



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: May 12, 2020

REGARDING: 21300 Novi Road, Parcel # 50-22-35-301-001 (PZ20-0017)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Ron and Roman Inc/Guernsey Farms Dairy

Variance Type

Sign Variance

Property Characteristics

Zoning District: General Business
Location: East of Novi Road and North of Eight Mile Road
Parcel #: 50-22-35-301-001

Request

The applicant is requesting variances from the City of Novi Code of Ordinances Section 28-5(a) for 6 additional signs, 5 additional wall signs and 1 Awning/Canopy sign. The awning/canopy sign is also oversized, 72 square feet requested, 24 square feet allowable by code. 28-14(b)(1) Upgrade existing nonconforming pole sign to maintain compliance. A non-conforming sign shall not be structurally altered as to prolong the life of the sign, or in any way that would increase the degree or extent of nonconformity of such sign. This property is zoned General Business (B-3).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we grant the variance in Case No. **PZ20-0017**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because_____.

(c) Petitioner did not create the condition because_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because_____.

(f) The variance granted is subject to:

1. _____.

2. _____.

3. _____.

4. _____.

2. I move that we **deny** the variance in Case No. **PZ20-0017**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by_____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.



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ZONING BOARD OF APPEALS
APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

MAR 18 2020

CITY OF NOVI
COMMUNITY DEVELOPMENT

I. PROPERTY INFORMATION (Address of subject ZBA Case)
PROJECT NAME / SUBDIVISION: Guernsey Farms Dairy
ADDRESS: 21300 Novi Road
LOT/SIUTE/SPACE #:
SIDWELL #: 50-22-
CROSS ROADS OF PROPERTY:
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? [] YES [X] NO
REQUEST IS FOR: [] RESIDENTIAL [X] COMMERCIAL [] VACANT PROPERTY [] SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? [] YES [] NO
II. APPLICANT INFORMATION
A. APPLICANT
NAME: Roman Bonislowski
ORGANIZATION/COMPANY: Ron and Roman Inc.
ADDRESS: 275 E. Frank Street
CITY: Birmingham
STATE: MI
ZIP CODE: 48009
B. PROPERTY OWNER [] CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER
Identify the person or organization that owns the subject property:
NAME: Joe Kinville
ORGANIZATION/COMPANY: Guernsey Farms Dairy- McGuire Brothers LLC
ADDRESS: 21300 Novi Road
CITY: Northville
STATE: MI
ZIP CODE: 48167
III. ZONING INFORMATION
A. ZONING DISTRICT
[] R-A [] R-1 [] R-2 [] R-3 [] R-4 [] RM-1 [] RM-2 [] MH
[] I-1 [] I-2 [] RC [] TC [] TC-1 [] OTHER B-3
B. VARIANCE REQUESTED
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:
1. Section 28-5 Variance requested Sign Variance for additional signage
2. Section Variance requested
3. Section Variance requested
4. Section Variance requested
IV. FEES AND DRAWINGS
A. FEES
[] Single Family Residential (Existing) \$200 [] (With Violation) \$250 [] Single Family Residential (New) \$250
[] Multiple/Commercial/Industrial \$300 [] (With Violation) \$400 [X] Signs \$300 [] (With Violation) \$400
[] House Moves \$300 [] Special Meetings (At discretion of Board) \$600
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF
• Dimensioned Drawings and Plans
• Site/Plot Plan
• Existing or proposed buildings or addition on the property
• Number & location of all on-site parking, if applicable
• Existing & proposed distance to adjacent property lines
• Location of existing & proposed signs, if applicable
• Floor plans & elevations
• Any other information relevant to the Variance application

Application Fee: \$300.00
Meeting Date: May 12, 2020
ZBA Case #: PZ 20-0017



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

M. Nowakowski
Applicant Signature

3/12/20
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

J. Miller
Property Owner Signature

3/12/20
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date

R O N A N D R O M A N

ZBA explanation- Guernsey Farms Dairy

Standard #1 EXTRAORDINARY CIRCUMSTANCE OR CONDITIONS

D. SCALE OF BUILDING OR LOT FRONTAGE.

We are proposing to keep the existing ground sign as it is now a part of the building heritage and is important to identify the property from the north and as you enter the city from the south. We are proposing to remove a 7.5 sf portion of the sign which reads "restaurant and catering". The 620 foot frontage along Novi Road is exceptionally long and allows for keeping the sign and provide for the relocation of Welcome to the City of Novi sign with minimal impact.

The 232 linear feet of building ranging in height from 16' to 23' result in 4019 sf of façade we are proposing, in addition to the existing ground sign, totaling 54 sf (less than calculated permitted area of 55sf) at the renovated south end of the building. We are also proposing the addition of 8" metal letters on the building identifying the use and heritage along the window head line and turning the corner onto the south wall. This signage takes the place and updates what the removed portion of the ground sign previously identified as "restaurant and catering", and is in addition to the primary wall sign.

Finally we are also proposing the addition of awnings at the second floor windows at the north end of the building with 3" high silk screened valance letters reading "CREAMERY", and a graphic blue ribbon onto the new carry out canvas structure on the south end of the building oriented towards the parking lot.

All of these components when seen on the proposed elevations show how the building size makes it look undersigned and minimal, keeping it consistent with the spirit and intent of the signage ordinance.

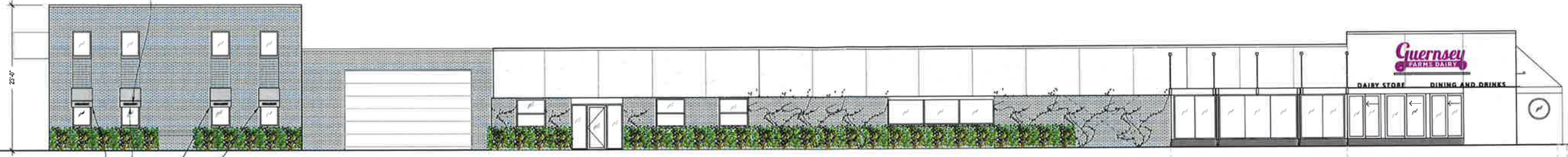
Standard #2. LIMIT USE OF PROPERTY

The proposed addition of the wall sign components are important to the use of the property in identifying the building and the revamped use and appear diminutive on the overall facades. Keeping the ground sign serves to identify the destination from both the north and south, reflects the quality of the dairy and represents a heritage element that would be wrong to lose. Any less relief results in diminishing the heritage and the importance of this long established Novi presence and the requests are not based on cost nor financial return

Standard #3. ADVERSE IMPACT ON SURROUNDING AREA.

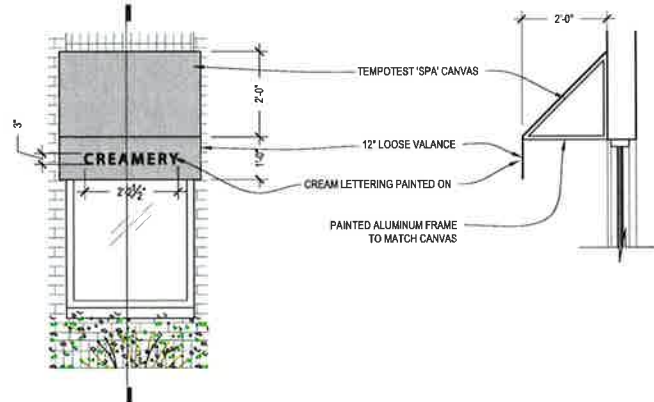
The project is at the southern end of retail along Novi Road and is the first business seen entering the City of Novi from the south. The building's size and orientation result in no visual precedent regarding over signing buildings. The proposed graphic blue ribbon is oriented towards the parking to the south and the addition of first floor awnings at the north end of the building with 3" painted lettering on the valances add detail to that detail-less end of the building. The proposed sign variance will not adversely impact the surrounding area.

CREAM PAINTED LETTERING ON CANVAS

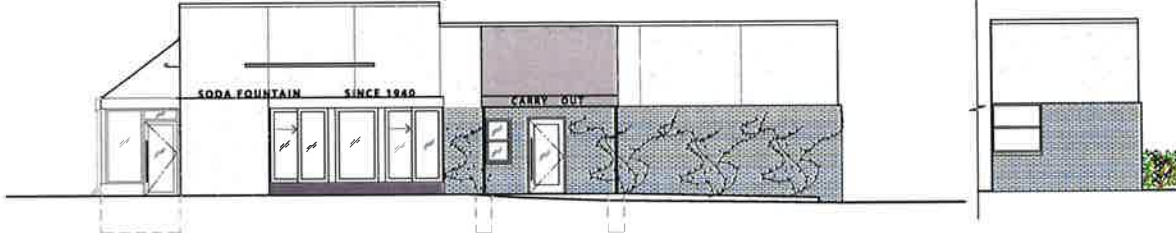


(4) CANVAS AWNINGS WITH PAINTED METAL FRAMES TEMPOTEST 'SPA' WITH FRAMES TO MATCH

1 WEST ELEVATION
scale: 1/8" = 1'-0"



3 AWNING DETAILS X 4
scale: 1/2" = 1'-0" 2.2 SF



2 SOUTH ELEVATION
scale: 1/8" = 1'-0"

2.1 PARTIAL NORTH ELEVATION
scale: 1/8" = 1'-0"

NOTE: ALL NEW WINDOWS TO HAVE DARK GLAZING SPACERS

**ALL SIGNAGE BY SIGN CONTRACTOR UNLESS OTHERWISE NOTED

SIGNAGE CALCULATIONS	
BUSINESS B-3	AWNING SIGN
ALLOWABLE	(1) SIGN OF 24 SF MAXIMUM
PROPOSED	(4) 0 55F SIGNS = 2 SF

RON ANDROMAN
architects et al.
275 E. Frank St., Birmingham, MI 48009
o) 248.723.5790 f) 248.723.5795

GUERNSEY FARMS DAIRY
Renovation of an Existing Restaurant and Ice Cream Shop
21300 New Rd., Northville, MI 48167

Issue Date:	
SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/8/2019
79A	1/22/2020
FINAL SITE PLAN	2/11/2020
SIGNAGE	3/11/20

Sheet Title:
AWNING SIGN DETAILS
Sheet Number:

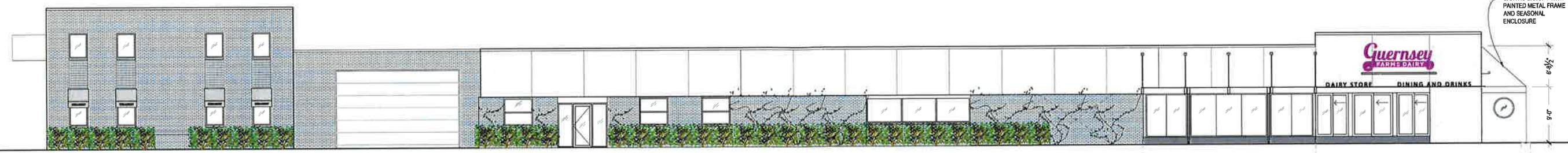
A201

Issue Date:

SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/9/2019
ZBA	1/2/2020
FINAL SITE PLAN	2/11/2020
SIGNAGE	3/11/20

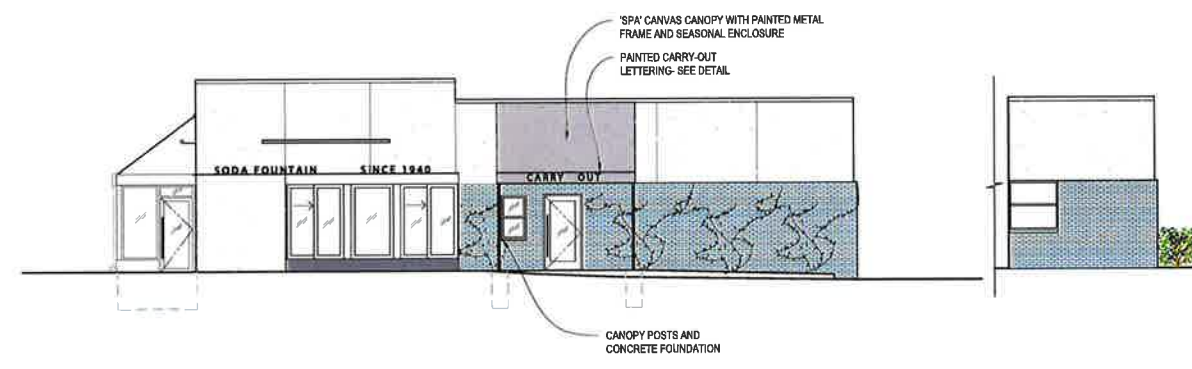
Sheet Title:

AWNING SIGN DETAILS



1 WEST ELEVATION
scale: 1/8" = 1'-0"

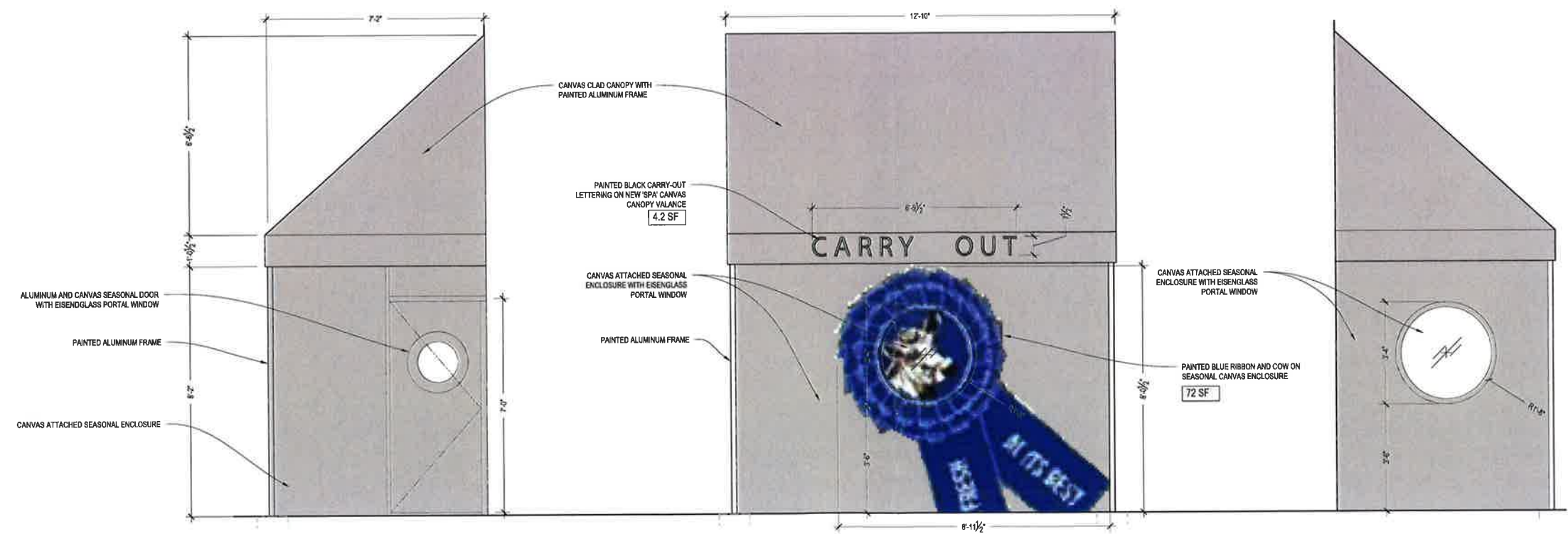
NOTE: ALL NEW WINDOWS AND DOOR GLAZING TO HAVE DARK SPACERS



2 SOUTH ELEVATION
scale: 1/8" = 1'-0"

2.1 PARTIAL NORTH ELEVATION
scale: 1/8" = 1'-0"

NOTE: ALL NEW WINDOWS TO HAVE DARK GLAZING SPACERS



4 CANOPY ELEVATIONS
scale: 1/2" = 1'-0"

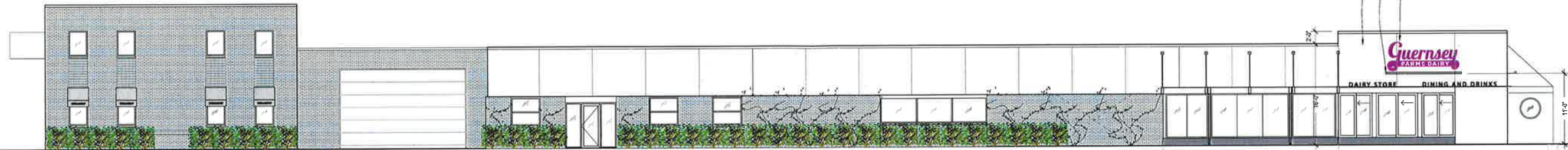
5 CANOPY ELEVATIONS
scale: 1/2" = 1'-0"

6 CANOPY ELEVATIONS
scale: 1/2" = 1'-0"

**ALL SIGNAGE BY SIGN CONTRACTOR UNLESS OTHERWISE NOTED

SIGNAGE CALCULATIONS	
BUSINESS B-3	CANOPY SIGN
ALLOWABLE	(1) SIGN OF 24 SF MAXIMUM
PROPOSED	(1) 4.2 SF SIGN (1) 72 SF 76.2 SF TOTAL SIGNS

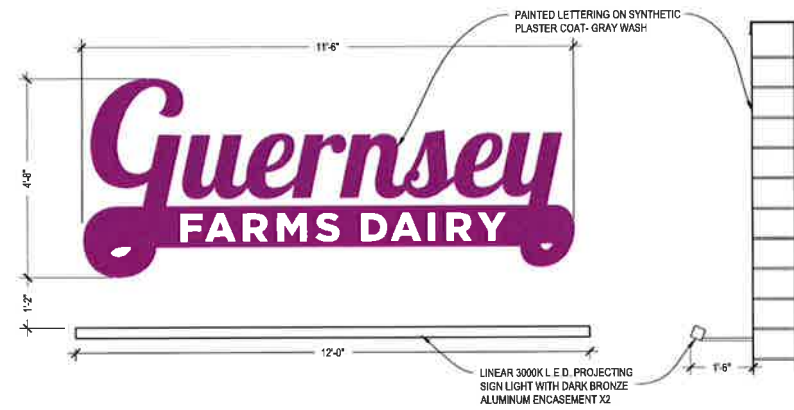
APPLIED CONCRETE CEMENT PLASTER ON BUILT UP CMU BLOCK PARAPET WALL
PROJECTING LINEAR SIGN LIGHTS
PAINTED WALL SIGN - SEE DETAIL



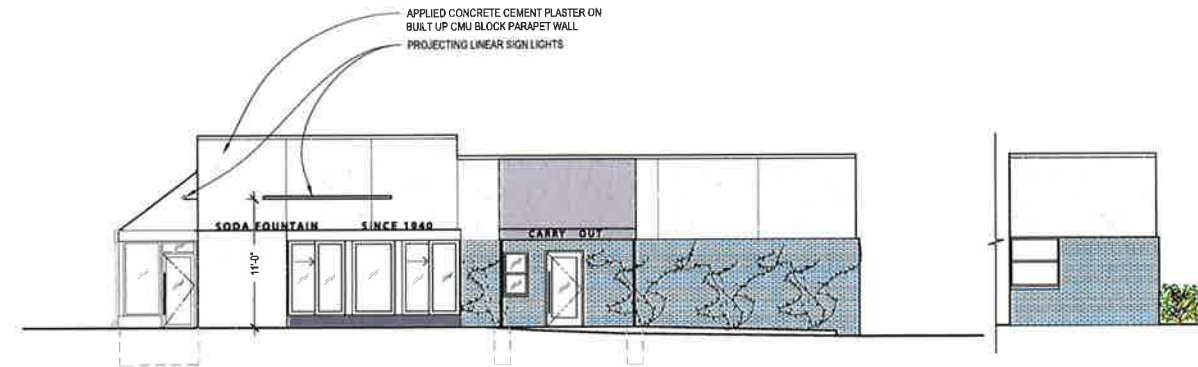
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architects et al.
2175 E. Frank St., Birmingham, MI 48009
01 248.723.5790 | 01 248.723.9795

Project:

1 WEST ELEVATION
scale: 1/8" = 1'-0"



3 WALL SIGN DETAIL 53.7 SF
scale: 1/2" = 1'-0"



2 SOUTH ELEVATION
scale: 1/8" = 1'-0"

2.1 PARTIAL NORTH ELEVATION
scale: 1/8" = 1'-0"

NOTE: ALL NEW WINDOWS TO HAVE DARK GLAZING SPACERS

SIGNAGE CALCULATIONS	
BUSINESS B-3	WALL SIGNS- SINGLE TENANT
ALLOWABLE	250 SF MAXIMUM OR (1)SF FOR EA. (2)SF OF SETBACK 110FT/1 (2) = 55 SF OR 15% OF FRONTAGE= 607 SF
PROPOSED	(1) WEST FACADE PAINTED WALL SIGN AT 54 SF

GUERNSEY FARMS DAIRY
Renovation of an Existing Restaurant and Ice Cream Shop
21300 New Rd., Northville, MI, 48167

Seal:

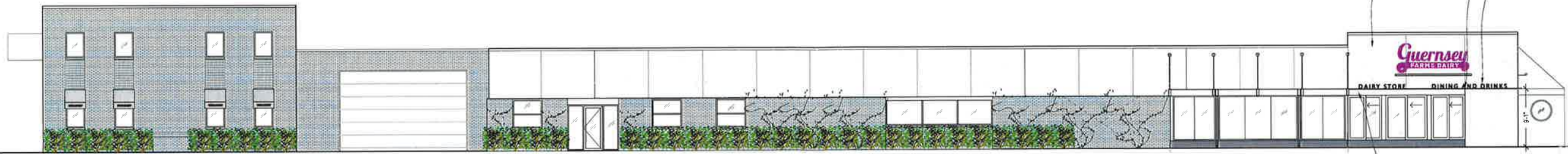
Issue Date:	
SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/6/2019
ZBA	1/2/2020
FINAL SITE PLAN	2/11/2020
SIGNAGE	3/11/20

Sheet Title:

WALL SIGN
DETAILS

Sheet Number:

A201



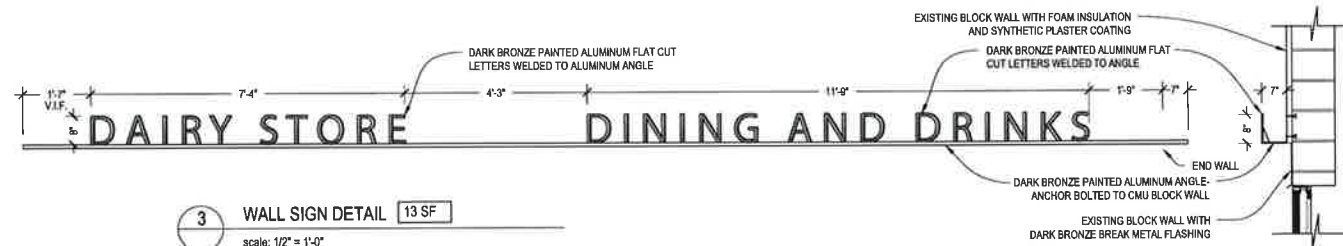
1 WEST ELEVATION
scale: 1/8" = 1'-0"



2 SOUTH ELEVATION
scale: 1/8" = 1'-0"

2.1 PARTIAL NORTH ELEVATION
scale: 1/8" = 1'-0"

NOTE: ALL NEW WINDOWS TO HAVE DARK GLAZING SPACERS



3 WALL SIGN DETAIL 13 SF
scale: 1/2" = 1'-0"

5 WALL SIGN DETAIL SECTION
scale: 1/2" = 1'-0"



4 WALL SIGN DETAIL 10 SF
scale: 1/2" = 1'-0"

SIGNAGE CALCULATIONS	
BUSINESS B-3	WALL SIGNS- SINGLE TENANT
ALLOWABLE	250 SF MAXIMUM OR (1)SF FOR EA. (2)SF OF SETBACK 110FT/ (2) = 55 SF OR 15% OF FRONTAGE= 607 SF
PROPOSED	(1) PINNED OFF METAL SIGN AT 23 SF

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914.246.723.5790 (F) 246.723.5795

Project:
GUERNSEY FARMS DAIRY
Renovation of an Existing Restaurant and Ice Cream Shop
2,300 Nov. Rd., Northville, MI, 48167

Seal:

Issue Date:	
SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/8/2019
ZBA	1/2/2020
FINAL SITE PLAN	2/11/2020
SIGNAGE	3/1/2020

Sheet Title:

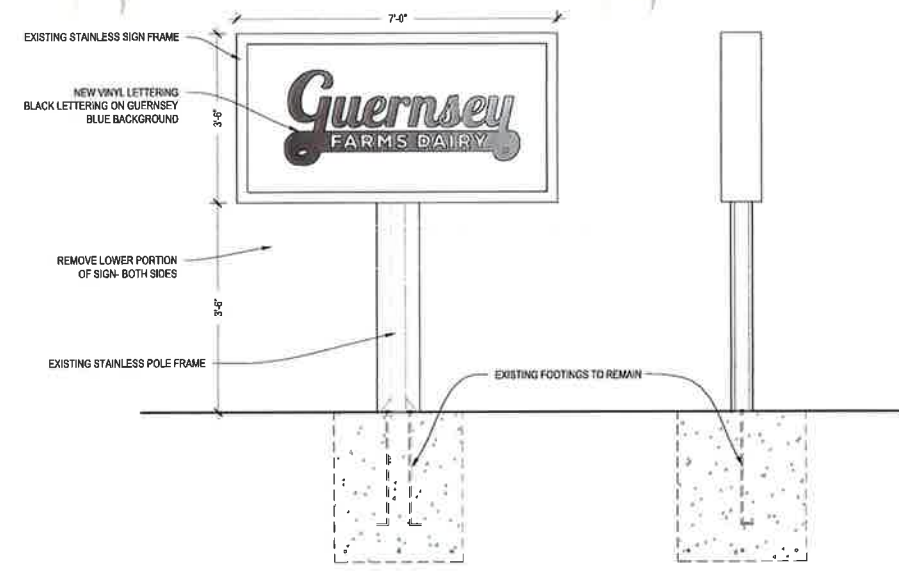
PINNED OFF
WALL SIGN
DETAILS

Sheet Number:

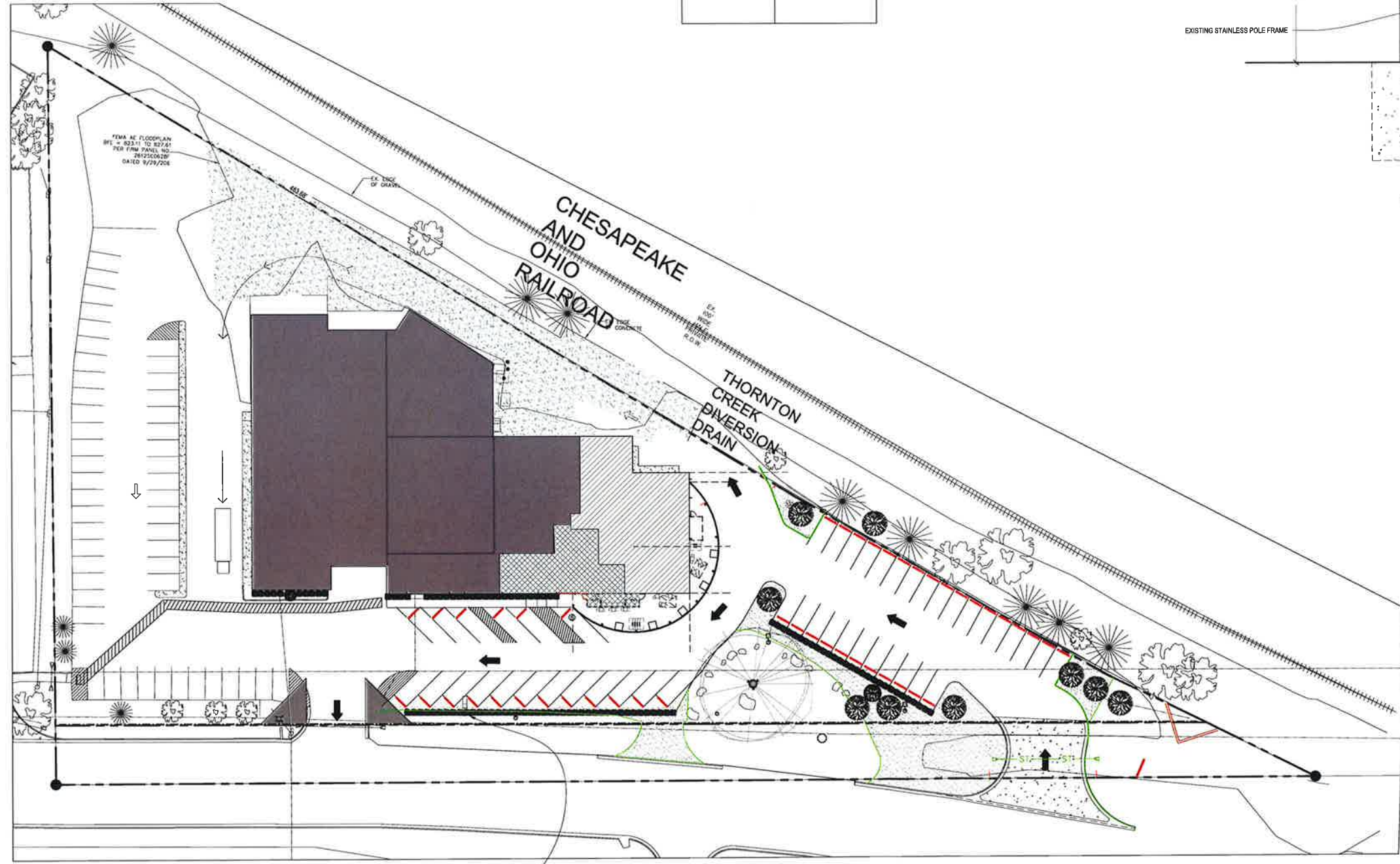
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SIGNAGE CALCULATIONS

BUSINESS S-3	GROUND SIGN
ALLOWABLE	100 SF MAXIMUM OR 1SF / (2)SF SETBACK 70SF (2) = 35SF 6FT HEIGHT MAX
PROPOSED	(1) EXISTING 25 SF POLE SIGN



2 GROUND SIGN DETAIL
scale: 1/2" = 1'-0" **25 SF**



LOCATION OF EXISTING POLE SIGN TO GET NEW GRAPHIC

ARCHITECTURAL SITE PLAN
Scale: 1:30

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Project:

GUERNSEY FARMS DAIRY
Renovation of an Existing Restaurant and Ice Cream Shop
21900 Novi Rd., Northville, MI, 48167

Seal:

Issue Date:	
SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/8/2019
ZBA	1/2/2020
FINAL SITE PLAN	2/11/2020
SIGNAGE	3/11/20

Sheet Title:

POLE SIGN DETAILS

Sheet Number:

A201