

**REDUCED SITE PLAN**



# CITY OF NOVI NOVI, MICHIGAN

## FUERST PARK NOVI, MICHIGAN

Preliminary Site Plan - 12-18-08

HAMILTON ANDERSON PROJECT NUMBER: 28179.00

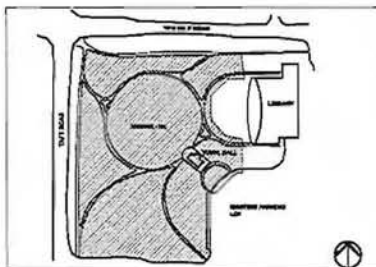
### hamiltonanderson

architecture landscape architecture  
urban planning civil engineering  
interior design graphic design

LOCATION MAP



SITE MAP



DESIGN TEAM

**OWNER**

CITY OF NOVI  
NOVI PARKS, RECREATION & FORESTRY  
40176 WASH 10 Mile Road  
NOVI, MI 48270  
248-347-0400  
248-347-3288  
<http://www.cityofnovi.org>

**CIVIL ENGINEER**

MH ENGINEERING LTD.  
220 BADLEY AVE.  
SUITE 200  
DETROIT, MI 48226  
P 313 962 8563  
F 313 963 6960

**ARCHITECT  
LANDSCAPE ARCHITECT**

HAMILTON ANDERSON ASSOCIATES  
1438 RANDOLPH  
SUITE 208  
DETROIT, MI 48226  
P 313 964 0270  
F 313 964 0178  
[www.hamiltonanderson.com](http://www.hamiltonanderson.com)

**ELECTRICAL ENGINEER**

WSPROHLLA ASSOCIATES  
36430 W. TWELVE MILE ROAD  
FAIRMINGTON HILLS, MI 48331  
248 488 3100  
248 488 3181

**IRRIGATION  
DESIGN**

DRABER & ASSOCIATES LLC  
11970 DIAMOND LANE  
WASHINGTON, MI 48094  
P 988 877 5874  
F 988 877 5875

PRELIMINARY SITE PLAN 12-18-08  
REVISED 12-08-08

DRAWING INDEX

<input type="checkbox"/>	Cover Sheet	Cover Sheet
<input type="checkbox"/>	C1.1 GENERAL DEVELOPMENT PLAN	C1.1 GENERAL DEVELOPMENT PLAN
<input type="checkbox"/>	C2.1 EXISTING CONDITIONS PLAN	C2.1 EXISTING CONDITIONS PLAN
<input type="checkbox"/>	C3.1 SOIL EROSION AND SEDIMENTATION CONTROL PLAN	C3.1 SOIL EROSION AND SEDIMENTATION CONTROL PLAN
<input type="checkbox"/>	C4.1 DEMOLITION PLAN	C4.1 DEMOLITION PLAN
<input type="checkbox"/>	C5.1 LAYOUT PLAN	C5.1 LAYOUT PLAN
<input type="checkbox"/>	C5.2 LAYOUT ENLARGEMENT PLAN	C5.2 LAYOUT ENLARGEMENT PLAN
<input type="checkbox"/>	C5.3 JOINTING ENLARGEMENT PLAN	C5.3 JOINTING ENLARGEMENT PLAN
<input type="checkbox"/>	C6.1 GRADING PLAN	C6.1 GRADING PLAN
<input type="checkbox"/>	C6.2 GRADING ENLARGEMENT PLAN	C6.2 GRADING ENLARGEMENT PLAN
<input type="checkbox"/>	C8.3 UTILITY PLAN	C8.3 UTILITY PLAN
<input type="checkbox"/>	C8.1 SITE DETAILS	C8.1 SITE DETAILS
<input type="checkbox"/>	C8.2 SITE DETAILS	C8.2 SITE DETAILS
<input type="checkbox"/>	C8.3 SITE DETAILS	C8.3 SITE DETAILS
<input type="checkbox"/>	L1.1 LANDSCAPE PLAN	L1.1 LANDSCAPE PLAN
<input type="checkbox"/>	H.1 IRRIGATION PLAN	H.1 IRRIGATION PLAN
<input type="checkbox"/>	H.2 IRRIGATION DETAILS	H.2 IRRIGATION DETAILS
<input type="checkbox"/>	SE-1 PHOTOMETRIC SITE PLAN	SE-1 PHOTOMETRIC SITE PLAN
<input type="checkbox"/>	SE-2 FIXTURE DETAILS	SE-2 FIXTURE DETAILS

CIVIL Consultant	ADRIAN FERNANDEZ DANIEL W. BROWN SERGIO M. GARCIA P. J. HAMILTON P. J. HAMILTON
ELECTRICAL Consultant	MARCO V. ALBERTINI JAMES W. TAYLOR PARKER W. HARRIS P. J. HAMILTON P. J. HAMILTON
MEGACON Consultant	DAVID A. HARRINGTON TERRY S. HARRINGTON WILLIAM W. HARRINGTON P. J. HAMILTON

**BARRIER FREE PARKING REQUIREMENTS**

APPROXIMATE SIDE WALK	238 LF
TOTAL NUMBER OF SEATS	177 SEATS (11" PER SEAT)
ZONING REQUIREMENTS (1 CAR FOR EVERY 3 SEATS)	
TOTAL NUMBER OF PARKING SPACES	54
TOTAL NUMBER OF BARRIER FREE PARKING SPACES	2
* 21'-23' PARKING SPACES PROVIDED 2 BARRIER FREE PARKING SPACES	

**ADD ALTERNATES:**

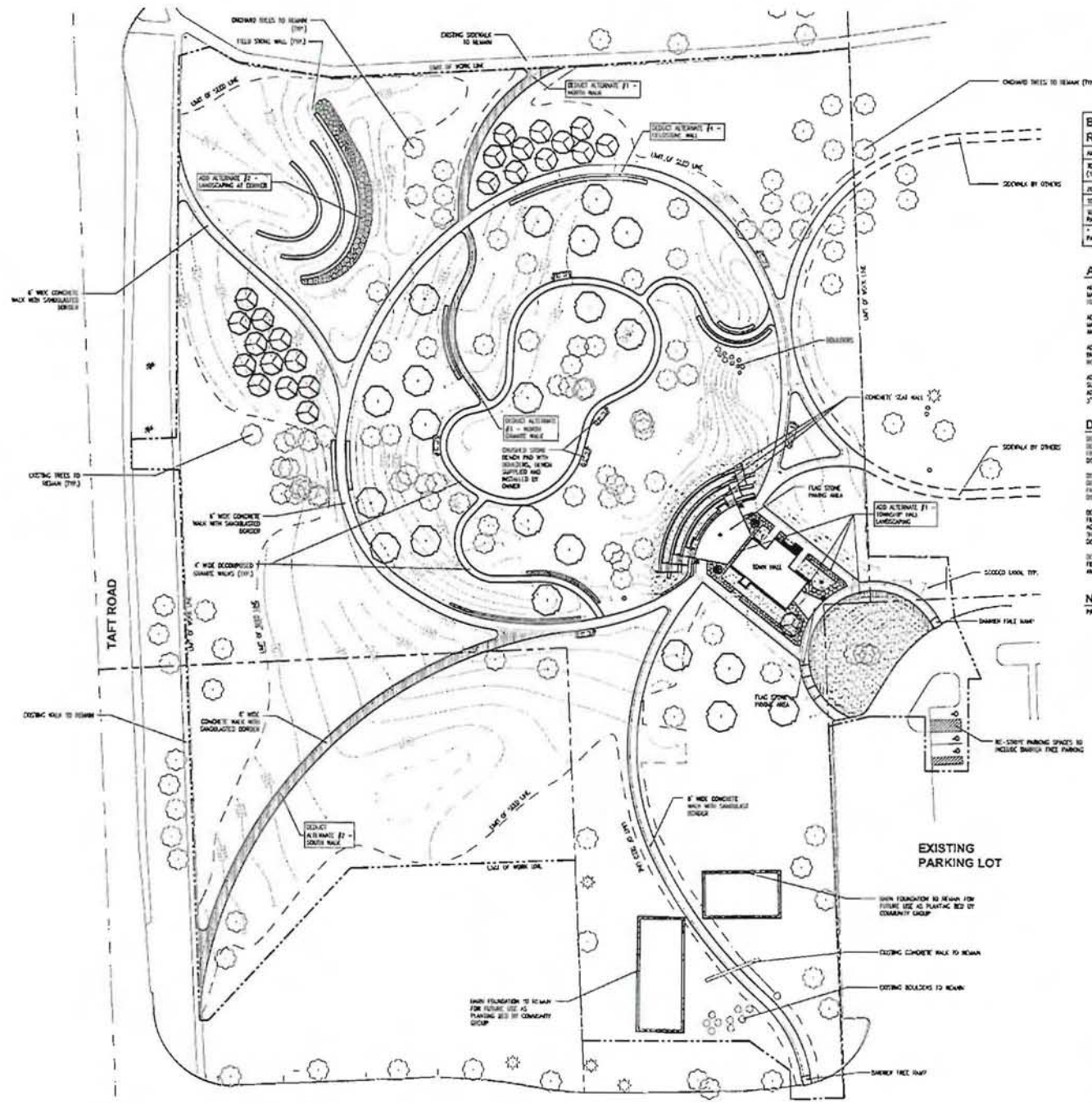
- ADD ALTERNATE #1: PURCHASE AND INSTALL STONE MATERIAL ASSEMBLY TOWARD SIDE WALK. SEE LANDSCAPE PLAN FOR PLAN 103 AND ELEVATE.
- ADD ALTERNATE #2: PURCHASE AND INSTALL PLANT MATERIAL AS REQUIRED NEAR THE CORNER OF SIDE WALK AND TAFT RD. SELECT SEED MIXES FOR SAME AREA.
- ADD ALTERNATE #3: REMOVE EXISTING BURN FOUNDATION, BRUSH EXISTING AREA TO MATCH SURROUNDING GRASS, INSTALL TYPICAL AND SEED SCHEDULED AREA.
- ADD ALTERNATE #4: REMOVE EXISTING CONCRETE FLOOR SLAB FROM BURN BUILDING. INSTALL PLANTING SOIL TO ADJACENT FRONT GRASS (OUTSIDE THE FOUNDATION) WITH 2" SURFACES UNDERNEATH SLAB.

**DEDUCT ALTERNATES:**

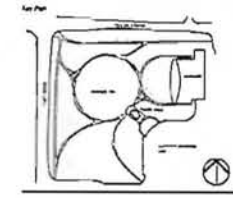
- DEDUCT ALTERNATE #1: REMOVE THE NORTH WALK - REMOVE EXISTING EXTERIOR AND CONCRETE INSTALLATION FROM THE CORNER. ADD TOPSOIL AND SEED IN AREAS DISTURBED BY DRIVING OPERATIONS.
- DEDUCT ALTERNATE #2: REMOVE THE SOUTH WALK - REMOVE EXISTING EXTERIOR AND CONCRETE INSTALLATION FROM THE CORNER. ADD TOPSOIL AND SEED IN AREAS DISTURBED BY DRIVING OPERATIONS.
- DEDUCT ALTERNATE #3: REMOVE NORTH DRIVE WALK AND FELLOSION WALL - REMOVE EXISTING EXTERIOR, BRUSH, REGRADE FINISH AND FELLOSION, RETAINING WALL FROM THE CORNER. INSTALL TOPSOIL AND SEED IN AREAS DISTURBED BY DRIVING OPERATIONS.
- DEDUCT #4: REMOVE FELLOSION WALL - REMOVE FELLOSION WALL FROM THE CORNER. INSTALL TOPSOIL AND SEED IN AREAS DISTURBED BY DRIVING OPERATIONS.

**NOTES:**

PROJECT 2023 P1



City of Novi  
45175 W. TEN MILE RD.  
NOVI, MI 48375



PRELIMINARY SITE PLAN	12/14/08
DATE REVISION	12/05/08

**NOVI FUERT PARK**

**GENERAL DEVELOPMENT PLAN**

Project Number:	2012-01	Approved:	12/07
Drawn By:	AJD	Approved:	12/07
Scale:	1" = 30'-0"		
Drawn By:			

**PRELIMINARY  
NOT FOR CONSTRUCTION**

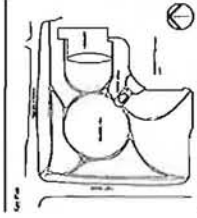


**C1.1**









**NOVU FUERST PARK**  
**SOIL EROSION AND SEDIMENTATION CONTROL PLAN**

Project Number: 171000000  
 Date: 10/2010  
 Scale: 1" = 30'-0"

**C3.1**

**LEGEND**

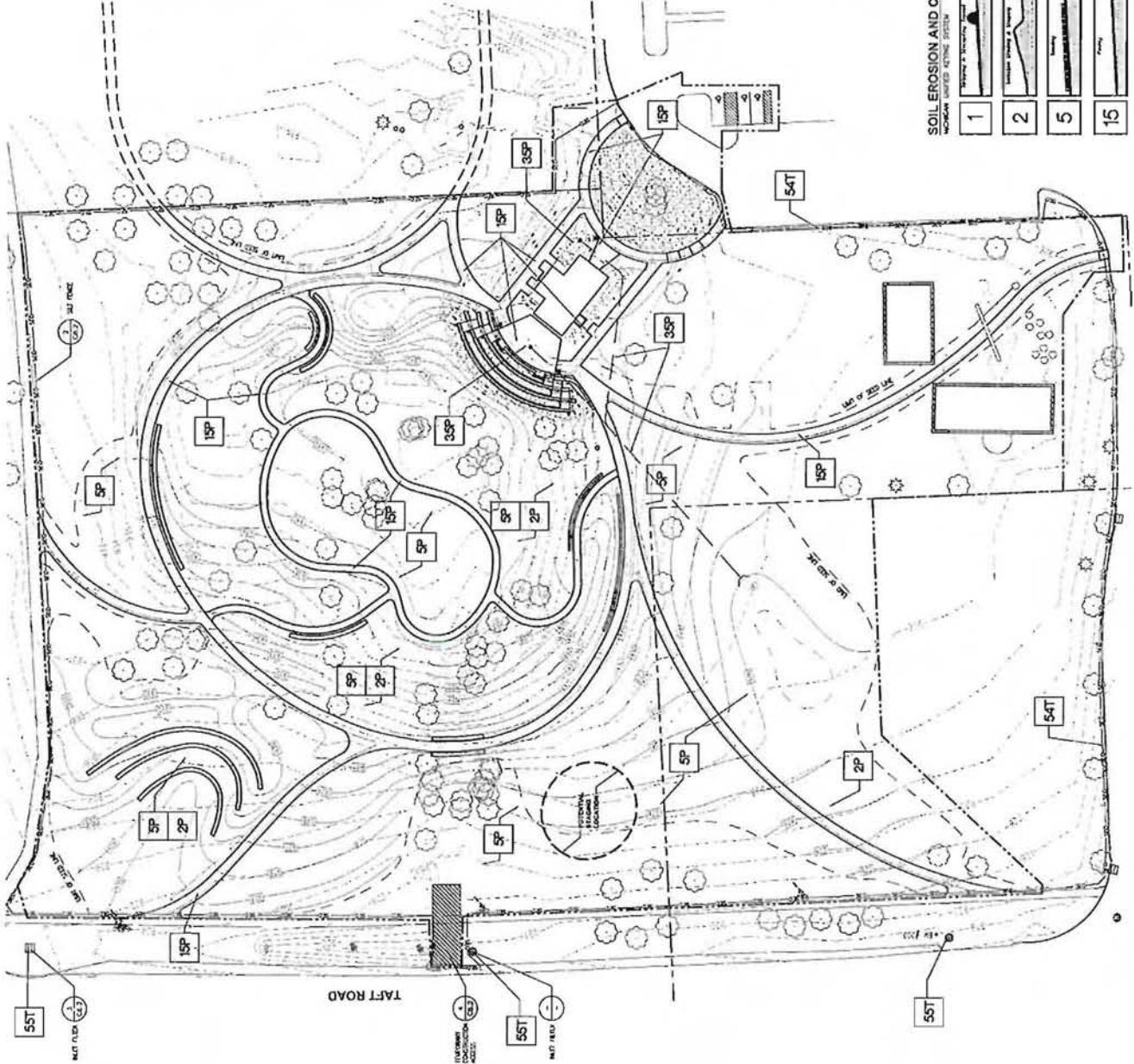
- PROJECT LINE
- 20' BUFFER ZONE
- EXISTING ROAD
- PROPOSED ROAD
- PROPOSED CONTROL
- D. DRAINAGE

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO CHANGES AND SPECIFICATIONS BY CITY OF NOVU.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NOVU AND THE STATE OF MICHIGAN.

**SOIL EROSION AND CONTROL MEASURES**

1	2	5	15
35	54	55	T
P			

NOT PRELIMINARY

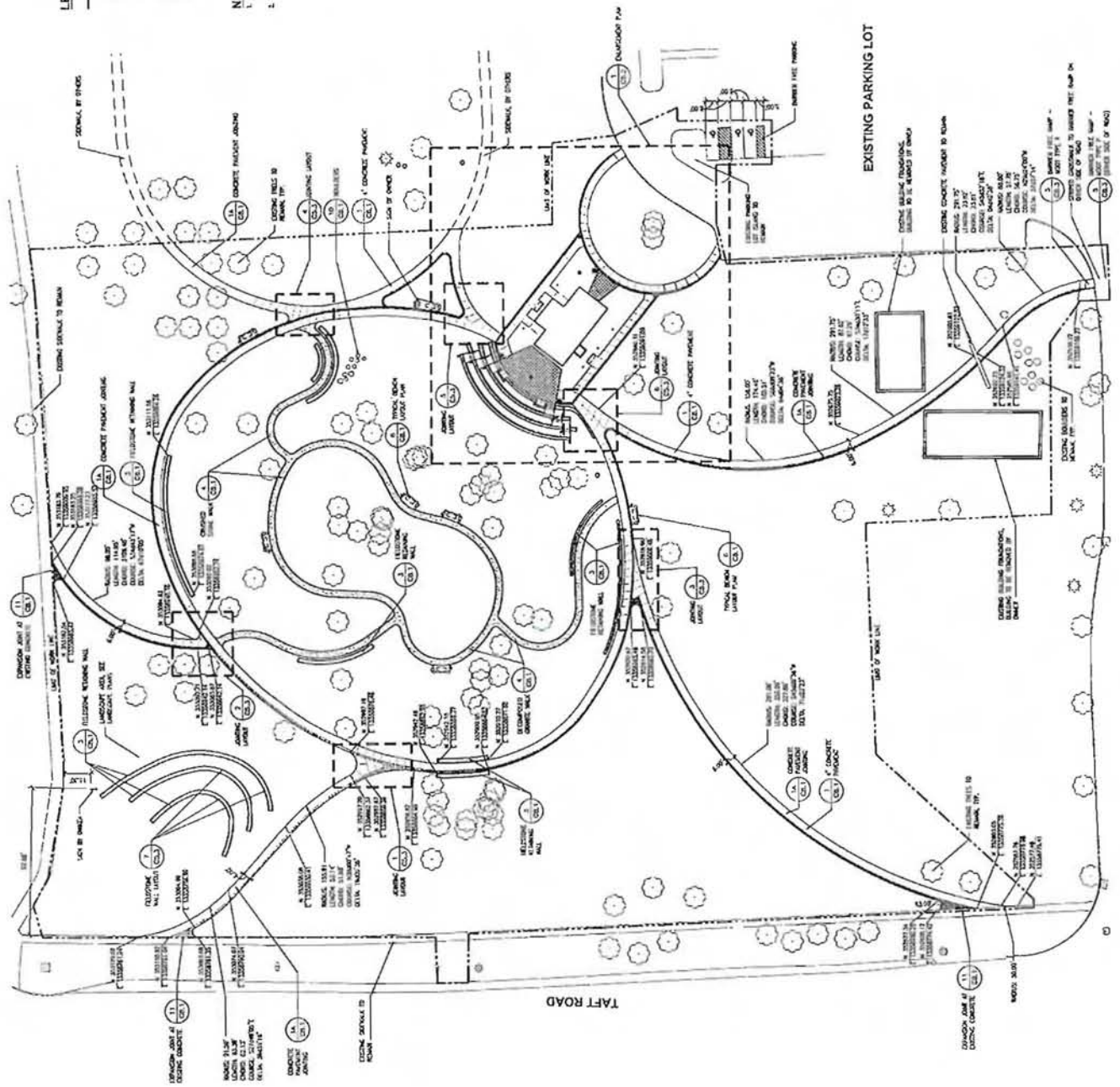


Know what's below.  
 Call before you dig.





- LEGEND**
- PAVED WALK
  - COMPOSITE WHITE PAVEMENT
  - CONCRETE SIDE WALK WITH SUBGRADED FLAG
  - PLANTING STRIP
  - CONCRETE SIDE WALK WITH BRICK FINISH
  - LIGHT POLE & FIXTURE
- NOTES**
1. SEE PLANS FOR THE BACK OF CURB DETAILS AND SIGNAGE.
  2. SEE PLANS FOR THE BACK OF CURB DETAILS AND SIGNAGE.

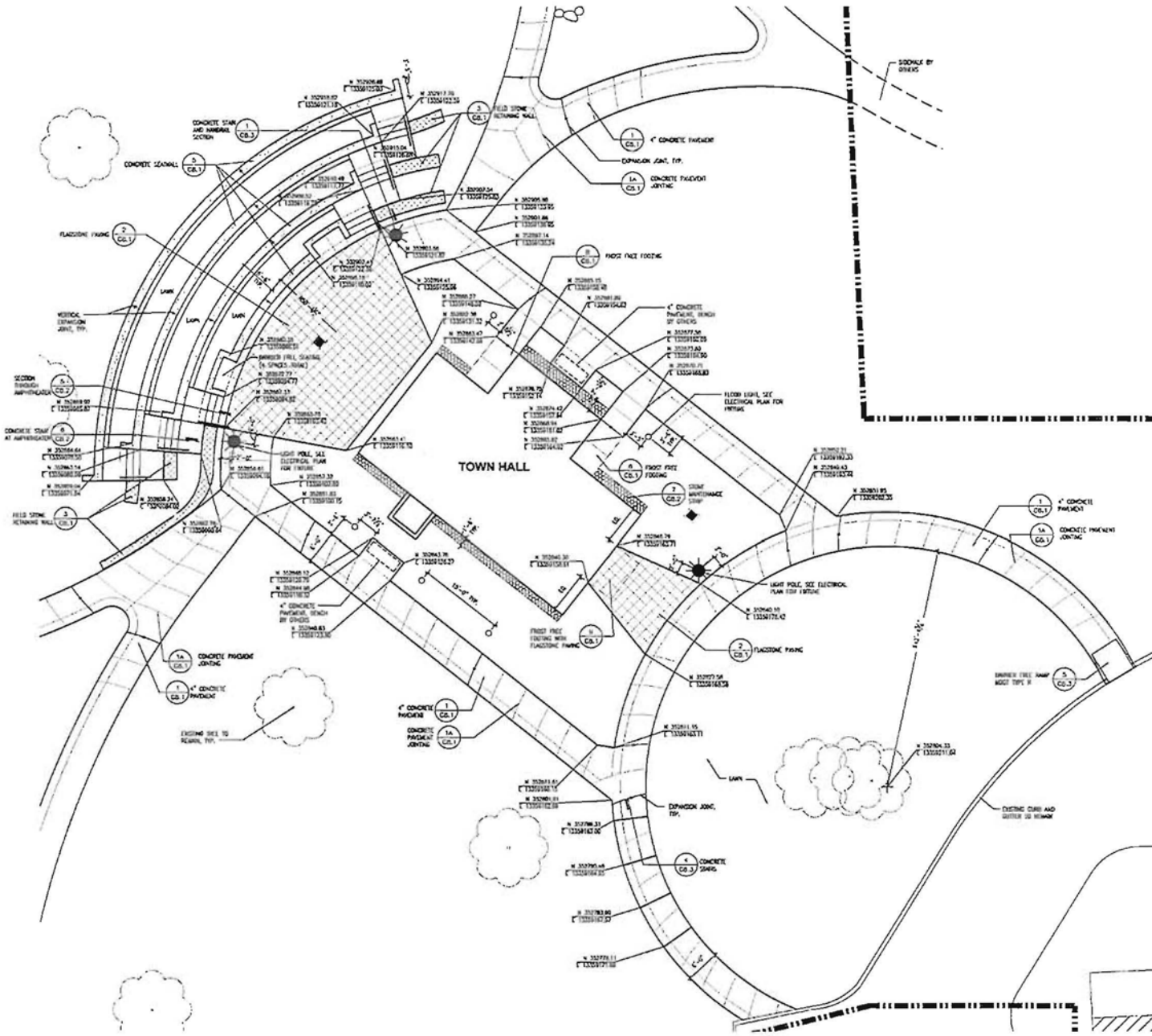


NOT FOR CONSTRUCTION  
PRELIMINARY



Know what's below.  
Call before you dig.



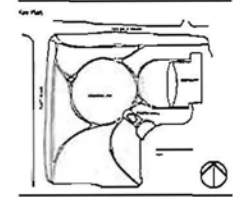


**hamiltonanderson**  
 architecture landscape architecture  
 urban planning civil engineering  
 interior design graphic design

Hamilton Anderson Associates  
 1435 Randolph Suite 200  
 Detroit, Michigan 48226  
 p 313 564 8270 f 313 564 0170  
 www.hamiltonanderson.com

<p>CONCRETE Contractor</p>	<p>H&amp;R ENGINEERING LTD        220 WOLFEY AVE. SUITE 508        DETROIT, MI 48226        P 313 463 8600 F 313 463 8600</p>
<p>ELECTRICAL Contractor</p>	<p>BERTELSON ASSOCIATES        3040 W. FARMINGTON BLVD. #1000        FARMINGTON HILLS, MI 48334        P 248 480 2118 F 248 480 2191</p>
<p>IRREGULAR Contractor</p>	<p>GRONER &amp; ASSOCIATES LLC        10415 DUNDRAK LANE        TROY, MI 48068        P 248 477 5479 F 248 477 5479</p>

Client  
**CITY OF NOVI**  
 45175 W. TEN MILE RD.  
 NOVI, MI 48375



PHILLIPPOUT SITE PLAN	12/15/08
REV. HISTORY	12/15/08

**NOVI FURST PARK**  
 LAYOUT ENLARGEMENT PLAN

Project Number: 261100  
 Date by: TD  
 Date: SCALE: 1/8" = 1'-0"  
 0' 4' 8' 12'

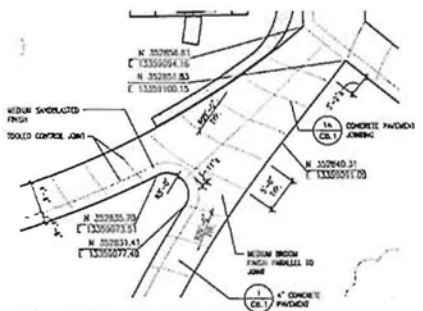
**PRELIMINARY**  
 NOT FOR CONSTRUCTION



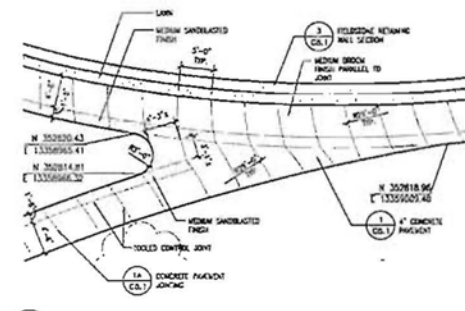
**C5.2**



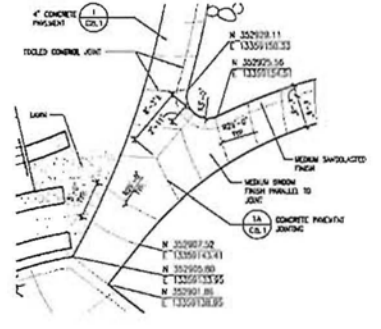
Civil Consultant	PAK ENGINEERING LTD 2200 W. TEN MILE RD DETOIT, MI 48226 P 313 964 0170 F 313 964 0166
LANDSCAPE Consultant	MANGLUM ASSOCIATES 3600 W. TEN MILE RD FARMINGTON HILLS, MI 48334 P 248 486 3300 F 248 486 3311
INSULATION Consultant	CHAMBER & ASSOCIATES LLC 11415 EDGEMOND LANE FARMINGTON HILLS, MI 48334 P 248 877 3377 F 248 877 3378



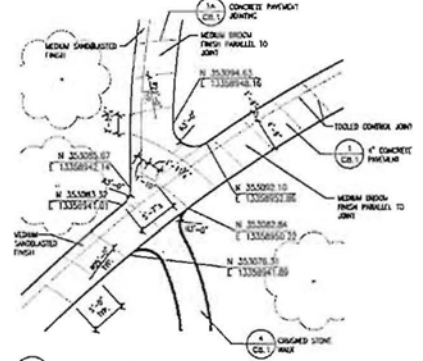
6 JOINTING LAYOUT - SIX  
SCALE: 1/8"=1'-0"



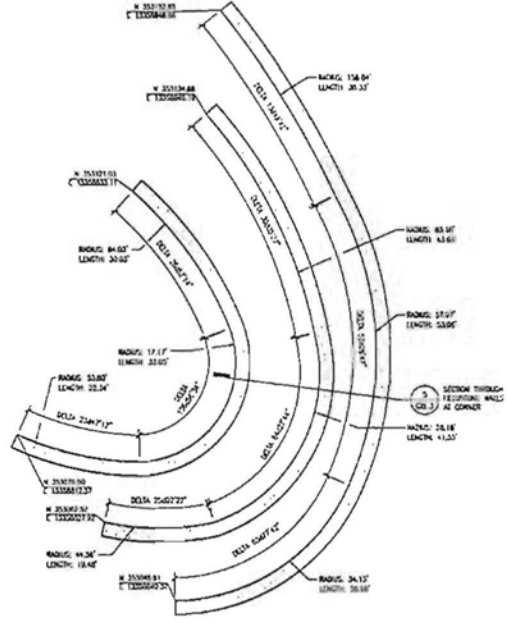
3 JOINTING LAYOUT - THREE  
SCALE: 1/8"=1'-0"



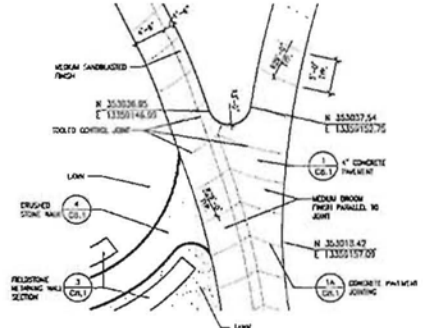
5 JOINTING LAYOUT - FIVE  
SCALE: 1/8"=1'-0"



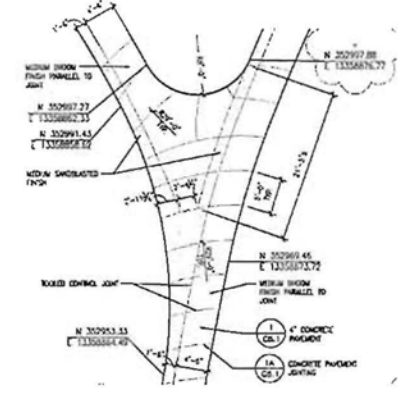
2 JOINTING LAYOUT - TWO  
SCALE: 1/8"=1'-0"



7 FIELD STONE WALL LAYOUT - CORNER  
SCALE: 1"=10'-0"

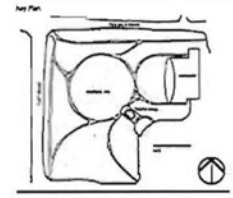


4 JOINTING LAYOUT - FOUR  
SCALE: 1/8"=1'-0"



1 JOINTING LAYOUT - ONE  
SCALE: 1/8"=1'-0"

CITY OF NOVI  
45175 W. TEN MILE RD.  
NOVI, MI 48375



PRELIMINARY  
NOT FOR CONSTRUCTION

Project:  
**NOVI  
FUERST PARK**

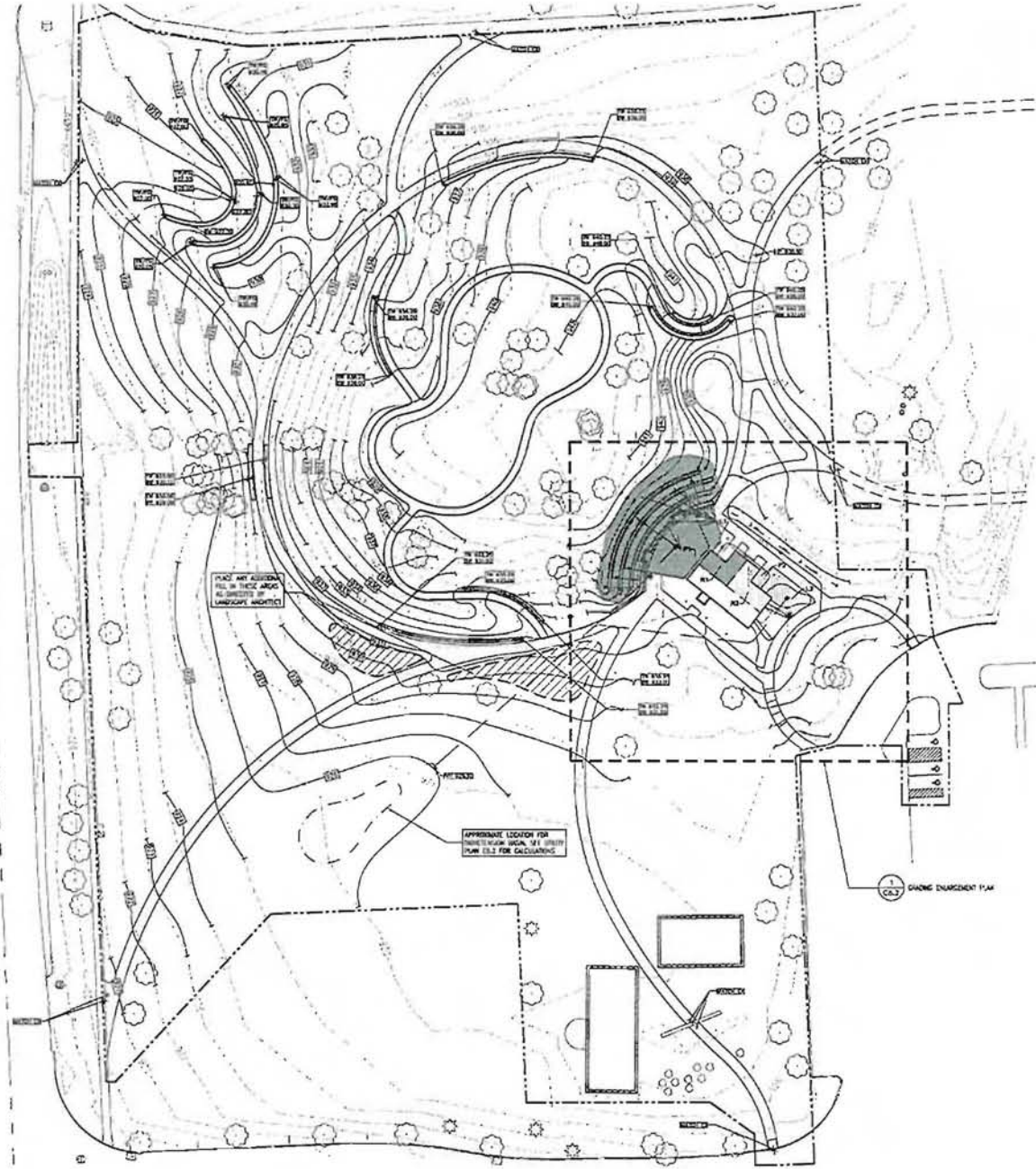
Client:  
**JOINTING  
ENLARGEMENT PLAN**

Project Number: 38118.00  
Date: 10/10/10  
Drawn by: TD  
Checked by: L.A. ST  
Scale: AS NOTED



C5.3

TAFT ROAD



**LEGEND**

- PROJECT LIMIT
- PROPOSED EDITION
- + [TOP 100.00] TOP OF WALL ELEVATION
- + [B.M. 100.00] BOTTOM OF WALL
- + [MASTED 1.1] MASTING DESIGN SWICH
- + [P. 100.00] FINISHED GRADE ELEVATION
- + [100.00] PROPOSED SPOT ELEVATION
- DIRECTION OF SURFACE DRAINAGE
- CATCH BASIN
- D.I. CONTROL
- + 10% D.I. SPOT ELEVATION

- NOTES**
1. TOP OF NEW PAVEMENT AND NEW CURBS SHALL MEET FLUSH WHERE IT MEETS EXISTING PAVEMENTS AND CURBS.
  2. ALL PROPOSED ELEVATIONS REFERENCE FINISHED GRADES.
  3. SIDEWALK CROSS SLOPE SHALL BE 2% UNLESS OTHERWISE NOTED (INCLUDING RAMP).
  4. MINIMUM PAVEMENT DRAINAGE SHALL BE 1/4\"/>

**SITE DRAINAGE AREAS**

ZONE	AREA (ACRES)
<b>ROOF AREA:</b>	
M1: NORTHWEST SIDE OF TA	0.0071
M2: SOUTHWEST SIDE OF TA	0.0000
SUBTOTAL	0.0133
<b>IMPAVED - LANDSCAPE AREA:</b>	
L1: NORTH SIDE OF TA	0.0400
L2: SOUTHWEST CORNER TA	0.0171
SUBTOTAL	0.0566
<b>PAVING AREA:</b>	
P1: NORTH OF TA & IMPAVED	0.0017
P2: EAST SIDE OF TA	0.0021
SUBTOTAL	0.0038
ZONE M1, L1 & P1 = 0.06 CFS	
ZONE M2, L2 & P2 = 0.08 CFS	

**hamiltonanderson**

architecture landscape architecture  
 urban planning civil engineering  
 interior design graphic design

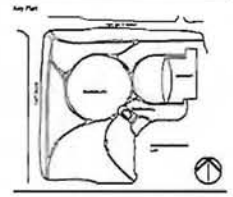
Hamilton Anderson Associates  
 1435 Randolph Square 200  
 Detroit, Michigan 48216  
 p 313 964 0270 f 313 964 0170  
 www.hamilton-anderson.com

**CIVIL**  
 Consultant  
 441 FINESTHORN LEO  
 200 WASHINGTON AVENUE  
 DETROIT MI 48226  
 P. 313.964.0270  
 F. 313.964.0170

**ELECTRICAL**  
 Consultant  
 HENRIKSON ASSOCIATES  
 3400 W. TEN MILE ROAD  
 FARMINGTON HILLS MI 48334  
 P. 248.487.7000  
 F. 248.487.7000

**MECHANICAL**  
 Consultant  
 QUINCY & ASSOCIATES LLC  
 18751 TAMMING LANE  
 WARREN MI 48090  
 P. 586.727.5411  
 F. 586.727.5411

City of NOVI  
 45175 W. TEN MILE RD.  
 NOVI, MI 48375



PRELIMINARY SITE PLAN	12/15/08
SCALE: 1/8\"/>	

**NOVI FUERST PARK**  
 Grading Plan  
**GRADING PLAN**

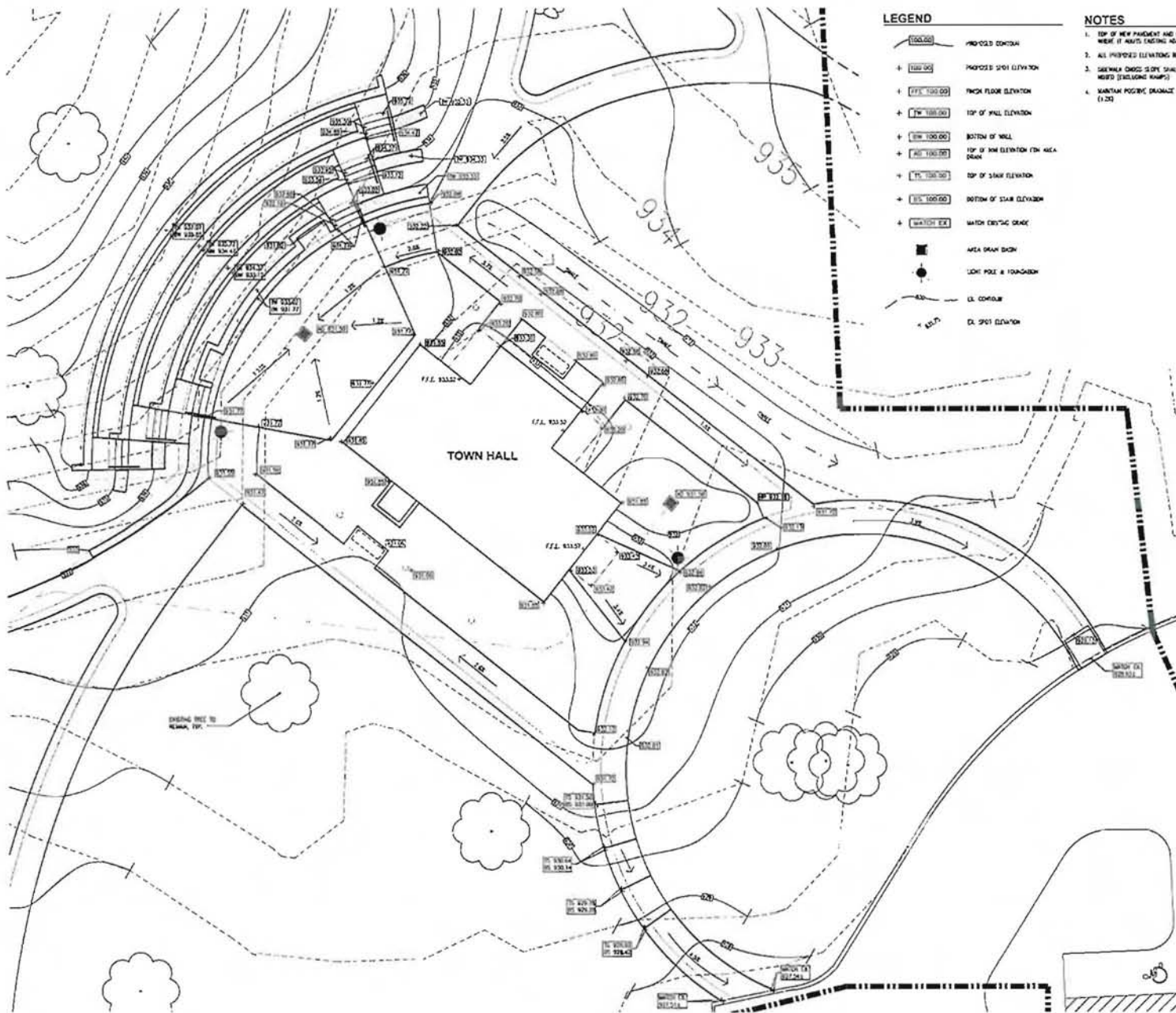
Project Number: 2010-08  
 Drawn By: TD  
 Date: 12/15/08  
 Scale: 1\"/>

**PRELIMINARY  
 NOT FOR CONSTRUCTION**



**C6.1**





**LEGEND**

- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FINISH FLOOR ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL
- TOP OF SIGN ELEVATION (IN AREA DECK)
- TOP OF SIGN ELEVATION
- BOTTOM OF SIGN ELEVATION
- WATCH DEBRIS DENSE
- AREA MARK SIGN
- LOT POLE & FOUNDATION
- CL CONTOUR
- EL SPOT ELEVATION

**NOTES**

1. TOP OF NEW PAVEMENT AND NEW CURBS SHALL MEET FLUSH WITH EXISTING ADJACENT PAVEMENTS AND CURBS.
2. ALL PROPOSED ELEVATIONS REFERENCE FINISH GRADES.
3. SIDEWALK CROSS SLOPE SHALL BE 2% UNLESS OTHERWISE NOTED (EXCLUDING STAIRS).
4. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (1.25).

**hamiltonanderson**

architecture landscape architecture  
urban planning civil engineering  
interior design graphic design

Hamilton Anderson Associates  
1435 Randolph Suite 200  
Detroit, Michigan 48226  
p 313 964 0270 / 313 964 0170  
www.hamiltonanderson.com

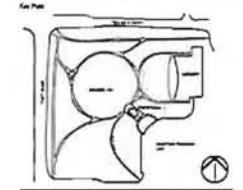
DRG  
Custodian  
PROJECT  
Custodian

ARCHITECTURE  
DESIGNER  
PROJECT MANAGER  
PROJECT ARCHITECT

ELECTRICAL  
Custodian

MECHANICAL  
DESIGNER  
PROJECT MANAGER  
PROJECT ARCHITECT

Client  
**CITY OF NOVI**  
45175 W. TEN MILE RD.  
NOVI, MI 48375



PRELIMINARY SITE PLAN	DATE
DATE	DATE

**PRELIMINARY  
NOT FOR CONSTRUCTION**



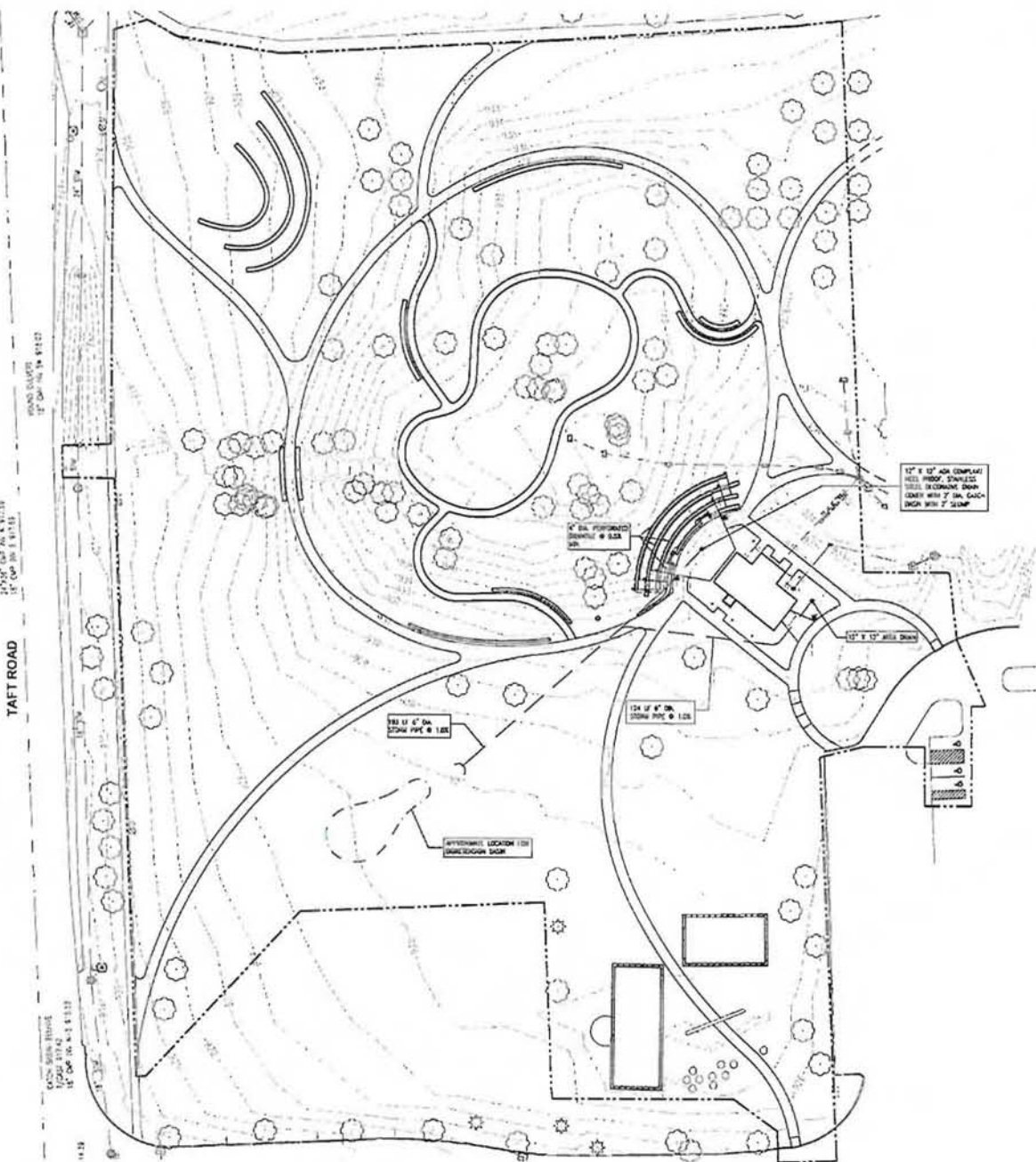
Project  
**NOVI  
FUERST PARK**

Drawing title  
**GRADING ENLARGEMENT  
PLAN**

Project Number: 241783  
Drawn By: TD  
Scale: 1/8" = 1'-0"

**C6.2**





**FIRST FLUSH VOLUME**

THE 180' FILTER STORM IS DEFINED AS THE FIRST 0.5" OF RAIN OVER THE BASIN KNOCKOUT:

$$V = (0.2) \times (1/12') \times (1000 \text{ sq ft}) \times A + C = 101.9 + 0.12 + 0.20 = 128.5 \text{ cu ft}$$

**SURFACE AREA OF BIORETENTION BASIN**

$$A = \frac{V \times D}{(C + 0.2) \times D}$$

**NOTE:**

- A = SURFACE AREA OF BIORETENTION BASIN
- D = DEPTH OF THE FILTER MEDIA (INCHES) = 2'
- C = COEFFICIENT OF PERMEABILITY OF THE FILTER MEDIA PLACING SOIL (%/day)
- = 1 (SANDY SOIL) & VARIATION OF 20% (SANDY, MED SAND, CLAY SAND)
- V = VOLUME RESERVE OF WATER BEING FILTERED (CUMULATIVE) = 128.5 cu ft
- P = DESIGN FILTER MEDIA RES. DRAIN TIME (days) = 0.5 DAYS

$$A = \frac{128.5 \text{ cu ft} \times 2'}{10/100 \times (1/12') \times 2'} + 0.5 \text{ days}$$

$$A = 220 \text{ sq ft}$$

**PROPOSED AREA OF BIORETENTION BASIN**

PROPOSED AREA OF BIORETENTION BASIN = 220 ft x 40 ft = 8800 sq ft

8800 sq ft > 220 sq ft THEREFORE SUFFICIENT SURFACE AREA EXISTS

**VOLUME OF THE BIORETENTION BASIN**

VOLUME OF THE BIORETENTION BASIN = 220 ft x 40 ft x 2' = 17600 cu ft

17600 cu ft > 128.5 cu ft THEREFORE SUFFICIENT VOLUME EXISTS

**hamiltonanderson**

architecture landscape architecture  
urban planning civil engineering  
interior design graphic design

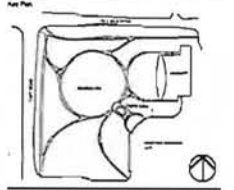
Hamilton Anderson Associates  
1405 Randolph Suite 200  
Detroit, Michigan 48226  
p 313.964.0270 f 313.964.0170  
www.hamiltonanderson.com

CHL  
Consultant  
1000 WOODLAND AVE, SUITE 500  
ANN ARBOR, MI 48106  
P 734.769.5000 F 734.769.5000

ELECTRICAL  
Consultant  
HAMILTON ANDERSON ASSOCIATES  
1405 RANDOLPH SUITE 200  
DETROIT, MI 48226  
P 313.964.0270 F 313.964.0170

MECHANICAL  
Consultant  
HAMILTON ANDERSON ASSOCIATES  
1405 RANDOLPH SUITE 200  
DETROIT, MI 48226  
P 313.964.0270 F 313.964.0170

City  
**CITY OF NOVI**  
45175 W. TEN MILE RD.  
NOVI, MI 48375




Project  
**NOVI FUERST PARK**

Drawing Title  
**UTILITY PLAN**

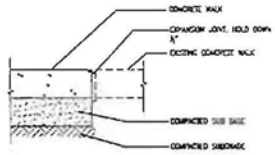
Project Number: 241010  
Drawn By: TD  
Date: 08/20/10  
Scale: 1" = 20'-0"

Checked By: [Signature]  
Date: [Signature]

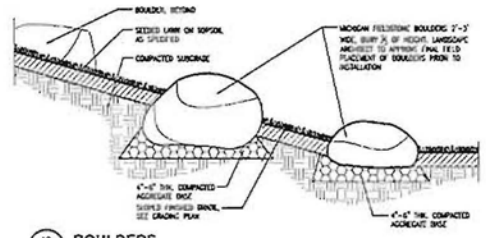
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**



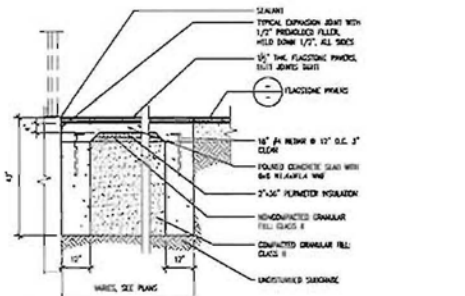
**C6.3**



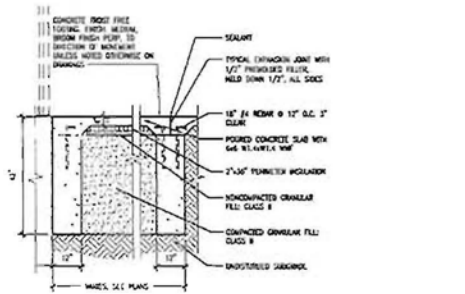
**11 JOINT AT NEW TO EXISTING CONCRETE WALK**  
SCALE: 1/2"=1'-0"



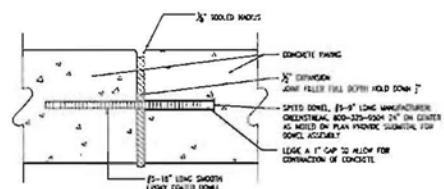
**10 BOULDERS**  
SCALE: 3/4"=1'-0"



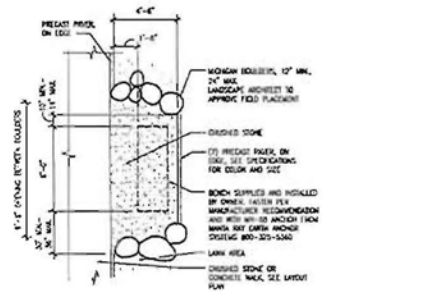
**9 FROST FREE FOOTING WITH FLAGSTONE PAVING**  
SCALE: 1/2"=1'-0"



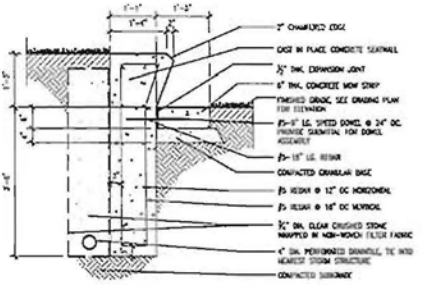
**8 FROST FREE FOOTING**  
SCALE: 1/2"=1'-0"



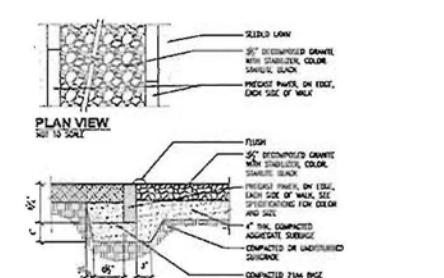
**7 PINNED EXPANSION JOINT**  
SCALE: 3/4"=1'-0"



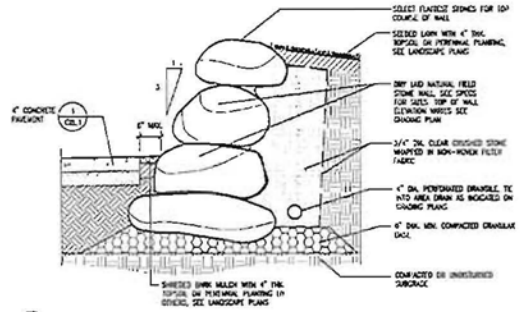
**6 TYPICAL BENCH LAYOUT PLAN**  
SCALE: 1/4"=1'-0"



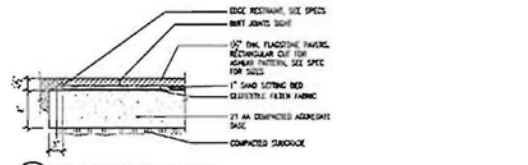
**5 CONCRETE SEATWALL**  
SCALE: 3/4"=1'-0"



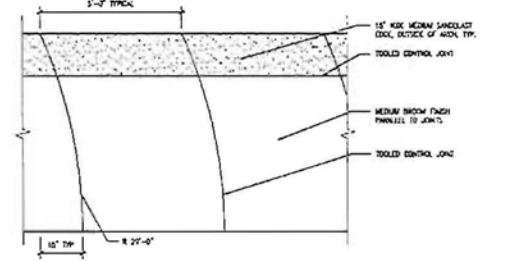
**4 CRUSHED STONE WALK**  
SCALE: 1"=1'-0"



**3 FIELD STONE RETAINING WALL SECTION**  
SCALE: 3/4"=1'-0"



**2 FLAGSTONE PAVERS**  
SCALE: 1"=1'-0"



**1A CONCRETE PAVEMENT JOINTING**  
SCALE: 1/2"=1'-0"



**1 4" CONCRETE PAVEMENT**  
SCALE: 1"=1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

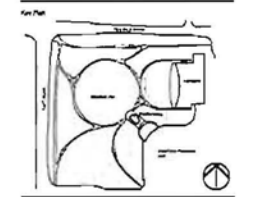
**hamiltonanderson**

architecture landscape architecture  
urban planning civil engineering  
interior design graphic design

Hamilton Anderson Associates  
1435 Randolph Suite 200  
Detroit, Michigan 48226  
p 313 564 0270 f 313 564 0170  
www.hamiltonanderson.com

CIVIL Consultant	WH ENGINEERING LTD 200 SANDY CREEK RD ANN ARBOR MI 48106 P 734 963 7213 F 734 963 7210
ELECTRICAL Consultant	BERTELSON ASSOCIATES 3000 W. FERRY ST. #107 ANN ARBOR MI 48106 P 734 963 3128 F 734 963 3129
IRIGATION Consultant	GRANITE ASSOCIATES LLC 13975 SANDY LANE ANN ARBOR MI 48106 P 734 963 3128 F 734 963 3129

City of Novi  
**CITY OF NOVI**  
45175 W. TEN MILE RD.  
NOVI, MI 48375



PRELIMINARY SITE PLAN S&P REVIEW	12/20/18 12/20/18
-------------------------------------	----------------------

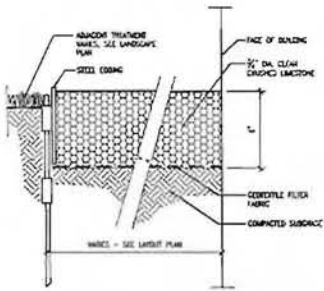
**NOVI FUERST PARK**

**SITE DETAILS**

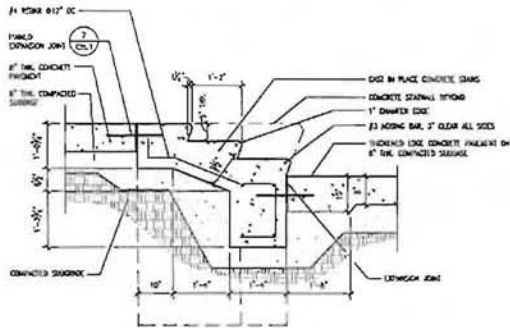
Project Number: 281878	
Drawn by: TD	Approved by: J.E. BT
Date: AS NOTED	

Contract No.

**C8.1**

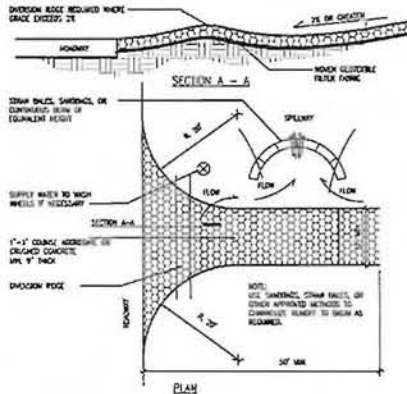


7 **STONE MAINTENANCE STRIP**  
NOT TO SCALE

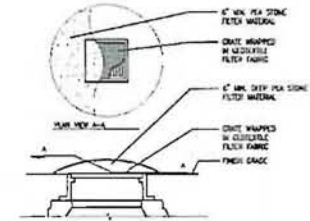


8 **CONCRETE STAIR AT AMPHITHEATER**  
3/4"=1'-0"

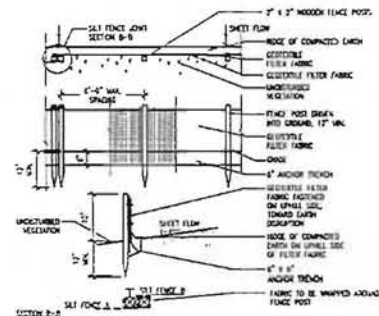
NOTES:  
SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT WASHING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, STONE AND / OR CURBWORK OF ANY REQUIRED SIZE TO STAY SEDIMENT.  
WHEN NECESSARY, WELLS SHALL BE CLEANED PRIOR TO ENTRANCE INTO PUBLIC RIGHTS-OF-WAY.  
WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH GRASS OR STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



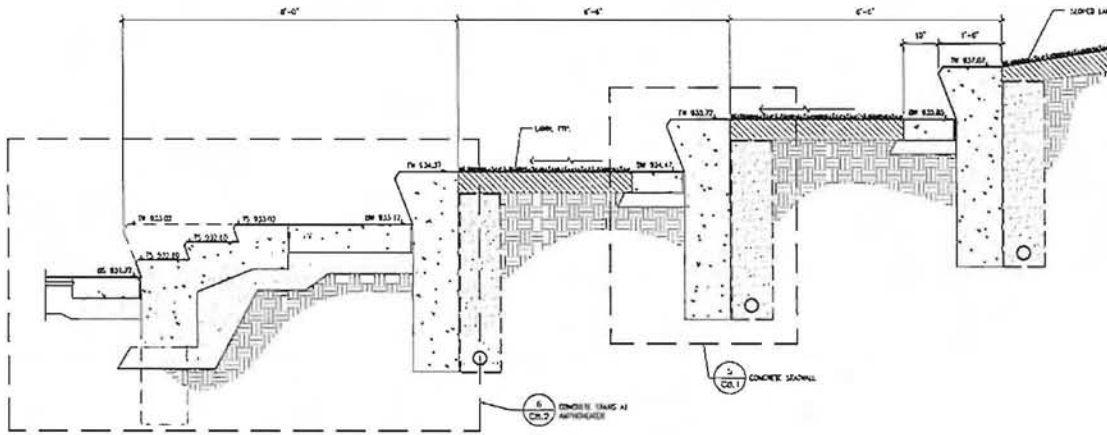
9 **TEMPORARY CONSTRUCTION ACCESS**  
1"=1'-0"



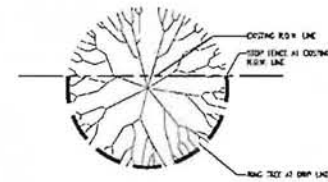
5 **STORM INLET FILTER**  
1"=1'-0"



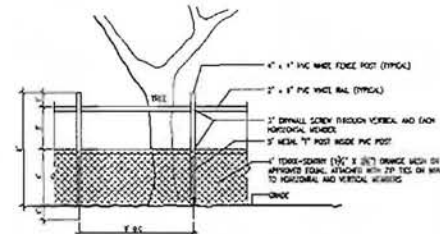
2 **SILT FENCE**  
1"=1'-0"



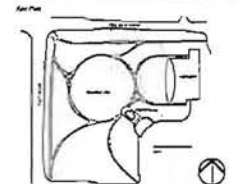
3 **SECTION THROUGH AMPHITHEATER**  
3/4"=1'-0"



PLAN

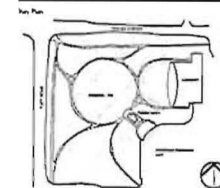


1 **TREE PROTECTION FENCE**  
1/4"=1'-0"



PRELIMINARY  
NOT FOR CONSTRUCTION





PRELIMINARY  
NOT FOR CONSTRUCTION

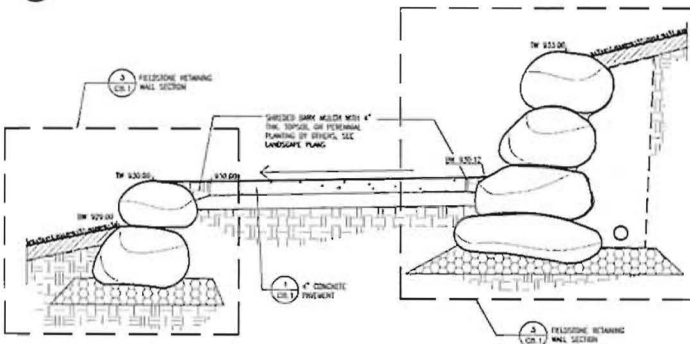
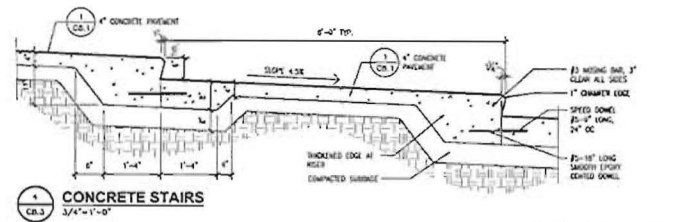
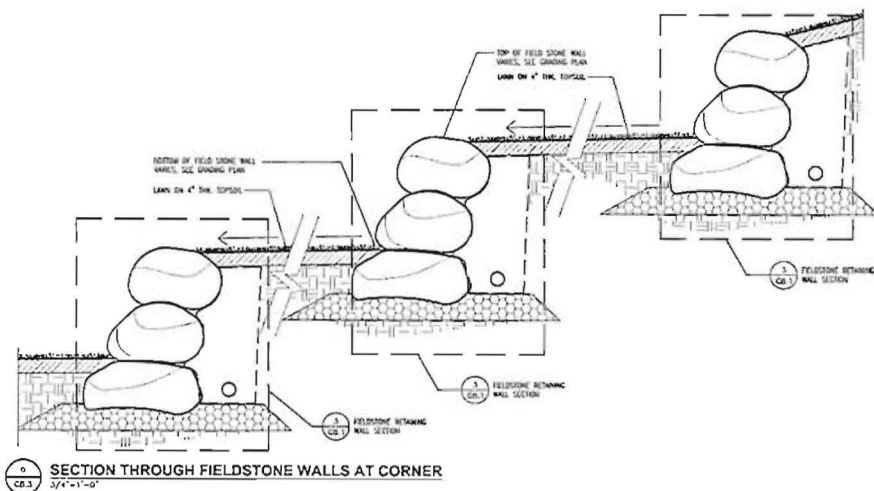
PRELIMINARY SITE PLAN  
DATE REVIEWED: 12/18/16  
DATE: 12/05/16

Project:  
**NOVI  
FUERST PARK**

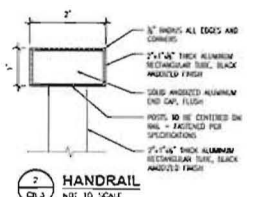
Drawn by:  
**NOVI  
FUERST PARK**

Drawn by:

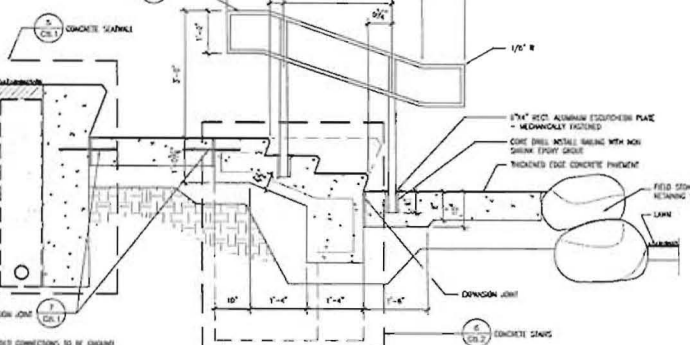
C8.3



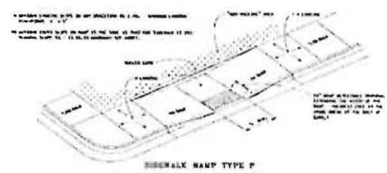
SECTION THROUGH FIELDSTONE WALLS  
3/4\"/>



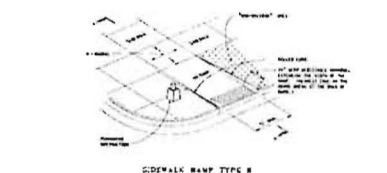
HANDRAIL  
NOT TO SCALE



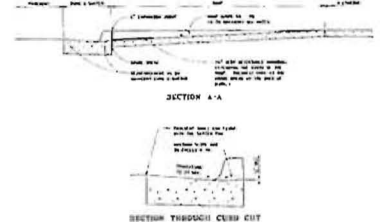
CONCRETE STAIR AND HANDRAIL SECTION  
3/4\"/>



SIDEWALK RAMP TYPE F



SIDEWALK RAMP TYPE B

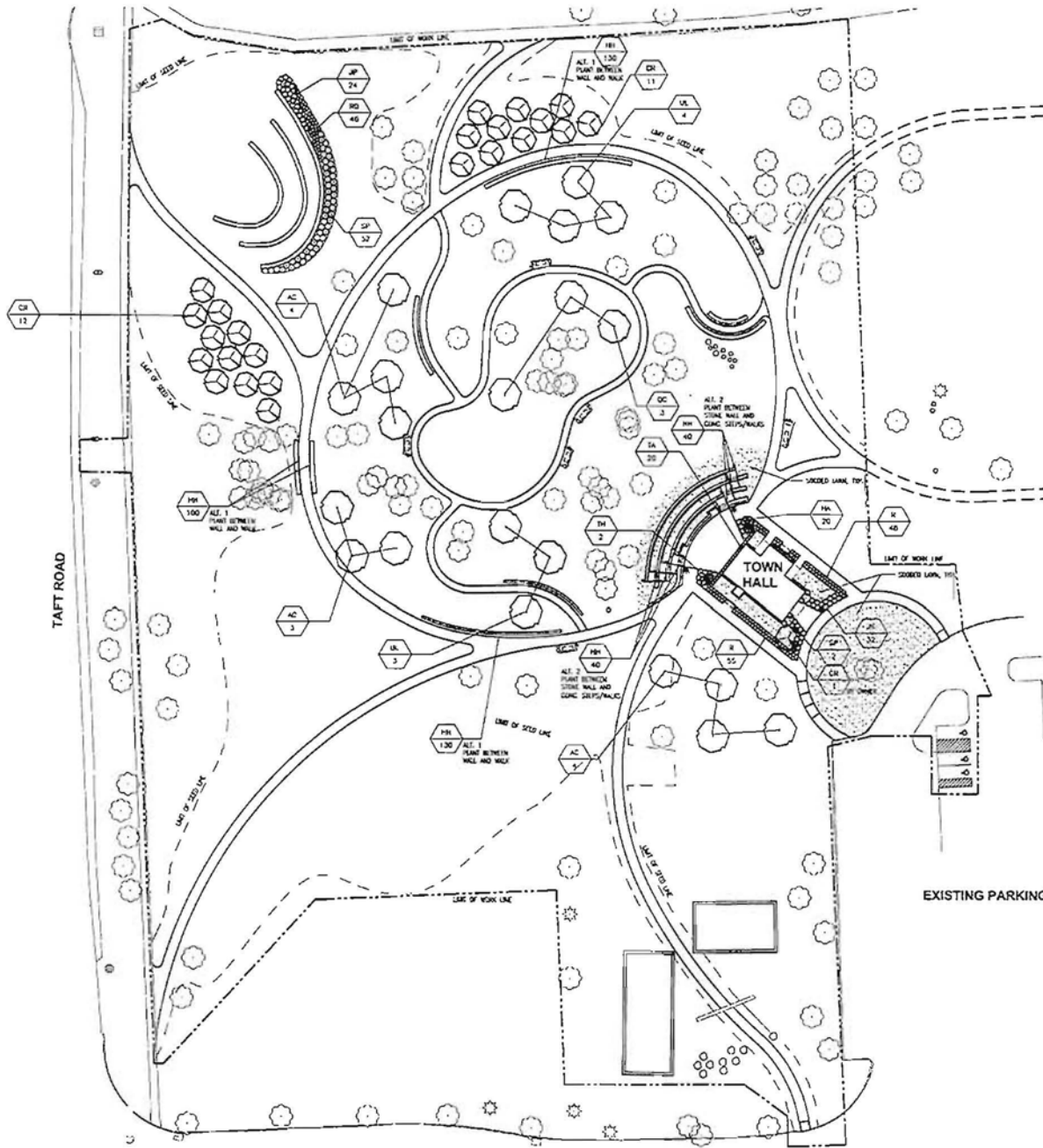


SECTION THROUGH CURB CUT

BARRIER FREE RAMP - MDOT  
NO SCALE



NOTES:  
1. ALL DETECTABLE MARKING SURFACES SHALL BE CONFORMANT WITH THE 2011 ADAAG AND 2010 ADA Standards for Accessible Design, SECTION 408.2.2.1.  
2. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL CURB CUTS, CROSSINGS, AND TRANSITIONS.  
3. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL STAIRS AND RAMP ENDS.  
4. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL ELEVATION CHANGES.  
5. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN SURFACES.  
6. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN MATERIALS.  
7. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN COLORS.  
8. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN TEXTURES.  
9. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN SLOPES.  
10. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN DIRECTIONS OF TRAVEL.  
11. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN FUNCTIONS.  
12. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN USES.  
13. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN ACTIVITIES.  
14. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN EVENTS.  
15. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN PERIODS OF TIME.  
16. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN LOCATIONS.  
17. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN STATES OF BEING.  
18. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN MANNER OF BEING.  
19. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN QUALITY OF BEING.  
20. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN QUANTITY OF BEING.  
21. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN RELATIONSHIP OF BEING.  
22. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN INFORMATION OF BEING.  
23. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN KNOWLEDGE OF BEING.  
24. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN UNDERSTANDING OF BEING.  
25. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN WISDOM OF BEING.  
26. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING.  
27. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING TO BEING.  
28. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING WITH BEING.  
29. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING FOR BEING.  
30. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING BY BEING.  
31. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING TO BEING.  
32. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
33. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
34. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
35. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
36. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
37. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
38. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
39. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
40. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
41. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
42. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
43. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
44. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
45. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
46. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
47. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
48. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
49. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
50. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
51. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
52. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
53. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
54. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
55. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
56. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
57. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
58. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
59. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
60. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
61. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
62. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
63. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
64. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
65. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
66. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
67. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
68. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
69. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
70. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
71. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
72. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
73. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
74. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
75. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
76. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
77. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
78. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
79. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
80. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
81. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
82. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
83. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
84. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
85. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
86. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
87. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
88. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
89. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
90. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
91. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
92. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
93. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
94. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
95. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
96. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.  
97. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING FOR BEING.  
98. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING BY BEING.  
99. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING OF BEING.  
100. DETECTABLE MARKING SURFACES SHALL BE INSTALLED AT ALL TRANSITIONS BETWEEN BEING OF BEING WITH BEING.



**PLANT LIST - ADD ALTERNATE #1**

CODE	QTY.	MATERIAL AND SIZE	COMMENTS
HH	500	Hedera helix English Ivy	8" in. 50/foot
JP	24	Jurubane arborescens 'Buffalo' Buffalo Juniper	3" in. Staggered
RD	45	Rosa 'Walding Park Knockout' Knockout Rose	2" in. Staggered
SP	32	Spiraea x vanhouttei Van Houste Spiraea	4" in. Staggered

**PLANT LIST - ADD ALTERNATE #2**

CODE	QTY.	MATERIAL AND SIZE	COMMENTS
HH	80	Hedera helix English Ivy	8" in. 50/foot
JP	32	Jurubane arborescens 'Buffalo' Buffalo Juniper	
HA	20	Hydrangea s. 'Annabelle' Annabelle Hydrangea	
R	103	Rosa 'Park Knockout' Park Knockout Rose	
SP	2	Spiraea x vanhouttei Van Houste Spiraea	4" in. Staggered
TA	30	Taxus s. media 'Nuttall' Nuttall's Yew	
TH	2	Thuja s. 'Vigors' Nivalis Arborvitae	6" in.

**PLANT LIST (BY OWNER)**

CODE	QTY.	MATERIAL AND SIZE	COMMENTS
AC	11	Acer macrocarpa Sugar Maple	
CR	24	Crataegus phoenicifolium 'Old Fashion' Old Fashion Hawthorn	
OC	3	Quercus coccinea Scarlet Oak	
UL	7	Ulmus americana 'Valley Forge' Valley Forge Elm	

**hamiltonanderson**

architecture landscape architecture  
urban planning civil engineering  
interior design graphic design

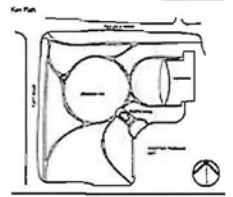
Hamilton Anderson Associates  
1435 Sunnyside Suite 200  
Detroit, Michigan 48226  
p 313 964 0370 f 313 964 0170  
www.hamilton-anderson.com

ONE  
Consultant  
1811 ADAMS STREET  
DETROIT, MI 48226  
P 313 964 0370 F 313 964 0170

ELECTRICAL  
Consultant  
SERVICES ASSOCIATES  
3040 W. FORT ST. #1000  
ANN ARBOR, MI 48106  
P 734 463 3333 F 734 463 3333

MECHANICAL  
Consultant  
GREEN & ASSOCIATES LLC  
1810 SUNNYSIDE LANE  
ANN ARBOR, MI 48106  
P 734 977 5811 F 734 977 5811

City of NOVI  
45175 W. TEN MILE RD.  
NOVI, MI 48375



PRELIMINARY SITE PLAN	12/16/08
SITE REVIEW	12/16/08

Project  
**NOVI  
FUERST PARK**

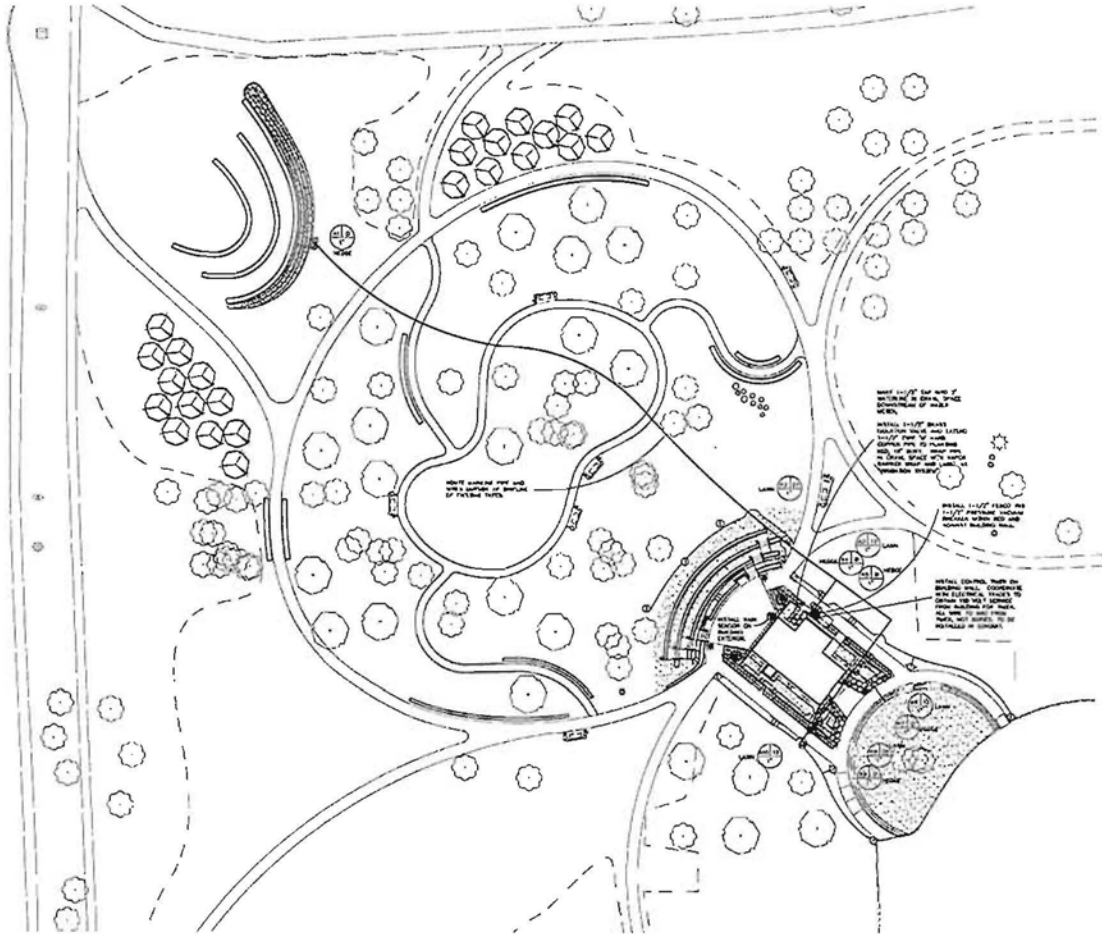
Creating the  
**LANDSCAPE PLAN**

Project Number	24179/02
Drawn By	TD
Approved By	LS
Scale	SCALE: 1" = 30'-0"
Graphic Scale	0' 30' 60' 90'

PRELIMINARY  
NOT FOR CONSTRUCTION



**L1.1**



**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT	NO. 1	NO. 2	NO. 3
⊕	4" Pop-Up Spray w/ Pressure Compensation	MS-10	RAMBUR 100-110	1502-20 W
⊕	Flurry Nozzle	VF3000 Keflex Nozzle	817-21' Nozzle	KA
⊕	12" Nozzle Nozzle	Flow Pattern Nozzle	WPE Nozzle	WPE Plus Nozzle
⊕	12" Nozzle Nozzle	12 Series Nozzle	12 Series Nozzle	12 Series Nozzle
⊕	12" Nozzle Nozzle	15 Series Nozzle	15 Series Nozzle	15 Series Nozzle
⊕	Automatic Control Valve	POV Series	PGA Series	752 Series
⊕	Gain Control Valve	MS-10	RAMBUR 100	MS-10
⊕	Control Valve	CS-2400-M	CVA-2400	CC-1-21
⊕	Rain Sensor	Weather Data Co.	WD-10A	7893

⊕ Timer Outlet  
 ⊕ Valve  
 ⊕ Rain Sensor  
 --- Lateral Pipe - 2" Dia  
 --- Lateral Pipe - 1" Dia  
 --- Drip Pipe - See Data Sheet

**hamiltonanderson**  
 architecture landscape architecture  
 urban planning civil engineering  
 interior design graphic design

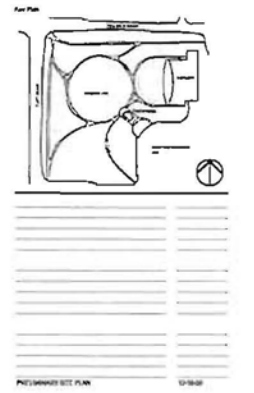
Hamilton Anderson Associates  
 1435 Randolph Suite 200  
 Detroit, Michigan 48226  
 p 313 964 0270 f 313 964 0170  
 www.hamilton-anderson.com

**Civil**  
 CONSULTING ENGINEERS  
 225 HUNLEY AVE. SUITE 500  
 DETROIT, MI 48226  
 P 313 963 0000 F 313 963 0000

**ELECTRICAL**  
 CONSULTING ENGINEERS  
 3600 W. FORT ST. SUITE 100  
 FARMINGTON HILLS, MI 48334  
 P 248 886 2100 F 248 886 2101

**IRRIGATION**  
 CONSULTING ENGINEERS  
 1700 S. DIXIE RD. SUITE 100  
 WARREN, MI 48090  
 P 586 871 5000 F 586 871 5000

Client  
**CITY OF NOVI**  
 45175 W. TEN MILE RD.  
 NOVI, MI 48375



**NOVI**  
**FUERST PARK**

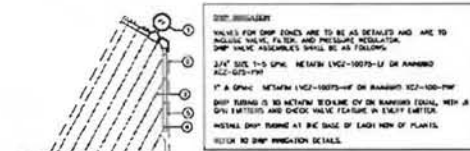
Drawn by  
**IRRIGATION PLAN**

Project Number: 2010/20  
 Drawn by: GJ Approved by: GJ  
 Date: 11/1/00

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

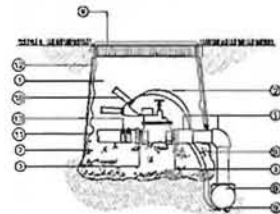
11.1





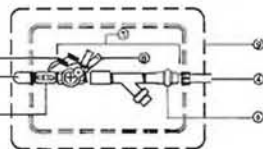
- 1 ZONE FLOOR VALVE ASSEMBLY TO BE INSTALLED TO MATCH VALVE ASSEMBLY
- 2 PLASTIC WALL PANELS
- 3 METAFIX SUBMERGED EMITTER TUBING
- 4 EMITTER CONNECTION (PVC 80 FLANS)
- 5 PVC 80 IN. DRIP MAINS TO BE QUOTE BY APPROVED HOSE VALVES
- 6 COMPRESSION FITS
- 7 PVC 80 IN. DRIP MAINS TO BE QUOTE BY APPROVED HOSE VALVES
- 8 HEATER CONTROL VALVE TO BE QUOTE BY APPROVED HOSE VALVES

5 SCHEMATIC DRIPLINE LAYOUT



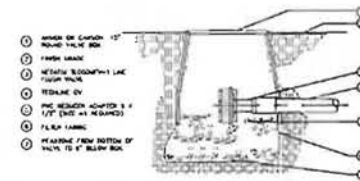
- 1 NUMBER OF HOLES TO BE MADE FROM SIDE AND BOTTOM
- 2 LEAVE GAP OF ONE (1) INCH BETWEEN HOLES TO BE MADE TO BE ALLOWED TO BE CONNECTED TO THE SYSTEM (STRENGTHEN HOLES AND CONNECTIONS)
- 3 NOMINATE BY PVC FITTING
- 4 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 5 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 6 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 7 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 8 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 9 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 10 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 11 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 12 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 13 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 14 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 15 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 16 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 17 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 18 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 19 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 20 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN

5 AUTOMATIC CONTROL VALVE (SPRINKLER ZONES)

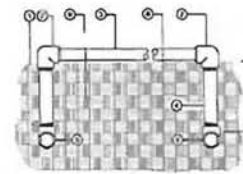


- 1 NUMBER OF HOLES TO BE MADE FROM SIDE AND BOTTOM
- 2 LEAVE GAP OF ONE (1) INCH BETWEEN HOLES TO BE MADE TO BE ALLOWED TO BE CONNECTED TO THE SYSTEM (STRENGTHEN HOLES AND CONNECTIONS)
- 3 NOMINATE BY PVC FITTING
- 4 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 5 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 6 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 7 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 8 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 9 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 10 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 11 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 12 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 13 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 14 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 15 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 16 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 17 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 18 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 19 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN
- 20 3/4" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 3/4" HOLES IN

4 DRIP ZONE CONTROL ZONE ASSEMBLY (PLAN VIEW)

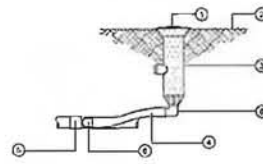


3 DRIP FLUSH VALVE ASSEMBLY



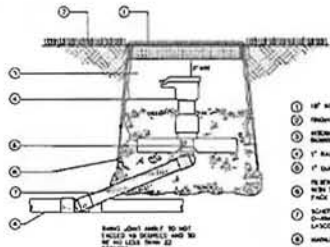
- 1 FLOOR GRADE
- 2 VALVE & COMPRESSION FLANS
- 3 SUBMERGED EMITTER TUBING AND CONNECTIONS
- 4 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 5 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 6 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 7 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 8 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 9 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 10 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 11 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 12 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 13 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 14 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 15 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 16 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 17 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 18 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 19 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 20 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN

2 TECHLINE INSTALLATION ON GRADE



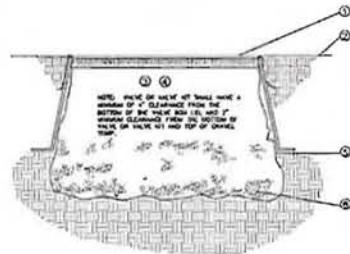
- 1 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 2 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 3 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 4 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 5 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 6 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 7 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 8 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 9 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 10 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 11 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 12 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 13 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 14 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 15 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 16 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 17 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 18 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 19 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 20 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN

1 TWO ELBOW SWING JOINT - SPRINKLERS



- 1 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 2 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 3 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 4 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 5 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 6 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 7 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 8 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 9 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 10 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 11 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 12 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 13 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 14 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 15 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 16 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 17 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 18 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 19 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 20 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN

8 THREE ELBOW SWING JOINT - QUICK COUPLING VALVE



- 1 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 2 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 3 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 4 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 5 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 6 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 7 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 8 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 9 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 10 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 11 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 12 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 13 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 14 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 15 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 16 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 17 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 18 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 19 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN
- 20 1/2" HOLES AND CONNECTIONS TO BE MADE FROM BOTTOM OF VALVE TO 1/2" HOLES IN

7 VALVE BOX INSTALLATION DETAIL

architecture landscape architecture  
urban planning civil engineering  
interior design graphic design

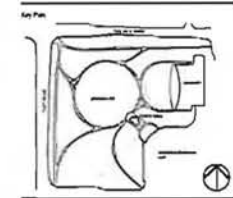
Hamilton Anderson Associates  
1405 Randolph Suite 200  
Detroit, Michigan 48226  
P 313 964 0270 F 313 964 0170  
www.hamiltonanderson.com

**Civil**  
Consultant  
METHUEN/STREIB LTD  
200 BUCKLEY AVE. SUITE 600  
DETROIT, MICHIGAN  
P 313 963 0800 F 313 963 0800

**ELECTRICAL**  
Consultant  
METHUEN/STREIB LTD  
200 BUCKLEY AVE. SUITE 600  
DETROIT, MICHIGAN  
P 313 963 0800 F 313 963 0800

**MECHANICAL**  
Consultant  
METHUEN/STREIB LTD  
200 BUCKLEY AVE. SUITE 600  
DETROIT, MICHIGAN  
P 313 963 0800 F 313 963 0800

City of Novi  
45175 W. TEN MILE RD.  
NOVI, MI 48375

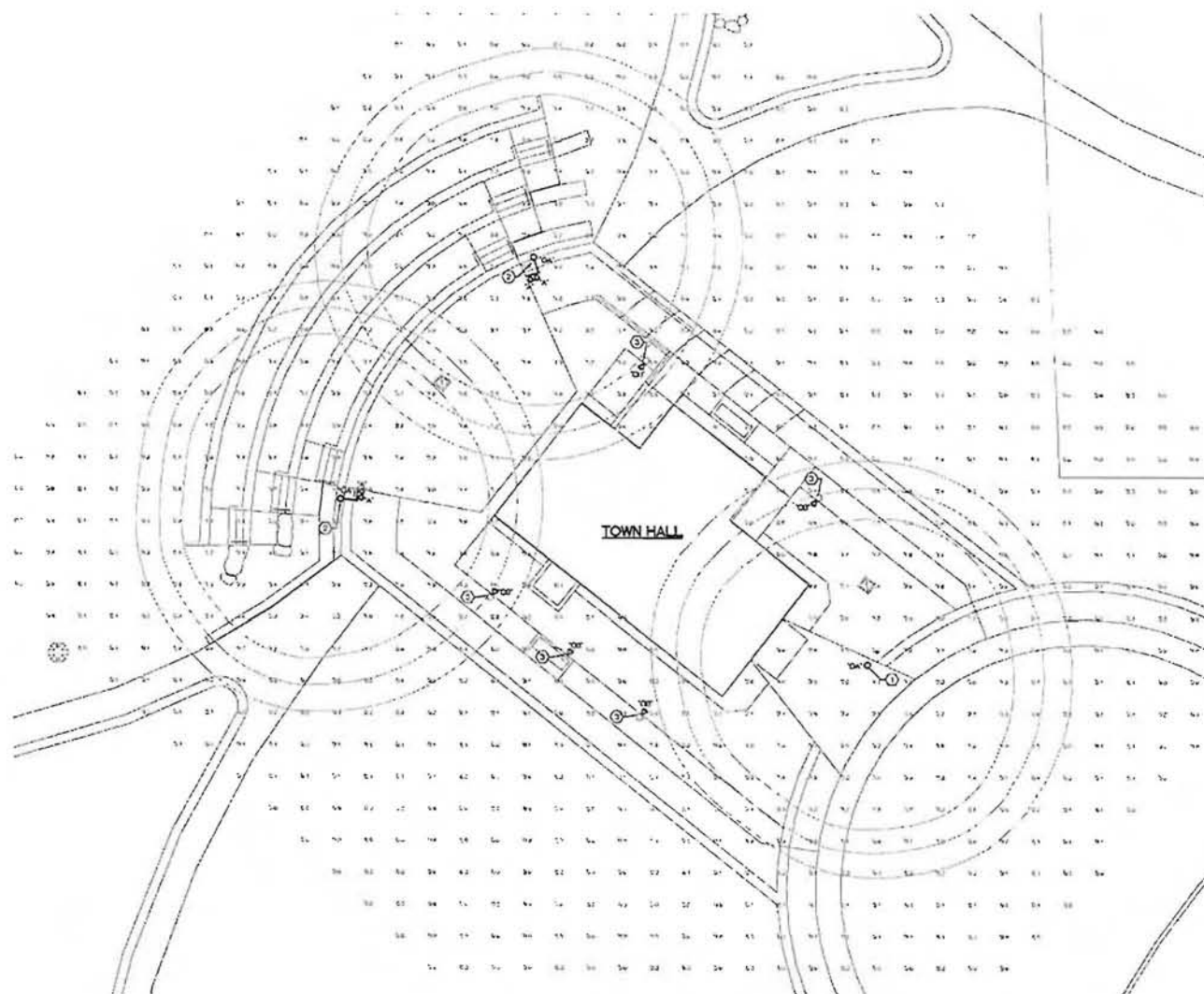


PRELIMINARY  
NOT FOR CONSTRUCTION

NOVI  
FUERST PARK

Project Number: 2019-01  
Drawn by: JLS  
Checked by: JLS  
Scale: AS SHOWN

Sheet No.



TOWN HALL

**PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 30'

STATISTICS						
Orientation	Max	Avg	Min	Std	Max	Min
East Side	9	0.1%	0.1%	0.2%	N/A	N/A

- GENERAL NOTES**
- ILLUMINATION FOOT-CANDALL VALUES REFLECT LIGHTING FROM TYPICAL FEATURES ONLY.
- KEY:**
- LOW METAL HALIDE, POLE MOUNTED PEDESTAL TYPE LUMINAIRE.
  - LOW METAL HALIDE, POLE MOUNTED PEDESTAL TYPE LUMINAIRE WITH TWO ADDITIONAL ARMS TO ACCOMMODATE STREET LIGHTS.
  - TOW METAL HALIDE DRIVE MOUNTED FLOOD LIGHT TO ILLUMINATE THE BUILDING FACADE.

**Civil Engineer**  
HAMILTON ANDERSON  
20000 W. TEN MILE RD.  
DETROIT, MI 48229  
P: 313.368.0000 F: 313.368.0000

**ELECTRICAL Engineer**  
BERGGLIA ASSOCIATES  
3000 W. TEN MILE ROAD  
ANN ARBOR, MI 48106  
P: 734.936.1000 F: 734.936.1000

**ILLUMINATION Engineer**  
BERGGLIA ASSOCIATES  
3000 W. TEN MILE ROAD  
ANN ARBOR, MI 48106  
P: 734.936.1000 F: 734.936.1000

**BERGGLIA ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
3000 West Ten Mile Road  
Ann Arbor, MI 48106  
E: BERGGLIA@ANN.AR.UMICH.EDU  
S: 313.368.0000

Client:  
**CITY OF NOVI**  
45175 W. TEN MILE RD.  
NOVI, MI 48375

Revisions To Plan	DATE

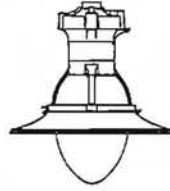
Project:  
**NOVI**  
**FUERST PARK**

Drawing Title:  
**PHOTOMETRIC SITE PLAN**

Project Number: 211995      S&L Worksheet Number: 263408  
 Drawn By:      Approved By:  
 Title:

Drawing No:  
**SE-1**

LIGHTING FIXTURE SCHEDULE	
TYPE	DESCRIPTION
'A'	52Wk. PAV. BA. THEATRICAL FLOOD WITH FRAME AND PROVISIONS FOR GEL FILTERING TO BE MOUNTED ON A COORDINATE PEDESTRIAN LIGHT. ALUMIN. GR-500A. SERIES.
'OA'	80W METAL HALIDE PEDESTRIAN FIXTURE. 52' POLE WITH B ENDWID CHOOK FOR AN OVERALL POLE HEIGHT OF 85'. DARK BRONZE FINISH. POLYPHANE DISPLAYWGL.
'OT'	70W METAL HALIDE FLOOD FUSTLER ARMED TO ILLUMINATE TOWN HALL. DARK BRONZE FINISH. 1100'S. 7000 CFC'S.



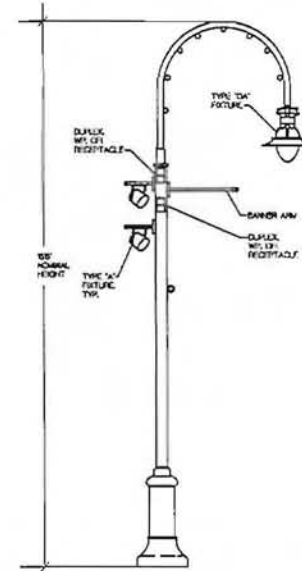
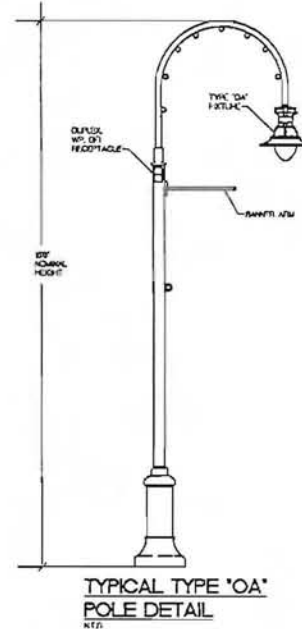
TYPE 'OA'  
FIXTURE DETAIL  
KTG



TYPE 'OB'  
FIXTURE DETAIL  
KTG



TYPE 'A'  
FIXTURE DETAIL  
KTG



hamiltonanderson

CIVIL  
Consultant  
1811 HURON RD.  
TROY, MI 48068  
P. 313.785.0100 F. 313.785.0190

ELECTRICAL  
Consultant  
2200 W. TEN MILE RD. #200  
FARMINGTON HILLS, MI 48334  
P. 248.485.7590 F. 248.485.3511

STRUCTURAL  
Consultant  
DANKER ASSOCIATES LLC  
11871 SHARON LANE  
WINDYBROOK, MI 48095  
P. 248.877.2617 F. 248.877.3021

**BERBICIA ASSOCIATES INC.**  
CONSULTING ENGINEERS

30433 Road Twelve Mile Road  
Farmington Hills, Michigan 48334  
C: 248.486.1113 F: 248.486.3111  
Dir No. 08-0104

Client  
**CITY OF NOVI**  
45175 W. TEN MILE RD.  
NOVI, MI 48375

Revisions: No.	Rev.

Project  
**NOVI  
FUERST PARK**

Drawing Title  
**FIXTURE DETAILS**

Project Number: 217432      343-2-102      21-0014  
Drawing Date:      Approved On:      Date:      08-10-11  
Revised:



**MAPS**

**Location/Air Photo  
Zoning  
Future Land Use  
Natural Features**

# Fuerst Park SP 08-47

Location

## Legend

— Subject Property



Taft Road

Ten Mile Road

Subject Property

### CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD  
NOVI, MI 48375-3024  
(248) 347-0415

MAP AUTHOR: Kristen Kapelánski, Planner



1 INCH = 188 FEET

FEET

MAP PRINT DATE: date

### MAP INTERPRETATION NOTICE

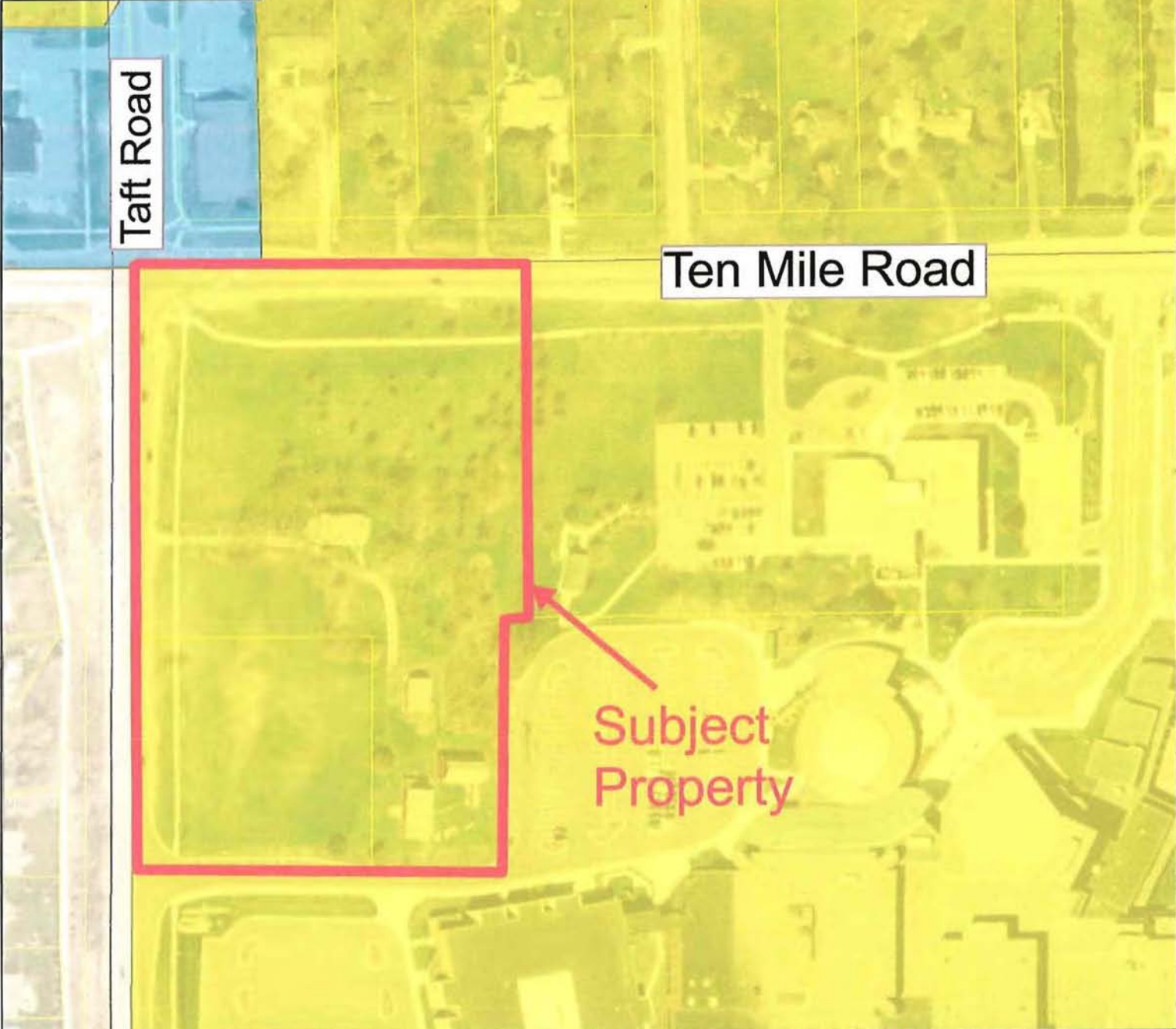

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations is approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



Fuerst Park SP 08-47  
Zoning

**Legend**

- R-3
- R-4
- OS-1
- Subject Property



**CITY OF NOVI**  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
45175 W. TEN MILE ROAD  
NOVI, MI 48375-3024  
(248) 347-0415  
MAP AUTHOR: Kristen Kapelanski, Planner








**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



Fuerst Park SP 08-47  
Future Land Use

**Legend**

-  SINGLE FAMILY
-  PUBLIC
-  EDUCATIONAL FACILITY
-  PRIVATE PARK
-  Subject Property



Taft Road

Ten Mile Road

Subject Property

**CITY OF NOVI**

DEPARTMENT OF COMMUNITY DEVELOPMENT

46175 W. TEN MILE ROAD  
NOVI, MI 48375-3024  
(248) 347-0415

MAP AUTHOR: Kristen Kapelanski, Planner



1 INCH = 188 FEET

MAP PRINT DATE: date

**MAP INTERPRETATION NOTICE**


Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



# Fuerst Park SP 08-47


## Natural Features

### Legend

 Wetlands

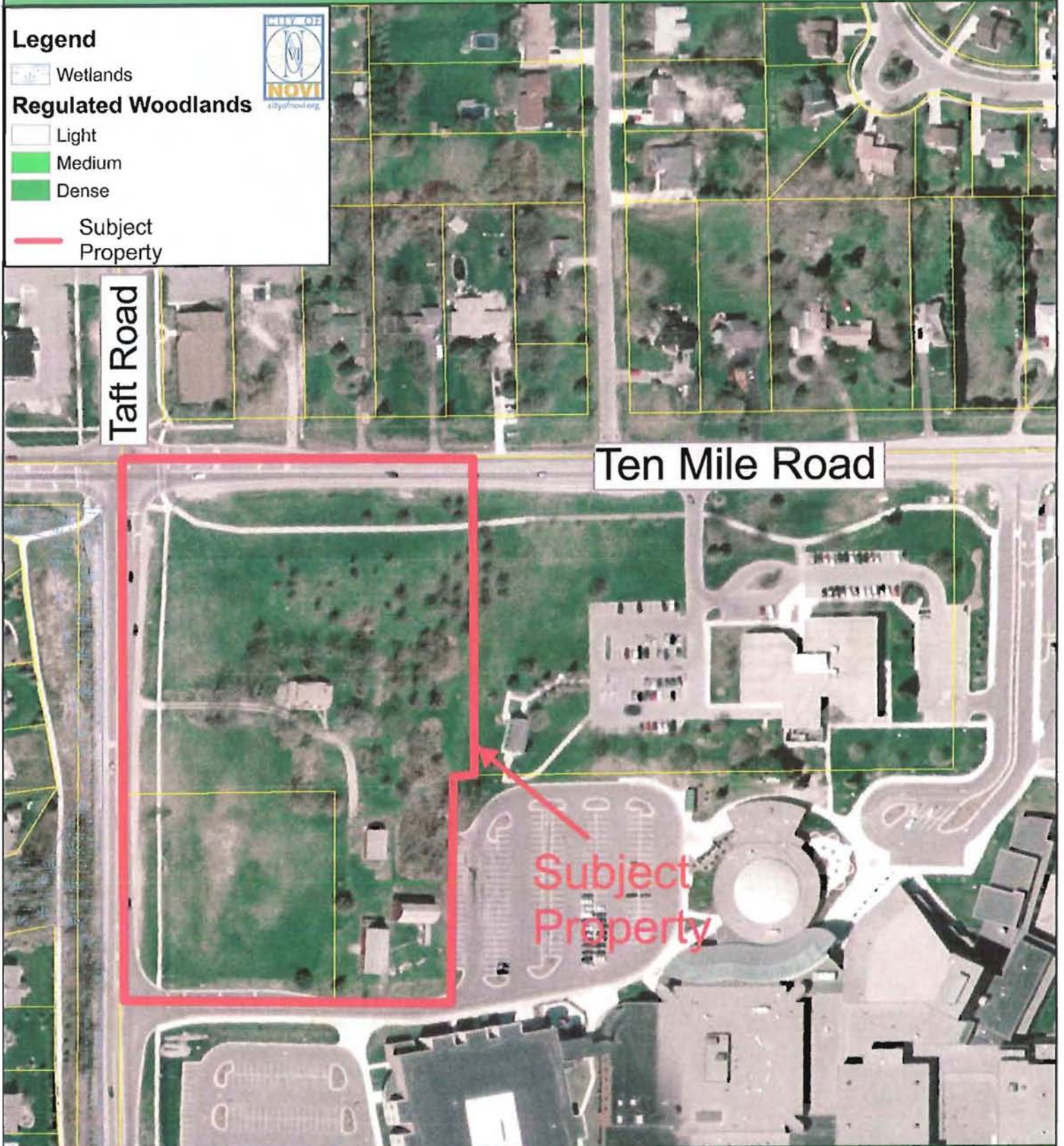
### Regulated Woodlands

 Light

 Medium

 Dense

 Subject Property



### CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD  
NOVI, MI 48375-3024  
(248) 347-0415

MAP AUTHOR: Kristen Kapetanaki, Planner



0 70 140 280 420

FEET

1 INCH = 188 FEET

MAP PRINT DATE: date

### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximations and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.