

TRAFFIC IMPACT STUDY  
for  
The Sri Venkateswara Temple and Cultural  
Center  
on  
Taft Road between Grand River and 11 Mile  
Road  
Novi, Michigan

*William C. Taylor*

By William C. Taylor, Ph.D., P.E.

June 2008

## Introduction

This traffic impact assessment was prepared at the request of the Sri Venkateswara Temple and Cultural Center, Inc. The proposed development would be located on the west side of Taft Road approximately midway between Grand River Avenue and 11 Mile Road, as shown in Figure 1. The project will consist of a 22,800 sq. ft. Temple, a 31,184 sq. ft. Cultural Center and a 4,460 sq. ft. residence for the priests. Access and egress for the development would be through a four-lane driveway on Taft Road, as shown in Figure 1.

The scope of this traffic assessment includes an analysis of the intersections of Taft Road and Grand River Avenue, Taft Road and 11 Mile Road and the driveway on Taft Road. An analysis was conducted for the a.m. weekday peak hour and the p.m. weekday peak hour at both intersections. In addition, an analysis of the noon hour traffic was conducted at the Taft Road/Grand River Avenue intersection since the existing traffic volume at this hour is comparable to the a.m. and p.m. peak hours.

Since this is a religious land use, and because of the proximity of the commercial establishments along Grand River Avenue, an analysis of the Grand River Avenue/Taft Road intersection was also conducted for the weekend. The driveway analysis was conducted for the peak hour demand at the driveway.

The results of the analysis for each of these locations and time periods is discussed in the following sections of this report.

## Background Traffic

Traffic counts for the intersection of Grand River Avenue and Taft Road were obtained from the Road Commission of Oakland County (RCOC) for Wednesday, April 9, 2008, Saturday, April 12, 2008 and Sunday, April 13, 2008. The a.m. peak hour, noon and p.m. peak hour weekday traffic volumes were entered into SYNCHRO to determine the current level of service (LOS) provided at this intersection.

These traffic volumes are shown in Figures 2, 3 and 4. The SYNCHRO output is included as Appendix A. A summary of the LOS result is shown in Table 1.

Fig. 2, 3 and 4: Weekday traffic volumes at the Taft Road/Grand River Avenue intersection in 2008.

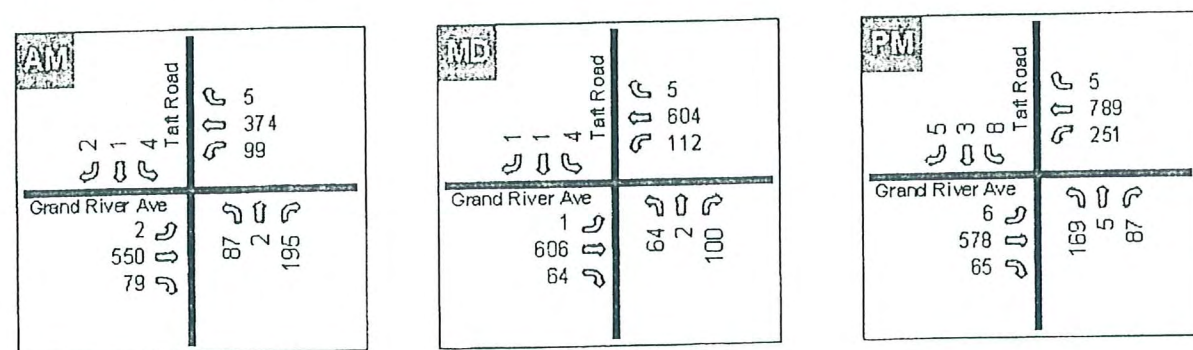
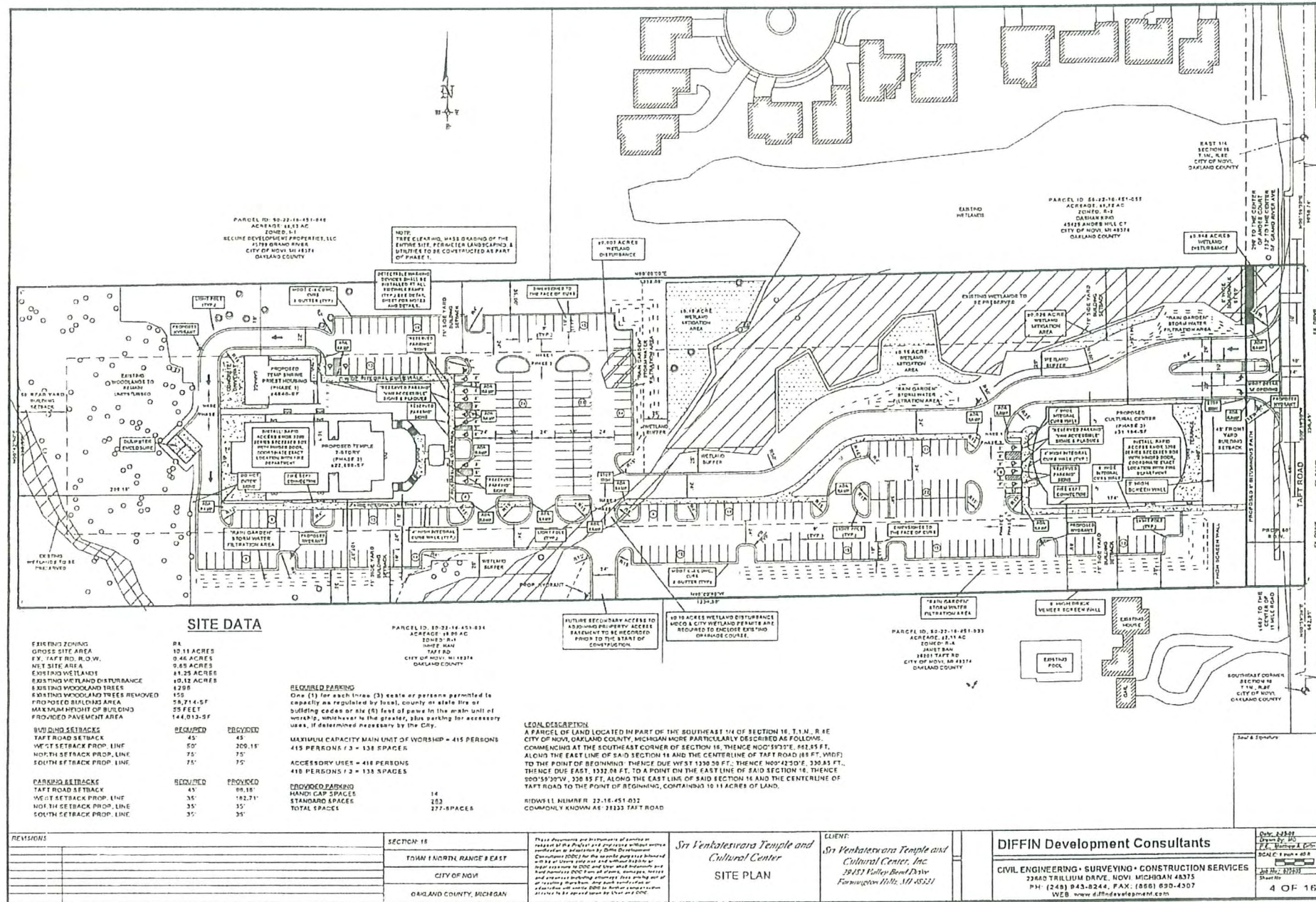




Figure 1: Site plan



**SITE DATA**

EXISTING ZONING	R4	
GROSS SITE AREA	10.11 ACRES	
E.V. TAPF RD. R.O.W.	0.46 ACRES	
NET SITE AREA	9.65 ACRES	
EXISTING WETLANDS	4.25 ACRES	
EXISTING WETLAND DISTURBANCE	40.12 ACRES	
EXISTING WOODLAND TREES	6280	
EXISTING WOODLAND TREES REMOVED	155	
PROPOSED BUILDING AREA	58,714.57	
MAXIMUM HEIGHT OF BUILDING	35 FEET	
PROPOSED PAVEMENT AREA	144,032.57	
<b>BUILDING SETBACKS</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
TAPF ROAD SETBACK	45'	45'
WEST SETBACK PROP. LINE	50'	200.15'
NORTH SETBACK PROP. LINE	75'	75'
SOUTH SETBACK PROP. LINE	75'	75'
<b>PARKING SETBACKS</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
TAPF ROAD SETBACK	45'	68.18'
WEST SETBACK PROP. LINE	35'	182.71'
NORTH SETBACK PROP. LINE	35'	35'
SOUTH SETBACK PROP. LINE	35'	35'

**REQUIRED PARKING**  
 One (1) for each linear (3) seats or persons permitted to capacity as regulated by local, county or state law or building codes or six (6) feet of garage in the main unit of workshop, whichever is the greater, plus parking for accessory uses, if determined necessary by the City.

**MAXIMUM CAPACITY MAIN UNIT OF WORKSHOP = 415 PERSONS**  
 415 PERSONS / 3 = 138 SPACES

**ACCESSORY LINES = 418 PERSONS**  
 418 PERSONS / 2 = 138 SPACES

**PROVIDED PARKING**  
 HANDICAP SPACES: 14  
 STANDARD SPACES: 252  
 TOTAL SPACES: 277 SPACES

**LEGAL DESCRIPTION**  
 A PARCEL OF LAND LOCATED IN PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.1E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 16, THENCE N00°59'32"E, 662.85 FT., ALONG THE EAST LINE OF SAID SECTION 16 AND THE CENTERLINE OF TAPF ROAD (89 FT. WIDE) TO THE POINT OF BEGINNING; THENCE DUE WEST 1330.30 FT.; THENCE N00°25'02"E, 330.85 FT.; THENCE DUE EAST, 1330.85 FT.; TO A POINT ON THE EAST LINE OF SAID SECTION 16, THENCE S00°59'30"W, 330.85 FT., ALONG THE EAST LINE OF SAID SECTION 16 AND THE CENTERLINE OF TAPF ROAD TO THE POINT OF BEGINNING, CONTAINING 10.11 ACRES OF LAND.

RIDWELL NUMBER: 22-16-451-032  
 COMMONLY KNOWN AS: 3823 TAPF ROAD

REVISIONS	SECTION 16
	TOWN 1 NORTH RANGE 8 EAST
	CITY OF NOVI
	OAKLAND COUNTY, MICHIGAN

These drawings are prepared in accordance with the Michigan Professional Land Surveyor Act and the Michigan Professional Engineer Act. The drawings are prepared by the Surveyor and Engineer. The drawings are prepared in accordance with the Michigan Professional Land Surveyor Act and the Michigan Professional Engineer Act. The drawings are prepared in accordance with the Michigan Professional Land Surveyor Act and the Michigan Professional Engineer Act.

*Sri Venkateswara Temple and Cultural Center*  
**SITE PLAN**

CLIENT:  
*Sri Venkateswara Temple and Cultural Center, Inc.*  
 3823 TAPF ROAD  
 Farmington Hills, MI 48334

**DIFFIN Development Consultants**  
 CIVIL ENGINEERING • SURVEYING • CONSTRUCTION SERVICES  
 23640 TRILLIUM DRIVE, NOVI, MICHIGAN 48375  
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 WEB: www.diffindevelopment.com

DATE: 10/20/2023  
 DRAWN BY: JLD  
 CHECKED BY: JLD  
 SCALE: 1" = 40'-0"  
 SHEET NO: 4 OF 16



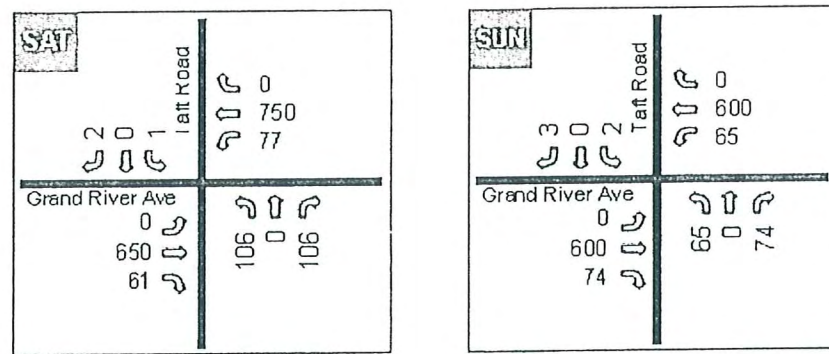
Table 1: Weekday level of service at the Grand River Avenue/Taft Road intersection.

Time	Movement							
	EBL	EBTR	WBL	WBTR	NBL	NBTR	SBL	SBTR
a.m. peak	A	B	B	A	A	A	A	A
p.m. peak	A	A	C	A	B	A	B	B
noon peak	A	A	B	A	A	A	A	A

As shown in Table 1, this intersection operates at a high LOS throughout the day. The lowest LOS was "C" for the westbound left turn traffic in the p.m. peak hour.

The peak hour on Saturday occurs between 12 pm and 1 pm. The peak hour on Sunday occurs between 1 pm and 2 pm. Figures 5 and 6 show the volumes for these hours, and the SYNCHRO output is included as Appendix B.

Figs. 5 and 6: Weekend traffic volumes at the Taft Road/Grand River Avenue intersection in 2008.



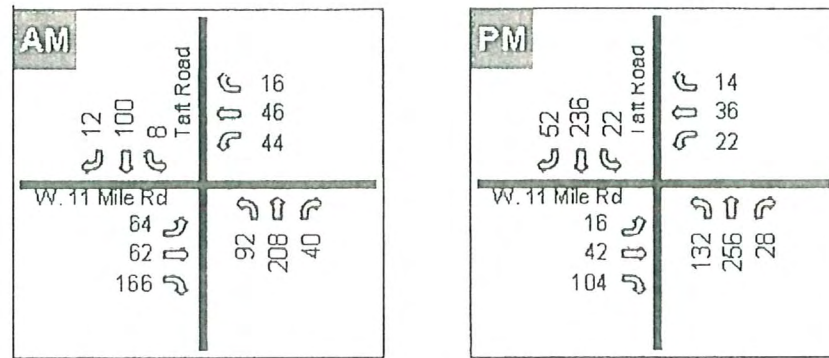
The level of service for each movement on the weekend is shown in Table 2. These results are very similar to the weekday results, with the lowest LOS being "B" for several movements on both days.

Table 2: Weekend level of service at the Grand River Avenue/Taft Road intersection.

Day	Movement							
	EBL	EBTR	WBL	WBTR	NBL	NBTR	SBL	SBTR
Saturday	-	B	B	B	A	A	A	A
Sunday	-	B	B	B	A	A	A	A

An a.m. peak period traffic count was taken at the intersection of Taft Road and 11 Mile Road on Wednesday, April 23, 2008. A p.m. peak period traffic count was taken on Wednesday, April 30, 2008. From these peak period counts the peak hour was identified and a LOS analysis conducted using SYNCHRO. The volumes for the a.m. and p.m. peak hours are shown in Figures 7 and 8 respectively, and the SYNCHRO output is included as Appendix C.

Figs. 7 and 8: Weekday traffic volumes at the Taft Road/11 Mile Road intersection in 2008.



Similar to the Grand River Avenue/Taft Road intersection, the intersection of Taft Road and 11 Mile Road operates at a high level of service. In the a.m. peak hour the LOS is B, A, B, B for the eastbound, westbound, northbound and southbound approaches respectively. The LOS in the p.m. peak hour is B, A, C, B for these four approaches.

#### Generated Traffic

The *ITE Trip Generation Manual* does not have an entry for a Hindu temple, so it was necessary to use a different approach to estimating the number of trips for this project. There is an existing complex in Troy, Michigan (Bharatiya Temple) that has a temple, a cultural center and a priest residence structure. Traffic counts were conducted at this facility by Midwestern Consulting from May 16<sup>th</sup>, 2008 to May 23<sup>rd</sup>, 2008 to determine the number of vehicles entering and leaving the complex each 15-minute period from 7 am to 6 pm. The traffic counts at the Troy complex are included as Appendix D.

The Bharatiya Temple contains 16,000 square feet and the proposed Sri Venkateswara Temple will contain 22,800 square feet. Since the size of the proposed Temple is approximately 1.43 times as large as the Temple in Troy, the traffic volumes recorded in Troy were multiplied by 1.43 to obtain the volumes expected to be generated by the Temple in Novi. These expanded volumes are shown in Table 3 for the weekday A.M. peak hour, the weekday P.M. peak hour, the weekday noon peak hour, and the peak demand hour of the Temple, which occurred from 6:45 to 7:45 P.M. on Saturday.

Table 3: Peak Hour Volume expected at the Novi Complex.

Time period	a.m. peak	p.m. peak	noon peak	Weekend peak
ENTERING	33	36	33	60
EXITING	24	20	40	269

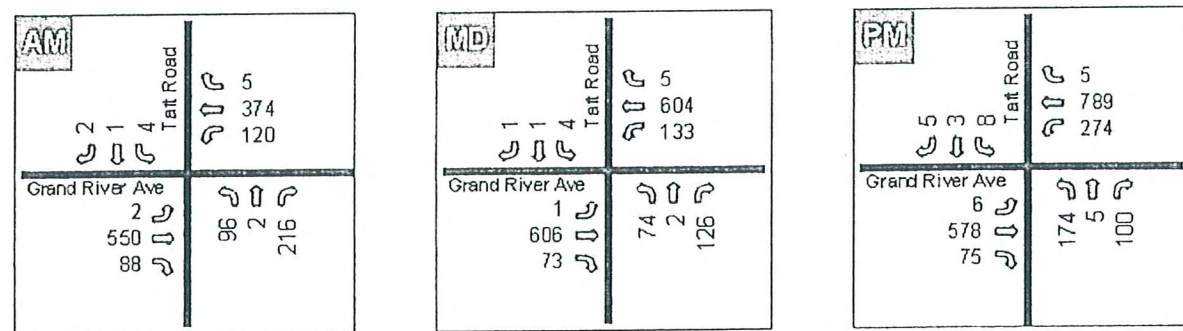
Since the Temple will serve residents from the region rather than just the residents of Novi, it was assumed that 90 percent of the trips would approach and depart the Temple from the north. Seventy percent of these trips were assumed to approach the



intersection of Grand River Avenue and Taft Road from the east and thirty percent were assumed to approach from the west. The remaining 10 percent of the trips were assumed to approach the Temple from the south on Taft Road.

Using these assumptions, and the traffic volumes from Table 3, the trips were added to the existing volumes at the intersection of Grand River Avenue and Taft Road, and the LOS at this intersection determined by using SYNCHRO. The resulting a.m. peak hour, p.m. peak hour and noon peak hour traffic volumes are shown in Figures 9, 10 and 11.

Figs. 9, 10 and 11: Weekday traffic volumes at the Taft Road/Grand River Avenue intersection with this project.



The output of the analysis is shown in Appendix E. A summary of the LOS results are shown in Table 4.

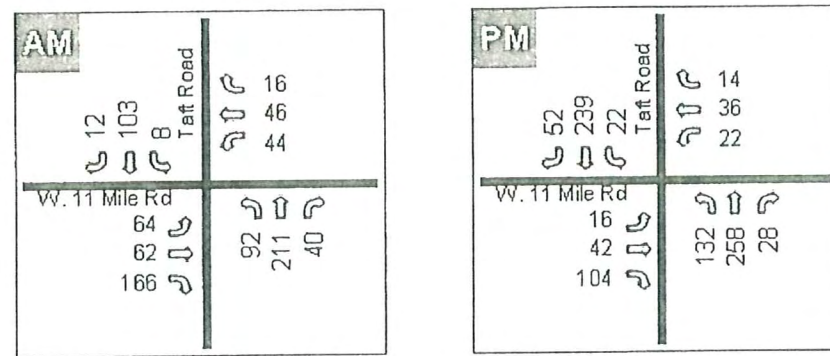
Table 4: Weekday level of service at the Grand River Avenue/Taft Road intersection with the Temple

Table	Movement							
	EBL	EBTR	WBL	WBTR	NBL	NBTR	SBL	SBTR
a.m. peak	A	A	B	A	A	A	A	A
p.m. peak	A	A	C	A	C	A	B	B
Noon peak	A	A	B	A	A	A	A	A

The addition of the Temple results in the northbound left turning movement operating at LOS "C" as opposed to LOS "B" with the background traffic volumes. The eastbound LOS moved from LOS "B" to LOS "A", as a result of a change in the percentage of time assigned to the east-west through movement.

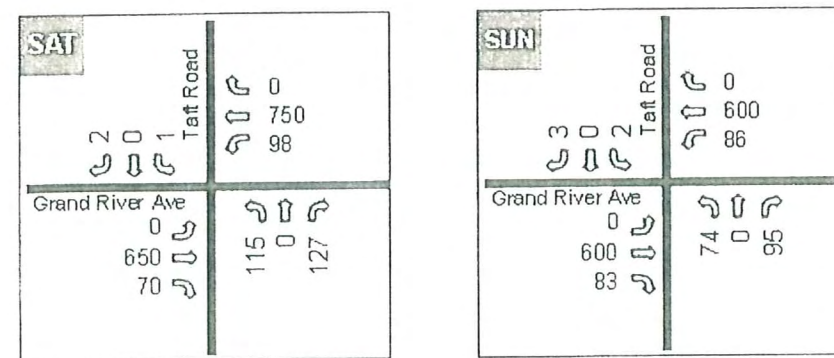
The traffic volumes at the Taft Road/11 Mile Road intersection with the trips generated by the Temple for the a.m. peak hour and the p.m. peak hour are shown in Figures 12 and 13. These small changes in the traffic volume (three additional trips in the northbound and southbound through movements) did not change the LOS at this intersection, as shown by the SYNCHRO output in Appendix F.

Figs. 12 and 13: Weekday traffic volumes at the Taft Road /11 Mile Road intersection with this project.



The traffic volumes counted at the Bharatiya Temple from 12 pm to 1pm on Saturday and from 1pm to 2 pm on Sunday were multiplied by 1.43 and added to the existing traffic volumes for these two time periods. The volumes with the Temple are shown in Figures 5 and 6. The same trip distribution assumption used for the weekday peak hour analysis were used for this analysis. The projected weekend traffic volumes are shown in Figures 14 and 15, and the SYNCHRO analysis is shown in Appendix G. The only LOS change occurred in the westbound left turn movement that went from LOS "B" to LOS "C" with the addition of the Temple.

Figs. 14 and 15: Weekend traffic volumes at the Taft Road/Grand River Avenue intersection with the project.





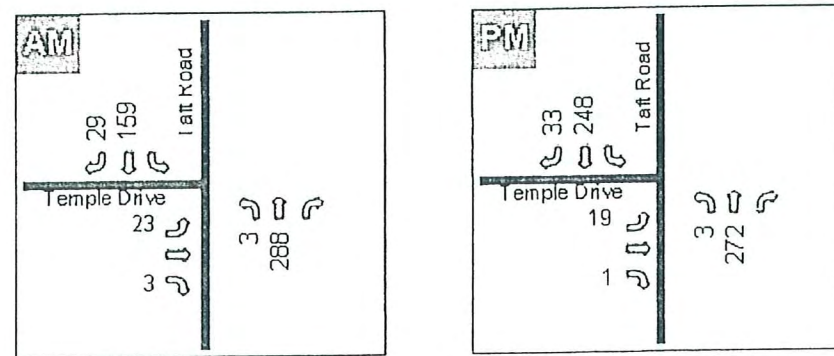
**Safety**

The additional traffic to be generated by the Sri Venkateswara Temple will not create any safety problems for this study area. The intersection of Grand River Avenue and Taft Road is controlled by a traffic signal, and has adequate capacity to safely accommodate the additional traffic. The intersection of Taft Road and 11 Mile Road is operating as a 4-way STOP controlled intersection. There is no significant delay on any of the approaches to this intersection, and this condition will still be true if the Temple is approved.

Taft Road is a straight, nearly level road between Grand River Avenue and 11 Mile Road. The driveway for the Temple will have two inbound lanes and two outbound lanes separated by a median island, as shown in the site plan (Figure 1). The developer proposes to add a deceleration lane on the Taft Road approach to the driveway, and an acceleration lane south of the driveway to ease the merge from the driveway to southbound Taft Road. The driveway volumes are relatively low in the a.m. peak hour and the p.m. peak hour as shown in Table 3. The peak hour for the site in Troy is from 6:45 pm to 7:45 pm on Saturday, when 42 vehicles entered the driveway and 188 vehicles exited the driveway at the Bharatiya Temple in Troy.

These weekday peak hour driveway volumes were multiplied by 1.43 to account for the size of the proposed Temple in Novi. These volumes are shown in Figures 16 and 17. The operation was analyzed using SYNCHRO. The results of this analysis indicate that in these hours, the driveway will operate at LOS "B".

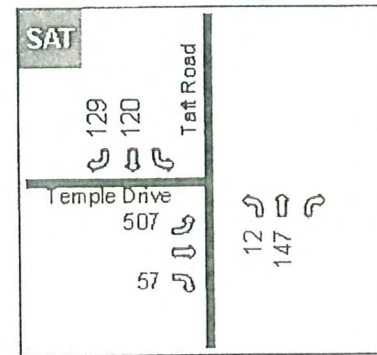
Figs. 16 and 17: Weekday peak hour driveway volumes at the driveway for the Sri Venkateswara Temple.



The Saturday peak use of the driveway was associated with a dinner held in the cultural center at the Bharatiya Temple site. Since the cultural center at the Sri Venkateswara Temple site will be approximately three times the size of the one in Troy, the Saturday driveway traffic was tripled, and the operation analyzed by SYNCHRO. These volumes are shown in Figure 18, and the results of the SYNCHRO analysis for the weekday peak hours and the Saturday peak hour of use are shown in Appendix H.



Fig 18: Traffic volumes for the peak hour demand at the driveway.



Events held in the cultural center that will utilize the entire 31,184 sq. ft of space are expected to be infrequent. When they do occur, the public streets will still operate at LOS "A", but the traffic turning left from the driveway will experience a LOS "D", with an average delay of 30 seconds.

The driveway will be located 752' south of Grand River Avenue and 663' north of 11 Mile Road, so the driveway traffic will not impact the operation of these intersections.

### Parking

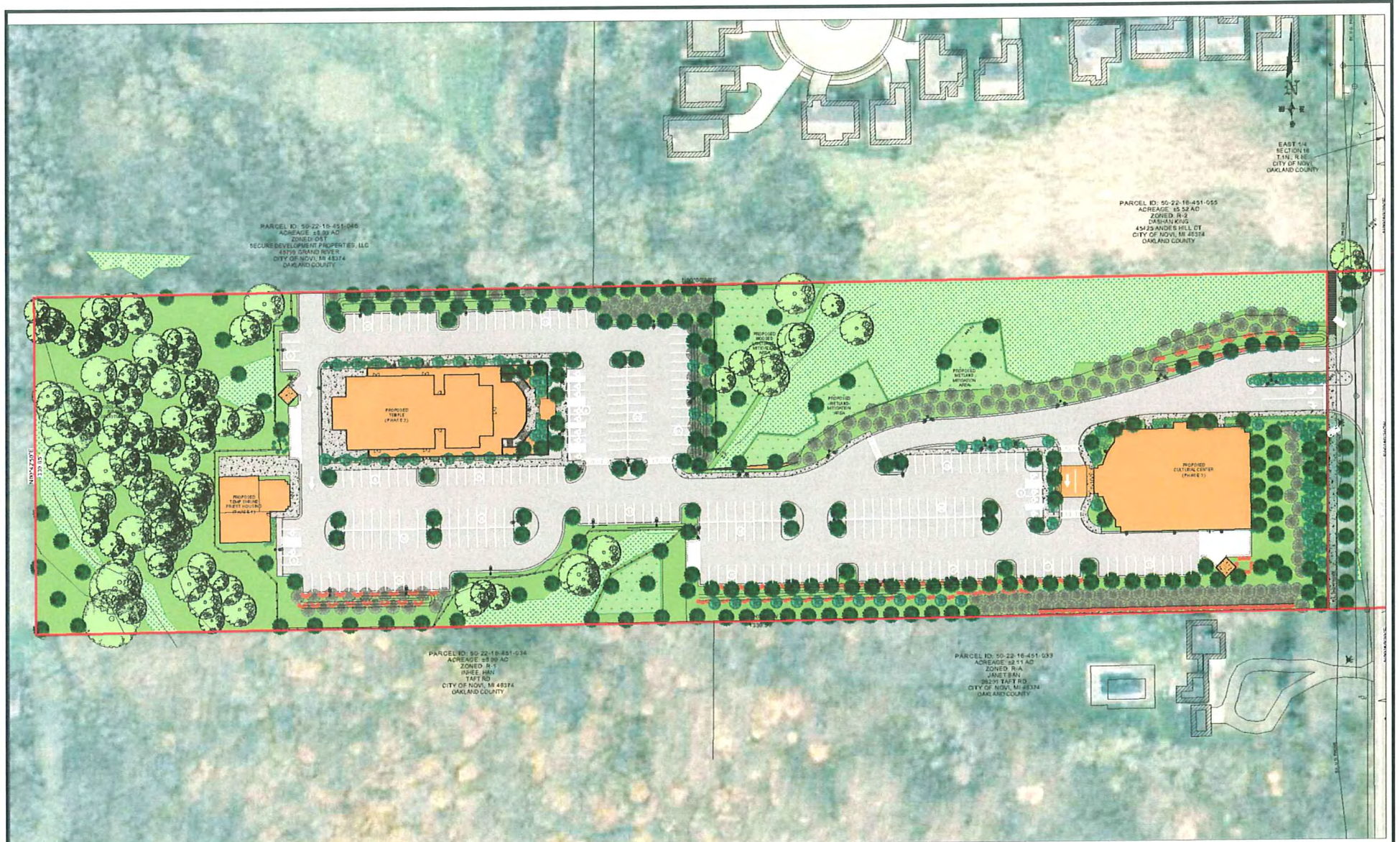
The traffic counts provided by Midwestern Consulting (Appendix D), were analyzed to determine the number of vehicles parked in the lot at the Bharatiya Temple for each 15 minute time period. The maximum number of cars parked was 182. This occurred at 5:30 pm on Saturday. The Sunday peak usage (151 vehicles) occurred at 12:15 pm. The maximum usage on a weekday (67 vehicles) occurred on Wednesday at 5:45 pm.

The site plan is designed with 277 parking spaces. This is 181 more parking spaces than the maximum weekday usage projected for the Sri Venkateswara Temple. However, the weekend parking demand may be an issue. With a cultural center 2.8 times as large as the one in Troy, the potential parking demand would be 510 vehicles, using the same rate of vehicles per square foot if the entire area of the cultural center is utilized at one time. The representative from the Sri Venkateswara Temple indicated that the cultural center proposed for this site in Novi will encompass classroom space and a library as well as space for large gatherings. Since these other parts of this facility would not be used concurrently with the large hall a more realistic estimate of the maximum parking demand should be based on a comparison of the two halls. The hall in the Troy facility contains 11,000 sq. ft, and the hall in the Novi facility will contain 16,000 sq. ft. When this ratio is used, the maximum parking demand estimate is 265 parking spaces, based on the Saturday afternoon accumulation of 182 vehicles recorded in Troy.

## Conclusions

The proposal to construct the Sri Venkateswara Temple and Cultural Center on Taft Road will have very little impact on traffic flow on the public streets. This project generates very little volume during the a.m. and p.m. peak hours on weekdays, when the background traffic volumes are at their highest level. The intersections north and south of the site both have adequate capacity to accommodate the additional traffic during the weekday and on the weekends.





REVISIONS	
6-2-08	REVISED PER ECT 5-27-08 WETLAND DELINEATION
7-8-08	REVISED PER CITY'S 4-10-08 REVIEW COMMENTS

SECTION 16
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

These documents are instruments of service in connection with the project and are not to be construed as a contract. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

**Sri Venkateswara Temple and Cultural Center**  
**SITE PLAN**

CLIENT  
*Sri Venkateswara Temple and Cultural Center, Inc.*  
 2042 Valley Road Drive  
 Farmington Hills, MI 48331

**DDC** **DIFFIN Development Consultants**  
 CIVIL ENGINEERING • SURVEYING • CONSTRUCTION SERVICES  
 24353 TARA DRIVE, SOUTH LYON, MICHIGAN 48176  
 PH: (248) 943-8244, FAX: (866) 690-4307  
 WEB: www.diffindevelopment.com

DATE: 6-6-08
SCALE: 1" = 40' ±
5 OF 17



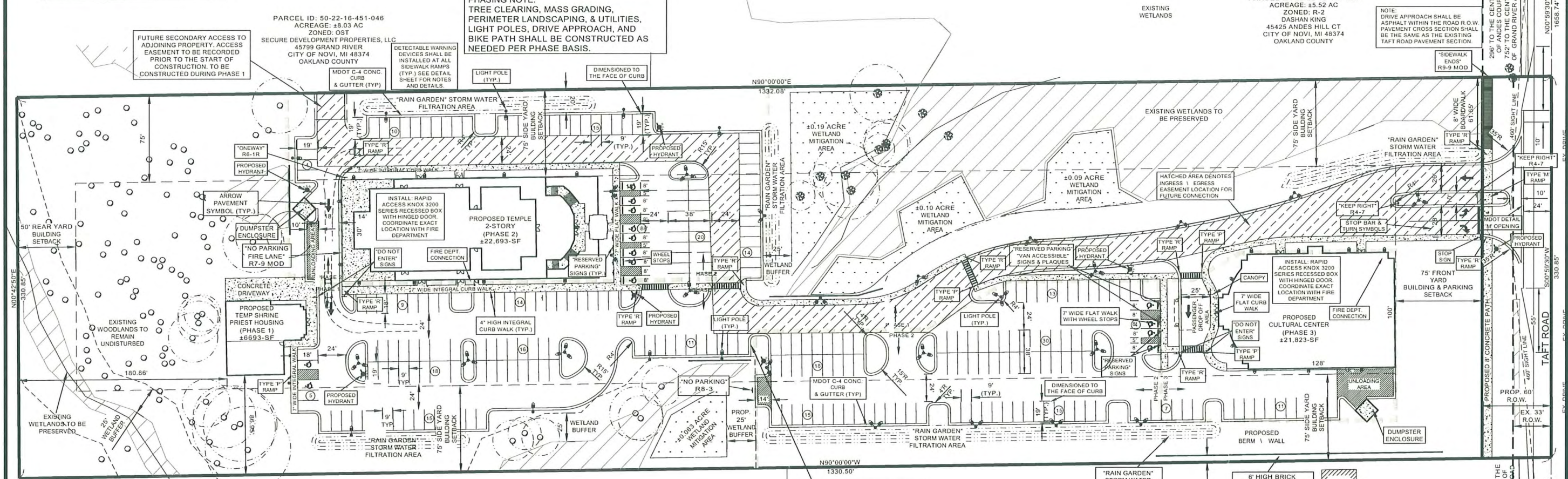




SIGN TABLE		
SIGN #	SIGN TYPE	REQUIRED
R1-1	STOP	1
R5-1	DO NOT ENTER	4
R4-7	KEEP RIGHT	2
R6-1R	ONE WAY	1
R7-8	RESERVED PARKING	16
R7-8A	VAN ACCESSIBLE	8
R8-3	NO PARKING	1
R7-9 MOD	NO PARKING FIRE LANE	1
R9-9 MOD	SIDEWALK ENDS	1

NOTE: ALL SIGNS WILL COMPLY WITH CURRENT MMUTCD STANDARDS.

**PHASING NOTE:**  
TREE CLEARING, MASS GRADING, PERIMETER LANDSCAPING, & UTILITIES, LIGHT POLES, DRIVE APPROACH, AND BIKE PATH SHALL BE CONSTRUCTED AS NEEDED PER PHASE BASIS.



**SITE DATA**

EXISTING ZONING	RA	
GROSS SITE AREA	10.11 ACRES	
PROPOSED TAFT RD. R.O.W.	0.46 ACRES	
NET SITE AREA	9.65 ACRES	
EXISTING WETLANDS	±1.425 ACRES	
EXISTING WETLAND DISTURBANCE	±0.164 ACRES	
EXISTING WOODLAND TREES	±264	
EXISTING WOODLAND TREES REMOVED	148	
PROPOSED BUILDING AREA	51,209-SF	
MAXIMUM HEIGHT OF BUILDING	55'-1"	
PROVIDED PAVEMENT AREA	143,182-SF	
<b>BUILDING SETBACKS</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
TAFT ROAD SETBACK	75'	75'
WEST SETBACK PROP. LINE	50'	180.86'
NORTH SETBACK PROP. LINE	75'	75'
SOUTH SETBACK PROP. LINE	75'	75'
<b>PARKING SETBACKS</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
TAFT ROAD SETBACK	75'	75'
WEST SETBACK PROP. LINE	35'	236.15'
NORTH SETBACK PROP. LINE	20'	20'
SOUTH SETBACK PROP. LINE	35'	35'

**REQUIRED PARKING**  
One (1) for each three (3) seats or persons permitted to capacity as regulated by local, county or state fire or building codes or six (6) feet of pews in the main unit of worship, whichever is the greater, plus parking for accessory uses, if determined necessary by the City.

MAXIMUM CAPACITY MAIN UNIT OF WORSHIP = 560 PERSONS  
560 PERSONS / 3 = 187 SPACES

CULTURAL CENTER = 432 PERSONS  
432 PERSONS / 3 = 144 SPACES

**PROVIDED PARKING**

HANDI CAP SPACES	14
STANDARD SPACES	258
TOTAL SPACES	272-SPACES

PROVIDED PHASE 1 PARKING = 88 SPACES  
PROVIDED PHASE 2 PARKING = 169 SPACES  
PROVIDED PHASE 3 PARKING = 15 SPACES

**LEGAL DESCRIPTION:**  
A PARCEL OF LAND LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 16, T.1 N., R.8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 16, THENCE N00°59'30"E, 662.95 FT. ALONG THE EAST LINE OF SAID SECTION 16 AND THE CENTERLINE OF TAFT ROAD (66 FT. WIDE) TO THE POINT OF BEGINNING; THENCE DUE WEST 1330.50 FT.; THENCE N00°42'50"E, 330.85 FT.; THENCE DUE EAST, 1332.08 FT. TO A POINT ON THE EAST LINE OF SAID SECTION 16; THENCE S00°59'30"W, 330.85 FT. ALONG THE EAST LINE OF SAID SECTION 16 AND THE CENTERLINE OF TAFT ROAD TO THE POINT OF BEGINNING, CONTAINING 10.11 ACRES OF LAND.

SIDWELL NUMBER: 22-16-451-032  
COMMONLY KNOWN AS: 26233 TAFT ROAD

**FIRE DEPARTMENT NOTES:**  
ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.

ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.

THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.

THE LOCATION OF THE FIRE DEPARTMENT CONNECTIONS ON THE TEMPLE AND CULTURAL CENTER SHALL BE COORDINATED BETWEEN THE ARCHITECT, THE SPRINKLER DESIGNER, AND THE FIRE DEPARTMENT. THEY SHALL BE IN AN ACCESSIBLE LOCATION ON THE FRONT/ADDRESS SIDE OF THE BUILDING AND WITHIN 100' OF THE HYDRANT.

REVISIONS	DATE	DESCRIPTION
6-2-08	REVISED PER ECT 5-27-08 WETLAND DELINEATION	
7-8-08	REVISED PER CITY'S 4-10-08 REVIEW COMMENTS	
10-4-08	REVISED PER CITY'S 9-12-08 REVIEW COMMENTS	

SECTION: 16  
TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

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Sri Venkateswara Temple and Cultural Center  
SITE PLAN

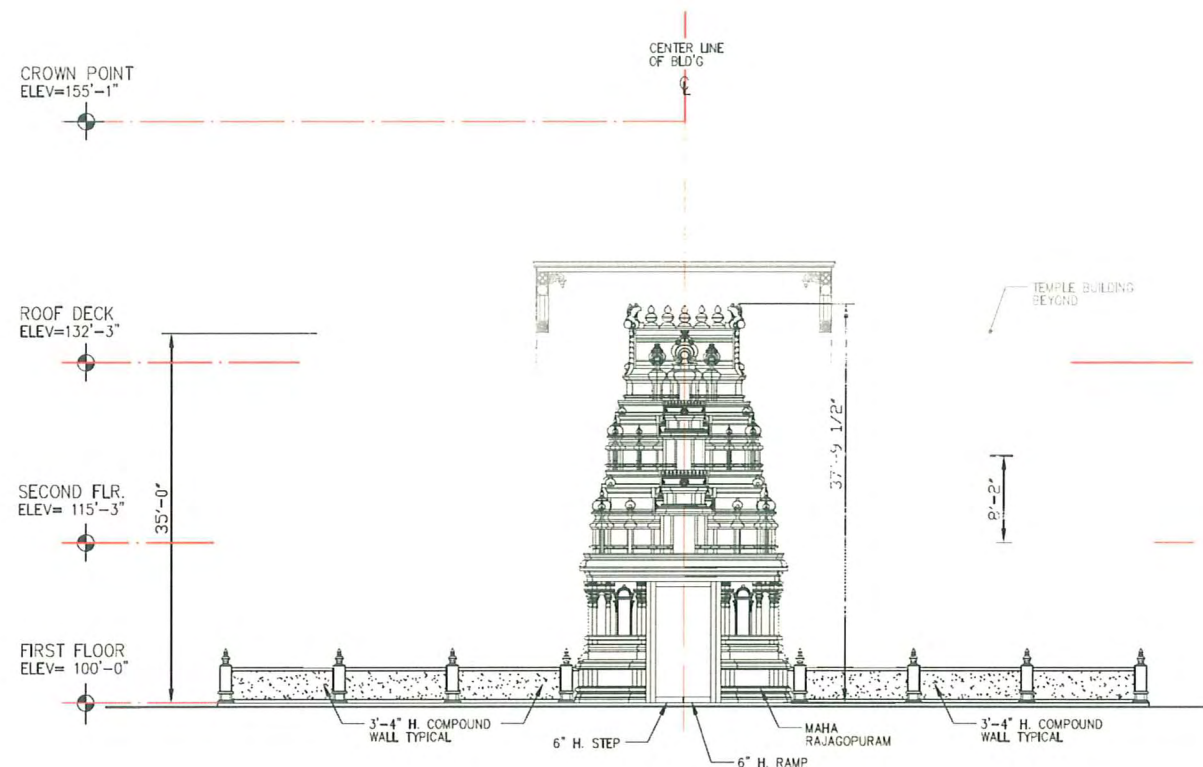
CLIENT:  
Sri Venkateswara Temple and Cultural Center, Inc.  
29482 Valley Bend Drive  
Farmington Hills, MI 48331



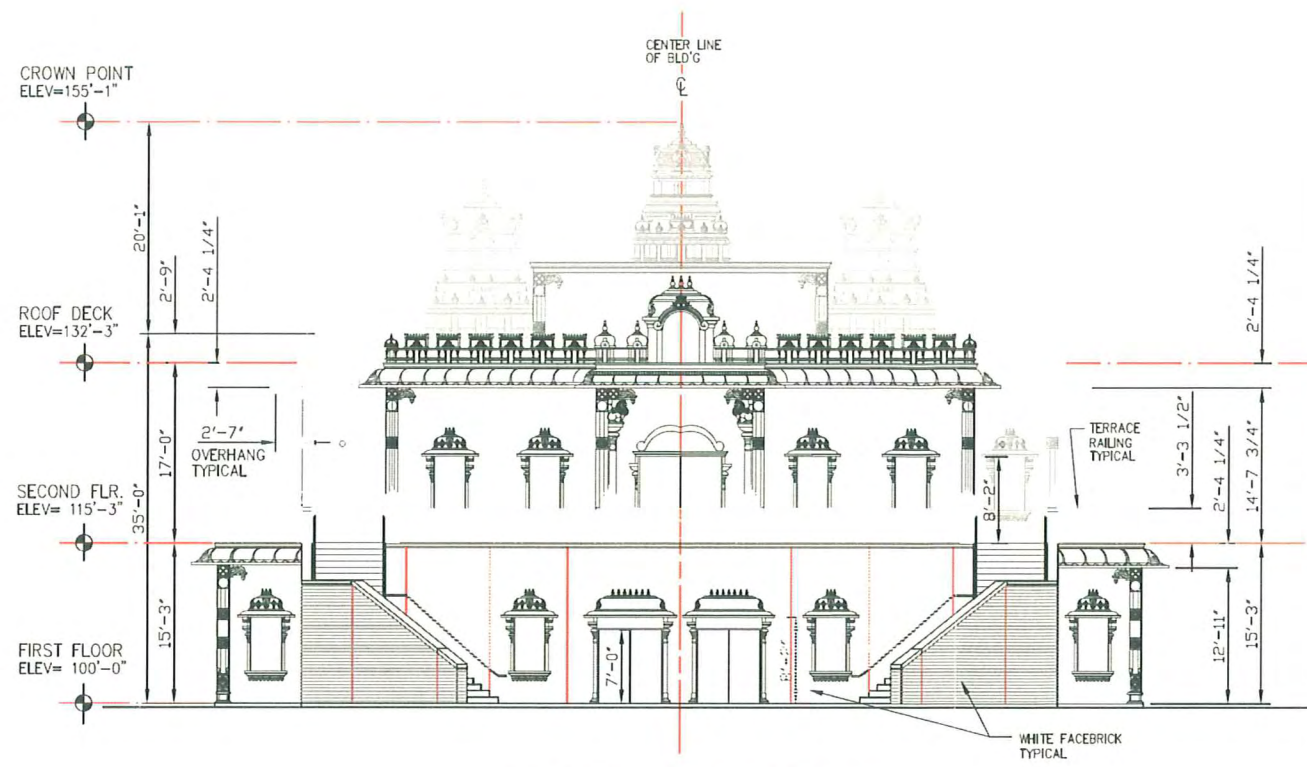
**DIFFIN Development Consultants**  
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24353 TARA DRIVE, SOUTH LYON, MICHIGAN 48178  
PH: (248) 943-8244, FAX: (866) 690-4307  
WEB: www.diffindevelopment.com

DATE: 10-4-08  
Drawn By: MD  
P.E.: Matthew A. Diffin  
SCALE: 1 inch = 40 ft.  
Job No.: 070805  
Sheet No.:  
5 OF 16

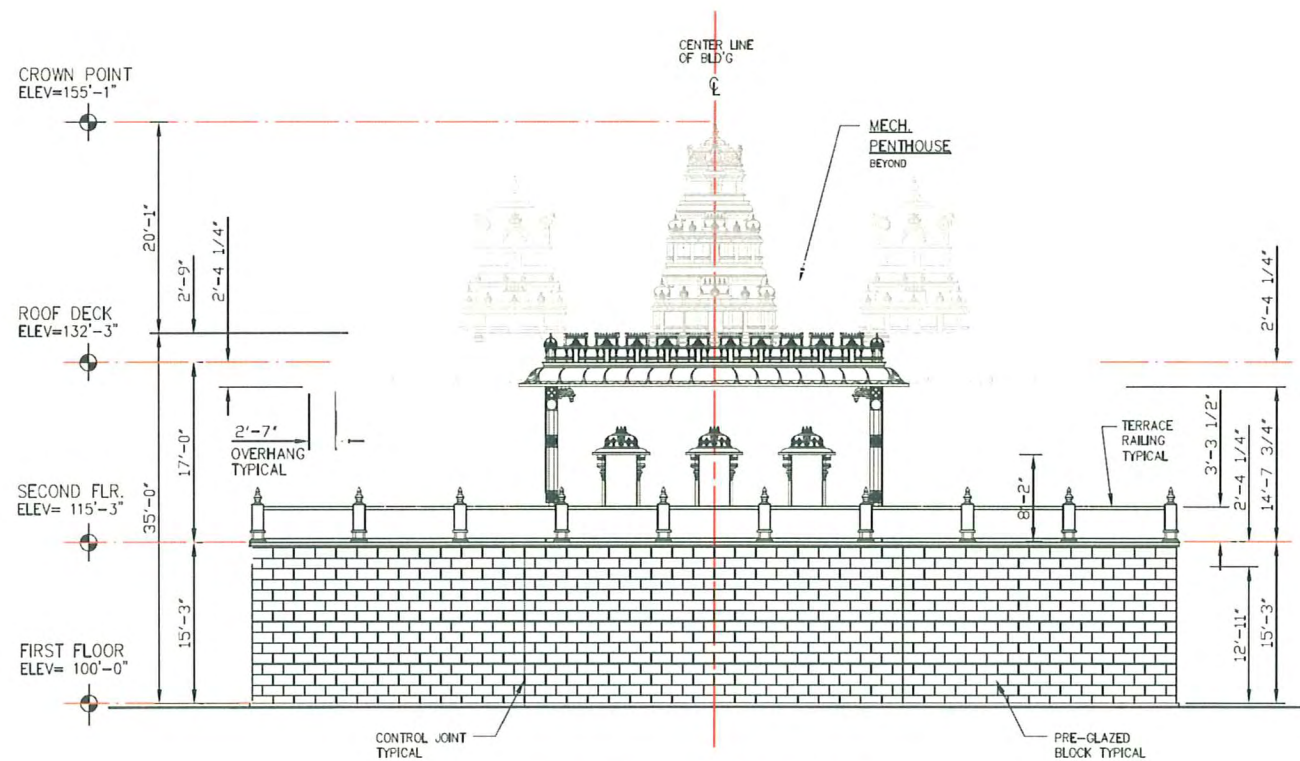




**EAST ELEVATION - A**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION - B**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

CONSULTING ARCHITECT:  
**M. MATHYALAGAN**  
DP/INT./ARCH/ME

1-INDIA-1132/25,  
PADMA RAO MARG,  
SECUNDERABAD, INDIA,  
PHONE: 040-2722245,  
cell: 9988007149,  
Gmail: mathy@rediffmail.com

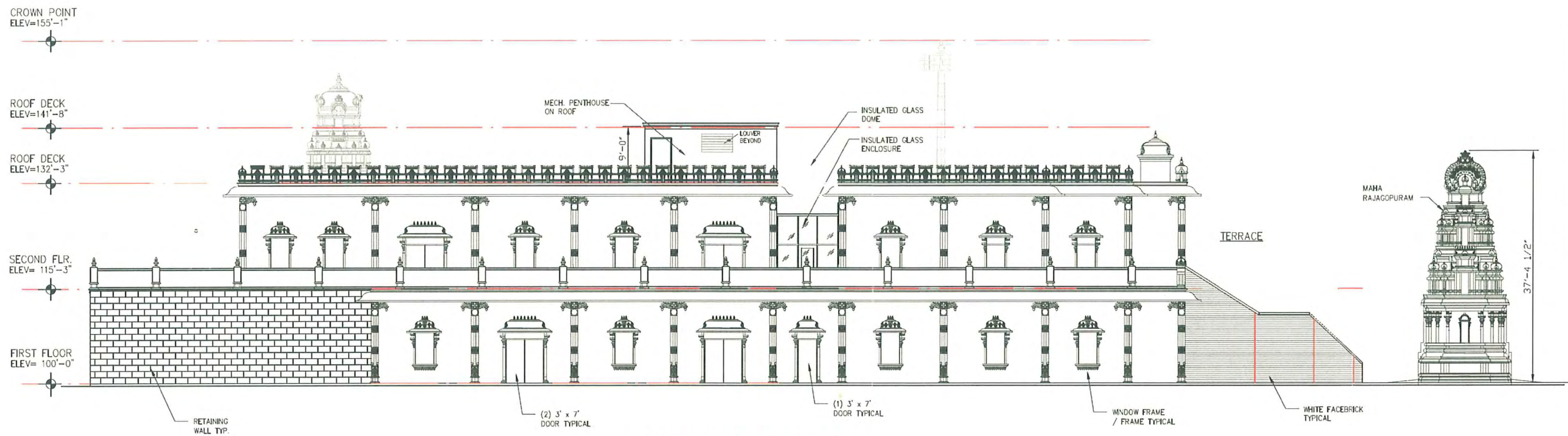
**MANYAM GROUP**  
603 N. FERRIS BLVD.  
FRANKSOUTH, MI 48704  
PHONE: 989.652.3000  
ARCHITECTURE - ENGINEERING - ENERGY CONSULTING - FACILITIES MANAGEMENT

PHASE II: TEMPLE - BUILDING ELEVATIONS  
**SV TEMPLE AND CULTURAL CENTER**  
NOV. MICHIGAN

DATE	REVISIONS / NOTES
7-25-08	PRELIMINARY NOT FOR CONSTRUCTION
DRAWN BY DP	
CHECKED BY PM	
SCALE 1/8" = 1'-0"	
DATE 7-21-08	
JOB NUMBER -	
SHEET NUMBER <b>A205</b>	

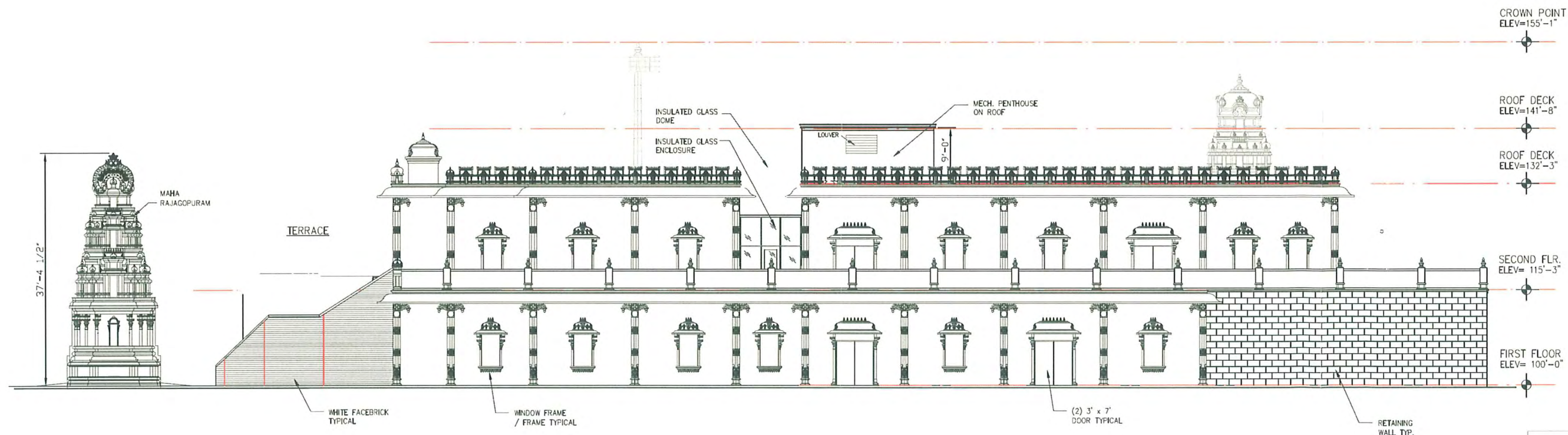
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**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

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ARCHITECTURE - ENGINEERING - ENERGY CONSULTING - FACILITIES MANAGEMENT

PHASE II: TEMPLE - BUILDING ELEVATIONS  
**SV TEMPLE AND CULTURAL CENTER**  
 NOVI, MICHIGAN

DATE	REVISIONS / NOTES
2-25-08	PRELIMINARY NOT FOR CONSTRUCTION
DRAWN BY: DP	
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SCALE: 1/8" = 1'-0"	
DATE: 7-21-08	
JOB NUMBER: -	
SHEET NUMBER: <b>A206</b>	

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