



## Maples Place SP 12-15

### **Maples Place SP 12-15**

Consideration of the request of Maple Place Investment, LLC for Maples Place for revised Preliminary Site Plan, Phasing Plan and Stormwater Management Plan approval. The subject property is located on the south side of 14 Mile Road and east of Novi Road, in Section 2 of the City. The property totals 3.46 acres and the applicant is proposing to alter the configuration of and uses permitted in the previously approved outlots of the Maples Place shopping center.

### **REQUIRED ACTION**

Approval or denial of the revised Preliminary Site Plan, Phasing Plan and Stormwater Management Plan.

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	Approval recommended	04/09/12	Items to be addressed on the revised Final Site Plan submittal.
Engineering	Approval recommended	03/16/12	Items to be addressed on the revised Final Site Plan submittal.
Traffic	Approval recommended	03/13/12	Items to be addressed on the revised Final Site Plan submittal.
Landscaping	Approval recommended	03/13/12	<ul style="list-style-type: none"> <li>• Landscape waiver required for lack of street trees along Centennial.</li> <li>• Landscape waiver required for parking lot canopy trees.</li> <li>• Items to be addressed on the revised Final Site Plan submittal.</li> </ul>
Facade	Approval recommended	02/15/12	<ul style="list-style-type: none"> <li>• Section 9 waiver required for overages of cultured brick veneer and asphalt shingles.</li> <li>• Sample board required.</li> </ul>
Fire	Approval not recommended	03/16/12	Applicant should provide hydrant locations and water main information.

## Motion sheet

### Approval – revised Preliminary Site Plan and Phasing Plan

In the matter of the request Maple Place Investment, LLC for Maples Place SP 12-15, motion to **approve** the revised Preliminary Site Plan and Phasing Plan, subject to the following:

- a. Landscape waiver for the lack of street trees along Centennial;
- b. Landscape waiver for the lack of parking lot canopy trees;
- c. Façade waiver for the overages of cultured brick veneer and asphalt shingles;
- d. Applicant submitting the required façade board;
- e. Applicant providing hydrant locations and water main information; and
- f. Compliance with all the conditions and requirements listed in the staff and consultant review letters;
- g. *(additional conditions here if any)*

*(because the plan is otherwise in compliance with the approved PUD Agreement and all other applicable provisions of the Zoning Ordinance.)*

### Approval – revised Stormwater Management Plan

In the matter of the request of Maple Place Investment, LLC for Maples Place, SP 12-15, motion to **approve** of the revised Stormwater Management Plan, subject to:

- a. Compliance with all the conditions and requirements listed in the staff and consultant review letters;
- b. *(additional conditions here if any)*

*(because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and the approved PUD Agreement.)*

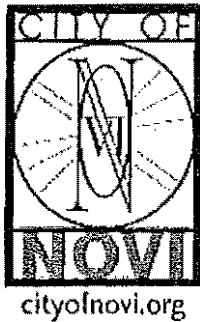
Denial – revised Preliminary Site Plan and Phasing Plan

In the matter of the request of Maple Place Investment, LLC for Maples Place, SP 12-15, motion to **deny** the revised Preliminary Site Plan and Phasing Plan ...because the plan is not in compliance with the approved PUD Agreement.

Denial – revised Stormwater Management Plan

In the matter of the request of Maple Place Investment, LLC for Maples Place, SP 12-15, motion to **deny** of the revised Stormwater Management Plan...because the plan is not in compliance with Chapter 11 of the Code of Ordinances and the approved PUD Agreement.

## PLANNING REVIEW



## PLAN REVIEW CENTER REPORT

April 9, 2012

### Planning Review

Maples Place

SP 12-15

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#### Petitioner

Maple Place Investment, LLC

#### Review Type

Preliminary/Final Site Plan

#### Property Characteristics

- Site Location: South of 14 Mile Road, East of Novi Road (Section 2)
- Site Zoning: RA, Residential Acreage, **WITH AN PUD AGREEMENT**
- Adjoining Zoning: North: Commerce Township; East: RA (across Centennial Drive); West: RM-1 PRO (across Novi Road); South: RA
- Site Use(s): Currently Vacant Land
- Adjoining Uses: North: Commerce Township; East: Attached Residential (across Centennial Drive); West: Maple Manor Convalescent Home (across Novi Road); South: Golf Course, Attached Residential
- Site Size: 3.46 acres
- Plan Date: 01/09/12

#### Project Summary

The Maples Place shopping center was approved under the originally submitted and approved Maples Place PUD, which showed a shopping center in the location of the subject property. The main shopping center building was constructed as part of SP98-04. Two of the outlots shown on that plan have not been constructed. The applicant is now proposing to alter the configuration and uses permitted in those outlots.

Under the proposed development project, the 6,000 sq. ft. building fronting on Fourteen Mile Road would be reclassified from specifically restaurant use to any use permitted in B-2. Minor changes to the building and site layout have also been proposed. A portion of the 6,000 sq. ft. building ('Building D'), will be used as a dentist's office; the remainder of the building use has not been specifically identified. The square footage of the office building to the south of Building D has been changed from 24,900 sq. ft. to 24,384 sq. ft. to better reflect the actual square footage of the building. Minor changes to the parking lot layout surrounding the 24,384 sq. ft. office building are also proposed. The building footprint will remain the same. Additionally, a revised phasing plan for the 3.46 acres has been proposed.

Under the PUD Agreement and the former PUD Ordinance, a substantial change to the approved PUD area plan requires formal submittal as a plan change to City Council, while a minor change does not. Staff is of the opinion that these issues are not a substantial change to the originally approved PUD area plan and that the amendments should be reviewed as a change to the originally approved site plan, SP98-04, only. The PUD Ordinance (Section 2700 of the Zoning Ordinance - since retracted) required all Preliminary Site Plans be reviewed and approved by the Planning Commission. Planning Commission review and approval of the revised Preliminary Site Plan is required.

### Recommendation

Approval of the *Preliminary Site Plan, only, is recommended*, so long as there are no changes to the permitted uses. The Final Site Plan cannot be approved until the issues identified below and in the attached review letters have been addressed. The applicant should make the appropriate corrections to the plan and submit a revised Final Site Plan for review and approval.

### Review Standards

This project was reviewed under the standards of the PUD agreement covering the site.

1. Elevations and Landscape Plans: No elevations, floor plans or landscape plans for the 24,384 office building have been submitted. Elevations, floor plans and landscape plans for the Phase 2 building should be provided. It appears changes to any previously approved landscape plan would be required as parking lot landscape islands have been added to the site. If elevations and floor plans were previously approved as part of SP98-04 and no changes are proposed, those elevations and floor plans should be included for reference.
2. Parking: Phase 2 of the proposed plan requires 110 spaces and 82 spaces have been included in Phase 2. However, when combined with Phase 1, adequate parking for both phases is provided. A condition of the Stamping Set approval will be that Phase 1 must be constructed prior to Phase 2. Alternately, the applicant could adjust the phasing lines to provide adequate parking for Phase 2.
3. Barrier Free Spaces: A minimum of 4 barrier free spaces must be included in Phase 2. The applicant should add one barrier free space to Phase 2.
4. Dumpster Screening: Dumpster screening details should be included with the next plan submittal.
5. Photometric Plan: No photometric details have been provided. A photometric plan for both Phases 1 and 2 should be included with the next plan submittal. Refer to Section 2511 of the Zoning Ordinance for photometric plan requirements.
6. B-2 Uses: The applicant has proposed all B-2 uses be permitted in the speculative space (2,661 sq. ft.) of Building D. The PUD Agreement limits the retail uses allowed in this area to "food store, drug store, hardware/appliance, hair/beauty salon, eatery/entertainment, clothing/apparel and personal service" and limits the office uses to "legal, dental, clinic/medical, health club/aerobics, accounting, insurance and financial services." This change in uses would not be permitted unless the PUD Agreement and PUD area plan were amended by the City Council after a full hearing process under the PUD Ordinance.

### Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested with the next plan submittal.

### Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at [www.cityofnovi.org](http://www.cityofnovi.org) under the forms page of the Community Development Department.

Please contact Jeannie Niland [248,347,0438] in the Community Development Department with any specific questions regarding addressing of sites.

### Pre-Construction Meeting

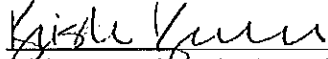
Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are

*Planning Review of Preliminary/Final Site Plan*  
*Maples Place*  
*SP12-15*

April 9, 2012  
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a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the Pre-Con, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



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Kristen Kapelanski, AICP, Planner  
Attachments: Planning Review Chart

**Planning Review Summary Chart**

Maples Place SP12-15

Preliminary/Final Site Plan

Site Plan Date: 01/09/12

**Bolded items to be addressed on Final Site Plan.**

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Community Commercial	No change	Yes	
Zoning	RA, Residential Acreage with a PUD Agreement	No change	Yes	
Use (Maples PUD Agreement)	Convenience Commercial and Office Uses	6,000 sq. ft. Office (Bldg. D) 24,384 sq. ft. Office	Yes	Uses outlined in the Maples Place PUD Agreement.
Building Heights (Sec. 2400)	30 feet maximum	Bldg. D: 29 ft. 24,384 sq. ft. Office: Elevations not provided	Yes	Elevations for the 24,384 sq. ft. office have not been provided. See plan review letter for additional information.
<b>Building Setbacks (Sec. 2400)</b>				
Front Yard (North)	30 feet	50 feet	Yes	
Interior Side Yard (East)	15 feet	40 feet	Yes	
Interior Side Yard (West)	15 feet	70 feet	Yes	
Rear Yard (South)	20 feet	118 feet	Yes	
<b>Parking Setbacks (Sec. 2400)</b>				
Front Yard (North)	20 feet	24 feet	Yes	
Interior Side (East)	15 feet	42 feet	Yes	
Interior Side Yard (West)	15 feet	7 feet	No	Location of parking approved with previous plan SP98-04.
Rear Yard (South)	20 feet	39 feet	Yes	



Item	Required	Proposed	Meets Requirements?	Comments
<b>Parking</b>				
Number of Parking Spaces (Sec. 2505)	<u>Phase 1</u> Medical Office: One space for each 167 sq. ft.  $3,339 \text{ sq. ft.} / 167 = 20$ spaces required  Restaurant: One space for each 70 sq. ft.  $2,661 \text{ sq. ft.} / 70 = 38$ spaces  <b>58 spaces required for Phase 1</b>  <u>Phase 2</u> General Office: One space for each 222 sq. ft.  $24,384 / 222 = 110$ spaces required for Phase 2  <b>168 spaces required for the entire site</b>	Phase 1: 91 spaces  Phase 2: 82 spaces  173 spaces provided total	Yes	Applicant must construct Phase 1 prior to the construction of Phase 2 in order to meet parking requirements.
Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)	9' x 19' parking space dimensions ( 9' x 17' if over sidewalk) and 24 feet wide drives	9' x 19' and 9' x 17' angled parking spaces proposed. 24' wide maneuvering lanes are proposed. 4" curb indicated where required.	Yes	Spaces appear to be dimensioned to back of curb and should be dimensioned to face of curb. See the traffic review letter for additional information.
<b>Barrier Free Parking</b>				
Barrier Free Spaces (Barrier Free Design Manual)	Phase 1: 4 barrier free (1 van accessible)  Phase 2: 4 barrier free (1 van accessible)	Phase 1: 5 accessible spaces (4 van accessible)  Phase 2: 3 accessible spaces (2 van accessible)	No	One additional van accessible space should be included in Phase 2.

Item	Required	Proposed	Meets Requirements?	Comments
Barrier Free Signs (Barrier Free Design Manual)	1 sign for each accessible space required.	No signs provided	No	Applicant should provide one barrier free sign for each space.
<b>Other</b>				
Dumpster and Refuse (Chapter II, Sec. 16-20; Chapter II Sec. 21, division 8; Appendix A Sec. 2520.1; & Appendix A Sec. 2503.1.D)	<p>Refuse must be contained properly</p> <p>For dumpsters:</p> <p>Screen wall or fence required for all dumpsters, must be at least five feet in height, and provided on three sides. Enclosure to match building materials</p> <p>No detached accessory building shall be located closer than ten (10) feet to any main building nor shall it be located closer than (6) feet to any interior side lot or rear lot line.</p>	<p>Dumpster set back 79 feet from nearest property line and 10 feet from Building D.</p> <p>Screening details not provided.</p>	No	Applicant should provide screening details in accordance with Zoning Ordinance requirements.
Loading Spaces (Sec. 2507.5)	<p>Must be located in rear yard at a ratio of 10 sq. ft. for each front foot of building.</p> <p>Building D; 600 sq. ft. required</p> <p>24,384 sq. ft. Office: 1,480 sq. ft. required</p>	<p>Building D: 1,000 sq. ft. provided in rear of building</p> <p>24,384 sq. ft. Office: 650 sq. ft. provided in the side yard</p>	<p>Yes</p> <p>No</p>	Loading zone for 24,384 sq. ft. Office previously approved as part of SP98-04.
Exterior Lighting (Sec. 251.1)	Photometric plan and exterior lighting details needed at final site plan	Lighting plan not provided.	No	Applicant should provide photometric plan for site lighting.
Sidewalks (City Code Sec. 11-276 b)	<p>5 ft. sidewalk required along Ten Mile Road.</p> <p>Site should be connected to</p>	Sidewalk existing along Fourteen Mile Road.	Yes	See the traffic review letter for additional information on providing pedestrian

Item	Required	Proposed	Meets Requirements?	Comments
	sidewalk system.			connections.
Signs (City Code Chap. 28)				Contact Jeannie Niland at 248-735-5678 for sign permit information.

**ENGINEERING REVIEW**



## PLAN REVIEW CENTER REPORT

March 16, 2012

### Engineering Review

Maples Place  
SP12-15

#### Petitioner

Maple Place Investment, LLC., property owner

#### Review Type

Preliminary Site Plan/Final Site Plan

#### Property Characteristics

- Site Location: S. of 14 Mile
- Site Size: 3,4643 acres
- Plan Date: 3/1/2012

#### Project Summary

- Construction of the two phase project which includes a 6,000 sq ft. building (Phase I) and a 24,384 sq ft. building (Phase II) along with the associated parking. Site access would be provided by existing access drive within the existing portion of Maples Place.
- Water service for Phase I and II would be provided by the existing 12-inch and 8-inch water main sections parallel to 14 Mile Rd within parcel boundaries. A 2-inch domestic lead and a 6-inch fire lead would be provided to serve each of the buildings.
- Sanitary sewer service would be provided by the existing 8-inch sanitary sewer with a 6-inch domestic lead connected to each of the proposed buildings.
- Storm water would be collected by the existing storm sewer system with the addition of a new catch basin and storm sewer segment in Phase I and a new catch basin constructed over the existing storm sewer in Phase II. The storm sewer discharges into two existing sediment forebays/basin on the south property line.
- Phase II parking requirements are dependent on parking supplied in Phase I.

#### Recommendation

Approval of the Preliminary Site Plan is recommended.

Approval of the Final Site Plan is NOT recommended.

#### Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual.

The Final Site Plan does not meet the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual. The following must be addressed prior to resubmittal:

General

1. Show all existing and proposed cross-access and drainage easements on plans with liber and page.
2. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
3. Provide the City's standard detail sheets storm sewer (1 Sheet-6/15/98) and paving (1 Sheet-12/15/00) at the time of the Stamping Set submittal.
4. Properly detail the existing versus the proposed sidewalk. The plan set shows areas of proposed sidewalk as existing.

Paving & Grading

5. Revise the grading plan to include contours, at 2 ft. intervals, of the existing and proposed elevations
6. Revise 4" Concrete Sidewalk Detail to include ¼ inch per foot side slope towards drainage side.
7. Provide a cross-section detail for any proposed/modified retaining walls.

Storm Sewer

8. A minimum cover of 3 ft. will be maintained for all proposed storm sewer facilities.
9. Provide a profile of all proposed storm sewer.
10. Provide a detail for the new catch basin constructed over the existing storm sewer

Storm Water Management Plan

11. Provide calculations/survey to verifying that the capacity of the existing storm water discharge system is functioning with an operating capacity as designated in the original P.U.D. agreement. If the existing system does not meet the original design capacity, revise the storm water management plan accordingly.
12. Revise the existing storm water management plan for Maples Place to reflect the proposed site plan.

**The following must be submitted with the Final Site Plan:**

13. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.
14. An Itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. The estimate must be itemized for each utility (water, sanitary, storm sewer), on-site paving (square footage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted with the Stamping Set:**

(Please note that all documents must be submitted together as a package with the Stamping Set submittal. Partial submittals will not be accepted).

15. A draft copy of the proposed Ingress/Egress easement for shared use of the drive entry on Fourteen Mile Rd or a copy of an existing Ingress/Egress easement must be submitted to the Community Development.
16. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
17. Executed copies of any required off-site utility easements (if any are required) or copies of existing off-site utility easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

18. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
19. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). A grading permit fee in the amount of \$TBD must be paid to the City Treasurer's Office.
20. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
21. Construction inspection fees in the amount of \$TBD must be paid to the City Treasurer's Office.
22. A storm water performance guarantee in the amount of \$TBD (equal to 150% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Treasurer's Office.

23. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Department at 248-735-5642 to determine the amount of these fees.
24. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchionni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
25. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resource Commissioner.
26. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:**

27. The amount of the incomplete site work performance guarantee for this development at this time is \$TBD (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
28. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and City Engineer.
29. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
30. A letter of credit or cash in an amount of \$TBD (10% of the cost of storm water facilities for projects of less than \$100,000, or 5% for the cost of projects over \$100,000) must be posted for the storm water facilities. This deposit will be held for one year after the date of completion of construction and final inspection of the storm water facilities.

Please contact Adam Wayne at (248) 735-5648 with any questions.

  
Adam Wayne

cc: Ben Croy, Engineering  
Brian Coburn, Engineering  
Kristen Kapelanski, Community Development Department  
Tina Glenn, Water & Sewer Dept.  
Shelta Weber, Treasurer's  
T. Meadows, C. Sapp; Spalding DeDecker



TRAFFIC REVIEW

March 13, 2012

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375



**SUBJECT: Maples Place (3.46 acres), SP#12-15,  
Traffic Review of Preliminary and Final Site Plan**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

### **Recommendation**

We recommend approval of the preliminary site plan only, subject to the issues shown below in **bold** being satisfactorily addressed in a revised final site plan.

### **Project Description**

What is the applicant proposing?

1. The applicant, Maples Place Investment, LLC (David Goldberg), is proposing a two-phase completion of the commercial elements of the Maples Place PUD (see attached aerial). Phase 1 would consist of a one-story, 6,000-s.f. building near 14 Mile Road, to be divided into a 3,339-s.f. dental office and 2,661 s.f. of unspecified tenant space. The applicant's letter reviews the PUD's history, noting that the 6,000-s.f. building previously planned for this portion of the site would have consisted of a restaurant (see attached excerpt of the final site plan stamped in June 1999). The applicant's letter goes on to express the desire is to "modify the permitted uses [within this building] from specifically a 'Restaurant' use, to **any permitted uses allowed in the City of Novi's B-2 zoning classification**" (emphasis added by BA). We believe that this needs to be clarified, since one of the principal permitted uses within a B-2 district is a sit-down restaurant (others including miscellaneous retail, personal and professional services, other small offices, and instructional centers).
2. Phase 2 would consist of a two-story, 24,384-s.f. general office building more to the rear of the site. This building would likely use some of the parking west of the Phase 1 building, as well as a new lot along the south and east sides of the site.
3. The applicant's letter also states that "there is no proposed change whatsoever to the layout or configuration of the site...". This is not be strictly true, however, as a close comparison of the current plan the to the previously approved plan (excerpted in the attachment to this letter) reveals a number of changes in the design of the parking lots (size of islands, number of spaces, locations of barrier-free spaces, etc.).

### Trip Generation

How much traffic would the proposed development generate?

4. The proposed dental office can be expected to generate 8 one-way vehicle trips in the AM peak hour (6 in and 2 out) and 14 one-way vehicle trips in the PM peak hour (4 in and 10 out). The remaining space within the Phase 1 building could generate in either peak hour as few as 3-7 trips if used as a small retail shop or office, and as many as 30-31 trips if used as a sit-down restaurant (some from pass-by traffic or elsewhere on the site).
5. The proposed Phase 2 office building can be expected to generate 61 trips in the AM peak hour (54 in and 7 out) and 106 trips in the PM peak hour (18 in and 88 out).

### Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

6. Not applicable, as both buildings would be accessed by existing driveways.

### Vehicular Access Improvements

Will there be any improvements to the abutting road at the proposed driveways?

7. Not applicable, as both buildings would be accessed by existing driveways.

### Driveway Design and Control

Are the driveways acceptably designed and signed?

8. Not applicable, as both buildings would be accessed by existing driveways.

### Pedestrian Access

Are pedestrians safely and reasonably accommodated?

9. No. Pedestrians wanting to walk to the Phase 1 building (e.g., residents of the future Maples Manor senior housing complex that may want to walk to the proposed dental office) would not be well-served. **The sidewalk along the front of the Phase 1 building should be extended 24 ft to the 14 Mile Road sidewalk. If the applicant prefers, this extension could narrow to 5 ft from the 7 ft used adjacent to the parking lot.**
10. Pedestrian ramps are shown relative to striped parking spaces only on engineering sheets 4-5 and, at least for the Phase 1 building, on landscape sheet L-01. **Ramps should also be shown on the engineering sheet 1, the Composite Plan.**
11. The parallel pedestrian ramps on the north side of the Phase 2 building (shown on sheet 4) are centered on the doors but would not be accessible from the parking lot with a vehicle parked in the abutting space. **These ramps should be spread so that the landing extends from the west side of the 5-ft-wide access aisle to the east side of the 8-ft-wide access aisle. This will require a bumper block for the intervening space.**

**An alternative design could be considered, as long as access to the ramps is not blocked by a parking vehicle.**

12. **The parallel pedestrian ramps on the east side of the Phase 2 building align with the 5-ft-wide access aisle. To better serve potential wheelchair users, the landing between ramps should be lengthened to also about the 8-ft-wide access aisle.**

### **Parking and Circulation**

Is the parking layout satisfactory? Can vehicles safely and conveniently maneuver through the site?

13. **The two large Islands immediately west of the Phase 1 building are designed 2 ft too short. Per Sec 2506.13 of the Zoning Ordinance, end islands are generally to be constructed 3 ft shorter than the adjacent parking stall, or 32 ft long given the two 19-ft-long end-to-end stalls.**
14. **To comply with Zoning Ordinance specifications for parking space width, all end spaces must be drawn and noted as being either 8 ft wide (if barrier-free) or 9 ft wide (if not), referenced to the face of curb. These plans appear to incorrectly reference parking space width to back of curb.**
15. **The existing curb at the northwest corner of the Phase 1 parking lot should be extended more smoothly into the newly paved area, and the radius of the proper (continuous) curve should be dimensioned.**
16. **To meet current City standards, the thickened edge sidewalks should rise no more than 4 inches above the adjacent pavement, at least where there are abutting 17-ft-long parking spaces which require maximum vehicle overhang of the walk. Similarly, curbs adjacent to parking spaces should rise no higher than 4 inches above the adjacent pavement.**
17. **City policy requires compliance with the Michigan Manual on Uniform Traffic Control Devices. Accordingly:**
  - a. **A note should be added indicating compliance with the 2011 MMUTCD.**
  - b. **Non-barrier-free parking spaces must be striped with white paint (not yellow), and barrier-free pavement markings should be the normal shade of blue. Relative to the latter, the wheelchair symbol in each designated space should face the aisle (not the sidewalk), from either the center of the space or a location somewhat closer to the drive aisle. Also, the cross-hatching of the access aisles should span the aisles at a sharper angle than shown (desirably 45°).**
  - c. **Each barrier-free parking space adjacent to a 5-ft-wide access aisle must be equipped with a RESERVED PARKING (R7-8) sign, and each barrier-free parking space adjacent to an 8-ft-wide access aisle must be equipped with a**

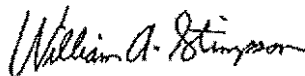
**R7-8 sign supplemented by a R7-8a (VAN ACCESSIBLE) sign. There should be a minimum of 7 ft under each R7-8 sign and a minimum of 6 ft-3 inches under each R7-8a sign. The signs for spaces around the periphery of a parking lot should be at the back of the sidewalk (or on the building façade if appropriate), and posts for signs at interior spaces should be embedded within concrete-filled steel posts painted yellow.**

18. The locations of barrier-free parking spaces may have to be adjusted, not only to work with proposed sidewalk ramps, but also to provide satisfactory locations for the signing required at each such space.
19. The designated loading zone at the south end of the Phase I building is not identified with any striping or signing. Per normal practice in Novi, the loading zone should be crosshatched with 4-inch-wide yellow striping 4 ft on-center, and a **NO PARKING - LOADING ZONE (R7-6)** sign should be placed midway along the south side of the zone, 2 ft behind the curb.
20. A **Signing Quantities** table should be added, listing each sign by verbal description, **MMUTCD** sign code, and quantity required.

Sincerely,  
BIRCHLER ARROYO ASSOCIATES, INC.

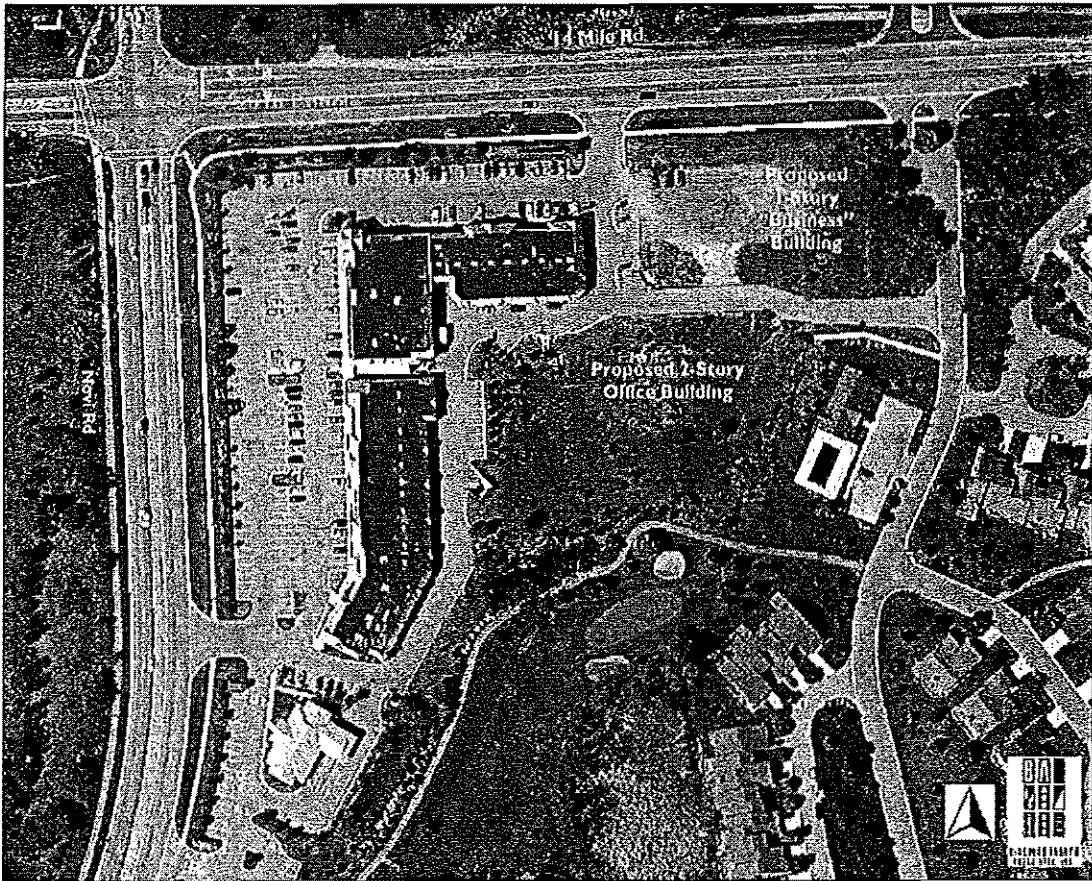


Rodney L. Arroyo, AICP  
Vice President

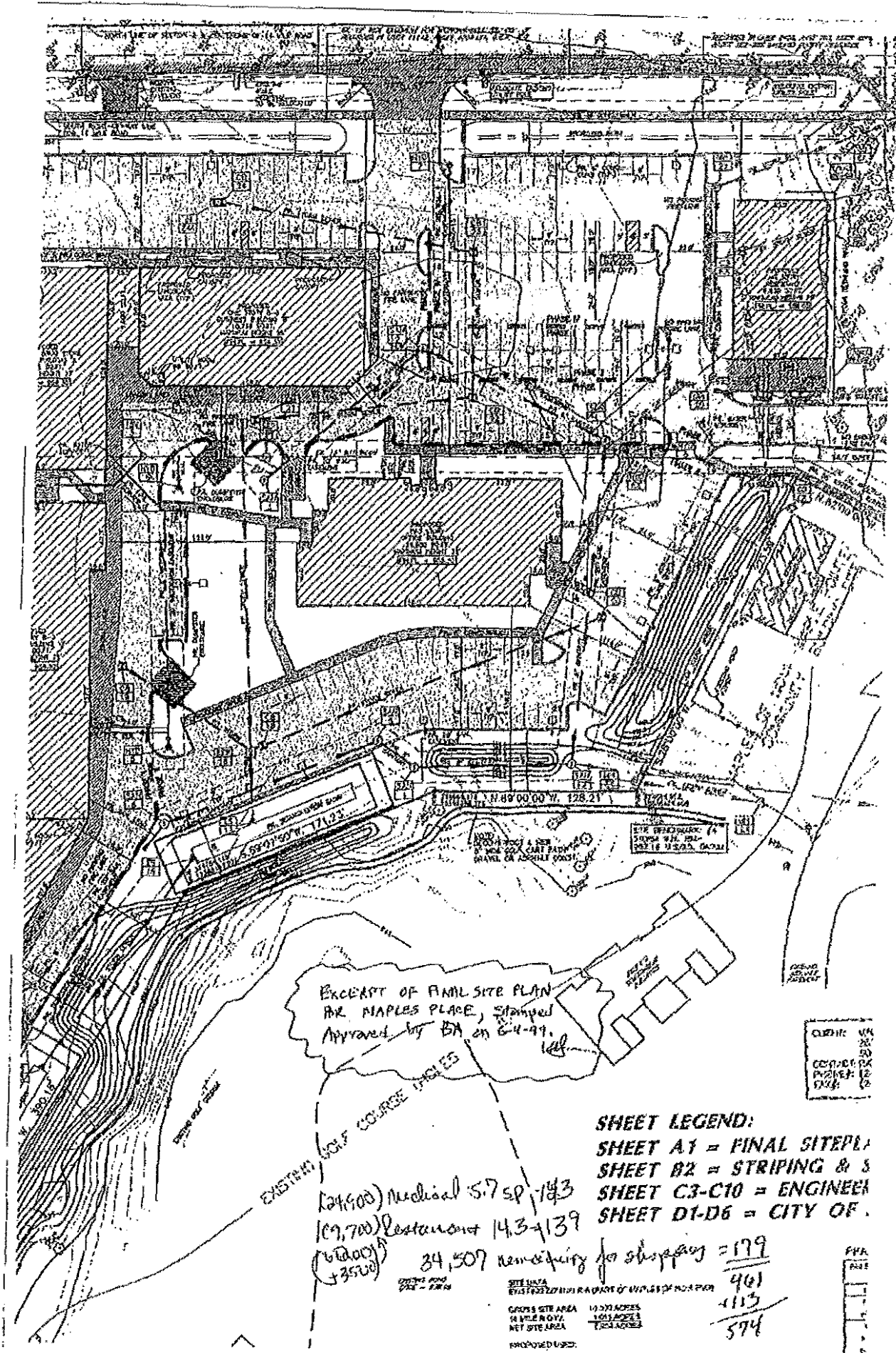


William A. Stimpson, P.E.  
Director of Traffic Engineering

Attachments:  
Aerial photo  
Excerpt of 1999 final site plan



Maples Place Commercial Elements



EXCERPT OF FINAL SITE PLAN  
 FOR NAPLES PLACE, Stamped  
 Approved by DA on 6-4-49.

EXISTING WOLF COURSE LINES

(24,600) Medical S.7 SP, 143  
 (19,700) Restaurant 14.3-139  
 (6,000) + 3500  
 34,507 remaining for shopping = 179  
 401  
 4113  
 574

**SHEET LEGEND:**  
 SHEET A1 = FINAL SITE PLAN  
 SHEET B2 = STRIPING & S  
 SHEET C3-C10 = ENGINEER  
 SHEET D1-D6 = CITY OF

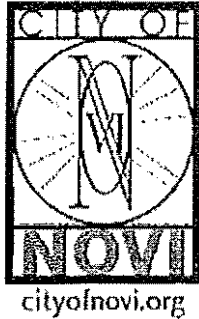
CURVE: 1/4  
 20'  
 50'  
 CENTER OF  
 POWER: 12  
 1948

FPA  
 1  
 2  
 3  
 4  
 5

SITE DATA  
 EXISTING TOTAL AREA OF 100,000 SQ. FT.  
 GROSS SITE AREA 14,300 ACRES  
 NET SITE AREA 14,300 ACRES  
 PROPOSED USES

LANDSCAPE REVIEW





**PLAN REVIEW CENTER REPORT**  
March 13, 2012  
**Preliminary & Final Landscape Review**  
Maples Place SP#12-15

**Petitioner**

Maple Place Investment, LLC

**Review Type**

Preliminary/Final Site Plan

**Property Characteristics**

Site Location: South of 14 Mile Road, East of Novi Road (Section 2)  
Site Zoning: RA, Residential Acreage, WITH AN PUD AGREEMENT  
Adjoining Zoning: North: Commerce Township; East: RA (across Centennial Drive);  
West: RM-1 PRO (across Novi Road); South: RA  
Site Use(s): Currently Vacant Land  
Adjoining Uses: North: Commerce Township; East: Attached Residential (across  
Centennial Drive); West: Maple Manor Convalescent  
Home(across Novi Road); South: Golf Course, Attached Residential  
Site Size: 3.46 acres  
Plan Date: 01/09/12

**Recommendation**

**Approval of the Preliminary Site Plan for Maples Place SP#12-15 is recommended.**

**Approval of the Final Site Plan for Maples Place SP#12-15 cannot be recommended at this time.**

Please address the concerns noted below upon subsequent submittal.

**Ordinance Considerations**

**Adjacent to Residential – Buffer (Sec. 2509.3.a.)**

1. Mature vegetation located on the east side of the Phase 1 building currently buffers the site from adjacent residential property. This vegetation will be preserved. Details should be provided on the existing landscape bed depicted in this area of the plan.
2. Much more information would have to be included with the plan set in order to verify and recommend approval for the Phase 2 section of the project site. No landscape detail is shown for the Phase 2 portion. Buffering in this area could be critical due to the immediately adjacent residential facility.
3. A total of 70% to 75% of the storm basin rim area must be planted with native shrubs. At this time the Applicant has not provided information on the current

storm basin facility for these phases on the current plan. The Applicant should provide information on the storm control system. It may be that the system as it exists meet current ordinance requirements and intents.

**Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)**

1. No alterations are proposed or required along the public rights-of-way. No landscape modifications are proposed in this area.

**Street Tree Requirements (Sec. 2509.3.b.)**

1. Eight Street Trees are required along the Fourteen Mile frontage. This requirement has been met.
2. By virtue of the existing woodland to remain, the requirement for Street Trees may be met along the Centennial Drive frontage. The Applicant should request a Planning Commission waiver for relief of the Street Tree requirement on Centennial.

**Parking Landscape (Sec. 2509.3.c.)**

1. Calculations have been provided for the required Phase 1 Parking Lot Landscape Area per Ordinance requirement. The Applicant is required to install a total of 1,829 square feet of Interior Parking Lot Landscape Area. This requirement is deficient by 643 square feet. Interior Parking Lot Landscape Area requirements for Phase 2 are not shown; It cannot be ascertained if Phase 2 landscape will meet requirements.
2. Calculations have been provided for the required Phase 1 Parking Lot Canopy Trees. A total of 25 trees are required. Six (6) trees have been provided leaving a deficiency of 19 trees. Interior Parking Canopy Tree requirements for Phase 2 are not shown; It cannot be ascertained if Phase 2 will meet Canopy Tree requirements.
3. Perimeter Parking Lot Canopy Trees are required at one per 35 LF. Existing healthy trees and trees counted toward interior parking lot landscape may be counted toward this requirement. Please provide calculations for the required Perimeter Parking Lot Canopy Trees.

**Building Foundation Landscape (Sec. 2509.3.d.)**

1. A 4' wide landscape bed is required along all building foundations with the exception of access points. The Applicant has met this requirement for Phase 1; Building Foundation Landscape requirements for Phase 2 are not shown; It cannot be ascertained if Phase 2 will meet Canopy Tree requirements.
2. An area 8' wide multiplied by the length of building foundations is required as foundation landscape area. Due to the high access required for both pedestrians and vehicles, it is not possible to install all the required building foundation landscape directly at the building. However, as previously mentioned, the Applicant has provided considerably more interior parking lot landscape area than is required.

**Plant List (LDM)**

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

**Planting Details & Notations (LDM)**

1. Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. All landscape areas are required to be irrigated. A note has been provided stating that the existing irrigation system will be appropriately modified in the area of the addition.

**General**

1. Final financial requirements will be verified upon Stamping Set submittal.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.



Reviewed by: David R. Beschke, RLA

**FACADE REVIEW**



Phone: (248) 830-6523  
 E-Mail: dnecci@drnarchitects.com  
 Web: drnarchitects.com



DRN & ASSOCIATES, ARCHITECTS, PC

60850 Applebrooke Dr., Northville, MI 48167

February 15, 2011

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Façade Review – Preliminary & Final Site Plan**  
**Maples Place SP12-15**  
 Façade Region: I, Zoning District: R-A, Building Size: 6,200 S.F.

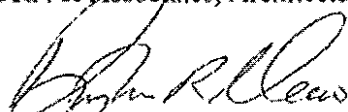
Dear Ms. McBeth;

The following is the Façade Review for Preliminary and Final Site Plan Approval of the above referenced project based on the drawings prepared by MGA Architects, dated 2/23/12. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

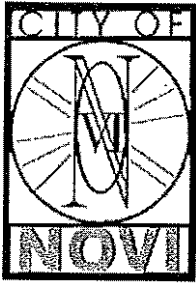
	West (Front)	North	South	East	Ordinance Maximum (Minimum)
Brick (Natural Clay 4" nominal)	0%	0%	0%	0%	100% (30%)
Cultured Brick Veneer (AKA Panel Brick)	4%	13%	28%	33%	0%
Cultured Stone	22%	15%	7%	3%	50%
EIFS	24%	11%	2%	12%	25%
Asphalt Shingles	35%	55%	57%	40%	25%
Painted Wood Trim	15%	6%	6%	12%	50%

As indicated above percentage of Cultured Brick Veneer and Asphalt Shingles exceed the Ordinance maximums on all facades. A Section 9 Waiver would be required for these materials. With respect to the Asphalt Shingles, the expanse of shingles is mitigated by gable roof lines on the front and rear facades. This appears to be consistent with the intent of the Façade Ordinance. However, no sample board was provided for this project. Therefore, the precise nature of the Cultured Stone Veneer could not be determined. The applicant should provide a façade material sample board as required by the Ordinance so that it can be determined if the Cultured Brick Veneer and Asphalt Shingles qualify for a Section 9 Waiver.

Sincerely,  
 DRN & Associates, Architects PC

  
 Douglas R. Necci, AIA

**FIRE REVIEW**



March 16, 2012

TO: Barbara McBeth, Deputy Director  
Community Development, City of Novi

RE: Maples Place, SP12-15 – Preliminary & Final Site Plan Review  
Fourteen Mile Rd. & Novi Rd.

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dava Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayna Wrobel

Laura Marie Casey

**City Manager**  
Clay J. Pearson

**Director of Public Safety**  
**Chief of Police**  
David E. Molloy

**Director of EMS/Fire**  
**Operations**  
Jeffery R. Johnson

**Deputy Chief of Police**  
Thomas C. Lindberg

**Assistant Chief of Police**  
Victor C.M. Lauria

Dear Ms. McBeth,

The above plan cannot be adequately reviewed and evaluated since the applicant did not provide engineering plans showing the hydrant locations and water main information. This plan is **Not Recommended** for approval.

Sincerely,

Michael W. Evans  
Fire Marshal

cc: file

**Novi Fire Department**  
45125 W. Ten Mile Rd.  
Novi, Michigan 48375  
248.349-2162  
248.347-0570 fax

cityofnovi.org

**APPLICANT RESPONSE LETTER**



**Land-Tec Consultants, Inc.**  
Civil Engineering and Land Surveying Consultants  
Plymouth Office

◆◆◆  
15030 Finch Avenue ◆ Plymouth, Michigan 48170  
Phone 734-564-1742 ◆ Fax 866-407-4923

Wednesday, April 18, 2012 (via Delivery)  
Land-Tec Job: MaplPlac

City of Novi, Planning Department  
45175 W. Ten Mile Road  
Novi, Michigan 48375  
Attention: Kristen Kapelanski, AICP, Planner

RECEIVED  
APR 18 2012  
CITY OF NOVI  
COMMUNITY DEVELOPMENT

Re: "Maples Place," Preliminary Site Plan Submittal for  
Planning Commission meeting on April 25, 2012  
City of Novi SP12-15

Kristen:

On behalf of our client Maple Place Investment, LLC, attached please find 11 sets of the Plans for "Maples Place." These plans are unchanged from those previously provided and reviewed by the City with comments and review letters generated in the "Plan Review Center Report," dated April 9, 2012. Our client has asked to respond to the engineering issues raised in that Report.

This office is aware of the review comments and the subsequent revisions to the Plans which will be required to obtain Final Site Plan approval(s). Once the Preliminary Site Plan approval has been granted, we will begin work on these revisions in coordination with the various City Departments and Consultant reviews. All changes to the Plans will be detailed and itemized as required.

We look forward to the Planning Commission meeting on Wednesday, April 25, 2012 and will be in attendance with our client to answer questions.

Please feel free to contact me directly if you have any additional comments or if we can be of additional assistance.

Thank You.



Duane Bennett, Project Manager  
Land-Tec Consultants, Inc.,  
Civil Engineering and Land Surveying Consultants

(direct cell = 734-231-3510)

**SITE PLAN**



MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# Maples Place SP12-15

Location

Fourteen Mile Rd

Centennial Dr

Novi Rd



Kirkwood

Livingston Dr

Centennial Dr

Map Author: Kristen Kapelanski  
Date: 04/16/12  
Project: Maples Place SP12-15  
Version #: V1.0

### Map Legend

-  Subject Property
-  City Incorporated Boundary



### City of Novi

Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most accurate, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

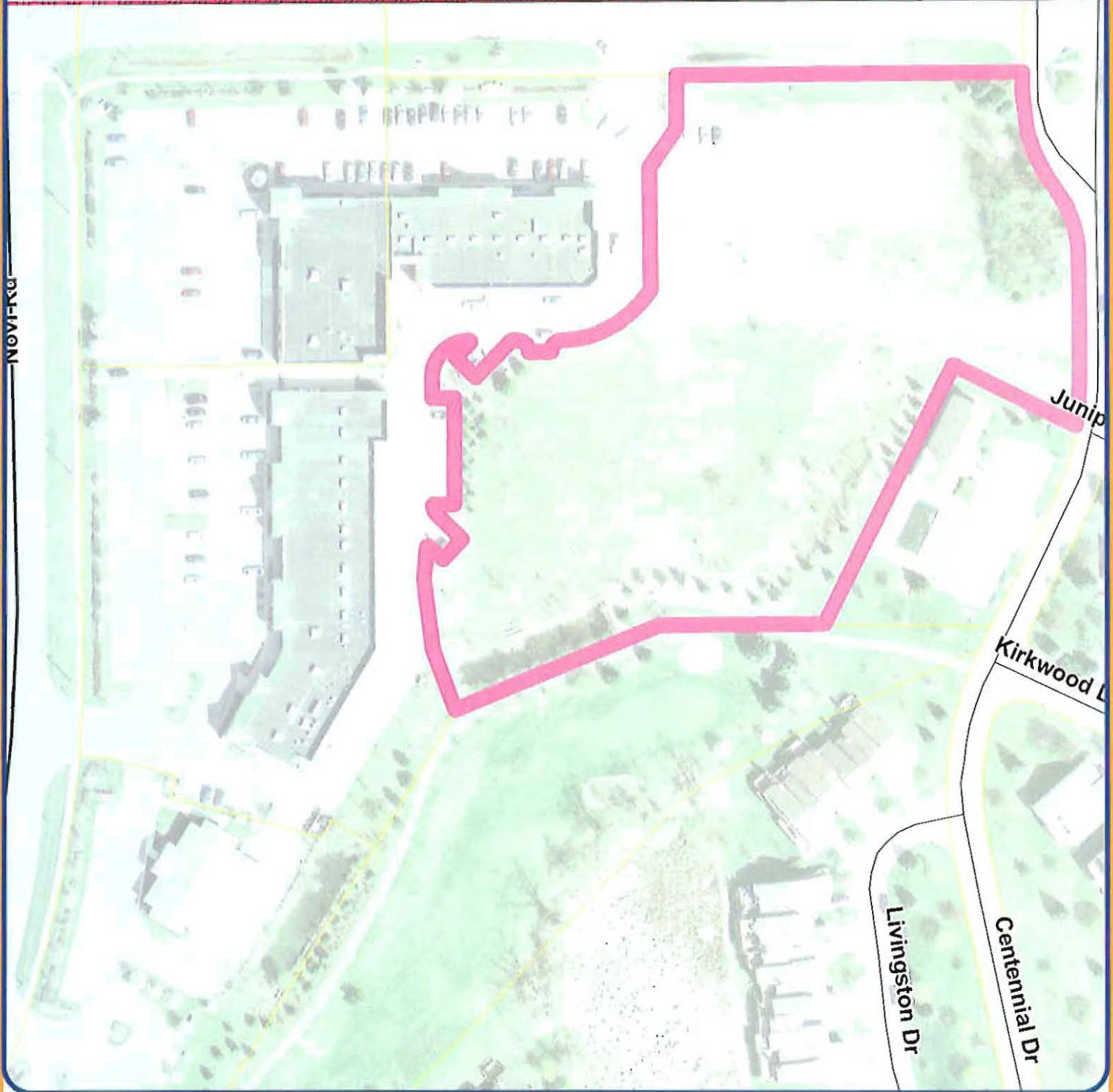


1 inch = 108 feet

# Maples Place SP12-15

## Zoning

Fourteen Mile Rd






Map Author: Kristen Kapelanski  
 Date: 04/16/12  
 Project: Maples Place SP12-15  
 Version #: V1.0

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**Map Legend**

-  Subject Property
-  R-A: Residential Acreage with a PUD
-  City Incorporated Boundary



**City of Novi**

Planning Division  
 Community Development  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)



1 inch = 108 feet

# Maples Place SP12-15

## Future Land Use

Fourteen Mile Rd

Centennial Dr

Novi Rd

Juniper

Kirkwood

Livingston Dr

Centennial Dr

Map Author: Kristen Kapelanski  
 Date: 04/16/12  
 Project: Maples Place SP12-15  
 Version #: V1.0

### Map Legend

-  Subject Property
-  Single Family
-  Local Commercial
-  Private Park
-  City Incorporated Boundary



**City of Novi**

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 Community Development  
 45175 W Ten Mile Rd  
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1 inch = 108 feet

# Maples Place SP12-15

## Natural Features

Fourteen Mile Rd

Centennial Dr

Novi-Rd

Juniper

Kirkwood

Livingston Dr

Centennial Dr

Map Author: Kristen Kapelanski  
 Date: 04/16/12  
 Project: Maples Place SP12-15  
 Version #: V1.0

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**Map Legend**

-  Subject Property
-  Woodlands
-  Wetlands
-  City Incorporated Boundary



**City of Novi**

Planning Division  
 Community Development  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)



1 inch = 106 feet