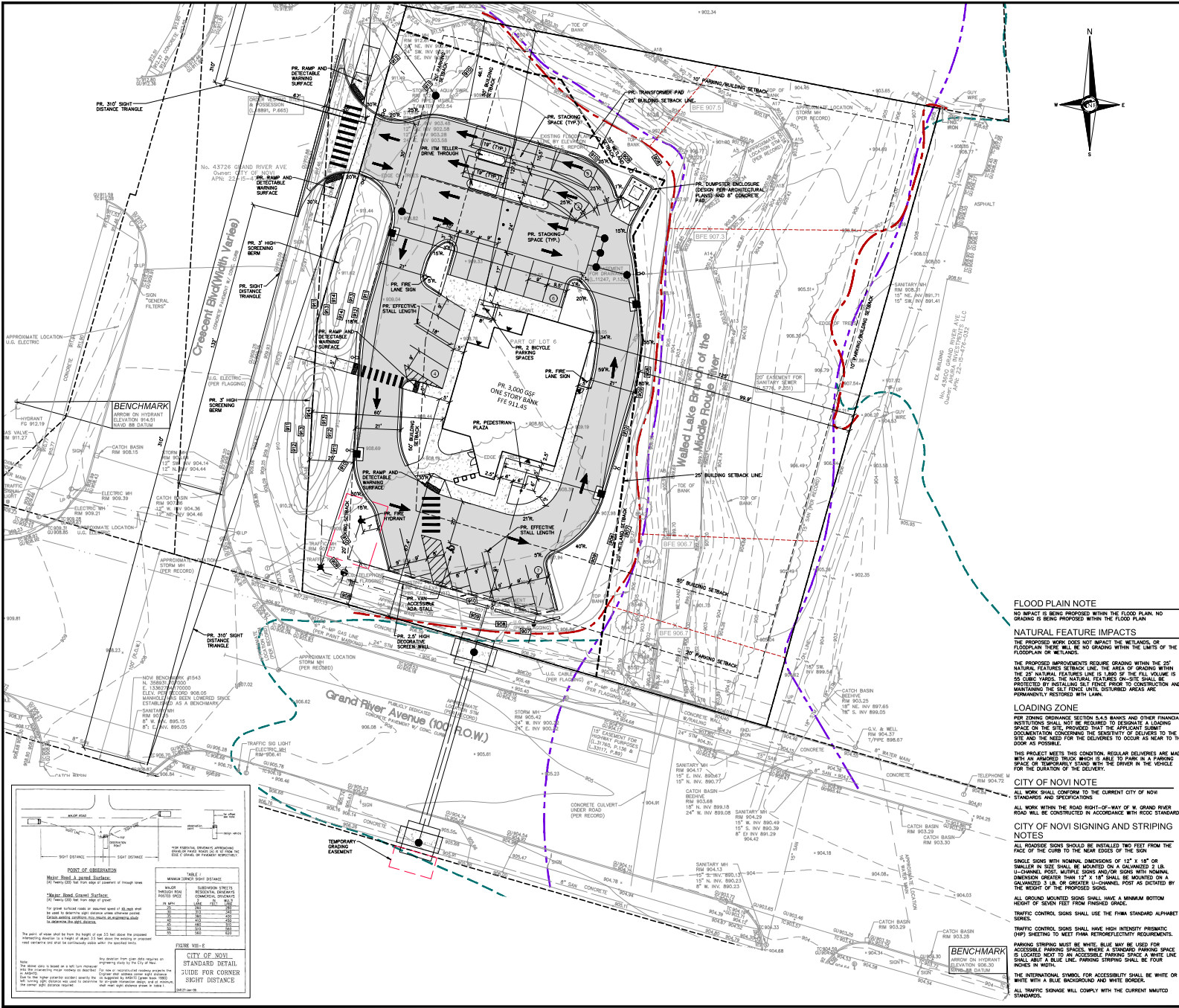
**PROFECT LOCATION**  
 Part of the NE 1/4 of  
 Section 15  
 T. 1N, R. 8E,  
 City of Novi,  
 Oakland County, MI

**SHEET**  
 Boundary, Topographic,  
 and Tree Survey

**811**  
 Know what's below  
 Call before you dig.

DATE ISSUED/REVISED  
 2024-03-26 ISSUED FOR PFP REVIEW  
 2024-03-26 REVISED PER PFP REVIEW

DRAWN BY:  
 D. McConkey  
 DESIGNED BY:  
 K. Navaroli  
 APPROVED BY:  
 K. Navaroli  
 DATE:  
 March 26, 2024  
 SCALE: 1" = 20'  
 SHEET NO. N877 C1



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL (248) 332-7934  
 FAX (248) 332-8257  
 WWW.NOWAKFRAUS.COM

**LIGHTING NOTE**  
 ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.  
 FLASHING LIGHT SHALL NOT BE PERMITTED.  
 ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

**GARBAGE COLLECTION NOTE**  
 PROPERTY OWNER SHALL ENSURE THAT GARBAGE COLLECTION DOES NOT INTERFERE WITH DRIVE-THROUGH HOURS.  
**MAXIMUM SHIFT SIZE**  
 THE MAXIMUM NUMBER OF EMPLOYEES ON ONE SHIFT IS 5.

**TRANSFORMER NOTE**  
 PROPOSED TRANSFORMER LOCATIONS ARE TO BE DETERMINED. ALL TRANSFORMERS AND UTILITY SERVICES SHALL MEET CITY OF NOVI SETBACK AND SCREENING STANDARDS.

**SITE INFORMATION**  
 CASTING ZONING: TC TOWN CENTER  
 SITE AREA: 68,531 SF, OR 1.57 ACRES  
 SITE ADDRESS: N/A

**VEHICLE PARKING**  
 REQUIRED: 85  
 PROVIDED: 85  
 REQUIRED: 20 SPACES (INCLUDING 1 VAN ACCESSIBLE SPACES)  
 PROVIDED: 17 TOTAL (INCLUDING 1 VAN ACCESSIBLE SPACES)  
 REQUESTING MINOR FOR 3 PARKING SPACES

**VEHICLE PARKING**  
 REQUIRED: 85  
 PROVIDED: 85  
 REQUIRED: 20 SPACES (INCLUDING 1 VAN ACCESSIBLE SPACES)  
 PROVIDED: 17 TOTAL (INCLUDING 1 VAN ACCESSIBLE SPACES)  
 REQUESTING MINOR FOR 3 PARKING SPACES

**ADJACENT LAND ZONING AND USE**  
 ADJACENT LAND ZONING: TC-1  
 ADJACENT LAND USE: ONE SALON

**PROPERTY FRONTAGE NOTE**  
 WEST GRAND RIVER ROAD PROPERTY FRONTAGE IS 253.59 FEET.  
 WEST GRAND RIVER ROAD PROPERTY FRONTAGE IS 274.09 FEET.

**PAVING LEGEND**  
 PROPOSED CONCRETE PAVEMENT  
 PROPOSED ASPHALT PAVEMENT

**LEGEND**  
 MANHOLE - EXISTING SANITARY SEWER  
 HYDRANT - GATE VALVE - SAN CLEAN OUT  
 MANHOLE CATCH BASIN - EXISTING WATERMAIN  
 UTILITY POLE GUY POLE - EXISTING STORM SEWER  
 GUY WIRE - EXISTING BURIED CABLES  
 SON - OVERHEAD LINES  
 GUY - LIGHT POLE  
 SON - SON  
 GUY - EXISTING GAS MAIN  
 HYDRANT - GATE VALVE - PR. SANITARY SEWER  
 PR. WATER MAIN  
 PR. STORM SEWER  
 PR. R. Y. CATCH BASIN  
 PR. R. Y. CATCH POLE

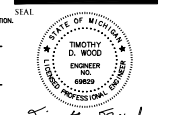
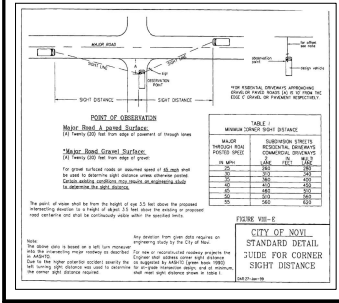
**CITY OF NOVI NOTE**  
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

**CITY OF NOVI SIGNING AND STRIPING NOTES**  
 ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE SIGN.

**TRAFFIC CONTROL SIGNS**  
 TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.

**INTERNATIONAL SYMBOLS**  
 THE INTERNATIONAL SYMBOLS FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH A BLUE BACKGROUND AND WHITE BORDERS.

**TRAFFIC CONTROL SIGNS**  
 TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.



*Timothy Wood*  
 PROJECT  
 Community Financial  
 Credit Union

CLIENT  
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 Suite 750  
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 David Lapp  
 Phone: (313) 949-9542  
 Email: dlapp@level5.com

PROJECT LOCATION  
 Part of the NE 1/4 of  
 Section 15  
 T. 1N, R. 8E,  
 City of Novi,  
 Oakland County, MI

SHEET  
 Preliminary Dimensional  
 Site Plan

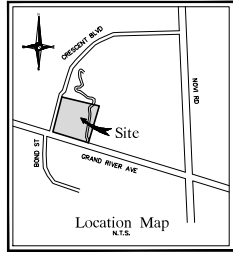


DATE ISSUED/REVISED  
 2024-04-15 ISSUED FOR PDP REVIEW  
 2024-07-09 REVISED PER PDP REVIEW

DRAWN BY:  
 B. Glibich  
 DESIGNED BY:  
 T. Wood  
 APPROVED BY:  
 J. Longhurst

DATE:  
 March 26, 2024

SCALE: 1" = 20'  
 SHEET NO.  
 N877 C2



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7934  
 FAX. (248) 332-8257  
 WWW.NOWAKFRAUS.COM

**AGGREGATE NOTE**  
 USE 2 1/2\"/>

**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

**CONCRETE:** PORTLAND CEMENT TYPE I (AIR-ENTRAPPED) WITH A MINIMUM CEMENT CONTENT OF 5% GRADES FOR CURB AND WALK. MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

**ASPHALT:** BASE COURSE - HMA 4EM SURFACE COURSE - HMA 5EM ROAD CANT - HMA 5EM ENGLISH AT 0.10

PAVEMENT BASE SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. FINISH SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WATER MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISH OPERATIONS.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT Poured NUMBERED ASPHALT JUNT SEALING COMPOUND IMMEDIATELY AFTER SMOOT OPERATION. FEDERAL SPECIFICATION SS-584.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6\"/>

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED FORM HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES ARRANGE FOR ALL INSPECTION.

EXISTING VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

GENERAL RAINFOURDING TO PUBLIC ACT NO. 8, 1975, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BORDER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 6 INCHES THICK TO 90% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

**ESTIMATED QUANTITIES**

DESCRIPTION	QUANTITY	UNITS
NO PARKING PAVE LINE SIGN (R8-3) 12\"/>		

DESCRIPTION	QUANTITY	UNITS
VAN ACCESSIBLE PARKING SIGN (R7-6) 12\"/>		

DESCRIPTION	QUANTITY	UNITS
VAN ACCESSIBLE PARKING SIGN (R7-6) 12\"/>		

DESCRIPTION	QUANTITY	UNITS
VAN ACCESSIBLE PARKING SIGN (R7-6) 12\"/>		

DESCRIPTION	QUANTITY	UNITS
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DESCRIPTION	QUANTITY	UNITS
VAN ACCESSIBLE PARKING SIGN (R7-6) 12\"/>		

DESCRIPTION	QUANTITY	UNITS
VAN ACCESSIBLE PARKING SIGN (R7-6) 12\"/>		

SEAL



*Timothy Wood*

PROJECT  
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 Contact:  
 David Lapp  
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 Email: dlapp@level5.com

PROJECT LOCATION  
 Part of the NE 1/4 of  
 Section 15  
 T. 1 N., R. 8 E,  
 City of Novi,  
 Oakland County, MI

SHEET  
 Preliminary Grading Plan



DATE ISSUED/REVISED  
 2024-04-15 - ISSUED FOR PDP REVIEW  
 2024-07-02 - REVISED PER PDP REVIEW

DATE	ISSUED/REVISED
2024-04-15	ISSUED FOR PDP REVIEW
2024-07-02	REVISED PER PDP REVIEW

DRAWN BY:  
 B. Clifton

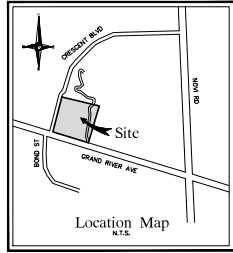
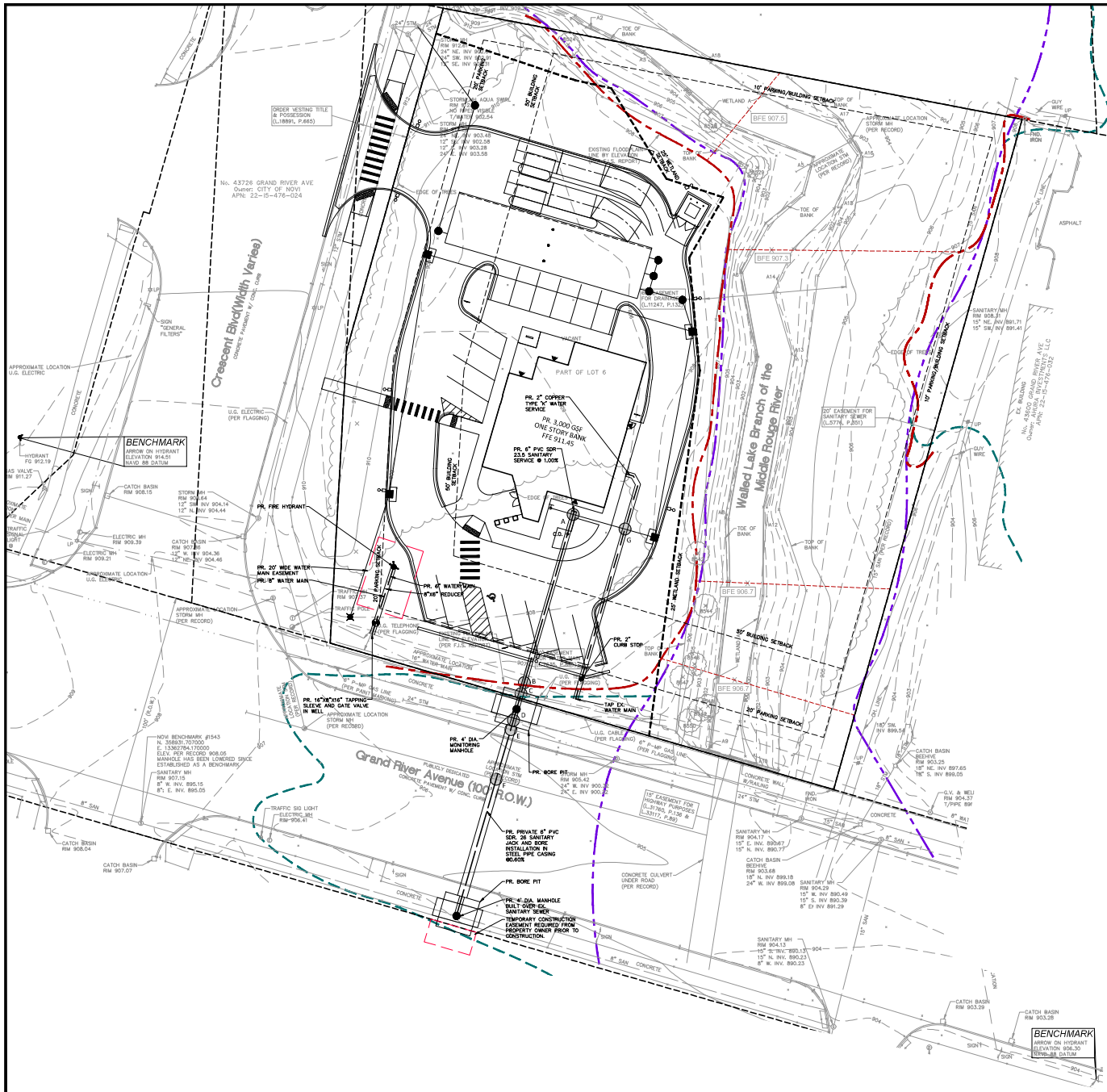
DESIGNED BY:  
 T. Wood

APPROVED BY:  
 J. Longhurst

DATE:  
 March 26, 2024

SCALE: 1" = 20'  
 20 30 40 50 60 70 80 90 100 110 120

NFE JOB NO. N877 SHEET NO. C3



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

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 WWW.NOWAKFRAUS.COM



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PROJECT LOCATION  
 Part of the NE 1/4 of  
 Section 15  
 T. 1N., R. 8E,  
 City of Novi,  
 Oakland County, MI

SHEET  
 Preliminary Sanitary  
 and Water Main



DATE ISSUED/REVISED  
 2024-04-11 - ISSUED FOR PIP REVIEW  
 2024-03-20 - REVISED PER PIP REVIEW

**SANITARY SEWER NOTE**  
 PROPOSED 8" RICH SANITARY LINES SHALL BE A MINIMUM SDR 25.5.  
 PROPOSED SANITARY MAINS SHALL BE SDR 26.

LEGEND	
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE

DRAWN BY:  
 T. Wood

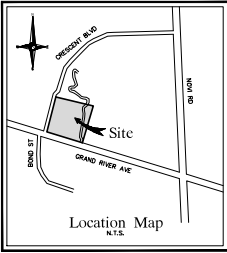
DESIGNED BY:  
 T. Wood

APPROVED BY:  
 J. Longhurst

DATE:  
 March 20, 2024

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.  
 N877 C4



**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

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 WWW.NOWAKFRAUS.COM

REQUIRED DETENTION VOLUME CALCULATIONS		
100 Year Post-Development Detention Volume		
Name of Project:	Level 5	
Location of Project:	Road	NB7:
NFE Project No.:		0.81 ac
Contributing Acreage "A":		0.77
Weighted Runoff Coefficient "C":		10.00 min
Time of Concentration "Tc":		
1. Calculate Required Water Quality Volume (Vwq) (1" Rainfall Event)		
Vwq = 3830(C/A)		2,264 cft
2. Calculate Required Water Quality Rate (Qwq)		
Qwq = (C/A)(38.2)(Tc+9.17)(P-8)		1.72 cfs
3. Calculate Required Channel Protection Volume (Vcp) (1.9" Rainfall Event)		
Vcp = 4719(C/A)		2,943 cft
4. Calculate Required Extended Detention Volume (Ved) (1.9" Rainfall Event)		
Ved = 6897(C/A)		4,302 cft
5. Calculate Required Detention Outlet Rate (Qdr) (48 hour discharge)		
Qdr = Ved / (48 hr / 60 min) (60 sec) = Ved / (7200)		0.02 cfs
6. Calculate 100-year Rainfall Intensity (I100)		
I100 = 83.3(Tc+3.17)(0.81)		7.62 in/hr
7. Calculate 100-year Storm Inlet Rate (Q100-in)		
Q100-in = (C/A)(I100)		4.75 cfs
8. Determine the Variable Release Rate (Qvr)		
Qvr =		1.00 cfs/ac
Multiplied Outlet rate per local municipality:		N/A cfs/ac
9. Calculate Allowable 100-year Storm Outlet Rate (Q100p)		
Q100p = (Qvr)(A)		0.81 cfs
10. Calculate Storage Curve Factor (R)		
R = 0.296 - (C / (15)(I100)(100p)(2)(100-in))		0.471
11. Calculate Required 100-year Storm Volume (V100R)		
V100R = 18,985(C/A)		11,841 cft
12. Calculate 100-year Storm Detention Storage Volume (V100D)		
V100D = (V100R)(R)		5,581 cft
<b>TOTAL DETENTION VOLUME REQUIRED:</b>		
		<b>5,581 cft</b>

Site Runoff Coefficient Calculations		
Surface	Coefficient	Area
Pavement and Building	0.95	0.51 Acre
Paved	0.00	0.00 Acre
Greenpace (HSG B - slopes 4-8%)	0.30	0.05 Acre
Greenpace (HSG D - slopes 4-8%)	0.50	0.25 Acre
<b>Total Area</b>		<b>0.81 Acre</b>
<b>Runoff Coefficient</b>	<b>0.77</b>	

Soil Type used in calculations:  
 Stean silt loam - HSG B and Urban Land - HSG D

**CITY OF NOVI NOTES**

COMPACTED ROOT CLASS 3 SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

IF DEMONSTRATED OR ANTICIPATED OR INDICATED DURING CONSTRUCTION, THEN A DRAINAGE PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.

SANITARY LEADS WILL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

PER THE TEN STATE STANDARDS ARTICLE 8.8.A, ONE FOOT 30-FOOT PERFECTION OF WATER MAIN SHALL BE USED THROUGHOUT THE ENTIRE PROJECT. THE PIPE SHALL BE CENTERED ON THE ORIGIN IN ORDER TO ENSURE 10-FOOT SEPARATION BETWEEN WATER MAIN AND SLOTTED.

**SAND BACKFILL NOTE**

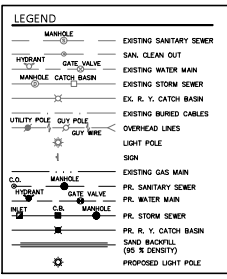
COMPACTED SAND BACKFILL (NOT SAND SLATS) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

**STORM WATER MANAGEMENT NOTE**

THE PROPOSED STORMWATER MANAGEMENT SYSTEM PROVIDES DETENTION FOR A 100-YEAR STORM EVENT PER OAKLAND COUNTY STANDARD. STORMWATER WILL BE ROUTED THROUGH TWO MECHANICAL PRETREATMENT STRUCTURES AND AN ISOLATOR ROW IN THE DETENTION SYSTEM. STORAGE WILL BE PROVIDED BY AN UNDERGROUND DETENTION SYSTEM. STORM BACKFLOW WITH STONE STORAGE OUTLET WILL BE CONTROLLED BY AN OUTLET CONTROL STRUCTURE WITH A WEP PLATE CONNECTED TO THE EXISTING OUTLET PIPE.

**UNDERGROUND DETENTION NOTE**

AGGREGATE POROSITY WILL BE TESTED, AND RESULTS PROVIDED TO THE CITY'S INSPECTING ENGINEERS.



SEAL

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 Email: dlapp@level5.com

PROJECT LOCATION  
 Part of the NE 1/4 of  
 Section 15  
 T. 1 N., R. 8 E,  
 City of Novi,  
 Oakland County, MI

SHEET  
 Preliminary Storm Water  
 Management Plan

Know what's below  
 Call before you dig.

DATE ISSUED/REVISED  
 2024.04.11 - ISSUED FOR PIP REVIEW  
 2024.07.02 - REVISED PER PIP REVIEW

DRAWN BY:  
 T. Wood

DESIGNED BY:  
 T. Wood

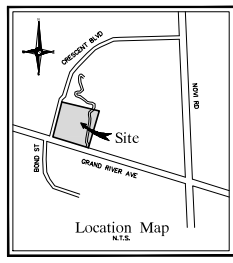
APPROVED BY:  
 J. Longhurst

DATE:  
 March 26, 2024

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.  
 NB77 C5

2024-2025 The NOWAK & FRAUS ENGINEERS, PC No. 7/2024-2025



**CITY OF NOVI SESC NOTES**

INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL BE REQUIRED PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING.

SILT FENCES 6" ANCHOR TRINCH, STAKES 6" ON CENTER.

VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNIMPROVED FOR 30 DAYS OR GREATER. 1" x 4" TOPSOIL SHALL BE USED WHERE VEGETATION IS REQUIRED.

DIVERSION BERMS OR TERRACES SHALL BE IMPLEMENTED WHERE NECESSARY.

ALL DRAINAGE DITCHES SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS AND SHALL INCLUDE CHECK DAMS AS NECESSARY. DRAINAGE DITCHES STEEPER THAN 3% SHALL BE SLOPED.

ALL CULVERT END STRUCTURES MUST CONTAIN GROUDED BRUSH IN ACCORDANCE WITH THE INSTALLATION OF PUBLIC UTILITIES INSPECT PRE-TREATMENT STRUCTURES NEARLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED AND CLEAN AS REQUIRED.

IF DEMANDING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, AN ALTERNATIVE PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.

IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AN STABILIZE DISTURBED AREAS PRIOR TO THE INSTALLATION OF PUBLIC UTILITIES. CONTRACTOR SHALL PROVIDE STREET SWEEPING AND DUST CONTROL AS REQUIRED TO KEEP STREETS FREE OF DEBRIS OR AS DIRECTED BY CITY INSPECTOR.

SLOPES STEEPER THAN 1% (H) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.

INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING, AND MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

**SOIL EROSION CONTROL**

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE DISTURBED AREA SHALL BE PROTECTED TO MAINTAIN THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC PROVISIONS ARE MADE THAT ALLOW ALTERNATIVE METHODS TO MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSE, INCLUDING STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES, WETLANDS OR ROADWAYS OR ON NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONFINANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH REMOVE AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BARRIERS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR PERMANENT SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN THE STRAW BALE BARRIERS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PREVENT A WATERCOURSE OR WETLAND.

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA, AN EARTH STABILIZATION MEASURE HAS BEEN IDENTIFIED, OR SIGNIFICANT EARTH CHARGE ACTIVITY OCCURS, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED AREAS SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADE OF THE PAVED SURFACE. CHANGING HAS BEEN COMPLETED, ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, AND WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

ALL DRAINAGE PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.

**LEGAL DESCRIPTION**

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI.

PART OF LOT 4, SUPERVISOR'S PLAT NO. 4, AS RECORDED IN LIVER 544, PAGE 83 OF PLATS, OAKLAND COUNTY RECORDS, DESCRIBED AS BEING LOT 4, THENCE CONTAINING MOSTLY 71.50 FEET TO THE SOUTHWEST CORNER OF LOT 6; THENCE SOUTH 71 DEG. 00' 00" EAST 22.63 FEET; THENCE NORTH 89 DEG. 27' 00" EAST 28.84 FEET; THENCE SOUTH 10 DEG. 30' 30" WEST 42.00 FEET; THENCE SOUTH 10 DEG. 30' 30" WEST 27.90 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT, SOUTHWEST QUARTER OF SECTION 10, T11N, R8E, BEGINNING AT A POINT ON THE WEST LINE OF LOT 6, LOCATED DISTANT MOSTLY 134.92 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 6, THENCE CONTAINING MOSTLY 151.28 FEET TO THE NORTHWEST CORNER OF SAID LOT 6; THENCE SOUTH 42 DEG. 00' 00" WEST 110.00 FEET; THENCE SOUTH 10 DEG. 30' 30" WEST 27.90 FEET TO THE POINT OF BEGINNING, AS RECORDED IN LIVER 18891, PAGE 608.

FOR INFORMATIONAL PURPOSES ONLY:

TAX PARCEL IDENTIFICATION NUMBER: 50-22-15-476-031 (PART OF)

**CITY OF NOVI SESC NOTES**

RESPECT BMPs PRIOR TO FORECAST RAIN, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, NEARLY DURING THE RAINY SEASON, AND AT TWO-WEEK INTERVALS DURING THE NON-RAINY SEASON.

SEDIMENT SHOULD BE REMOVED WHEN THE SEDIMENT ACCUMULATION REACHES 1/2" TO 1" OF THE SILT FENCE HEIGHT. SEDIMENT REMOVED DURING MAINTENANCE MUST BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.

SILT FENCE SHOULD BE INSPECTED AT LEAST WEEKLY, IMMEDIATELY BEFORE A FORECASTED RAINFALL EVENT, AND AFTER EACH RAINFALL EVENT FROM RAIN OR SNOWMELT.

ROUTINELY INSPECT THE ACCESS ROAD AND ADJACENT ROADS FOR WACKOUT, SOIL BUILD-UP, FILLED AGRICULTURAL PLOTS, AND KINDS OF ROAD FAILURE SUCH AS INTRUSION OF STONE INTO THE SUB-BASE, ROTTING, ETC.

IMMEDIATELY REMOVE ANY SEDIMENT DROPPED OR CRODGED ONTO PUBLIC RIGHT-OF-WAYS BY SWEEPING OR SHOVELING. DO NOT WASH SEDIMENT INTO WATERWAYS OR STORM SEWERS.

**NOTES**

A DISTANCE OF 5 FEET TO THE NEAREST BODY OF WATER / WETLAND WALLED LAKE BRANCH OF MIDDLE RIVER.

THE TOTAL AREA OF EARTH DISTURBANCE IS 0.91 ACRES.

THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

A SOIL EROSION PERMIT IS REQUIRED FROM THE CITY OF NOVI.

RESPECT STRUCTURES NEARLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED, CLEANING AS REQUIRED.

**ESTIMATED QUANTITIES**

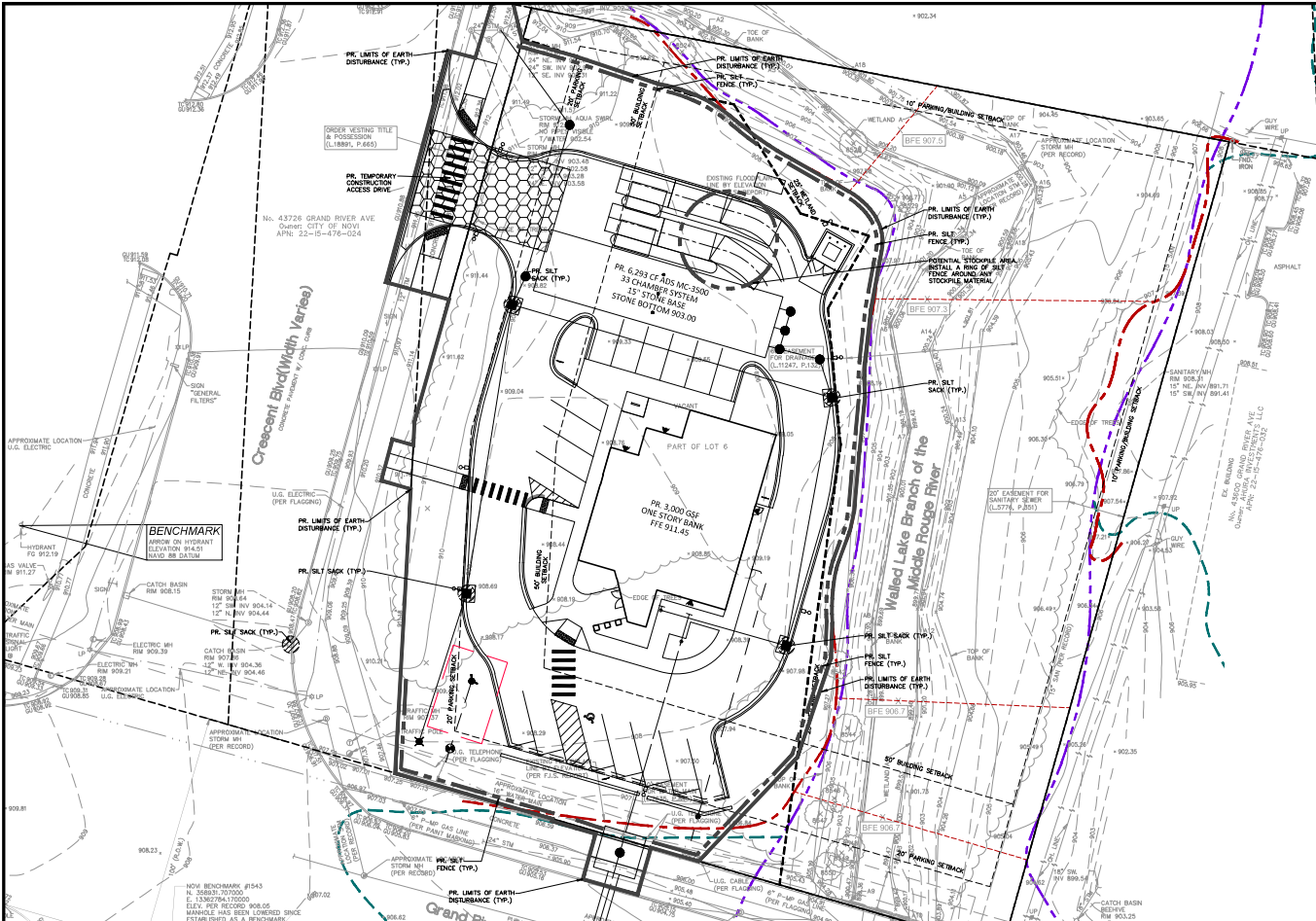
DESCRIPTION	QUANTITY	UNITS
SILT FABRIC FENCING	500	LF.
CONSTRUCTION ACCESS	170	S.F.
SILT SACK ON EQUAL	9	EA.

**LEGEND**

- INDICATES LIMITS OF SILT FABRIC FENCE
- INDICATES LIMITS OF SOIL CORROSION
- INDICATES SILT SACK OR DAM ON STRUCTURE

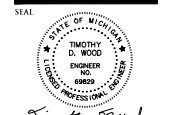
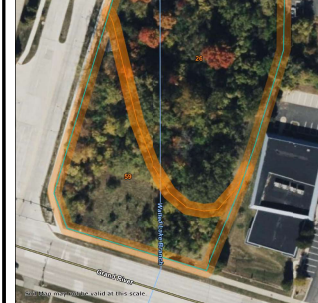
**CONSTRUCTION SEQUENCE / TIMING SCHEDULE**

NO.	DESCRIPTION	START DATE	END DATE
1.	INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.	MARCH 2025	
2.	MASS GRADE SITE	MARCH 2025	
3.	COMPLETE UNDERGROUND UTILITY WORK.	MAY 2025	
4.	INSTALL SILET FILTERS ON PROPOSED DRAINAGE STRUCTURES.	MAY 2025	
5.	FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	JULY 2025	
6.	COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	OCTOBER 2025	
7.	JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	NOVEMBER 2025	
8.	REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	NOVEMBER 2025	



**Map Unit Legend**

Map Unit Symbol	Map Unit Name	Area (A.C.)	Percent of A.C.
1	Stone and Gravel, 0.1" (1.9mm) Above, 1.9mm (0.075") Below	1.7	66.7%
2	Urban level	0.8	30.9%
3	Gravel, 1.9mm (0.075") Above, 0.075mm (0.003") Below	0.4	15.4%



*Timothy D. Wood*

PROJECT  
 Community Financial Credit Union

CLIENT  
 Level 5  
 2018 Powers Ferry Rd. SE  
 Suite 750  
 Atlanta, GA 30339  
 Contact:  
 David Lapp  
 Phone: (313) 949-9542  
 Email: dlapp@level5.com

PROJECT LOCATION  
 Part of the NE 1/4 of Section 15  
 T. 11N., R. 8E,  
 City of Novi,  
 Oakland County, MI

SHEET  
 Soil Erosion and Sedimentation Control Plan



DATE ISSUED/REVISED  
 2024-04-11 - ISSUED FOR P2P REVIEW  
 2024-07-02 - REVISED PER P2P REVIEW

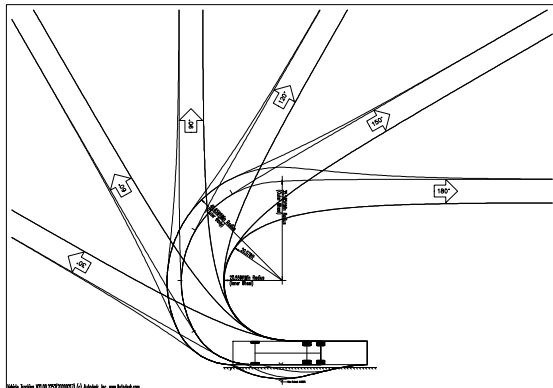
DRAWN BY:  
 T. Wood  
 DESIGNED BY:  
 T. Wood

APPROVED BY:  
 J. Longhurst

DATE:  
 March 26, 2024

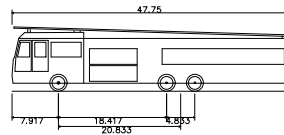
SCALE: 1" = 20'  
 SHEET NO.  
 N877 C6





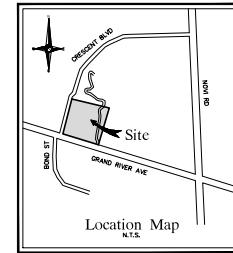
Vehicle based on 2018 E-One HP95 Mid Mount  
 (1) based upon a design speed of 5.0 mph.

E-ONE HP95 Mid Mount



E-ONE HP95 Mid Mount  
 Overall Length 47.75ft  
 Overall Width 8.333ft  
 Overall Body Height 11.000ft  
 Min Body Ground Clearance 1.393ft  
 Track Width 8.333ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 45.00°

47.750ft  
 8.333ft  
 11.000ft  
 1.393ft  
 8.333ft  
 6.00s  
 45.00°



Location Map  
 N.T.S.

**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL: (248) 332-7934  
 FAX: (248) 332-8257  
 WWW.NOWAKFRAUS.COM

**FIRE DEPARTMENT NOTES**

ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL BEING BROUGHT ON SITE.  
 ALL BUILDINGS MUST COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 513 FOR EMERGENCY ROAD ACCESS TO BE IMPLEMENTED BY THE TIME OF THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION.  
 FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM 50 FEET OUTSIDE TURNING RADIUS AND BE DESIGNED TO SUPPORT A MINIMUM OF 30 TONS.



*Timothy D. Wood*

PROJECT  
 Community Financial  
 Credit Union

CLIENT  
 Level 5  
 2018 Powers Ferry Rd. SE  
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 Atlanta, GA 30339  
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 Phone: (313) 949-9542  
 Email: dlapp@level5.com

PROJECT LOCATION  
 Part of the NE 1/4 of  
 Section 15  
 T. 1 N., R. 8 E.  
 City of Novi,  
 Oakland County, MI

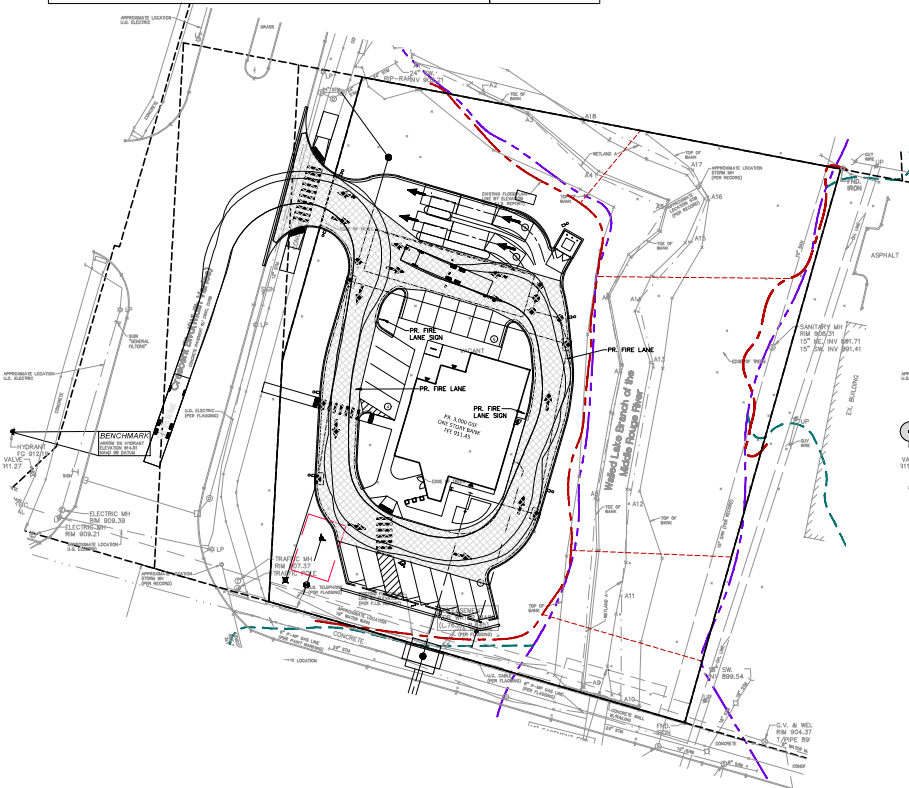
SHEET  
 Fire Protection Plan



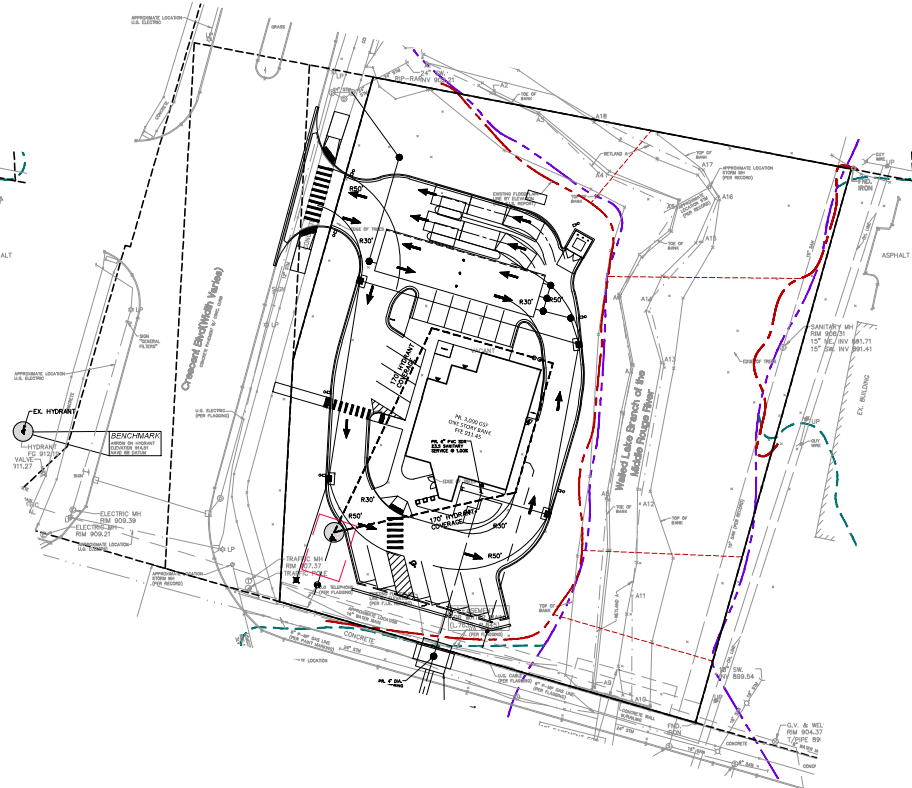
DATE ISSUED/REVISED  
 2024-04-15 ISSUED FOR PIP REVIEW  
 2024-03-07 REVISED PER PIP REVIEW

DRAWN BY:  
 T. Wood  
 DESIGNED BY:  
 T. Wood  
 APPROVED BY:  
 J. Longhurst  
 DATE:  
 March 26, 2024

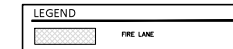
SCALE: 1" = 30'  
 SHEET NO.  
 N877 C7



TRUCK MANEUVERING AND FIRE LANE PLAN  
 SCALE: 1" = 30'

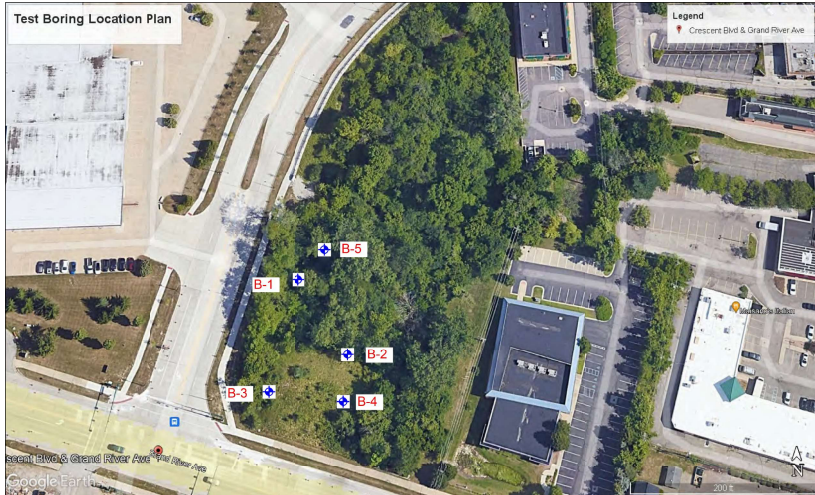


HYDRANT COVERAGE PLAN  
 SCALE: 1" = 30'



2024-03-27 10:40:00 AM C:\Users\TWood\OneDrive\Documents\N877\_24.dwg 7/25/2024 1:38 PM





**Testing Engineers & Consultants, Inc.**  
 1343 Rochester Road - PO Box 249 - Troy, Michigan - 48099-0249  
 (248) 588-6200 or (313) T-E-S-T-I-N-G Fax (248) 588-6232

Boring No. 1 Job No. 63863 Project: Proposed CFBU Branch, Grand River Avenue & Crescent Boulevard  
 Client: Nowak & Fraus Engineers Location: Novi, Michigan  
 Type of Rig: All-Terrain Vehicle Drilled By: I. Micko  
 Drilling Method: Hollow Stem Augers Started: 11/14/2023  
 Ground Surface Elevation: Completed: 11/13/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	q <sub>u</sub>
0.0	LS	8	2.5	Moist Dark Brown Clayey TOPSOIL (S <sup>1</sup> )	9.8	142	
2.5	LS	16		Extremely Stiff Moist Brown CLAY With Some Silt & Trace Of Gravel	8.8	143	
5.0	LS	8	6.5	Plastic Moist Brown Clay With Some Silt/FILL	10.5	138	3000
7.5	LS	4	8	Firm Moist Dark Gray CLAY With Some Silt With Trace Of Organics	21.8	117	1970
10.0	LS	3	9.4	Dense Wet Gray SAND & Gravel			
12.5	LS	6	11	Compacted Wet Gray Clayey SILT With Sand Seams	15.8	130	3460
15.0	LS	11	15	Bottom of Boring at 15'			
17.5							
20.0							
22.5							

Water Encountered: 91"  
 At Completion: 121"  
 Boring Pit No. 1



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 1343 Rochester Road - PO Box 249 - Troy, Michigan - 48099-0249  
 (248) 588-6200 or (313) T-E-S-T-I-N-G Fax (248) 588-6232

Boring No. 2 Job No. 63863 Project: Proposed CFBU Branch, Grand River Avenue & Crescent Boulevard  
 Client: Nowak & Fraus Engineers Location: Novi, Michigan  
 Type of Rig: All-Terrain Vehicle Drilled By: I. Micko  
 Drilling Method: Hollow Stem Augers Started: 11/14/2023  
 Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	q <sub>u</sub>
0.0	LS	4	2.5	Moist Dark Brown Clayey TOPSOIL (S <sup>1</sup> )	11.5	129	4130
2.5	LS	3		Stiff Moist Brown Clay With Some Silt & Trace Of Gravel/FILL	12.1	132	7000
5.0	LS	4	6.5	Plastic Moist Brown Clay With Some Silt & Trace Of Organics (Material FILL Organic Content = 4.7%)	11.5	138	6110
7.5	LS	10	8	Stiff Moist Brown Clay With Some Silt & Trace Of Organics (Material FILL Organic Content = 4.7%)	18.6	125	1480
10.0	LS	6	1	Very Loose Moist Gray Clayey Dark Gray Sand With Silt Layers, Wet Seams & Trace Of Organics (Organic Content = 3.3%)			
12.5	LS	11	-1	Extremely Stiff Moist Gray CLAY With Some Silt	15.3	134	8300
15.0	LS	5	5	Bottom of Boring at 15'			
17.5							
20.0							
22.5							

Water Encountered: 91"  
 At Completion: 121"  
 Boring Pit No. 2



**CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS**

NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL (248) 332-7931  
 FAX (248) 332-8257  
 WWW.NOWAKFRAUS.COM



PROJECT  
 Community Financial  
 Credit Union

CLIENT  
 Level 5  
 2018 Powers Ferry Rd. SE.  
 Suite 750  
 Atlanta, GA 30339  
 Contact:  
 David Lapp  
 Phone: (313) 949-9542  
 Email: dlapp@level5.com

PROJECT LOCATION  
 Part of the NE 1/4 of  
 Section 15  
 T.1N., R. 8E.  
 City of Novi,  
 Oakland County, MI

SHEET  
 Geotechnical Report



DATE ISSUED/REVISED  
 2024-04-15 ISSUED FOR P&P REVIEW  
 2024-03-02 REVISED PER P&P REVIEW

DRAWN BY:  
 B. Gribbich  
 DESIGNED BY:  
 T. Wood  
 APPROVED BY:  
 J. Longhurst

DATE:  
 March 26, 2024

SCALE: 1" = 20'  
 SHEET JOB NO. SHEET NO.  
 N877 C9



**Testing Engineers & Consultants, Inc.**  
 1343 Rochester Road - PO Box 249 - Troy, Michigan - 48099-0249  
 (248) 588-6200 or (313) T-E-S-T-I-N-G Fax (248) 588-6232

Boring No. 3 Job No. 63863 Project: Proposed CFBU Branch, Grand River Avenue & Crescent Boulevard  
 Client: Nowak & Fraus Engineers Location: Novi, Michigan  
 Type of Rig: All-Terrain Vehicle Drilled By: I. Micko  
 Drilling Method: Hollow Stem Augers Started: 11/14/2023  
 Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	q <sub>u</sub>
0.0	LS	5	2.5	Moist Dark Brown Clayey TOPSOIL (S <sup>1</sup> )	10.3	141	
2.5	LS	6		Firm Moist Brown Clay With Some Silt, Trace Of Gravel & Asphalt FILL	13.4	128	3960
5.0	LS	6	5.5	Firm Moist Gray CLAY With Some Silt, Trace Of Gravel & Sand Seams (LL = 23 PL = 15 PI = 8)	19.6	130	3110
7.5	LS	4	6	Stiff Moist Gray CLAY With Some Silt, Trace Of Gravel & Sand Seams	15.9	134	4270
10.0	LS	4	11	Medium Compacted Moist Gray Clayey SILT With Sand Seams			
12.5	LS	9	15	Wet At 148"	17.5	128	1980
15.0				Bottom of Boring at 15'			
17.5							
20.0							
22.5							

Water Encountered: 148"  
 At Completion: Caved in 127"  
 Boring Pit No. 3



**Testing Engineers & Consultants, Inc.**  
 1343 Rochester Road - PO Box 249 - Troy, Michigan - 48099-0249  
 (248) 588-6200 or (313) T-E-S-T-I-N-G Fax (248) 588-6232

Boring No. 4 Job No. 63863 Project: Proposed CFBU Branch, Grand River Avenue & Crescent Boulevard  
 Client: Nowak & Fraus Engineers Location: Novi, Michigan  
 Type of Rig: All-Terrain Vehicle Drilled By: I. Micko  
 Drilling Method: Hollow Stem Augers Started: 11/14/2023  
 Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	q <sub>u</sub>
0.0	LS	4	2.5	Moist Dark Brown Clayey TOPSOIL (S <sup>1</sup> )	13.8	133	5990
2.5	LS	4		Stiff Moist Brown Clay With Some Silt, Trace Of Gravel & Asphalt FILL	13.6	137	7400
5.0	LS	7	1	Bottom of Boring at 5'			
7.5							
10.0							
12.5							
15.0							
17.5							
20.0							
22.5							

Water Encountered: None  
 At Completion: None  
 Boring Pit No. 4



**Testing Engineers & Consultants, Inc.**  
 1343 Rochester Road - PO Box 249 - Troy, Michigan - 48099-0249  
 (248) 588-6200 or (313) T-E-S-T-I-N-G Fax (248) 588-6232

Boring No. 5 Job No. 63863 Project: Proposed CFBU Branch, Grand River Avenue & Crescent Boulevard  
 Client: Nowak & Fraus Engineers Location: Novi, Michigan  
 Type of Rig: All-Terrain Vehicle Drilled By: I. Micko  
 Drilling Method: Hollow Stem Augers Started: 11/14/2023  
 Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	q <sub>u</sub>
0.0	LS	5	2.5	Moist Dark Brown Clayey TOPSOIL (S <sup>1</sup> )	12.4	138	
2.5	LS	14		Extremely Stiff Moist Brown Clay With Some Silt & Trace Of Gravel FILL	10.2	141	
5.0	LS	8	5	Stiff Moist Brown Clay With Some Silt & Trace Of Gravel-FILL			
7.5	LS	10	1	Bottom of Boring at 5'			
10.0							
12.5							
15.0							
17.5							
20.0							
22.5							

Water Encountered: None  
 At Completion: None  
 Boring Pit No. 5





PROJECT  
Community Financial  
Credit Union

CLIENT  
Level 5  
2018 Powers Ferry Rd. SE.  
Suite 750  
Atlanta, GA 30339  
Contact:  
David Lapp  
Phone: (313) 949-9542  
Email: dlapp@level5.com

PROJECT LOCATION  
Part of the NE 1/4 of  
Section 15  
T. 1 N., R. 8 E.  
City of Novi,  
Oakland County, MI

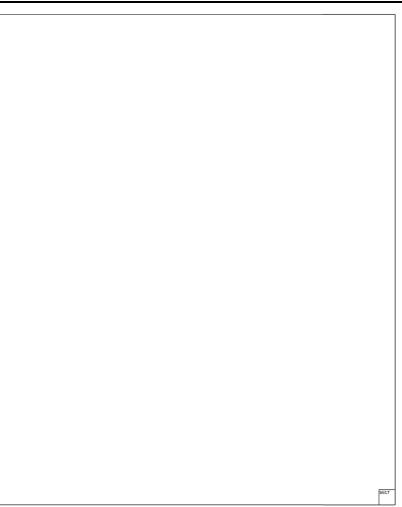
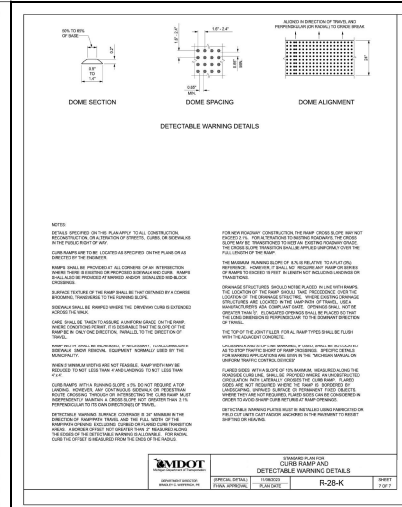
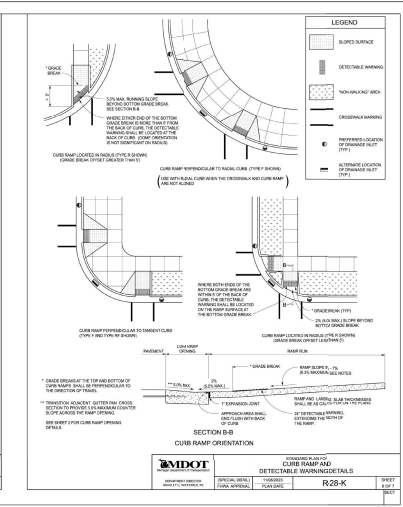
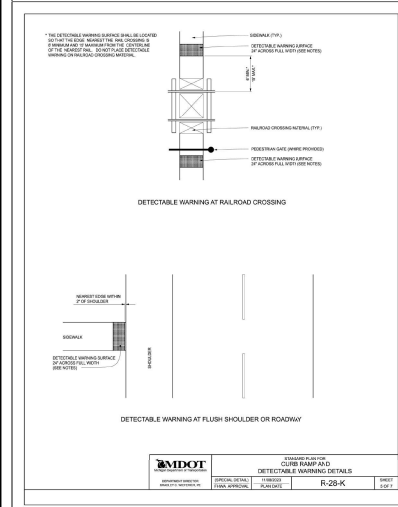
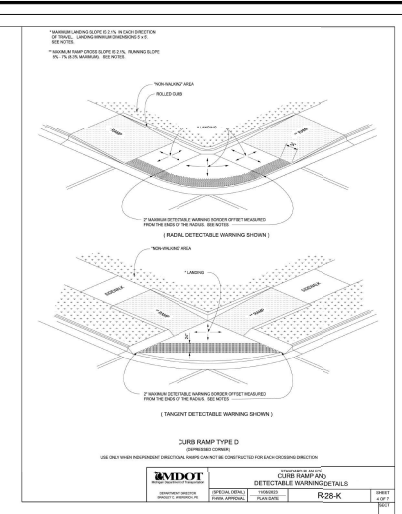
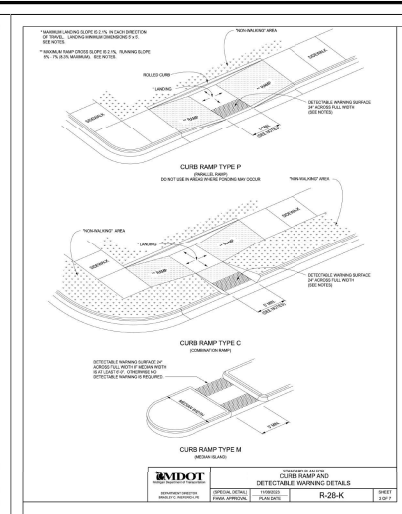
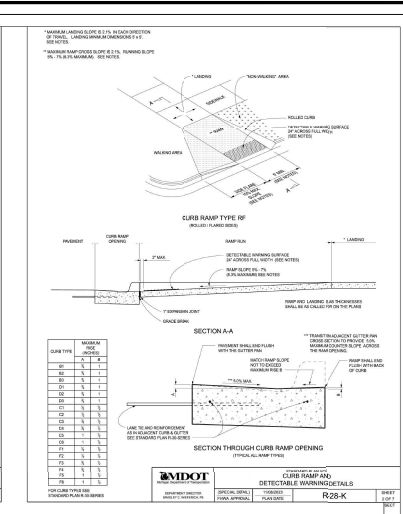
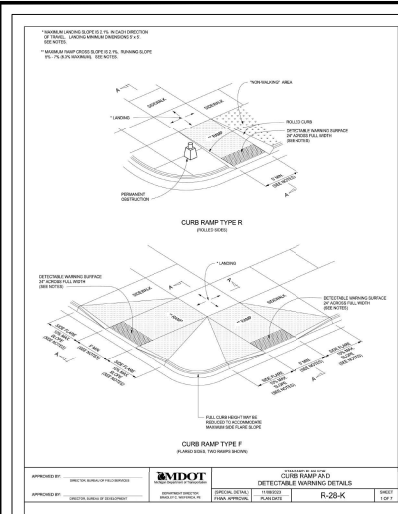
SHEET  
Notes and Details



DATE ISSUED/REVISED  
2024-04-11 ISSUED FOR P&IP REVIEW  
2024-02-02 REVISED PER P&IP REVIEW

DRAWN BY:  
T. Wood  
DESIGNED BY:  
T. Wood  
APPROVED BY:  
J. Lundhurst  
DATE:  
March 20, 2024  
SCALE: N.T.S.

NFE JOB NO. SHEET NO.  
N877 C11



**SUBGRADE UNDERCUTTING AND PREPARATION**  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SOIL WHICH DOES NOT CONFORM TO THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A SUBGRADE IN CONFORMANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS. THE MEANS AND METHODS USED TO ACHIEVE THE REQUIRED RESULT SHALL BEAT SOLELY WITH THE CONTRACTOR.

**STRUCTURE BACKFILL**  
STRUCTURAL BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PROJECT PLANS, SPECIFICATIONS OR AS REQUIRED BY THE COMMUNITY GOVERNMENT AGENCY OR UTILITY THAT HAS JURISDICTION OVER THE WORK.

**SUB-SOIL CONDITIONS**  
ANY SOIL BORING PROVIDED BY THE OWNER AND/OR ENGINEER IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS INFORMATION IS NOT OFFERED AS EVIDENCE OF GROUND CONDITIONS THROUGHOUT THE PROJECT AND ONLY REFLECTS THE GROUND CONDITIONS AT THE LOCATION OF THE BORING ON THE DATE THEY WERE TAKEN.

THE ACCURACY AND RELIABILITY OF THE SOIL LOGS AND REPORT ARE NOT WARRANTED OR GUARANTEED IN ANY WAY BY THE OWNER OR ENGINEER AS TO THE GROUND CONDITIONS FOUND ON THE SITE. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION AND INVESTIGATION AND SECURE OTHER SUCH INFORMATION AS THE CONTRACTOR CONSIDERS NECESSARY TO DO THE WORK PROPOSED AND IN PREPARATION OF THEIR BID.

**TRENCH BACKFILL**  
TRENCH BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PLANS AND/OR SPECIFICATIONS. TRENCH BACKFILL SHALL ALSO BE INSTALLED IN CONFORMANCE WITH THE COMMUNITY REQUIREMENTS OF ANY UTILITY GOVERNING SAID TRENCH CONSTRUCTION. IN THE CASE OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.

**EARTH BALANCE / GRADING**  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER THE SITE EXISTING EARTHWORK BALANCE IS NOT. ANY EXCESS CUT MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVED FILL MATERIAL AND PLACE IT AS REQUIRED TO ATTAIN THE SITE GRADE AND COMPLY WITH THE ENGINEER'S PLAN AND ALL APPLICABLE GOVERNMENTAL STANDARDS. THE ENGINEER AND OWNER MAKE NO REPRESENTATION AS TO THE QUANTITIES THAT MAY BE NEEDED TO CREATE A BALANCED EARTHWORK CONDITION OF THAT SITE. EARTHWORK IS BALANCED.

**SOIL EROSION / SEDIMENTATION CONTROL**  
THE CONTRACTOR SHALL OBTAIN THE REQUIRED SOIL EROSION PERMIT AND SATISFY ALL REGULATORY REQUIREMENTS FOR CONTROLLING SOIL EROSION AND SEDIMENT TRANSPORT. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR INSPECTION OR APPROVAL OF THE CONTRACTOR'S WORK OR CONNECTION WITH ANY OTHER SOIL EROSION PERMIT REQUIREMENTS UNLESS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS.

**UTILITIES**  
AT LEAST 72 HOURS (4 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY MISS 811 AND THE LOCAL COMMUNITY (WHERE APPLICABLE) TO LOCATE ALL UTILITIES TO BE EXPOSED OR DELETED.

THE CONTRACTOR SHALL EXPOSE AND VERIFY EXISTING UTILITIES FOR LOCATION, SIZE, DEPTH, MATERIAL, AND CONFIGURATION PRIOR TO CONSTRUCTION. COSTS FOR EXPLORATION LOCATIONS OF AN INCIDENTS COST AND SHALL NOT BE CONSIDERED AN EXTRA TO THE CONTRACT.

THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY EXISTING UTILITIES WHICH DO NOT MATCH THE PLANS AND SPECIFICATIONS PRIOR TO COMMENCING WORK. ANY FIELD CHANGES OF THE EXISTING UTILITIES SHALL BE APPROVED BY THE OWNER AND ENGINEER BEFORE THE WORK IS DONE.

THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM ADJACENT PROPERTY OWNERS PRIOR TO ENTERING UPON ANY ADJACENT PROPERTIES, UNLESS OFFSITE PERMITS HAVE ALREADY BEEN OBTAINED BY THE OWNER AND ARE PART OF THE CONTRACT DOCUMENTS.

**DAMAGE TO PRIVATE PROPERTY**  
THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM ADJACENT PROPERTY OWNERS PRIOR TO ENTERING UPON ANY ADJACENT PROPERTIES, UNLESS OFFSITE PERMITS HAVE ALREADY BEEN OBTAINED BY THE OWNER AND ARE PART OF THE CONTRACT DOCUMENTS.

**DEWATERING OF TRENCH AND EXCAVATIONS**  
IF ANY SPECIALTY PROVIDER IS ON THE CONSTRUCTION EXISTING DOCUMENTS, THE DESIGN OR QUALITATIVE ANALYSIS OF GROUND WATER DEWATERING SYSTEMS IS BEYOND THE SCOPE OF DESIGN FOR THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING AND PROVIDING APPROPRIATE EXCAVATION DEWATERING SYSTEMS FOR USE DURING CONSTRUCTION.

THE DEWATERING METHOD SELECTED BY THE CONTRACTOR WILL NOT ADVERSELY AFFECT ADJACENT FOUNDATIONS OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF DEWATERING AND SHALL BE RESPONSIBLE FOR THE COST OF DEWATERING. THE COST OF DEWATERING WILL BE CONSIDERED INCLUDED IN THE WORK OF CONSTRUCTING THE UNDERGROUND UTILITIES UNLESS SPECIFICALLY INDICATED OTHERWISE.

**BY-PASS PUMPING**  
FROM THE TIME THAT IT MAY BE NECESSARY FOR THE CONTRACTOR TO BY-PASS PUMP TO COMPLETE THE WORK INDICATED ON THE PLANS, THE COST OF BY-PASS PUMPING, THE METHODS, EQUIPMENT AND MEANS OF PROVISIONS THAT WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSIDERED PART OF THE WORK WHETHER SPECIFICALLY CALLED OUT ON THE PLANS OR NOT.

**MEANS AND METHODS FOR PIPE CONSTRUCTION**  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS FOR CONSTRUCTING THE UNDERGROUND PIPE SYSTEMS PROPOSED ON THE PLANS, INCLUDING BUT NOT LIMITED TO THE NEED FOR SHORING/BRACING OF TRENCHES, DEWATERING OF TRENCHES, SCHEDULING THE WORK AT OFF PEAK HOURS, AND/OR MAINTAINING EXISTING FLOORS THAT MAY BE DISRUPTED BY PUMPING. BY-PASS PUMPING OR OTHER MEANS, THE CONTRACTOR SHALL NOT BE PAID. ANY ADDITIONAL CONSTRUCTION TO IMPLEMENT ANY MEANS AND METHODS TO SATISFACTORILY COMPLETE THE CONSTRUCTION.

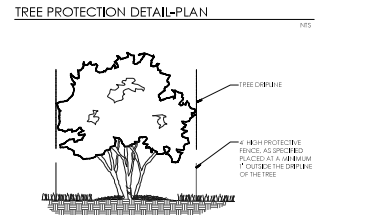
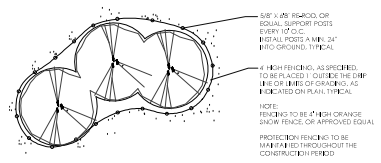
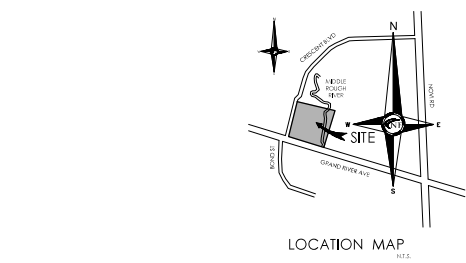
**PAVEMENT REMOVAL**  
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE THICKNESS OF THE PAVEMENT REMOVAL. PAVEMENT CORE SAMPLES ARE FOR INFORMATIONAL PURPOSES ONLY AS TO THE THICKNESS OF THE PAVEMENT AT THE LOCATION OF THE SAMPLES. THE OWNER AND ENGINEER MAKE NO REPRESENTATION, WARRANTY OR GUARANTEE THAT THE SAMPLES ACCURATELY REFLECT THE PAVEMENT THICKNESS ON THE PROJECT.

**MAINTENANCE OF TRAFFIC**  
DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL ACCOMMODATE BOTH VEHICULAR AND PEDESTRIAN TRAFFIC IN THE ROAD RIGHTS OF WAY. THE CONTRACTOR'S EQUIPMENT AND OPERATIONS ON PUBLIC STREETS SHALL BE COVERED BY ALL APPLICABLE LOCAL, COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS. THE CONTRACTOR SHALL OBTAIN AND OBTAIN AT ANY AND ALL PERMIT REQUIREMENTS BY THE LOCAL, COUNTY AND STATE GOVERNMENTAL AGENCIES.

IN ADDITION, WHERE THE WORK REQUIRES THE CLOSURE OF ONE OR MORE LANES OR IS WITHIN THE RIGHT-OF-WAY OF THE ROAD OR PEDESTRIAN RIGHT OF WAY, THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRICADES, FLAG PERSONS AND OTHER TRAFFIC CONTROL MEASURES AS REQUIRED BY MISS 811, THE COUNTY, OR THE COMMUNITY HAVING JURISDICTION OF THE ROAD AND IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE TRAFFIC CONTROL LAWS.

CONSIDERATION FOR TRAFFIC CONTROL SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICED UNLESS SPECIFIC CONTROL ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL.

**IRRIGATION**  
THE CONTRACTOR SHALL MAINTAIN OR REPAIR ANY EXISTING IRRIGATION SYSTEMS WITHIN THE PROJECT AREA UNLESS THE DRAWINGS CALL FOR THE IRRIGATION SYSTEM TO BE REMOVED. THE OWNER AND ENGINEER MAKE NO REPRESENTATION, WARRANTY OR GUARANTEE AS TO THE LOCATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE IRRIGATION SYSTEM DURING CONSTRUCTION ACTIVITIES. CONSIDERATION FOR MAINTAINING OR REPAIRING EXISTING IRRIGATION SYSTEMS SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICED UNLESS SPECIFIC IRRIGATION SYSTEM REPAIR ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL.



**GENERAL TREE PROTECTION NOTES**

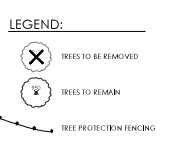
- APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL THE PLACEMENT OF FINAL GRADE IS COMPLETED.
- ALL PROTECTED TREES SHALL BE IDENTIFIED BY THE TREE PROTECTION FENCING SHALL BE IDENTIFIED.
- NO PERSON SHALL CONDUCT ANY ACTIVITY WITHIN THE CORNER OF ANY TREE OR BRANCH TO BE PROTECTED INCLUDING BUT NOT LIMITED TO PLACING SOIL, WATER, OR OTHER MATERIAL, CONSTRUCTION EQUIPMENT, OR STORAGE OF MATERIALS.
- WHERE CORNERING OF TREES IS REQUIRED, TREE FENCING SHALL BE PLACED AT THE CORNER OF THE TREE.
- ALL TREES TO BE PROTECTED SHALL BE SCHEDULED FOR PRUNING.
- NOT ALL PROTECTED TREES MUST BE PRUNED. ALL PRUNING SHALL OCCUR OUTSIDE OF THE PROTECTED TREE ZONE.
- SHADE SHALL BE MAINTAINED TO AVOID THE AREA WITHIN THE CORNER OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION SHALL ALSO BE PROTECTED.
- ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED BY THE TREE PROTECTION FENCING.
- WHERE PROTECTION OF TREE AND REMAINING SOIL BOUND SHALL BE PROMISED UNDER THE TREE PROTECTION FENCING.
- ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED BY THE TREE PROTECTION FENCING.
- THE CORNERING OF TREES FROM AN AREA TO BE PROTECTED SHALL BE PROMISED.
- ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED BY THE TREE PROTECTION FENCING.
- THE CORNERING OF TREES FROM AN AREA TO BE PROTECTED SHALL BE PROMISED.
- ALL TREES TO BE PROTECTED SHALL BE IDENTIFIED BY THE TREE PROTECTION FENCING.
- THE CORNERING OF TREES FROM AN AREA TO BE PROTECTED SHALL BE PROMISED.

**REMOVAL SUMMARY**

TOTAL TREES SURVEYED	44 TREES
TOTAL TREES TO BE REMOVED	34 TREES
LEFT UNHARMED TREES NOT BY WOODLAND	0 TREES
LEFT UNHARMED TREES TO BE REPLACED	0 TREES

**REPLACEMENT SUMMARY**

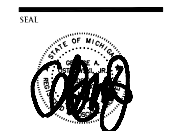
TOTAL REPLACEMENT TREES TO BE REMOVED	34 TREES
REPLACEMENT TREES TO BE REMOVED	11 X 1 TREES - 11 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 2 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 3 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 4 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 5 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 6 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 7 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 8 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 9 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 10 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 11 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 12 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 13 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 14 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 15 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 16 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 17 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 18 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 19 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 20 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 21 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 22 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 23 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 24 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 25 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 26 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 27 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 28 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 29 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 30 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 31 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 32 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 33 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 34 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 35 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 36 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 37 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 38 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 39 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 40 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 41 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 42 TREES - 02 TREES
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REPLACEMENT TREES TO BE REMOVED	1 X 44 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 45 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 46 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 47 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 48 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 49 TREES - 02 TREES
REPLACEMENT TREES TO BE REMOVED	1 X 50 TREES - 02 TREES



**SOIL NOTE:**  
 THE H-100 SERIES CHANGES ARE COMPRISED OF BOTH SLOAN SILT LOAM (26), AND URBAN LAND (39).



**NOVAK & FRAUS ENGINEERS**  
 4677 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL: (248) 332-7931  
 FAX: (248) 332-8257



**PROJECT**  
 Level 5 - Grand River

**CLIENT**  
 Level 5  
 2018 Powers Ferry Rd. SE  
 Suite 750  
 Atlanta, GA 30339  
 Contact:  
 David Lapp  
 Phone: (313) 949-9542  
 Email: dlapp@level5.com

**PROJECT LOCATION**  
 Part of the NE 1/4 of  
 Section 15  
 T. 1N., R. 8E,  
 City of Novi,  
 Oakland County, MI

**SHEET**  
 Tree Preservation Plan



**REVIEWS**  
 DATE: 03/28/2024  
 BY: G. OSTROWSKI

**DRAWN BY:**  
 G. Ostrowski

**DESIGNED BY:**  
 G. Ostrowski

**APPROVED BY:**  
 G. Ostrowski

**DATE:**  
 03-28-2024

**SCALE:** 1" = 20'

**NFE JOB NO.:** N877

**SHEET NO.:** L1

CITY FILE NO. JSP24-0008







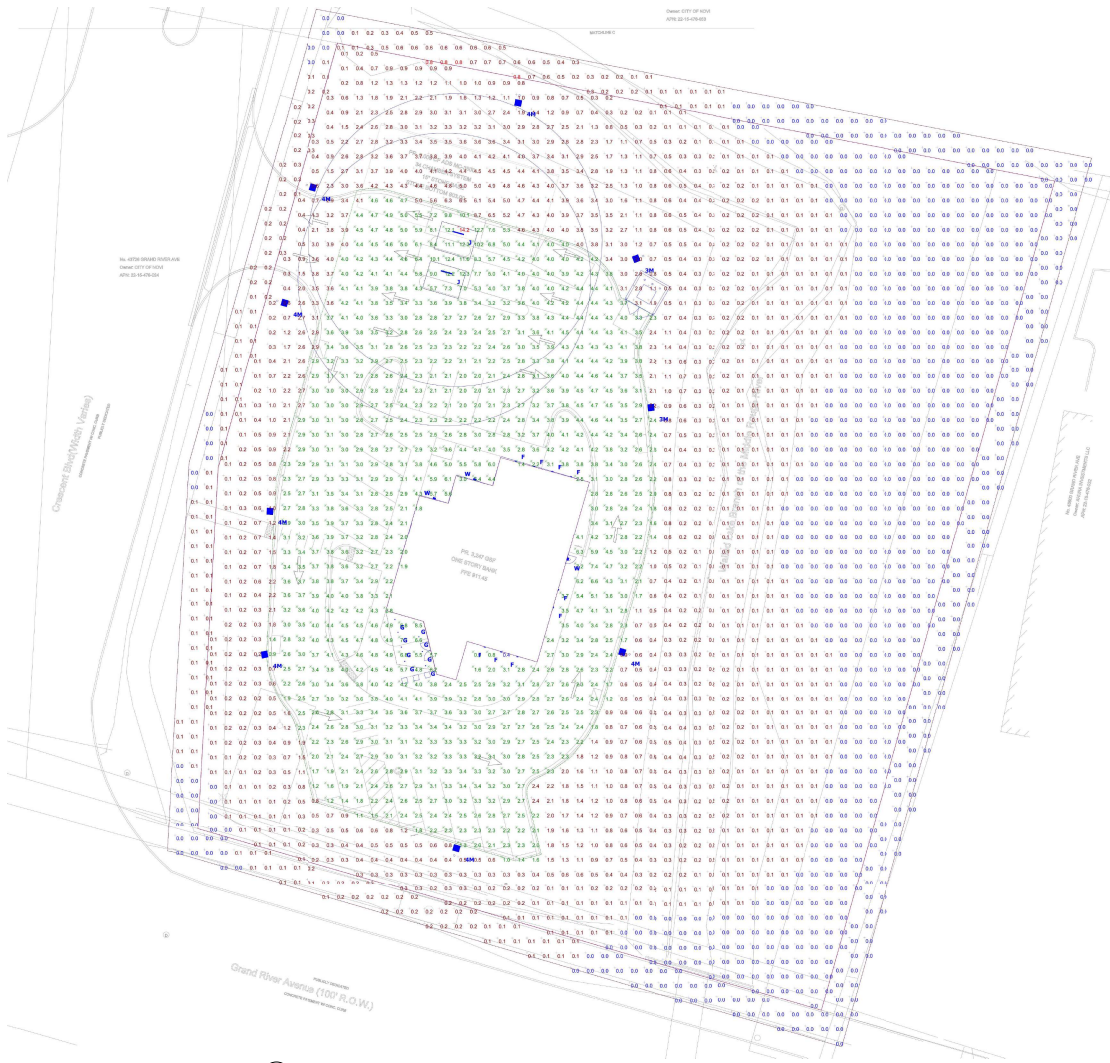
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GENERAL NOTE:

- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
- FLASHING LIGHT SHALL NOT BE PERMITTED.
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATION SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.
  - Non-Threat: 8am - 5pm.
  - FC: 8am - 6pm.
  - Sat: 8am - 1pm.
- ALL LIGHT FIXTURES SHALL BE 70 CRI OR BO CRI.
- ALL LIGHT FIXTURES SHALL BE CUT OFF TYPE.
- INDOOR LIGHTING SHALL NOT BE THE SOURCE OF EXTERIOR GLEAM OR SPILLOVER.

Statistics							
Description	Symbol	Avg	Min	Max	Max/Min	Avg/Min	Max/Avg
Feetling	✓	3.5%	0.4%	14.2%	32.5:1	8	4.06
Site Calc Zone	+	1.5% C	0.0% C	14.2% C	N/A	N/A	5.47
10' Beyond Property Line	+	0.1% C	0.0% C	0.6% C	N/A	N/A	6.00

Schedule							
Symbol	Label	Height/7	Quantity	Manufacturer	Description	Number Lamps Per Lamp	Wattage
3M	3M	25'-0" AFG	2	Lithonia Lighting	D-Series Size 1 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 3 Extreme Backlight Control	1	11190
4M	4M	25'-0" AFG	7	Lithonia Lighting	D-Series Size 1 Area Luminaire P6 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control	1	11557
G	G	20'-0" AFG	8	v2 Lighting Group	TUBE 200 with 1060lm LED and 2 foot tube	1	1300
J	J	10'-0" AFG	2	LumenWax	Via Wet	1	3678
W	W	12'-0" AFG	3	Lithonia Lighting	WDSGL LED WITH P2 - PERFORMANCE PACKAGE 3000K, 80CRI, VISUAL COMFORT WISE OPTIC	1	1876
F	F		9	Oxygen Lighting, 201 Railroad Road, Fort Worth, TX 76104, USA	Catalog Number: 7-737-16 BIF Wall mounted, cast aluminum housing, formed white enamel aluminum LED plate, translucent white plastic enclosure, 63 white LEDs, two Havard Engineering LEDsNS 152-030-01, LED boards Two LIT DA12W350C183400(L)004 dimming LED driver, 120 Ohm, 60 Ohm, 0.2200A, 25.73W, 0.974PF, 8.9PA(HZ)	1	655



1 SITE - PHOTOMETRICS PLAN  
1/4" = 1'-0"



LEVELS LLC  
2018 POWERS FERRY RD SE  
SUITE 200  
ATLANTA, GA 30339  
PHONE: (404) 709-0008  
www.levels.com



CFCL  
580 SHARPEY ST  
PLYMOUTH, MA 01460  
617-431-2316  
www.cfc.com



COMMUNITY FINANCIAL CU

10 GRAND RIVER AVE & COOLEY ST  
DETROIT, MI 48219

JOB NUMBER  
2016-5100.51

REVISIONS  
# DESCRIPTION DATE

SHEET NAME  
SITE - PHOTOMETRICS PLAN

SHEET NUMBER  
E101

MAY 8, 2024 - BASIS OF DESIGN

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**ELIF Outdoor**  
**3-737-xx**



FEATURE TYPE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_



-22 Oiled Bronze  
-16 Grey

LUMINAIRE POWER 2 x 10W LED, 3000K, CR 90

LUMINAIRE POWER 24.1W at 120V

RATED LIFE 60000 hr L70

OPTIONAL COLOR TEMPERATURES 2700K, 3000K, 4000K

LUMEN OUTPUT Delivered 4655 lm (LM-79)

INPUT VOLTAGE 120V to 277V AC, 50/60Hz

DRIVER OUTPUT 700mA, 29.4W max power

DIMMING 0-10V dimming or 0-10V AC

CONSTRUCTION Cast Aluminum and Polycarbonate

DIFFUSER -White Polycarbonate

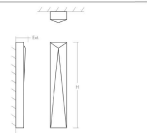
FINISHES Grey I-16, Oiled Bronze I-22

MOUNTING 4" Diagonal 1/8" Dia., 4" Spacing 1/8" Dia. with a single device mounting

STANDARDS UL Wall Mount, ADA Compliant, Conforms to UL STD 1598, Certified CAN/CSA 50-C22.2 No 226.6

Order example for standard fixture:  
**3-737-22** (x Voltage - xxx-Sequence # - xxx-Finish)  
3-120V to 277V  
Order example for optional color temperatures: **3-737-2222**  
**22-2700K, 35-3500K, 40-4000K**

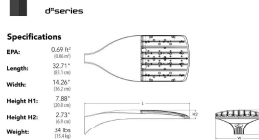
2701 Railroad Road, Fort Worth, TX 76105 • Tel. (817) 607-0202 • www.oxygenlighting.com



**D-Series Size 1**  
**LED Area Luminaire**



3M & 4M



**Introduction**  
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.  
**The photometric performance results in sites with excellent uniformity, greater pole spacing and lower pole density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 45% and expected service life of over 100,000 hours.**

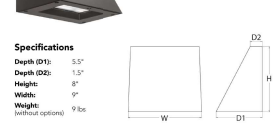
**Ordering Information** EXAMPLE: DSX1 LED P7 40K 70CRI TM MVOLT SRM PIRH DBX2

Series	LED	Temp	Color	Options	Mounting	Rating
DSX1	PowerPack	40K	70CRI	TM	MVOLT	SRM
DSX1	PowerPack	40K	70CRI	TM	MVOLT	SRM

Color	Finish	Mounting	Rating
Grey I-16	Oiled Bronze I-22	4" Diagonal 1/8" Dia.	60000 hr L70

LITHONIA LIGHTING COMMERCIAL OUTDOOR  
3000 LED Wall Mount  
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**WDGE1 LED**  
**Architectural Wall Sconce**



**Specifications**  
Depth (D1): 5.5"  
Depth (D2): 1.5"  
Height: 8"  
Width: 9"  
Weight: 9 lbs  
(without options)

**WDGE LED Family Overview**

Series	Temp	Color	Options	Mounting	Rating
WDGE1	40K	70CRI	TM	MVOLT	SRM

**Ordering Information** EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PF DBX2

Series	LED	Temp	Color	Options	Mounting	Rating
WDGE1	PowerPack	40K	80CRI	VF	MVOLT	SRM

Series	LED	Temp	Color	Options	Mounting	Rating
WDGE1	PowerPack	40K	80CRI	VF	MVOLT	SRM

LITHONIA LIGHTING COMMERCIAL OUTDOOR  
3000 LED Wall Mount  
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**VIA WET** SURFACE DIRECT STATIC WHITE  
**LUMENWERX**



**DESCRIPTION**  
Via Wet offers architectural lighting for wet locations in both interior and exterior applications. With a surface that can be installed in recessed, ceiling, wall or pendant mounting, Via Wet can be installed in recessed, ceiling, wall or pendant mounting. Fully sealed, Via Wet is suitable for extreme weather conditions. 20°C to 40°C and 90% RH. A choice of mount options provides up to 1000 lumens per foot section.

**Order Guide** (Link to RA, IM, M performance table)

LUMINAIRE ID	DESCRIPTION	PROTECTIVE OPTIC	OPTIC	LIGHT SOURCE	LED	LUMEN RATING
VIAMETS	Surface Mount	D	Clear Polycarbonate	HLS	SW	3000K

COLOR TEMP.	LUMEN PER LENGTH	VOLTAGE	DRIVER	ELECTRICAL
2700K	1000 lm/ft	120V	10W	UL Listed

ELECTRICAL SECTIONS (up to 4' x 8')	POWER FEED	MOUNTING	FINISH	OPTION
CSM	UL Listed	UL Listed	UL Listed	UL Listed

LITHONIA LIGHTING COMMERCIAL OUTDOOR  
3000 LED Wall Mount  
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TYPE	DESCRIPTION	MOUNT	VOLTAGE	LAMP QTY	LAMP WATTAGE/TYPE	MANUFACTURER	CATALOG NUMBER	NOTES
3M	SITE POLL LIGHTING, SINGLE HEAD, TYPE 3 BACKLIGHT CONTROL DISTRIBUTION, 11,100 LUMENS, FINISH BLACK.	POLE 22" O" AFG	208		123.9W LED 3000K	LITHONIA LIGHTING	DSX1-LED-P4-30K-70CRI-3L-C3-208-DBLXD	
4M	SITE POLL LIGHTING, SINGLE HEAD, TYPE 4 BACKLIGHT CONTROL DISTRIBUTION, 11,567 LUMENS, FINISH BLACK.	POLE 22" O" AFG	208		123.9W LED 3000K	LITHONIA LIGHTING	DSX1-LED-P4-30K-70CRI-3L-C4-208-DBLXD	
G	EXTERIOR DECORATIVE PENDANT; ENTRY, 1300 LUMENS, SATIN BLACK FINISH WITH BLACK CORD	PENDANT	120		11.7W LED 3000K	ALW	TZLP-D-W-113-83-30-225B-BK	
J	LED 4' LINEAR LIGHT FIXTURE; EXTERIOR ITM, 1000 LUMENS PER FOOT	SURFACE	120		11.7W/FT LED 3000K	LUMENWERX	VIAMETS-D-TMG-HL0-SW-80CRI-1000LMF-3000K-4FT-120-D1-GSM-W	
W	EXTERIOR WALLPACK WITH INTEGRAL BATTERY BACK UP, BLACK FINISH, 2000 LUMENS	WALL 10" O" AFF JON	120		19W LED 3000K	LITHONIA LIGHTING	WDGE2-LED-P2-30K-80CRI-VF-MVOLT-PE-DBLXD	
F	EXTERIOR DECORATIVE WALL SCONCE.	WALL	120	2	10.1W LED 3000K	OXYGEN LIGHTING	3-737-3022	

NOTES:

**LEVELS**  
LEVELS LLC  
2018 POWERS FERRY RD SE  
SUITE 700  
ATLANTA, GA 30339  
PHONE: (404) 709-0008  
www.levels.com

**Community Financial**  
CFCL  
360 S MARKET ST  
P.O. BOX 14  
ATLANTA, GA 30303  
877-438-2318  
www.cfcfl.com

**NOVUS**  
always yours

**PES STRUCTURAL ENGINEERS**  
PES PROJECT NUMBER: 00000000  
PES MAIN NUMBER: 00000000  
000000000000

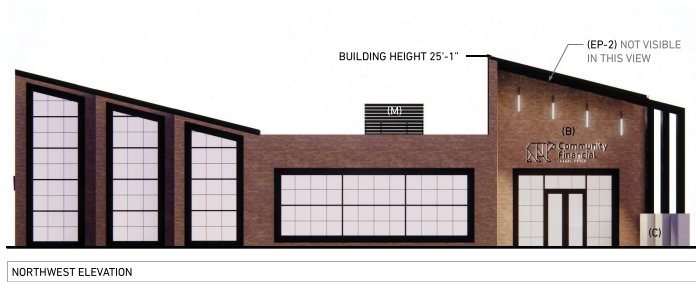
**CE**  
200 G.W. Pkwy  
Suite 1100  
Atlanta, GA 30339  
404-242-4242  
404-242-9527  
cedesign.com

**COMMUNITY FINANCIAL CU**  
W GRAND BLVD AND E COOLEY ST  
DETROIT, MI 48219

JOB NUMBER  
**2016-5100.51**  
**REVISIONS**  
# DESCRIPTION DATE

SHEET NAME  
**LIGHT FIXTURE SPECIFICATION SHEETS**  
SHEET NUMBER  
**E102**

MAY 8, 2024 - BASIS OF DESIGN



NORTHWEST ELEVATION

- 60% BRICK
- 36% METAL FINISH (INCLUDING RTU SCREEN<sup>1</sup>)
- 4% CONCRETE



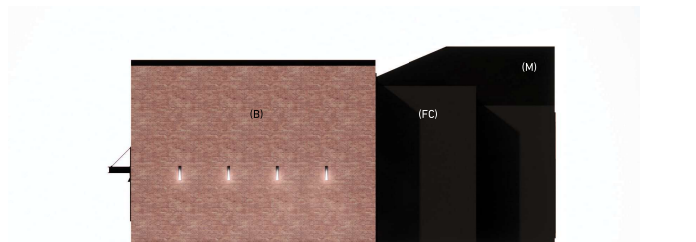
SOUTHWEST ELEVATION

- 66% BRICK
- 31% METAL FINISH (INCLUDING VISIBLE ROOFING & RTU SCREEN<sup>1</sup>)
- 3% CONCRETE



SOUTHEAST ELEVATION

- 75% BRICK
- 23% METAL FINISH (INCLUDING RTU SCREEN<sup>1</sup>)
- 2% CONCRETE

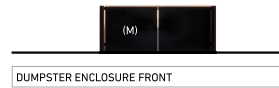


NORTHEAST ELEVATION

- 57% BRICK
- 35% FIBER CEMENT
- 8% METAL FINISH (INCLUDING VISIBLE ROOFING)

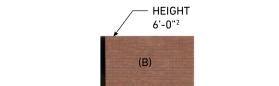
<sup>1</sup> ROOF TOP UNITS WILL BE SCREENED FROM VIEW FROM ALL VANTAGE POINTS BOTH ON-SITE AND OFF-SITE USING MATERIALS IN COMPLIANCE WITH THE FACADE ORDINANCE

<sup>2</sup> THE DUMPSTER ENCLOSURE WILL HAVE BRICK TO MATCH THE BUILDING ON 3 SIDES OF SUFFICIENT HEIGHT TO CONCEAL THE DUMPSTER WITHIN



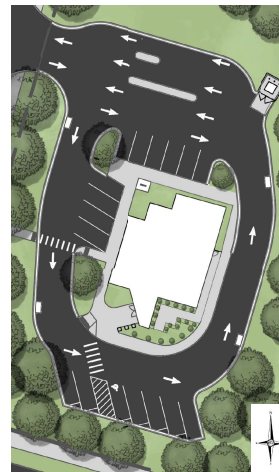
DUMPSTER ENCLOSURE FRONT

- 98% METAL FINISH
- 2% BRICK



DUMPSTER ENCLOSURE SIDES / BACK

- 98% BRICK
- 2% METAL FINISH



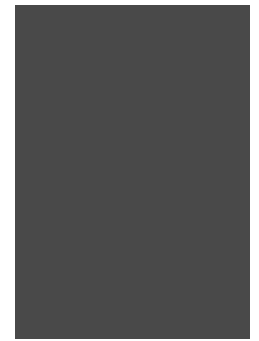
ARCHITECTURAL SITE PLAN



(B) BRICK



(EP-1) MAIN EXTERIOR PAINT



(EP-2) EXTERIOR CEILING PAINT



(C) CONCRETE



(M) ACCENT METAL



(FC) FIBER CEMENT

## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

August 5, 2024

## Planning Review

Community Financial Credit Union

JSP 24-08

### PETITIONER:

Level 5 Construction

### REVIEW TYPE:

Revised Preliminary Site Plan

### PROPERTY CHARACTERISTICS

<b>Section</b>	15	
<b>Site Location</b>	50-22-15-476-061	
<b>Site School District</b>	Novi Community School District	
<b>Site Zoning</b>	TC: Town Center District	
<b>Adjoining Zoning</b>	North	I-1: Light Industrial
	East	TC: Town Center
	West	I-1: Light Industrial
	South	TC-1: Town Center 1
<b>Current Site Use</b>	Vacant	
<b>Adjoining Uses</b>	North	Vacant - floodplain
	East	Industrial
	West	Retail Store
	South	Vacant
<b>Site Size</b>	1.63 acres	
<b>Plan Date</b>	07-02-2024	

### PROJECT SUMMARY

The applicant is proposing to construct a Community Financial Credit Union to occupy the existing vacant lot at the northeast corner of Crescent Blvd and Grand River Ave. The site will be comprised of the proposed building, an associated parking lot, and remote Interactive Teller Machine (ITM) islands.

### RECOMMENDATION

Approval of the Revised Preliminary Site Plan is **currently recommended**. Planning, and Fire are currently recommending approval. Wetland, Woodland, and Façade previously recommended approval, subject to conditions on the next submittal.

## ORDINANCE REQUIREMENTS

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This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** must be addressed within the next submittal or by the Planning Commission.

1. Administrative Approval (Sec. 6.1.C.x): This project does not qualify for administrative approval
2. Site Plans (Sec 3.27.1.A) Site area under 5 acres: Requires Planning Commission approval. Subject parcel is 1.63 acres – Planning Commission approval of Preliminary Site Plan will be required.
3. Open Space Area for TC District (Sec. 3.27.1.F) 15% permanently landscaped open areas and pedestrian plazas required. *The calculations for Project Site Coverage / Open Space Area on sheet C2 have been updated to exclude the floodplain and wetland areas, as requested.*
4. Parking Setback Screening (Sec. 3.6.2.P): Required parking setback area shall be landscaped per section 5.5.3. A greenbelt is provided along both frontages but is missing two required canopy trees. *Additional trees have been added to the Landscaping plan as requested.*
5. Surface Parking Lot Screening (Sec. 3.27.1.D) Surface parking areas must be screened by either a 2.5 brick wall, semitransparent screening or a landscaped berm from all public right-of-way. *Surface parking lots have been screened from the right-of-way by a 2.5' decorative screening wall adjacent to Grand River Ave. and a 3' high landscaped berm adjacent to Crescent Blvd on sheet C2.*
6. Architecture / Pedestrian Orientation (Sec. 3.27.1.E): Proposed uses shall create a significant pedestrian orientation through innovative architecture. Amenities shall include ped walkways, brick/decorative paving, well-landscaped plazas, lighting, other landscape treatments and arch. Features, and be complimentary to existing and proposed buildings in the area. *The requested pedestrian plaza area has been added to the plans on sheet C2 and will include benches and landscaping. Additional details can be found on the landscape plan included with this submittal.*
7. Sidewalks Required (Sec. 3.27.1.I) Direct pedestrian access between all buildings and adjacent areas. Sidewalk from Grand River Ave. to interior and from Crescent Blvd. to interior shown. *The width of the sidewalk leading to the interior of the lot has been provided on sheet C2.*
8. End Islands (Sec. 5.3.12) End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall. See traffic review for additional details. *Dimensions have been added between the end of the parking spaces and end islands on the north side of the building on sheet C2, as requested.*
9. Barrier Free Spaces (Barrier Free Code): *The barrier free access aisle striping has been updated on sheet C2.*
10. Width & Centerline radius of Drive-Thru lanes (Sec.5.3.11. I): Drive-through lanes shall have a minimum of 9ft. width, centerline radius of 25ft and a minimum length of 19ft. *The requested dimensions of width and centerline radius for the Drive-Thru lanes have been provided on sheet C2.*
11. Drive-Thru Stacking Spaces (Sec. 5.3.11.I): Three vehicles inclusive of the vehicle at the window per lane. *Drive-Thru stacking spaces have been called out on sheet C2.*

12. Required Parking Calculation (Sec. 5.2.12 & 4.82.2): For banks;  $1:150$  SF GLA.  $3,000/150\text{sf} = 20$  spaces required. 17 are proposed. **A Zoning Board of Appeals variance for a deficiency of 3 parking spaces will be required— Applicant has acknowledged this.**
13. Accessory Structures (Sec. 4.19): Each accessory building shall meet the setback requirements of the zoning district in which the property is situated. Shall meet the façade standards. *The location for a proposed transformer pad has been added and called out on sheet C2, as requested*
14. Lighting Plan (Sec. 5.7.A.1): Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas, walkways, and lighting fixtures. *The photometric plan has been updated to show parking spaces and walkways, as well as clarify the hours of operation of the lighting, as requested.*
15. Wetland / Watercourse Setback (Sec. 3.6.2.P): A setback of 25 feet from the wetlands and from high watermark course shall be maintained. A wetland buffer authorization shall be required— *Applicant has acknowledged this.*
16. Façade materials (Sec. 3.27.1.G): All sides of the building and accessory buildings must have the same materials. Façade materials may deviate from brick or stone with Planning Commission approval. 57%-75% brick facades proposed. **A section 9 façade waiver will be required from the Planning Commission for the overage of cast-in-place concrete near the main building entrance— Applicant has acknowledged this.**
17. Town Center Area Study: This site is in study area boundary for Town Center Area Study adopted in 2014. Pedestrian amenities such as benches and lighting are proposed, as required by the Town Center Area Study.
18. Architecture/Pedestrian Orientation (Sec. 3.27.1.E): Proposed uses shall create a significant pedestrian orientation through innovative architecture. Amenities shall include ped walkways, brick/decorative paving, well-landscaped plazas, lighting, other landscape treatments and arch. Features, and be complimentary to existing and proposed buildings in the area. A Pedestrian Plaza is now depicted on sheet C2 with benches and landscaping. **Please include a detail of the proposed benches.**
19. Accessory Structures (Sec. 4.19): Each accessory building shall meet all setback requirements for the zoning district in which the property is situated and shall meet all façade ordinance standards. A transformer pad has been added and called out on sheet C2. **Please include details on the transformer screening.**
20. Color Spectrum Management (Sec. 5.7.3.F): Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index of 70 and Correlated Color Temperature of no greater than 3000 Kelvin. **Please clarify which lamps are to be installed on the site plan. Please see planning chart for additional information.**
21. Average Light Level (Sec. 5.7.3.L): Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1. **This calculation was not completed correctly. The Average:Minimum calculation should be inclusive of the entire site, not be made into two separate calculations for the parking lot area and “site zones”—please revise this.**

## OTHER REVIEWS

- a. Engineering Review: recommends **approval of the revised Preliminary Site Plan, with items to be addressed at the Final Site Plan submittal.**

- b. Landscape Review: recommends **approval, conditional on the applicant adding the required screening wall along the Crescent Road frontage.**
- c. Fire Review recommends **conditional approval** of the Preliminary Site Plan and **requests the return of a completed Hazardous Chemical Survey** within the next submittal. Please see fire review for additional information.

### **NEXT STEP: PLANNING COMMISSION MEETING**

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Once all reviews recommend approval of the Preliminary Site Plan, this project will be scheduled to appear at the Planning Commission.

### **NEXT STEP: ZONING BOARD OF APPEALS**

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The plan will need to appear before the Zoning Board of Appeals for at least one variance. ZBA meetings are held once a month on the second Tuesday of each month. If the applicant decides to appear on the September 11<sup>th</sup> or September 25<sup>th</sup> Planning Commission agenda, then the project could go to the ZBA on **October 8, 2024**, for the required variances. The [ZBA Application](#) needs to be submitted to the Community Development Department by the 1<sup>st</sup> of the month before the month of the meeting. (All application materials for the October 8<sup>th</sup> ZBA meeting should be submitted no later than September 3<sup>rd</sup>, 2024 to the Community Development Department.)

### **FUTURE STEP: FINAL SITE PLAN SUBMITTAL**

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After receiving Planning Commission's approval of the Preliminary Site Plan, please submit the following for review:

1. **Seven** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and refer to sheet numbers
3. where the change is reflected.
4. Final Site Plan Application
5. Final Site Plan Checklist
6. No Revision Façade Affidavit (only if no façade changes have been made)
7. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving
8. and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition
9. costs.)
10. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees,
11. perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11"
12. (The cost estimate should not include woodland trees, replacement trees or mitigation.)
13. An Other Agencies Checklist


### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0579 or [hzeigler@cityofnovi.org](mailto:hzeigler@cityofnovi.org).

Sincerely,



Heather Zeigler – City of Novi Planner



## ENGINEERING REVIEW



# PLAN REVIEW CENTER REPORT

08/08/2024

## Engineering Review

Community Financial Credit Union  
JSP24-0008

### APPLICANT

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Level 5

### REVIEW TYPE

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Revised Preliminary Site Plan

### PROPERTY CHARACTERISTICS

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- Site Location: North of Grand River Ave., west of Novi Rd and just east of Crescent Blvd
- Site Size: 1.56 acres
- Plan Date: 07/02/2024
- Design Engineer: Nowak & Fraus Engineers

### PROJECT SUMMARY

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- Construction of an approximately 3,000 square-foot commercial building and associated parking. Site access would be provided via Crescent Blvd.
- Water service would be provided by a 2-inch domestic lead to serve the building, along with an additional 6" hydrant extension from the existing 16-inch water main along the north side of Grand River Ave.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer along the south side of Grand River Ave. A 6-inch lead would be provided to serve the building, along with a monitoring manhole.
- Storm water would be collected by a single storm sewer collection system and discharged to an on-site, underground detention system, which ultimately leads to the existing storm main along Crescent Blvd.

### RECOMMENDATION

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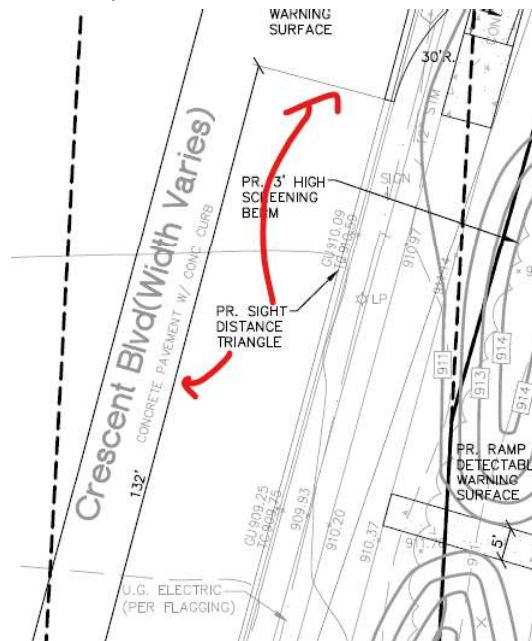
**Approval of the Revised Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.**

**Comments:**

The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

**General**

1. Show the water lead on the landscaping sheets and update the linestyle of the storm pipe to make it stand out more.
2. Light pole symbol in the legend doesn't match the plan. Please amend these to be consistent.
3. The light pole in the southwestern corner of the parking lot is directly on top of a curb inlet and the southern light pole is very close to the sanitary lead. We Suggest adjusting both of these to have a greater horizontal separation.
4. Please update the label for the sight distance triangle, the current arrow does not help the reader see where the triangle is.



5. Refer to the 25' wetland buffer as the 25' wetland setback, not the 25' building setback line.
6. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
7. The [Non-Domestic User Survey Form](#) for sanitary sewer flow shall be submitted to the City so it can be forwarded to Oakland County.
8. A [Right-of-Way Permit](#) will be required from the City of Novi and Oakland County.

9. The provided traffic control sign table lists two signs for the van accessible parking spot, but there is only one spot provided. Please verify the permanent sign quantities in the table on sheet C3.
10. Traffic signs in the Road Commission for Oakland County (RCOC) right-of-way will be installed by RCOC.
11. Provide a traffic control plan for the proposed road work activity.
12. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
13. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
14. Where the minimum 18-inch clearance at utility crossings cannot be achieved, provide a prominent note stating the substandard clearance and that proper bedding/encasement will be determined by the inspecting engineer.
15. Indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur.
16. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.

**Water Main**

17. A tapping sleeve and valve box are required at the connection to the existing water main.
18. Provide a separate domestic lead and, if required by the Fire Marshal, a minimum 6-inch fire lead for each building with a unique shut-off valve for each.
19. Move the Water main notes in the "City of Novi Notes" section from sheet C5 to sheet C4.
20. A sealed set of utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#) for water main construction, the [Streamlined Water Main Permit Checklist](#), [Contaminated Site Evaluation Checklist](#), and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

**Irrigation Comments**

21. Indicate if irrigation is proposed. If so, include an irrigation letter, a containment letter, and containment notes on irrigation sheets with the next review.

**Sanitary Sewer**

22. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 People/REU, peaking factor of 4.0 is only for sanitary not for water main).
23. Move the Sanitary notes in the "City of Novi Notes" section from sheet C5 to sheet C4.
24. Illustrate all pipes intersecting with manholes on the sanitary profiles.
25. Three (3) sealed sets of revised utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#), electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

**Storm Sewer**

26. Add this to the minimum cover depth note on sheet C5: In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
27. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
28. Match the 0.80 diameter depth above invert for pipe size increases.
29. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
30. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge into the underground storm water detention system.
31. Provide profiles for all storm sewer 12-inch and larger. All storm pipes accepting surface drainage shall be 12-inch or larger (Smaller diameters are allowed for roof drains).
32. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50-feet.
33. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
34. Illustrate all pipes intersecting storm structures on the storm profiles.
35. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

### **Storm Water Management Plan**

36. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the [Engineering Design Manual \(updated Jan 31, 2024\)](#)
37. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
38. Provide manufacturer's details and sizing calculations for the pretreatment structure on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to the treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr). Higher flows shall be bypassed.
39. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of 1 inch in diameter, even though this may result in a flow rate above that calculated.
40. For the runoff coefficient calculations on sheet C5, the Oakland county runoff coefficients were not used. Please verify these values are correct for the surface shown.

### **Underground Storage:**

41. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications.
42. Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.
43. Indicate the assumed porosity of the aggregate. The volume calculations shall consider only 85-percent of that volume as available for storage to account for sediment accumulation in the aggregate.
44. Provided a note on sheet C5 that states the aggregate porosity will be tested, and results provided to the City's inspecting engineers. When an underground detention detail is provided, place the note there as well.
45. Provide critical elevations, as shown in the City of Novi Design Manual, for the detention system. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year elevation and the subgrade elevation beneath the pavement.
46. In order to prevent scouring (per Table 4 of StormTech manual), do not exceed the maximum inlet flow rates.
47. Please show the calculations for the amount of volume in the underground storage system

### **Paving & Grading**

48. On the grading sheet, there are proposed contours outside of the limit of disturbance/property line. Will there be grading work in the ROW? If so, SESC measures will be needed, and the limits of earth disturbance should be updated accordingly.
49. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
50. Response states that the City of Novi Standard Paving Details were attached to the plans, but I do not see them on there. Ensure that these are included for stamping set submittal.
51. Provide a line designation representing the effective 19-foot stall length for 17-foot perimeter stalls.

### **Soil Erosion and Sediment Control**

52. A SESC permit is required. A full review has not been completed at this time. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

### **Off-Site Easements**

53. The temporary off-site construction easement anticipated must be executed **prior to Stamping Set Approval**. If you have not already done so, drafts of the easement and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.
54. Approval from the neighboring property owner for the work associated with the off-site sanitary sewer connection shall be forwarded to the Engineering Division **prior to Stamping Set approval**.

### **The following must be submitted with the Final Site Plan:**

55. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan Submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
56. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water detention system (underground storage construction, control structure, pre-treatment structure and restoration).

**The following must be submitted with the Stamping Set:**

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with the **legal review transmittal form that is attached to this review letter**. Partial submittals will **not** be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#))

57. A draft copy of the [Storm Drainage Facility Maintenance Easement Agreement \(SDFMEA\)](#), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
58. Executed copies of approved off-site utility easements must be submitted.

**The following must be addressed prior to construction:**

59. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
60. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
61. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
62. Construction inspection fees in the amount of **\$TBD** must be paid to the Community Development Department. **\*\*fees are subject to change.**
63. Off-Site Legal exhibit review fees in the amount of **\$TBD** must be paid to the Community Development Department.
64. Legal escrow fees in the amount of **\$TBD** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. **\*\*fees are subject to change.**
65. Legal fees for off-site easements should be paid as soon as possible so that documents can be approved.
66. A storm water performance guarantee in the amount of **\$TBD** (Equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.



67. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
68. A street sign financial guarantee in the amount of **\$TBD** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
69. A traffic control inspection fee of **\$TBD** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
70. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
71. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website ([Right-of-Way Permit Application](#)) and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.
72. A permit for work within the road right-of-way of Grand River Ave must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the city. Provide a note on the plans indicating all work within the road right-of-way will be constructed in accordance with the RCOC standards. **Be advised that review by the RCOC may take four weeks or longer.**
73. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resources Commissioner (OCWRC).

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:**

74. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
75. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and Engineering Division.

76. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
77. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
78. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Ben Nelson at (248)735-5643 or email at [bnelson@cityofnovi.org](mailto:bnelson@cityofnovi.org) with any questions.

*Benjamin Nelson*

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Ben Nelson,  
Project Engineer

cc: Heather Zeigler, Community Development  
Diana Shanahan, Planning Assistant  
Humna Anjum, Engineering  
Ben Croy, City Engineer

## LANDSCAPE REVIEW



**PLAN REVIEW CENTER REPORT**  
**July 23, 2024**  
**Community Financial Credit Union**  
**Revised Preliminary Site Plan - Landscaping**

**Review Type**

Revised Preliminary Site Plan Landscape Review

**Job #**

JSP24-0008

**Property Characteristics**

- Site Location: NE Corner of Grand River Ave. & Crescent Drive
- Site Acreage: 1.57 ac.
- Site Zoning: TC
- Adjacent Zoning: East: TC, North, West: I-1, South: TC-1
- Plan Date: 7/2/2024

**Ordinance Considerations**

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

**RECOMMENDATION:**

This project is **recommended for approval, conditional on the applicant adding the required screening wall along the Crescent Road frontage**. The remaining issues can be addressed on the Final Site Plans..

**LANDSCAPE WAIVERS THAT ARE REQUIRED FOR THE PROPOSED LAYOUT:**

- No screening wall for the Vehicular Use area are provided along Crescent Drive – *not supported by staff*.
- Some of the foundation landscaping is not provided at the building – *supported by staff*.

**PLEASE ADD THE MISSING WALL TO REMOVE THE UNSUPPORTED WAIVER.**

**Ordinance Considerations**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey is provided and all tree removals are indicated on L1.
2. No wetlands are on the site except along the stream edge.
3. Eight woodland replacement trees are proposed to be planted on the site and a contribution for 53 trees that can't be planted on the site will be made to the tree fund.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not to residential property so this requirement does not need to be met.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt width is provided along both frontages.

2. The required greenbelt plantings are provided along Grand River Avenue.
3. The required screening wall for the vehicular use area is not proposed for the Crescent Drive greenbelt. **This requires a landscape waiver.** *It is not supported by staff. Please provide the required walls.* The design preferred by the City is available upon request.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior area and trees are provided.
2. The required accessway perimeter/parking lot perimeter trees are provided.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. The required foundation landscaping area is provided.
2. 364 sf of the area is provided in a planting at the corner of Crescent and Grand River instead of at the building foundation. **This requires a landscape waiver.** *It would be supported by staff as it will add a nice element to the Crescent/Grand River intersection.*
3. The required percentages of building frontage landscaping are provided.

Plant List (LDM 4, 10)

1. 11 of 17 species used (64.7%) are native to Michigan.
2. The tree diversity is satisfactory.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. Underground detention is proposed. If that is approved by engineering, no detention basin landscaping is required.
2. If above-ground detention is required, detention basin landscaping will also be required.

Irrigation (LDM 10)

1. If an irrigation system is used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



---

Rick Meader – Landscape Architect

**TRAFFIC REVIEW**



AECOM  
 39575 Lewis Dr, Ste. 400  
 Novi  
 MI, 48377  
 USA  
 aecom.com

**Project name:**  
 JSP24-08 – Community Financial Credit Union  
 Preliminary Traffic Review

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**From:**  
 AECOM

**Date:**  
 May 24, 2024

**CC:**  
 Lindsay Bell, James Hill, Heather Zeigler, Humna  
 Anjum, Diana Shanahan, Adam Yako, Dan Commer

# Memo

**Subject:** JSP24-08 – Community Financial Credit Union Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends approval for the applicant to move forward as long as the comments are addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Nowak and Fraus Engineers, is proposing a credit union on an existing vacant lot.
2. The development is located on the northeast corner of Crescent Boulevard and Grand River Avenue. Crescent Boulevard is under the jurisdiction of the City of Novi and Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned TC (Town Center).
4. The applicant is requesting the following traffic related deviations:
  - a. The applicant is requesting a deviation for 3 parking spaces (20 parking spaces are required, 17 are provided).

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, as follows.

ITE Code: 912 – Drive-in Bank  
 Development-specific Quantity: 3,000 SFT  
 Zoning Change: N/A

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
<b>AM Peak-Hour Trips</b>	30	17	100	No
<b>PM Peak-Hour Trips</b>	63	32	100	No
<b>Daily (One-Directional) Trips</b>	301	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	No study is required but the applicant has submitted a Traffic Impact Statement (TIS) dated April 19, 2024. The TIS states that the trip generation for the proposed development falls below the City's requirements for both the TIS and TIA.

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	30'	Met	
2	Driveway Width   O <a href="#">Figure IX.3</a>	30'	Met	
3	Driveway Taper   O <a href="#">Figure IX.11</a>			
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	
4	Emergency Access   O <a href="#">11-194.a.19</a>	1 access point	<b>Not Met</b>	<b>Fire to approve 1 access point.</b>
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	Sight triangles provided	<b>Partially Met</b>	Dimension in future submittal.
6	Driveway spacing			
6a	Same-side   O <a href="#">11.216.d.1.d</a>	132' from intersection	Met	
6b	Opposite side   O <a href="#">11.216.d.1.e</a>	Across from existing driveway	Met	
7	External coordination (Road agency)	-	N/A	
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	Tying into existing sidewalk	Met	
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-K</a>	None Proposed	<b>Inconclusive</b>	Provide ramps at driveway.



EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	None required	Met	The applicant indicated deliveries will be made with an armored truck that can park in a parking space.
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	Provided in rear of site.	Met	The applicant indicated trash collection will not interfere with bank hours. Truck turning movements provided.
13	Emergency Vehicle Access	Turning movements provided	Met	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	20', 21' and 24'	Met	
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	Partially dimensioned	<b>Partially Met</b>	Add dimension between end of parking space and end island on the north side of building.
15b	Internal to parking bays	None required	N/A	
16	Parking spaces   <a href="#">ZO 5.2.12</a>	20 required, 17 proposed		See Planning review letter. <b>The applicant is requesting a waiver.</b>
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	<15 spaces in one row	Met	
18	Parking space length   <a href="#">ZO 5.3.2</a>	17' perpendicular, 17' and 17.5' angled	<b>Partially Met</b>	18' length is required at all angled parking spaces.
19	Parking space Width   <a href="#">ZO 5.3.2</a>	9'	Met	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	4" in front of parking, 6" everywhere else	Met	
21	Accessible parking – number   <a href="#">ADA</a>	1 required, 1 proposed	Met	
22	Accessible parking – size   <a href="#">ADA</a>	8' space with 9' aisle	Met	
23	Number of Van-accessible space   <a href="#">ADA</a>	1 required, 1 proposed	Met	
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	2 required, 2 proposed	Met	
24b	Location   <a href="#">ZO 5.16.1</a>	Within 120' of entrance	Met	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	Provided	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	3'	Met	
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	7' x 6'	<b>Partially Met</b>	Per Text Amendment 18.301, layout for 2 spaces should be 7' x 8'.
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	5' and 7' with 2' overhang	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4</a> & <a href="#">R-28-K</a>	Indicated and detail included	Met	
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	-	N/A	
28	Cul-De-Sac   O <a href="#">Figure VIII-F</a>	-	N/A	
29	EyeBrow   O <a href="#">Figure VIII-G</a>	-	N/A	
30	Stacking Spaces   <a href="#">ZO 5.3.11.I</a>	3 vehicles inclusive of vehicle at window required, 3 provided	Met	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Provided	Met	
33	Signing table: quantities and sizes	Provided	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Indicated	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Indicated	Met	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Indicated	<b>Partially Met</b>	Fire lane signage detail shows 6'-8" bottom height.
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Indicated	Met	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Indicated	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Indicated	Met	
40	Parking space striping notes	Indicated	Met	
41	The international symbol for accessibility pavement markings   ADA	Detail provided	Met	
42	Crosswalk pavement marking detail	Detail provided	<b>Partially Met</b>	Detail shows 6' width, width of crosswalks on site plan appears to be 5' and 9'.
43	Any Other Comments:	Provide signing to indicate one-way traffic around south end of site and at drive-thru, and a stop sign at Crescent Boulevard. Provide note or detail of proposed pavement marking arrows.		

Memo

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

## FAÇADE REVIEW



May 21, 2024

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

**Façade Ordinance Status:**  
**Approved, Section 9 Waiver Recommended**

Re: **FACADE ORDINANCE**  
**Community Financial Credit Union, JSP24-08**  
 Façade Region: 1, Zoning District: TC-1

Dear Ms. McBeth;

The following Façade Review is based on the drawings prepared Novus Architects dated 5/18/24. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right-hand column. Materials in non-compliance with the Façade Schedule are highlighted in bold.

	South (Grand River)	West (Crescent Blvd.)	North	East	Ordinance Maximum (Minimum)
Brick (Existing cired clay tile)	66%	60%	57%	75%	100% (30%)
Flat Metal Panels	31%	36%	8%	23%	50%
Concrete (Cast-In-Place)	<b>3%</b>	<b>4%</b>	0%	<b>2%</b>	0%
Fiber Cement Panels (Vertical Pattern)	0%	0%	35%	0%	25%

**Façade Ordinance Section 5.15**

As shown above the design is in full compliance with the Façade Ordinance with the exception of a small amount of Cast-In-Place Concrete. This material is used in a prominent location near the main entrance. The photographic sample board provided indicates a decorative level of finish will be used on the concrete. We believe this is consistent with the intent and purpose of the Ordinance. A Section 9 Waiver is therefore recommended for the small overage of Cast-In-Place Concrete. It should be noted that the horizontal lap pattern fiber cement siding is not allowed by the Façade Ordinance on non-residential buildings.

**TC & TC-1 Ordinance Section 3.27.G**

All façades are consistent with Section 3.27.G of the TC Ordinance which requires that facades be primarily Brick and Stone.

**Notes to the Applicant:**

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.  
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.
2. RTU Screening - It should be noted that all roof top units must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.
2. Dumpster Enclosure – The dumpster enclosure must have brick to match the building on 3 sides of sufficient height to conceal the dumpster within.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects, PC

A handwritten signature in blue ink, appearing to read 'Douglas R. Necci', is written over a light blue circular stamp.

Douglas R. Necci, AIA

## FIRE REVIEW



May 16, 2024

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
James Hill – Plan Review Center  
Heather Zeigler – Plan Review Center  
Dan Commer – Plan Review Center  
Diana Shanahan – Planning Assistant

**CITY COUNCIL**

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Erick W. Zinser

**Fire Chief**  
John B. Martin

**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
Todd Seog

RE: Community Financial Credit Union

**PSP# 24-0032**

**Project Description:**

Build a single story 3000 Sq. Ft. structure off Crescent Blvd and Grand River.

**Comments:**

- All fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- Water mains greater than 25' shall be at least 8" in diameter. Shall be put on plans for review. **(D.S.C. Sec.11-68(C)(1)(c))**
- **Please fill out and return a Hazardous Chemical Survey to the fire marshal's office for review.** A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.

**Recommendation:**

Approved with Conditions

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org



**WOODLAND REVIEW**

May 24, 2024

Heather Zeigler  
Planner – Community Development  
City of Novi  
45175 Ten Mile Road  
Novi, MI 48375

Submitted electronically to [hzeigler@cityofnovi.org](mailto:hzeigler@cityofnovi.org)

Re: Community Financial Credit Wetland and Woodland Review (Preliminary Site Plan; JSP24-08)

Dear Heather,

Merjent, Inc. (Merjent) has conducted a preliminary site plan (PSP) review of the proposed Community Financial Credit Union (CFCU) project (Project), which is located at the northeast intersection of Crescent Boulevard and Grand River Avenue in Section 15 of the City of Novi (Parcel 50-22-15-476-061; site). The PSP was prepared by Nowak & Fraus Engineers (NF Engineers; Applicant) and is dated April 15, 2024. Merjent reviewed the plan for conformance with the City of Novi’s (City) Woodland Protection Ordinance, Chapter 37, and Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V. The site contains City-regulated woodlands and City-regulated wetlands (**Figure 1 & Figure 2**).

**Woodlands**

**Woodland Recommendation:** Merjent **recommends approval** of the CFCU PSP, pending minor edits to the PSP. Additional Woodland Review comments have been provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8)	YES
Tree Protection (Fence; Chapter 37, Section 37-9)	YES
Woodland Conservation Easement (Chapter 37-30[e])	YES, if feasible

**Woodland Review Comments**

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (**Figure 1**).
2. Merjent conducted a site visit on May 15, 2024 to review the site conditions relative to the PSP submittal. Site photographs are included in **Attachment A**. The on-site conditions reflect the conditions listed in the PSP.
3. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement

and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.

4. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH. No trees on-site are larger than 36 inches DBH.
5. The plan has proposed the removal of 32 trees in total (two trees are dead; 30 living trees). A **Woodland Use Permit** is required to perform construction on any site containing regulated woodlands. Because more than three trees are proposed for removal, Planning Commission Approval is required.
6. **Woodland Replacement.** Based on a review of the plan, the following woodland replacements are required:

Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11	12	1	12
12-20	11	2	22
21-29	2	3	6
30+	0	4	0
Multi-stem	5	Sum of Stem DBH/8 (rounded up)	17
Total	30	-	-
<b>Total Replacements Required</b>			<b>57</b>

Sheet Nos. L1 and L2 provide a summary of the trees to be planted onsite in partial satisfaction of the replacement requirement: six trees will be planted on-site as Woodland Replacements and the remaining 51 trees will be paid into the City of Novi Tree Fund.

7. **Critical root zone.** Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Tree symbols are present on the plan but appear to be the same size. Additionally, it is unclear whether the tree symbol on the plan represents the trunk, dripline, or critical root zone of the tree. The tree symbol should be clarified in the legend or elsewhere on the plan. Critical root zones should be identified using a separate symbol on the site plans. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one foot.
  - a. All tree symbols in the PSP are the same size. It should be verified that trees within 50 feet of grading will not have impacts to critical root zones. Even if a tree is preserved but a critical root zone is impacted, that will be considered a tree requiring replacement.
8. For tree replacement credits that will be planted on-site, a financial guarantee of \$400/tree replacement credit is required to ensure the planting of the on-site woodland replacement credits. The financial guarantee will be released after trees have been planted and approved by the City of Novi. The applicant must request a tree planting inspection. For the CFCU Project, a **Woodland Replacement**

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**Financial Guarantee of \$2,400** is required as part of the Woodland Use Permit fees to ensure a successful planting of on-site Woodland Replacement Tree Credits.

The Applicant shall guarantee trees for two growing seasons after installation and the City's acceptance, per the City's Performance Guarantees Ordinance. A two-year maintenance bond in the amount of 25% of the value of the trees (**\$1,000**), but in no case less than \$1,000, shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).

Note that the Applicant is responsible for requesting an inspection of the installed on-site Woodland Replacement Trees.

9. The Applicant will be required to pay into the **City of Novi Tree Fund \$20,400** for the remaining 51 woodland replacements not planted on site (51 woodland replacement credits x \$400/credit).
10. A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
  - a. The cost to stake, install, and remove the tree protection fencing should be added to either Sheet L1 or L3 in order to calculate woodland fence inspection fees. Prior to final site plan approval, this should be added to either Sheet L1 or L3.
11. Per Section 37-4(c)(3), the tree survey on Sheet C1 should be updated to include the condition of each the trees onsite. Specifically, dead trees or any dying trees in the tree survey should be identified in the tree survey.
12. **Woodland Replacement Inspection** – The Applicant is responsible for walking the entire site to confirm that all woodland replacement trees/shrubs have been planted on site according to the approved site plan stamping set. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. The applicant should also provide an as-built landscape plan if the trees planted do not match the species and/or location shown on the approved site plan stamping set. Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at [asosnowski@cityofnovi.org](mailto:asosnowski@cityofnovi.org); 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant.
13. **Woodland Guarantee Inspection** – Prior to requesting the 2-year woodland guarantee inspection, the Applicant is responsible for walking the entire site to confirm that all plant material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. Once this occurs the Applicant should contact the Bond Coordinator to schedule the 2-year guarantee inspection (Angie Sosnowski at [asosnowski@cityofnovi.org](mailto:asosnowski@cityofnovi.org) / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2-year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant.

If the woodland replacements, street trees, or landscaping guarantee period is scheduled to end during the period when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in the late summer/early fall prior to the 2-year expiration to schedule an inspection.

14. The Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.

**Wetlands**

**Wetland Recommendation:** Merjent **recommends approval** of the CFCU PSP based on the comments provided below.

Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City’s map are considered approximations (**Figure 2**).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (**Attachment B**). NWI and MIRIS wetlands are identified by the associated governmental bodies’ interpretation of topographic data and aerial photographs.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resources Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (**Attachment B**).

Merjent conducted a site visit on May 15, 2024 and observed conditions on-site consistent with the provided PSP; the Walled Lake Branch of the Middle Rouge River and an associated wetland (Wetland A) are depicted on the PSP.

**Permits and Regulatory Status**

The City of Novi Code of Ordinances, Chapter 12, Article V defines an essential wetland as meeting one or more of the criteria listed in subsections 12-174(b)(1) through (10). Due to Wetland A being directly connected to the Walled Lake Branch of the Middle Rouge River, it is Merjent’s opinion that Wetland A is a City of Novi Essential Wetland. However, no impacts are proposed to Wetland A.

Based on the provided PSP, the following wetland-related items will be required for this project:

Item	Required/Not Required*
<b>Wetland Permit (specify Non-minor or Minor)</b>	Not Required
<b>Wetland Mitigation</b>	Not Required
<b>Environmental Enhancement Plan</b>	Not Required
<b>Wetland Buffer Authorization</b>	Required
<b>EGLE Wetland Permit</b>	Not Required+
<b>Wetland Conservation Easement</b>	Not Required



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\*Based on site plan dated rev. 4/15/2024

\*EGLE holds final jurisdiction/determination over wetlands and permits within wetlands within the State of Michigan

### Wetland Review Comments

1. As stated above, Merjent conducted a site visit on May 15, 2024. Select photos are included in **Attachment A**.
2. No impacts are proposed on-site to Wetland A nor the Walled Lake Branch of the Middle Rouge River. However, impacts are proposed to the 25-foot Wetland Setback. Sheet C2 states that grading will occur within the Wetland Setback, which will result in approximately 1,890 square-feet and 55 cubic yards of fill. The PSP states the area will be re-seeded with grass/lawn upon completion of construction. Prior to final approval, a Wetland Buffer Authorization will need to be written for this Project.
  - a. The setback area should be identified with a unique symbol on the PSP. The permanent natural features setback impacts should be identified on sheet C2 with a unique symbol/identifier (hatching, unique color, etc.)
3. The City of Novi requires the boundary lines of any watercourses or wetlands on the Site to be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity (Section 12-172). The site does not need to be re-flagged during the site plan review process, but prior to construction, the wetlands should be marked or identified for avoidance in the field if original flagging is removed or has deteriorated.

Should you have any questions or concerns with this review, please contact me via email at [jason.demoss@merjent.com](mailto:jason.demoss@merjent.com) or via phone at (619) 944-3835.

Sincerely,

**Merjent, Inc.**



Jason DeMoss, PWS  
Environmental Consultant



Kyle Luther, MI Registered Forester # 47070  
Environmental Consultant

Enclosures:

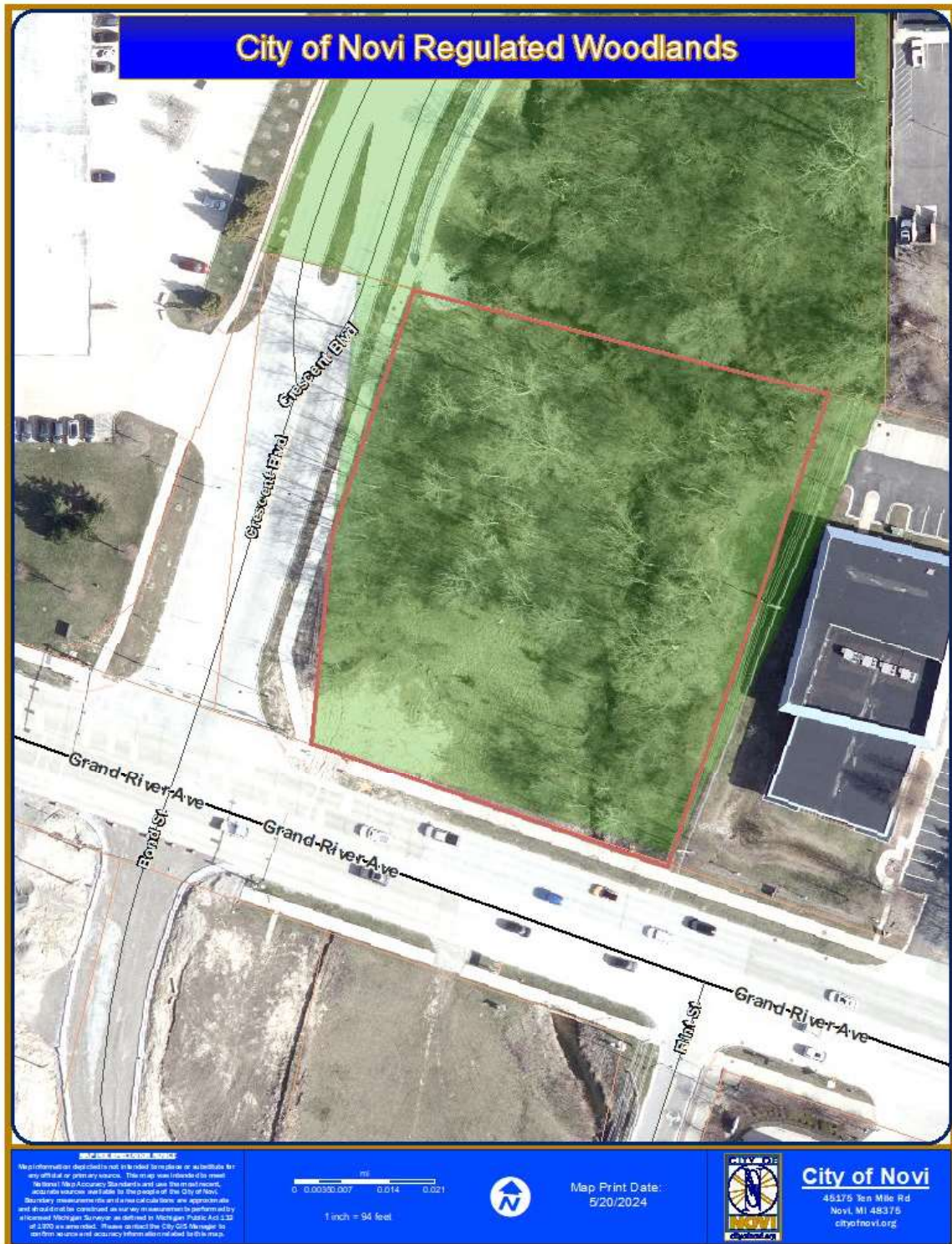
Figure 1 – City of Novi Woodlands Map  
Figure 2 – City of Novi Wetlands Map  
Attachment A – Site Photographs  
Attachment B – Wetland Resource Documents

CC:  
Diana Shanahan, City of Novi, [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org)



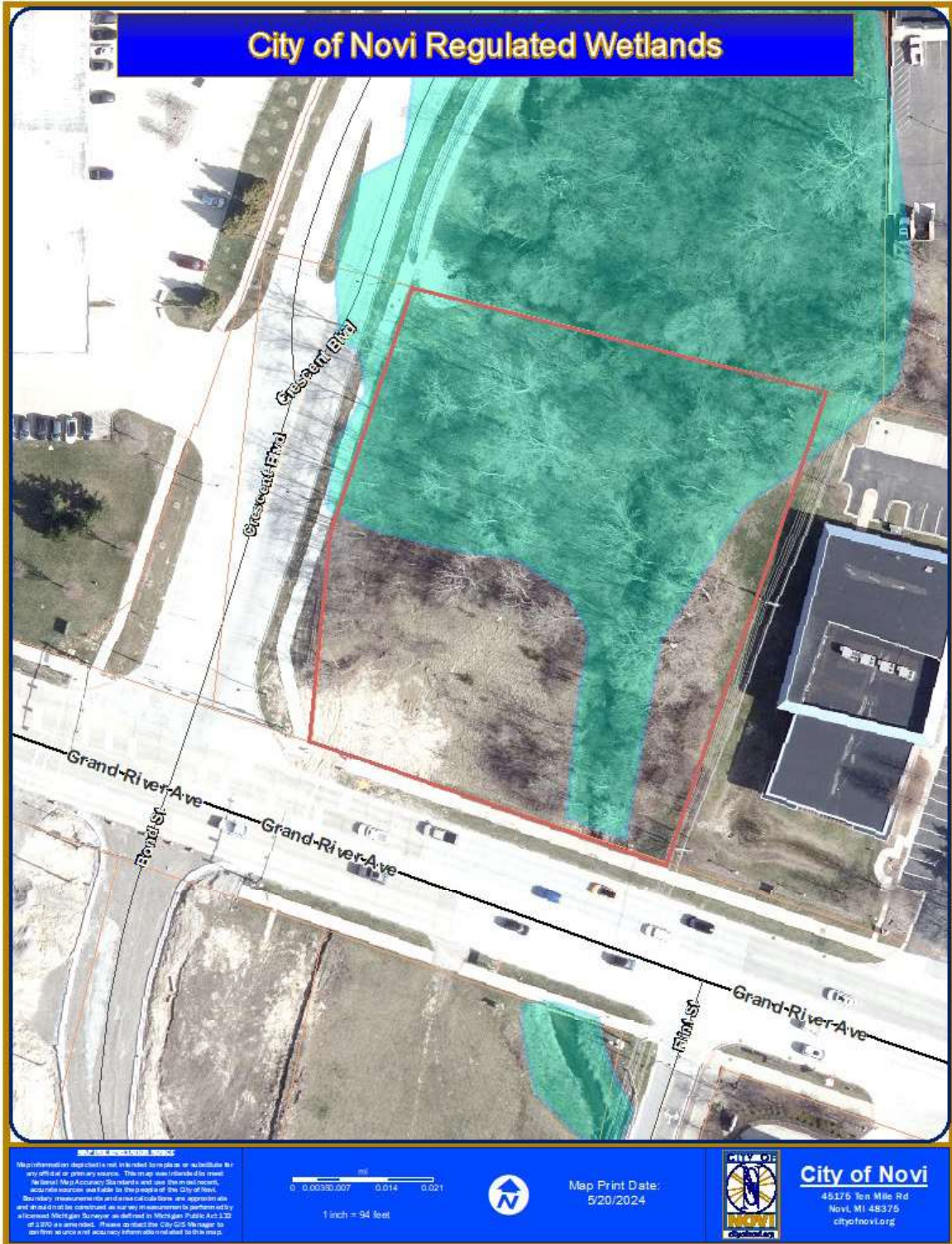
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Rick Meader, City of Novi, [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org)  
Barbara McBeth, City of Novi, [bmbeth@cityofnovi.org](mailto:bmbeth@cityofnovi.org)  
Robb Roos, Merjent, [robb.roos@merjent.com](mailto:robb.roos@merjent.com)  
Kyle Luther, Merjent, [kyle.luther@merjent.com](mailto:kyle.luther@merjent.com)



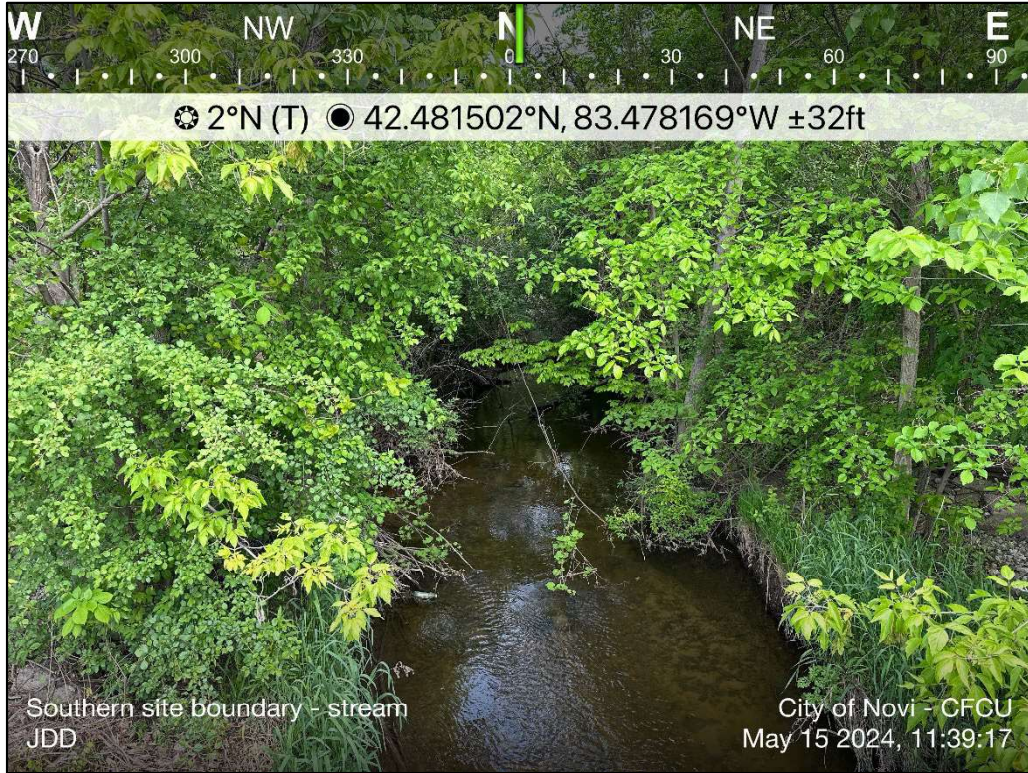
**Figure 1. City of Novi Regulated Woodlands Map**  
 Approximate parcel boundary is shown in Red.  
 (Approximate) Regulated Woodland areas are shown in Green





**Figure 2. City of Novi Regulated Wetlands Map**  
 Approximate parcel boundary is shown in red.  
 (Approximate) Regulated Wetland areas are shown in turquoise.

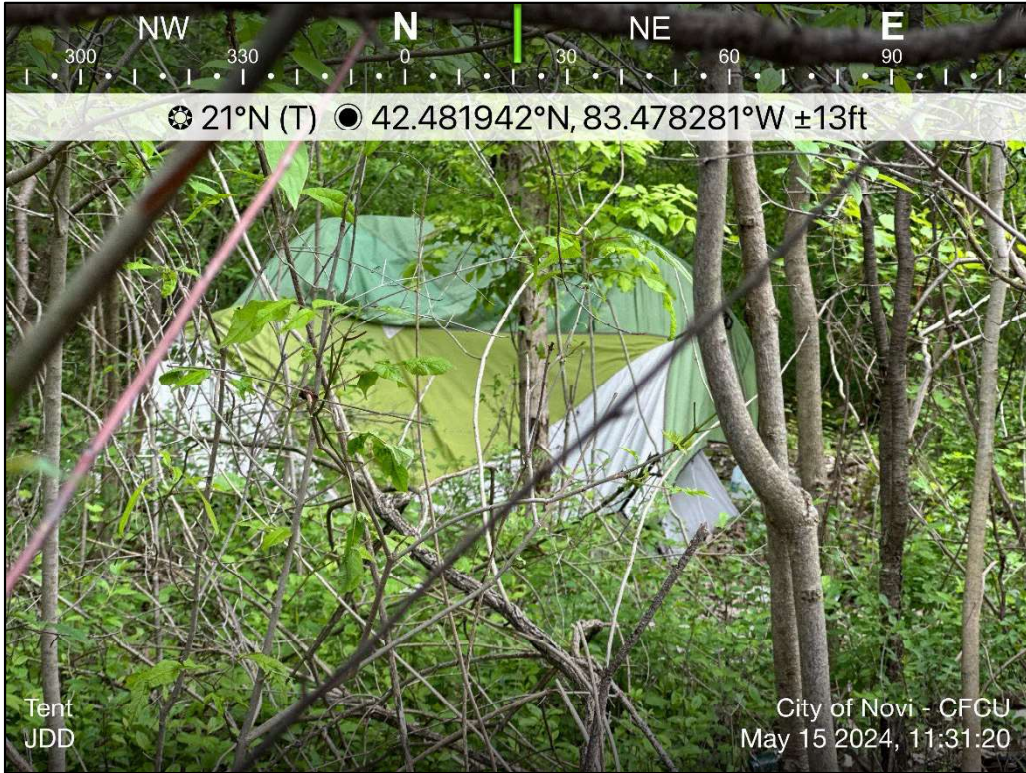
**Attachment A  
Site Photographs**



Overview of the stream and associated wetland from the southern site boundary.



Overview of the stream located on-site.



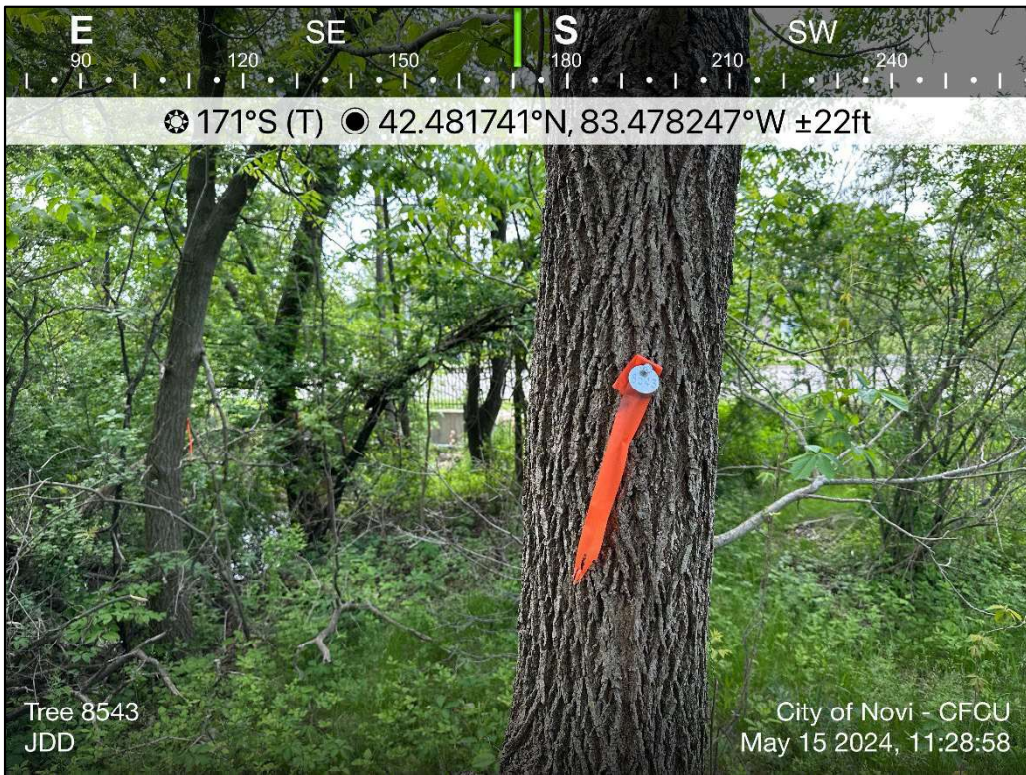
Overview of a tent/encampment found near the center of the site during the site review.



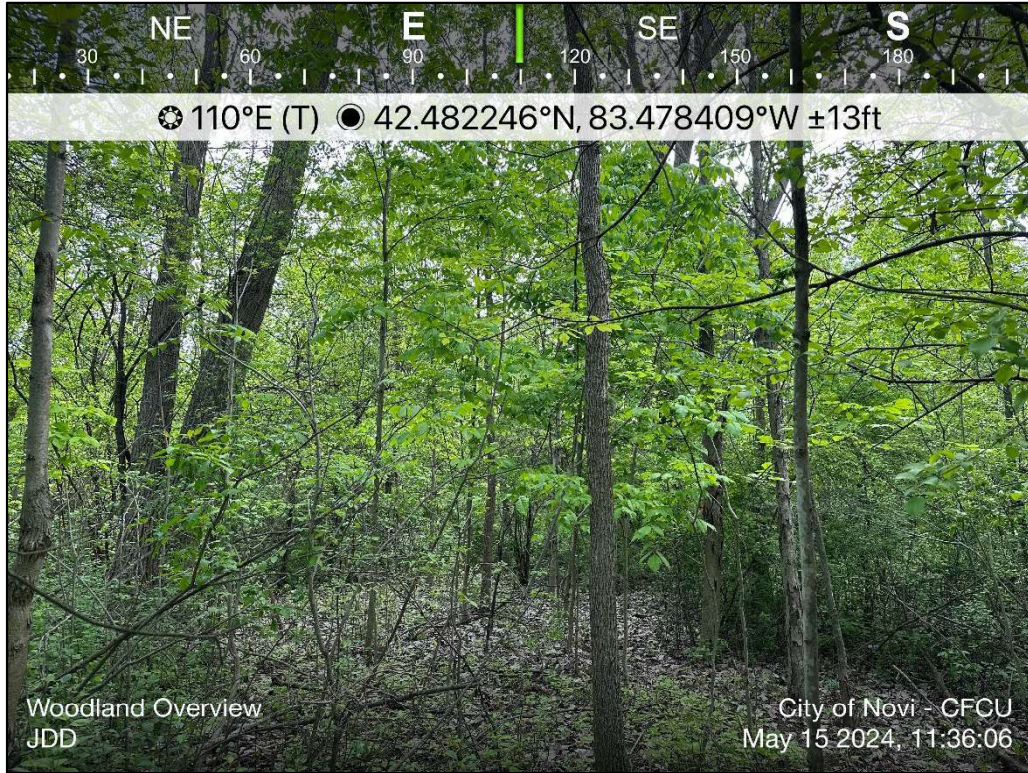
Overview of Tree 8525, which matches the provided site plan.



Overview of Tree 8539, which matches the provided site plan.

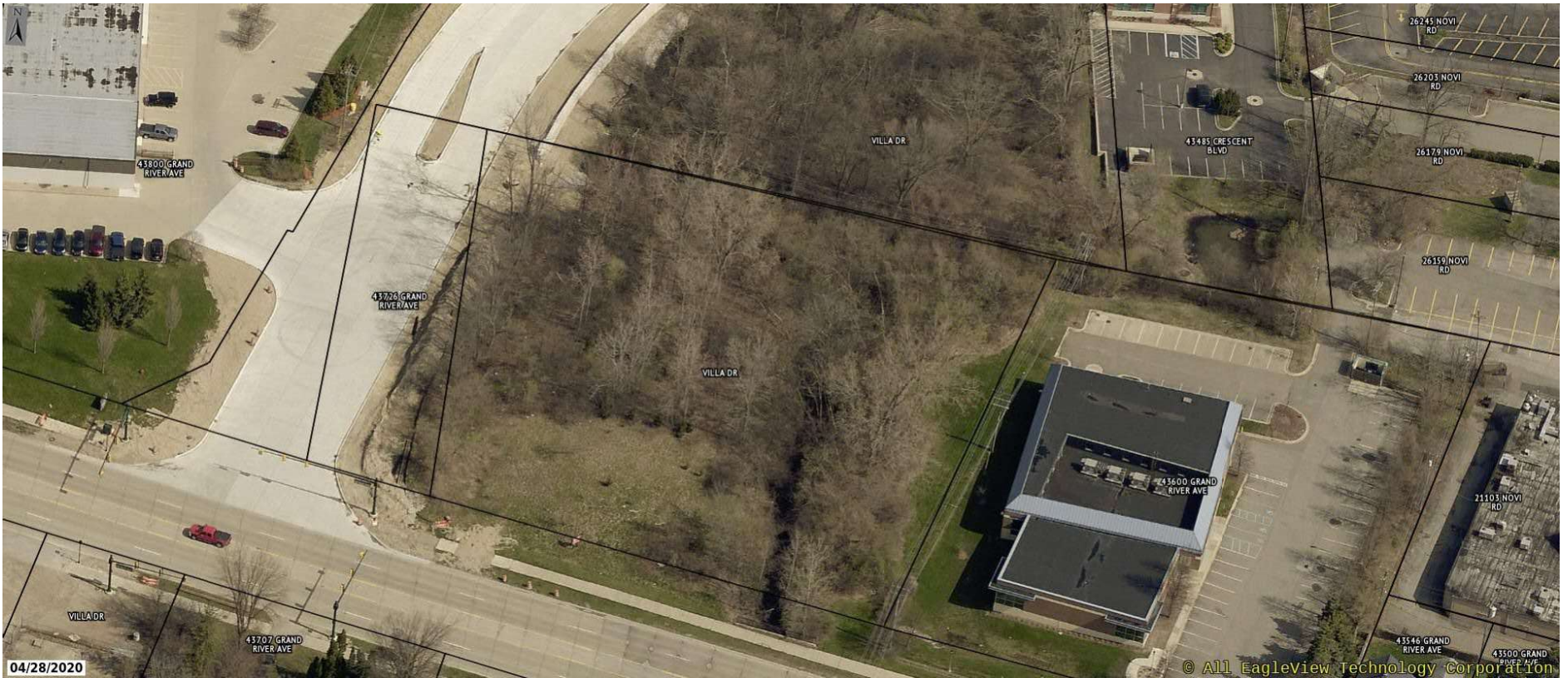


Overview of Tree 8543, which matches the provided site plan.



Overview of the woodland located on-site.

**Attachment B**  
**Wetland Resource Documents**



Oblique-angle imagery of the site. The stream can be seen flowing along the eastern portion of the site.






# Wetlands Map Viewer




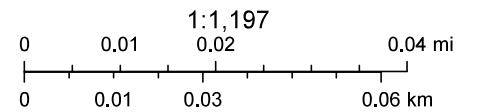
May 21, 2024

Part 303 Final Wetlands Inventory

-  Wetlands as identified on NWI and MIRIS maps
-  Soil areas which include wetland soils
-  Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils

National Wetlands Inventory 2005

-  Freshwater Forested/Shrub Wetland
-  Riverine



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Disclaimer: This map is not intended to be used to determine the specific

**RESPONSE LETTER**



**August 16, 2024**

**City of Novi**  
**Planning Department**  
45175 Ten Mile Road  
Novi, MI 48375

**Attn: Diana Shanahan**  
**Planning Assistant**

**Re: Planning Review**  
**Community Financial Credit Union**  
**JSP 24-08**

Dear Ms. Shanahan,

We are in receipt of the Planning Review dated August 5, 2024. We have reviewed the comments and recommendations noted in this letter and offer the following responses to indicate how each item will be addressed.

**Comments we are requesting waivers from the Planning Commission for:**

- A façade waiver is being requested for the overage of cast-in-place concrete near the main entrance.
- A waiver is being requested for the placement of 364 SF of plantings at the corner of Crescent and Grand River in lieu of around the building foundation.

**Comment we are seeking a variance from the ZBA for:**

- We are seeking a variance for the required number parking stalls. Due to site constraints we are proposing 17 parking stalls, where 20 would typically be required by the ordinance requirements.

**Planning Review**

18. A detail of the benches will be included in the final site plan submittal
19. The landscape plan sheet L2 proposes plantings to screen the transformer.
20. The proposed lamps will be clarified on the final site plan submittal.
21. The average lighting levels calculations will be updated as requested on the final site plan submittal.

**Landscaping Review**

- The final site plan submittal will be revised to provide a screen wall along Crescent Drive in lieu of the berm, as requested.
- We are requesting a waiver for the placement of 364 SF of plantings at the corner of Crescent and Grand River in lieu of around the building foundation.
- An irrigation system is proposed and an irrigation plan will be provided with the final site plan submittal.

### **Engineering Review**

After reviewing the comments in the letter, the final site plan package will address comments 1-58. All remaining comments are acknowledged and will be addressed at the appropriate time throughout the project.

### **Fire Department Review**

- A note indicating for hydrant(s) to be installed and operational prior to any combustible material being brought on site is provided on plan sheet C8.
- A note indicating for compliance with the requirements for radio coverage has been provided on plan sheet C8.
- A hazardous chemical survey has been submitted for review.

Please feel free to contact us at (248) 332-7931 should you have any additional questions or comments

Sincerely,  
NOWAK & FRAUS ENGINEERS

A handwritten signature in cursive script that reads 'Timothy D. Wood'.

Timothy D. Wood, P.E.  
Project Engineer