



EL CAR WASH JSP23-41

JSP23-41 EL CAR WASH

Consideration of El Car Wash for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is 1.22 acres in size and is located on the north side of Grand River Avenue, east of Wixom Road. The subject property is zoned B-3 General Business. The applicant is proposing to demolish the former PNC bank building and construct a 3,700 square foot, drive-thru car wash.

Required Action

Approve/Deny the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	3-29-24	<ul style="list-style-type: none"> • Zoning Board of Appeals Variance from Section 3.10.3 for an overhead door facing Grand River Avenue • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	3-20-24	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Approval recommended	3-06-24	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Traffic	Approval recommended	11-22-23	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Approval recommended	1-29-24	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Fire	Approval recommended	11-15-23	Approval recommended

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of El Car Wash, JSP23-41, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The Zoning Board of Appeals granting a variance from Section 3.10.3 of the Zoning Ordinance for proposing an overhead door facing a major thoroughfare (Grand River Avenue) *because there is existing and proposed landscaping to screen the overhead door from Grand River Avenue;*
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- c. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– AND –

Approval – Stormwater Management Plan

In the matter of El Car Wash, JSP23-41, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan

In the matter of El Car Wash, JSP23-41, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

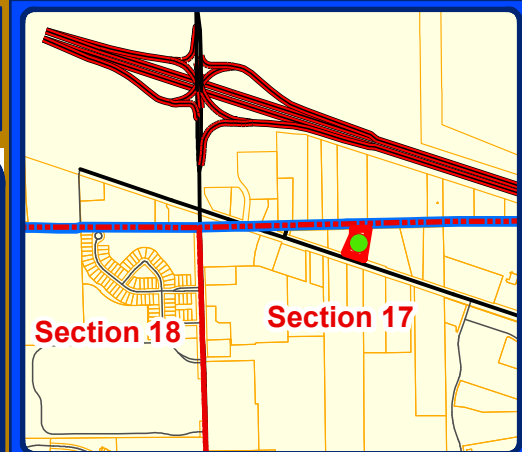
– AND –

Denial – Stormwater Management Plan

In the matter of El Car Wash, JSP23-41, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

EL CAR WASH LOCATION



LEGEND

 Subject Property

City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: James Hill
Date: 4/1/2024
Project: El Car Wash
Version #: 1

0 70 140 280 420 Feet

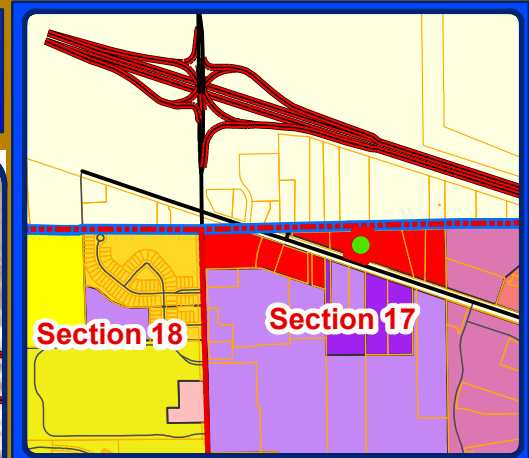
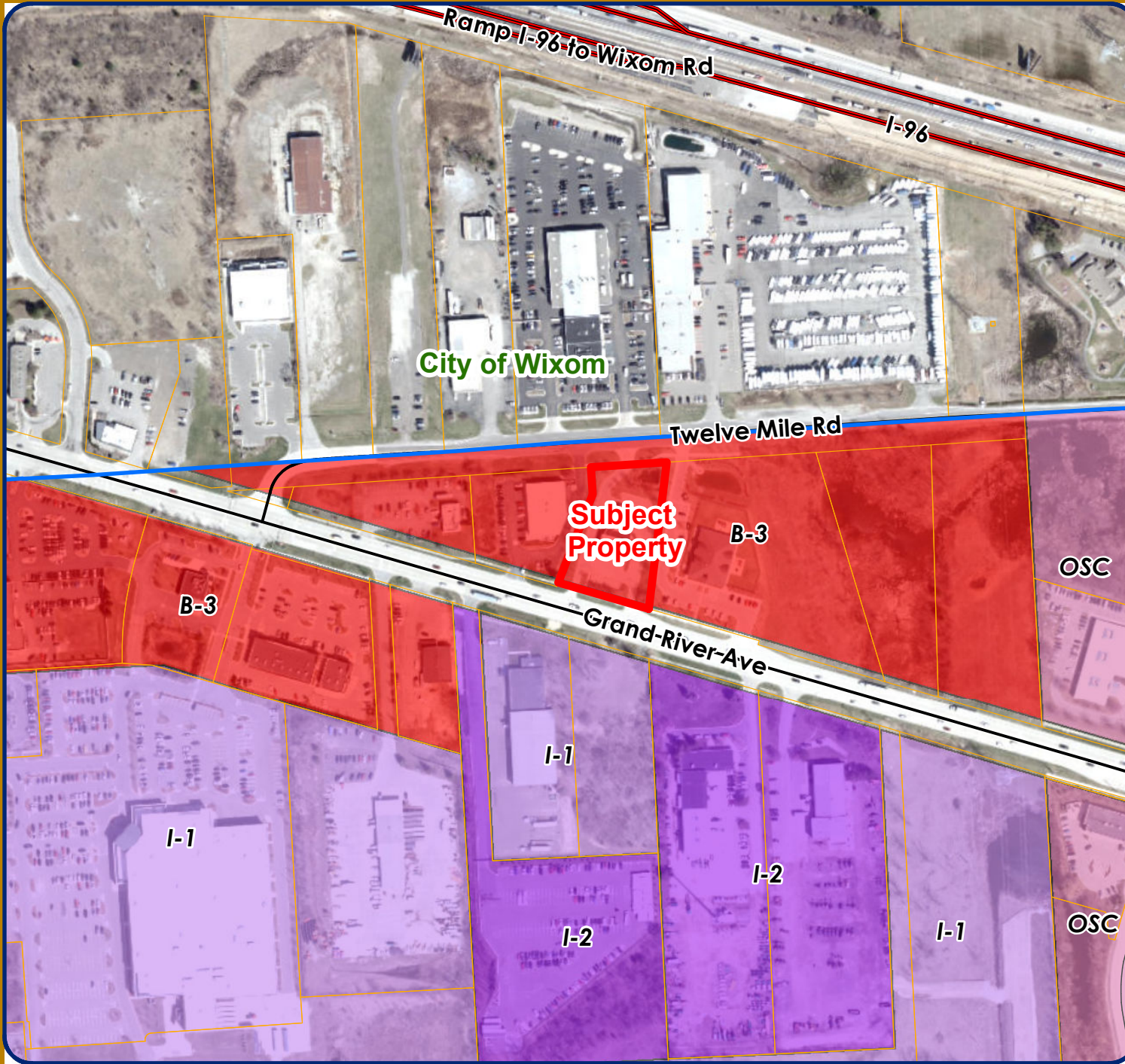
1 inch = 333 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

EL CAR WASH ZONING



Subject Property

LEGEND

- R-1: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-2: Community Business District
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OSC: Office Service Commercial

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: James Hill
 Date: 4/1/2024
 Project: El Car Wash
 Version #: 1

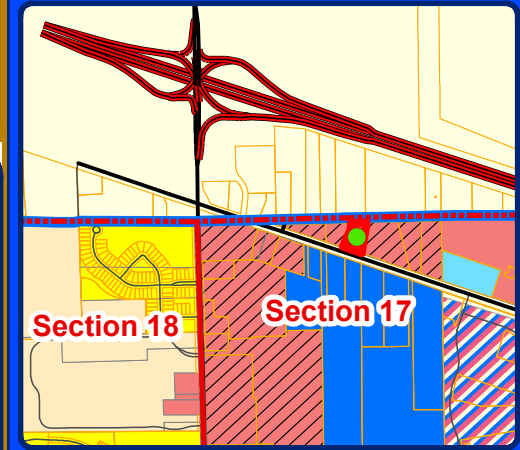
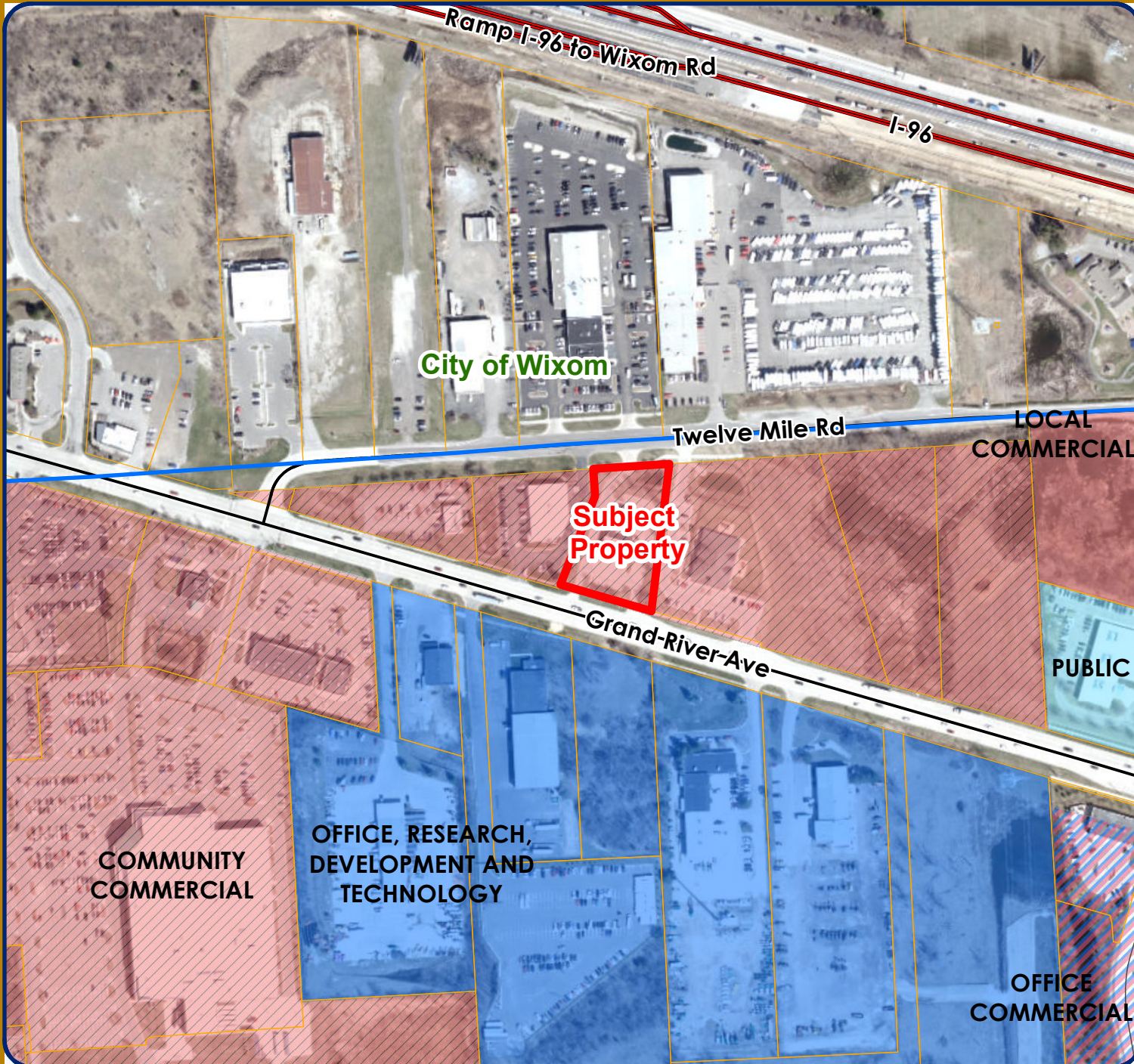
0 70 140 280 420 Feet

1 inch = 333 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

EL CAR WASH FUTURE LAND USE



Subject Property

LEGEND

- Single Family
- Suburban Low-Rise
- Office, Research, Development and Technology
- Office Commercial
- Local Commercial
- Community Commercial
- Educational Facility
- Public

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

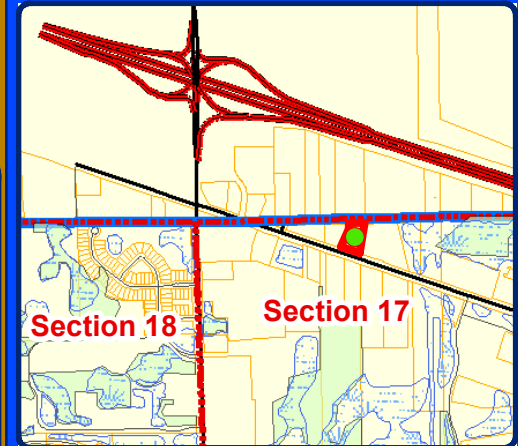
Map Author: James Hill
 Date: 4/1/2024
 Project: El Car Wash
 Version #: 1


0 70 140 280 420 Feet
 1 inch = 333 feet

MAP INTERPRETATION NOTICE



Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

EL CAR WASH NATURAL FEATURES



 Subject Property

LEGEND

-  Wetlands
-  WOODLANDS

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: James Hill
 Date: 4/1/2024
 Project: El Car Wash
 Version #: 1



MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

EL CAR WASH

JSP 23-41

March 19, 2024

PETITIONER

National Express Wash II, LLC

REVIEW TYPE

Second Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	17	
Site Location	48730 Grand River Ave; 22-17-126-011	
Site School	Novi Community School District	
Site Zoning	B-3 General Business District	
Adjoining Zoning	North	N/A (City of Wixom)
	East	B-3 General Business District
	West	B-3 General Business District
	South	I-1 Light Industrial
Current Site Use	Former Bank (PNC)	
Adjoining Uses	North	Varsity Lincoln Collision Center & Wilson Marine
	East	Goddard School
	West	Interior Environments
	South	Hadley's Towing
Site Size	1.22 acres	
Plan Date	February 26, 2024	

PROJECT SUMMARY

The applicant is proposing to demolish the former PNC bank and construct an approximately 3,700 square foot drive thru car wash with 20 vacuum spaces.

RECOMMENDATION

Approval of the Second Revised Preliminary Site Plan is recommended by Planning staff, with comments to be addressed at Final Site Plan. All reviewers now recommend approval of the Preliminary Site Plan. Façade recommended approval of the first revised Preliminary Site Plan and Fire and Traffic previously approved the original Preliminary Site Plan, with conditions.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the City of Novi Zoning Ordinance and any other applicable provisions of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address any items in **bold** with the next review.

1. Overhead Door Facing a Major Thoroughfare (Sec. 3.10.1.A): No overhead door or other type of service bay shall face a major thoroughfare. Overhead door faces Grand River Avenue. **Overhead door will require a variance from the ZBA if configuration is not changed.** *Acknowledged by applicant.*
2. Noise Specifications (Sec. 5.14.10.A): 75 decibels is the maximum amount of noise that an abutting parcel can receive from a neighboring parcel. Specifications have been provided for the 80hp Predator Quiet Dryer System, and the sheet suggests that at 15 feet, the dBA level is at 73.6. **Please confirm what the spec sheet for the Dryer System is saying exactly – it remains unclear without an explanation.**
3. Buffer from adjacent use to the east: The use to the east is the Goddard School daycare. Staff encourages the applicant to consider a fence to buffer the two uses from each other. Additionally, the fence could catch trash that blows from the vacuum area. The fence is not a requirement but is encouraged.
4. Signage: For sign permit information please contact Ordinance Enforcement at 248-735-5678 or OrdinanceEnforcement@cityofnovi.org in the Code Compliance Division for more information.
5. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending approval of the second revised Preliminary Site Plan, with comments to be addressed in the Final Site Plan.
- b. Landscape Review: Landscape is recommending approval of the second revised Preliminary Site Plan with comments to be addressed in the Final Site Plan.
- c. Façade Review: Façade is recommended approval of the first revised Preliminary Site Plan.
- d. Fire: Fire recommended approval of the original Preliminary Site Plan, with conditions.
- e. Traffic: Traffic recommended of the original Preliminary Site Plan, with conditions.

NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER

The Preliminary Site Plan and Stormwater Management Plan will need approval from the Planning Commission. Once a revised Preliminary Site Plan is submitted, and all outstanding comments have been addressed, staff will be able to determine a tentative date for this project to go before the Planning Commission. The next available Planning Commission meeting is Wednesday, April 10. If you would like to appear on that agenda, please provide the following via email one week prior to the meeting once this stage is reached (April 3):

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE. (we already have this)**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (to be used for Planning Commission presentation).
4. A façade sample board per Section 5.15.4.D

ZONING BOARD OF APPEALS

A date for a Zoning Board of Appeals hearing for any variances, if necessary, will be determined by staff after a revised Preliminary Site Plan is submitted and all outstanding comments have been addressed. The applicant has submitted an application to appear on the May ZBA agenda.

FINAL SITE PLAN SUBMITAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please submit the following for review:

1. **Seven** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. [No Revision Façade Affidavit](#) (only if no façade changes have been made)
6. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
7. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
8. An [Other Agencies Checklist](#)

ELECTRONIC STAMPING SET SUBMITAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

STAMPING SET APPROVAL

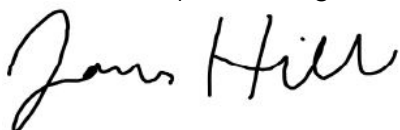
Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

At this time, **a Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248-347-0430 or smarchioni@cityofnovi.org) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248-347-0547 or jhill@cityofnovi.org.



James Hill – Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: March 19, 2024
Review Type: Second Revised Preliminary Site Plan
Project Name: JSP23-41 El Car Wash
Plan Date: February 26, 2024
Prepared by: James Hill
Contact: E-mail: jhill@cityofnovi.org Phone: (248) 347-0547

Items in **Bold** need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan	Local Commercial	No change to existing zoning	Yes	
Zoning <i>(Effective Dec. 25, 2013)</i>	B-3: General Business District	B-3: General Business District	Yes	
Uses Permitted <i>(Sec 3.1.11.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted.	Auto Wash	Yes	Permitted Use
Auto wash <i>(Sec 4.32)</i>	Permitted use in B-3 when completely enclosed in a building	It appears to be completely enclosed in a building. There are vacuum stations outside the building.	Yes	
B-3 Business District Required Conditions (Sec. 3.10)				
Truck Well (Sec. 3.10.1.A)	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district	Overhead door facing Grand River	No	Will require a variance from the ZBA – acknowledged by applicant
Height, bulk, density, and area limitations (Sec 3.1.12)				
Frontage on a Public Street. <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Grand River and Twelve Mile	Yes	
Access to Major Thoroughfare <i>(Sec. 5.13)</i>	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Access to Grand River	Yes	
Building Height <i>(Sec. 3.1.12.D)</i>	30 ft	30 ft	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Building Setbacks (Sec 3.1.12.D)				
Front (Grand River)	30 ft.	59.6 ft.	Yes	
Side (east)	15 ft.	15.2 ft.	Yes	
Side (west)	15 ft.	125.4 ft.	Yes	
Rear (north)	30 ft.	91.9 ft.	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (Grand River)	20 ft.	46.5 ft.	Yes	
Side (east)	10 ft.	50.2 ft.	Yes	
Side (west)	10 ft.	50.4 ft.	Yes	
Rear (12 Mile)	20 ft.	113.8 ft.	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards and rear yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Proposed	N/A	<i>Rear yards with street frontage must comply with front yard building setback standards.</i>
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	56,357 square feet	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Proposed	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	-	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided	Yes	See landscape letter for additional details
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	Not applicable	N/A	
Parking, Loading, and Dumpster Requirements				
Autowash (automatic) (5.2.12.C.)	Two + one for each employee + one for each vacuum station or similar area	2+1 per vacuum stall - Required: 20 - Provided: 20 1 per employee - Required: 3 - Provided: 3 Total: - 25 required - 26 provided	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two-way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping - 45° Parking: 9 ft. x 18 ft. with 15 ft. one-way drive aisle	90° Parking: 9 ft. x 20 ft. 26 ft two-way drive 45° Parking: 9 ft. x 18 ft. angled parking 15 ft. drive aisle	Yes	
Emergency Access	The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet.	Two access points Truck turning movements included in plans	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Appears to comply	Yes	

Item	Required Code	Proposed	Meets Code	Comments
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	None Proposed	Yes	
Barrier Free Spaces Barrier Free Code (2012 Michigan Building Code)	<ul style="list-style-type: none"> - Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible 	2 barrier free spaces proposed	Yes	
Barrier Free Space Dimensions Barrier Free Code (2012 Michigan Building Code)	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	12 ft. wide with an 8 ft. access aisle	Yes	
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space.	Sign indicated	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	Not required	2 spaces provided	Yes	
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	Accessible via 6 ft. sidewalk	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 7 ft. One tier width: 11 ft. Two tier width: 18 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ½ ft.	Yes	Yes	
Loading Spaces (Sec. 5.4.2)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Provided in the rear yard, approximately 308 square feet provided	Yes	
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Interior side yard.	Yes	<i>Indicate service times to ensure collection will not interfere with customer traffic</i>
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: 	Dumpster elevation enclosure included.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Masonry, wood or evergreen shrubbery			
Outdoor Vacuums	Provide specifications for the vacuums (dimensions, color scheme, etc.)	Provided	Yes	
Vacuum Enclosure	Must meet the same standards as the dumpster enclosure.	Located in the interior side yard	Yes	
Drive-through Lanes (Sec. 5.3.11)				
Drive-through Lanes Separation (Sec. 5.3.11.A,C)	Drive-through lanes shall be separate from the circulation routes & lanes necessary for ingress to & egress from the property	Drive-thru lanes are provided farther from ingress and egress.	Yes	
Drive-through setbacks (Sec. 5.3.11.A,B)	Drive through shall follow parking setback requirements and applicable parking lot landscaping requirements	Complies	Yes	See Landscape review letter for further details
Bypass Lane for Drive-through (Sec. 5.3.11.D)	Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width	One-way exit onto 12 Mile road is 20 feet wide	Yes	The intent of the bypass lane is for cars to exit the line at any point. The one-way exit onto 12 Mile Road serves as a bypass lane so a variance is <u>not required</u>.
Width & Centerline Radius of Drive-through Lanes (Sec. 5.3.11.E,F,H)	Drive-through lanes shall have a minimum 9 ft. width, centerline radius of 25 ft. and a minimum length of 19 ft.	10 ft. lane width Centerline radius of 25 ft.	Yes	Refer to Traffic comments for more detail
Drive-through Lane Delineated (Sec. 5.3.11.G)	Drive-through lanes shall be striped, marked, or otherwise delineated	Stacking space dimensions/details provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Drive-Thru Stacking Spaces (Sec. 5.3.11.1)	Twenty-five (25) vehicles prior to the tunnel (may be in multiple lanes), three (3) vehicles beyond the tunnel for drying areas.	39 stacking spaces, 4 drying spaces	Yes	Refer to Traffic comments for additional details.
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Photometric plan is provided at this time	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	- All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	None Proposed	Yes	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	None Proposed	Yes	
Noise Specifications (Sec. 5.14.10.A)	Site proposals must comply with the standards of the noise ordinance. 75 decibels is the maximum amount of noise that an abutting parcel can receive from a neighboring parcel	Specifications have been provided. Silencers are proposed on the drying blowers, which are 22 feet within the car wash exit. The blowers have decibel readings of 80 decibels approximately 51 feet from the blowers and 74 decibels 95 feet from the blowers The 80hp Predator Quiet Dryer System spec sheet suggests that at 15 feet, the dBA level is at 73.6	TBD	Please confirm what the spec sheet for the Dryer System is saying – it is unclear without an explanation

Sidewalk Requirements

Item	Required Code	Proposed	Meets Code	Comments
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- 5-foot sidewalk required along 12 Mile (local street); 6-foot sidewalk required along Grand River (collector or arterial street)	Existing sidewalks to remain	Yes	
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	No concerns	N/A	
Flag Pole (Sec. 4.19.2.B)	Flag poles may be located within any required front or exterior side yard. Such poles shall be located no closer to a public ROW than one half the distance between the ROW and principal building	41.7 ft.	Yes	
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets, and drives, and indicate sq. ft. of pavement area (indicate public or private)	Provided	Yes	
Economic Impact	- Total cost of the proposed building & site improvements - Number of anticipated	Total cost of project approximately \$3.7 million. Number of	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	jobs created (during construction & after building is occupied)	anticipated jobs to be 10 during construction and 18 after		
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.	Indicated that the existing signage will be reused and refaced. Please reach out to Ordinance Enforcement to ensure compliance with City Code	TBD	For sign permit information contact our Ordinance officers at OrdinanceEnforcement@CityofNovi.org
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names does not require approval.	N/A	
Property Split	The proposed property split must be submitted to the Assessing Department for approval.	A split or combination is not proposed.	N/A	
Other Legal Requirements				
Conservation Easements	Conservation easements may be required for woodland impacts	Not applicable	N/A	
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan provided at this time	Yes	
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Elevations show light fixtures	Yes	
Lighting Plan (Sec.5.7.2A.ii)	Specifications for all proposed & existing lighting fixtures		Yes	
	Photometric data	Provided		
	Fixture height	Provided		
	Mounting & design	Provided		
	Glare control devices	Not Applicable	N/A	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	7am – 9pm	Yes	
Maximum height when abutting residential districts (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	Complies	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Seems to comply	Yes	
Security Lighting (Sec. 5.7.3.I) Lighting for	- All fixtures shall be located, shielded, and aimed at the areas to be secured.	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
security purposes shall be directed only onto the area to be secured.	- Fixtures mounted on the building and designed to illuminate the facade are preferred			
Average light levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	2.73:1	Yes	
Color Spectrum Management (Sec. 5.7.3.F)	For all permanent lighting installations - minimum Color Rendering Index of 70 and Correlated Color Temperature of no greater than 3000 Kelvin	All products seem to have a Correlated Color Temperature of 3000 Kelvin and Color Rendering Index of 70	Yes	
Indoor Lighting (Sec. 5.7.3.H)	Indoor lighting shall not be the source of exterior glare or spillover	Indicates compliance	Yes	
Min. Illumination (Sec. 5.7.3.L)	Parking areas: 0.2 min	1.1	Yes	
	Loading & unloading areas: 0.4 min	2.7	Yes	
	Walkways: 0.2 min	0.7	Yes	
	Building entrances, frequent use: 1.0 min	2.1	Yes	
	Building entrances, infrequent use: 0.2 min	N/A	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.L)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Not applicable	N/A	
Max. Illumination adjacent to Residential (Sec. 5.7.3.M)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5-foot candle	Not applicable	N/A	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details

Item	Required Code	Proposed	Meets Code	Comments
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.				

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

03/20/2024

Engineering Review

El Car Wash

JSP23-0041

APPLICANT

Alrig USA

REVIEW TYPE

Revised Revised (RR) Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Located North of Grand River, South of Twelve Mile Road, East of Wixom Road, 48648 Grand River Avenue.
- Site Size: 1.29 acres
- Plan Date: 02/26/2024
- Design Engineer: Stonefield Engineering & Design

PROJECT SUMMARY

- Construction of an approximately 3,700 square-foot Auto Wash building and associated parking. Site access would be provided via public roadways.
- Water service would be provided by a 2-inch extension from the existing 12-inch water main along the north side of Grand River Avenue. No additional hydrants proposed.
- A 6-inch lead would be provided to serve the building.
- Storm water would be collected by a single storm sewer collection system and discharged to an underground detention system and then an on-site detention basin.

RECOMMENDATION

Approval of the RR Preliminary Site Plan and Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan does meet the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

Comments that must be addressed at time of Final Site Plan submittal:

1. When applying the Oakland County Water Resources Commission (OCWRC) design standards for the required 100-year detention volume, the amount is covered by the volume of the aboveground detention basin alone. Thus, we decided to approve the RR Preliminary Site Plan in the case that the Final Site Plan would utilize the OCWRC standards to eliminate the need for underground detention. These standards are also available in the updated City of Novi Engineering Design Manual, pages 5-7 for your reference.
2. Provide a minimum of two ties to established section or quarter section corners.
3. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
4. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
5. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
6. A [Right-of-Way Permit](#) will be required from the City of Novi.
7. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
8. Provide a traffic control plan for the proposed road work activity.
9. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas. Additionally, illustrate and label this on the profiles.
10. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
11. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
12. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
13. Include the tree numbers from the landscaping table to the tree callouts on the site map on sheet C-9.
14. Provide the anticipated mature tree height for the trees that are in the proximity of the overhead utility line in the northeastern corner of the site.
15. The separation distance between the trees and the overhead utility line should be measured from the dripline, not the trunk as shown on the plan sheets.

Water Main

16. Provide water main modeling calculations demonstrating that the required water supply of 2,000/4,000 GPM will be available.
17. Generally, the distribution system in all developments requiring more than eight hundred (800) feet of water main shall have a minimum of two (2) connections to a source of supply and shall be a looped system. Exceptions will be made in those instances when a second connection is not available, or it is not otherwise possible to provide a looped system, provided the system is designed to accommodate a second connection when made available. The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per minute in apartment, cluster residential and similar complexes, institutional and school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. Water mains are required to be extended along all road frontages abutting the proposed development at the direction of the city in accordance with the City of Novi Master Plan current edition for water main construction.

Irrigation Comments

18. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Sanitary Sewer

19. Rather than a clean out, provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
20. Provide a sanitary sewer **basis of design** for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 People/REU).
21. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
22. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
23. Illustrate all pipes intersecting with manholes on the sanitary profiles.

24. Three (3) sealed sets of revised utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#), electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

Storm Sewer

25. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
26. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge off-site/to the storm water basin.
27. Provide profiles for all storm sewer 12-inch and larger. All storm pipes accepting surface drainage shall be 12-inch or larger.
28. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
29. Illustrate all pipes intersecting storm structures on the storm profiles.
30. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
31. Show and label all roof conductors and show where they tie into the storm sewer.

Storm Water Management Plan

32. Remove the relative imperviousness factor, C_{imp} , from the calculations. The composite C value should always be used.
33. The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.
34. For the orifice area calculations, the value H should be the average head on the orifice, not the height of the basin.
35. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the [Engineering Design Manual](#).

36. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum running slope of 1V:5H, maximum cross slope of 3%, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
37. Provide a 5-foot-wide stone bridge/access route allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high-water elevation). Provide details and/or note as necessary.
38. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system (including underground detention system) and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
39. Provide manufacturer's details and sizing calculations for the pretreatment structure(s) on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity. Provide details for existing structure on-site.
40. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
41. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.
42. A 4-foot-wide safety shelf is required one foot below the permanent water surface elevation within the basin.
43. A 25-foot vegetated buffer shall be provided around the perimeter of the storm water basin where impervious area is directed to the basin via surface flow.

Paving & Grading

44. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
45. Provide a minimum of 6 spot elevations where the pathway crosses each driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
46. Provide dumpster pad details, city standard is 8" concrete on 8" 21 AA aggregate base. Note: Dumpster pad shall extend minimum 10' beyond dumpster enclosure.
47. Provide spot elevations at the intersection of the proposed pathway with the existing pathway.
48. Label specific ramp locations on the plans where the detectable warning surface is to be installed.

49. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.
50. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
51. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
52. Provide a note on the Grading Plan stating that the proposed pathway within the road right-of-way shall match existing grades at both ends.
53. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
54. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
55. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
56. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.
57. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

Soil Erosion and Sediment Control

58. An SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a [SESC permit application](#) under separate cover.

The following must be submitted with the Final Site Plan:

59. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
60. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).
61. Due to the above comments, the itemized construction cost estimate should be revised and resubmitted to the Community Development Department for the determination of plan review and construction inspection fees.

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a [legal review transmittal form](#). Partial submittals will not be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#))

62. A draft copy of the [Storm Drainage Facility Maintenance Easement Agreement \(SDFMEA\)](#), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
63. A draft copy of the 20-foot-wide [Sanitary Sewer Monitoring Manhole Access Easement](#) onsite must be submitted to the Community Development Department. (Will not be required if Monitoring Manhole is within the right-of-way)
64. Executed copies of approved off-site utility easements must be submitted.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Benjamin Nelson at (248)735-5625 or email at bnelson@cityofnovi.org with any questions.

Benjamin Nelson

Benjamin Nelson,
Civil Engineer

cc: James Hill, Community Development
Humna Anjum, Engineering
Adam Yako, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

March 6, 2024
El Car Wash
Second Revised Preliminary Site Plan - Landscaping

Review Type

Second Revised Preliminary Site Plan Landscape Review

Job #

JSP23-0041

Property Characteristics

- Site Location: 48648 Grand River Ave.
- Site Acreage: 1.34 ac.
- Site Zoning: B-3
- Adjacent Zoning: East, West: B-3, North: City of Wixom commercial, South: I-1
- Plan Date: 2/26/2024

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

RECOMMENDATION:

This project is **recommended for approval, conditional on the applicant making the required changes to the parking lot perimeter trees and accessway perimeter trees requested**. The conditions requiring the waivers listed below can be removed or reduced without too much difficulty. The remaining issues noted below and on the Landscape Chart can be addressed on Final Site Plans.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in parking lot trees provided – *will be supported by staff if conditions requiring the waiver below are corrected*
- Deficiency in parking lot perimeter trees provided – *not supported by staff*

PLEASE REVISE THE LAYOUT AND LANDSCAPING TO ELIMINATE OR REDUCE THE ABOVE UNSUPPORTED WAIVERS.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. There are no woodlands or wetlands on the site.
3. It appears that some of the trees to be preserved on the east side of the site may be negatively affected by the construction of the underground detention basin. **If that is true, they will need to be replaced.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residential property this screening is not required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

The required landscaping is provided with a combination of existing and proposed landscaping.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The calculations are correct for the interior trees, but one of the required trees is shown outside of the vacuum area, versus in an interior island or corner. **A landscape waiver is required for this.** *If the parking lot perimeter tree situation is corrected, this waiver can be supported by staff.*
2. 6 parking lot perimeter trees are required but only 5 are provided. **Please see the discussion on the Landscape Chart for what should be done regarding the perimeter trees.**
3. 27 accessway perimeter trees are required and 27 are provided.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

The required foundation landscaping is provided.

Plant List (LDM 4, 10)

1. 17 of 21 species (81%) used are native to Michigan, which exceeds the requirement.
2. The tree diversity meets the requirements of the Landscape Design Manual.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

All of the required landscaping is proposed.

Irrigation (LDM 10)

1. If an irrigation system will be used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – SECOND REVISED PRELIMINARY SITE PLAN

Review Date: March 6, 2024
Project Name: JSP23-0041: El Car Wash
Location: 48648 Grand River Avenue
Plan Date: 2/26/2024
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in parking lot interior trees provided – *supported by staff if three are provided.*
- Deficiency in parking lot perimeter trees provided – *not supported by staff*

Please revise the layout and add landscaping as required to remove and/or minimize the extent of the above unsupported waivers.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	1" = 20'	Yes	
Project Information (LDM 2.d.)	Name and Address	Business name and address on Title Block	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Applicant name and contact information on landscape plans	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Paul Devitto - Stonefield	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Copy of engineer's seal and signature	Yes	<u>Signature of LA required on final stamping sets</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	Site: B-3 East, West: B-3 North: Wixom commercial South: I-1 Shown on Cover Sheet and C-9	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	Shown on Alta Survey	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> • Show location type and size. Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • There are no wetlands or woodlands on the site. • Tree Survey shown on Alta survey and Demolition Plan • Tree Chart is on Sheet C-9 and Demolition Plan • Based on the tree sizes shown on the chart, there are no regulated trees on the site so no replacements are required. • Removals are shown on the Demolition Plan 	Yes	<ol style="list-style-type: none"> 1. It seems doubtful that Trees #9701-9704 will be able to be saved with all of the construction and grading work going on at its base. 2. If they can't be saved, they should be shown as being removed and new perimeter trees planted.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	Sheet C-9	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Included on landscape plan	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts 	<ul style="list-style-type: none"> • All utilities are very clearly shown on the landscape plan • All proposed light posts are clearly shown on the landscape plan 	Yes	
Proposed grading. 2'	Provide proposed	Shown on grading	Yes	

Item	Required	Proposed	Meets Code	Comments
contour minimum (LDM 2.e.(1))	contours at 2' interval	plan and landscape plan		
Snow deposit (LDM.2.g.)	Show snow deposit areas on plan	Shown on C-9	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site is not adjacent to any residential so this requirement is not in effect.	No berm is proposed.	Yes	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No new walls are proposed.	NA	<u>If any walls are proposed please include them on the landscape plan.</u>
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Clear Zones (LDM 2.3.(5))	<ul style="list-style-type: none"> The Road Commission for Oakland County (RCOC) clear vision zone is required for Grand River Ave entries as it is their jurisdiction. The City of Novi Clear vision zone is required for the 12 Mile Road entry 	<ul style="list-style-type: none"> Clear vision zones shown on C-9 No trees are within the zones. 	Yes	
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> Adjacent to pkg: 20 feet Not adjacent to pkg: 25 feet 	<ul style="list-style-type: none"> Grand River: 20 ft 12 Mile Rd: 54 ft 	<ul style="list-style-type: none"> Yes Yes 	
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	<ul style="list-style-type: none"> Adj to pkg: 2 ft Not adj to pkg: 0 ft <p>Grand River: 0 ft since parking is not adjacent to road</p>	<p>Grand River:</p> <ul style="list-style-type: none"> Existing berm between entry points is approx. 0 ft Proposed berm 	<ul style="list-style-type: none"> Yes Yes 	

Item	Required	Proposed	Meets Code	Comments
	12 Mile Rd: 0 ft since parking is not adjacent to road.	east of east entry is approx. 20 ft 12 Mile Rd: <ul style="list-style-type: none"> No berm exists or is proposed due to detention pond 		
Minimum berm height (9)	<ul style="list-style-type: none"> Adj to pkg: 2 ft Not adj to pkg: 0 ft Grand River: 0 ft since parking is not adjacent to road 12 Mile Rd: 0 ft since parking is not adjacent to road.	Grand River: <ul style="list-style-type: none"> Existing berm between entry points is approx. 3 ft tall Proposed berm east of east entry is approx. 3 ft tall 12 Mile Rd: No berm exists or is proposed due to detention pond	<ul style="list-style-type: none"> Yes Yes 	
3' wall	(4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> Adj to pkg: 1 per 35 ft Not adj to pkg: 1 per 60 ft Grand River: <ul style="list-style-type: none"> Not adj to pkg: $(126-30-16)/60 = 1$ tree 12 Mile Road: <ul style="list-style-type: none"> Not adj to pkg $(175-21)/60 = 3$ trees 	<ul style="list-style-type: none"> Grand River: 8 existing canopy trees 12 Mile Road: 5 existing canopy trees 	<ul style="list-style-type: none"> Yes Yes 	
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> Adj to pkg: 1 per 20 ft Not adj to pkg: 1 per 40 ft Grand River: <ul style="list-style-type: none"> Not adj to pkg: $(126-30-16)/40 = 2$ trees 12 Mile Road: <ul style="list-style-type: none"> Not adj to pkg $(175-21)/40 = 4$ trees 	<ul style="list-style-type: none"> Grand River: 6 existing subcanopy trees 12 Mile Road: 4 proposed subcanopy trees 	<ul style="list-style-type: none"> Yes Yes 	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> 1 per 35 ft Grand River: <ul style="list-style-type: none"> $(218-94)/35 = 4$ trees 12 Mile Road: <ul style="list-style-type: none"> $(175-50)/35 = 4$ trees 	<ul style="list-style-type: none"> Grand River: 4 trees 12 Mile Road: 4 trees 	<ul style="list-style-type: none"> Yes Yes 	If the RCOC does not allow some or all of the required trees to be planted along Grand River, they do not, but a copy of the RCOC decision must be provided to the City.
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Constructed of loam 6" top layer of topsoil 	No new berms are proposed		

Item	Required	Proposed	Meets Code	Comments
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	No overhead utilities are noted on the plans	NA	
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	No landscaping that would block vision within the site is proposed	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Lawn is indicated for all areas that aren't otherwise landscaped.	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • Minimum 200 SF per tree planted in island • 6" curbs • Islands minimum width 10' BOC to BOC 	The islands with trees are sufficiently sized.	TBD	<ol style="list-style-type: none"> 1. Interior trees are supposed to be within the lot or in lot corners that project into the lot. Removing the northeast island from consideration also removes that tree from consideration and a landscape waiver is required for being short one tree. 2. If the remaining shortages are corrected (perimeter and accessway perimeter) trees, and the interior tree deficiency is kept to one, the required waiver would be supported by staff.
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces in vacuum area are 20 feet long	No	Spaces could be shortened to 17' if spaces have 2' of overhang available.
Contiguous space limit (i)	<ul style="list-style-type: none"> • Maximum of 15 contiguous spaced • All endcap islands should also be at least 200sf with 1 tree planted in it. 	<ul style="list-style-type: none"> • The longest bay, in the vacuum area, is 10 spaces. • The attendant booth occupies the north endcap 	Yes	

Item	Required	Proposed	Meets Code	Comments
		area for the east bay.		
Plantings around Fire Hydrant (d)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). Trees also need to have at least 5 feet between the trunk and underground utility lines. 	<ul style="list-style-type: none"> An existing hydrant is shown at the Grand River sidewalk. No plantings screen it. 	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$ $A = 9651\text{sf} \times 7.5\% = 724\text{sf}$	Calculation provided	Yes	
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\% = B \text{ SF}$	NA		
All Categories				
C = A + B Total square footage of landscaped islands required	<ul style="list-style-type: none"> $C = A + B$ $C = 724 + 0 = 724 \text{ sf}$ 	None	TBD	
D = D/200 Number of canopy trees required	<ul style="list-style-type: none"> $D = C/200 = xx \text{ Trees}$ $D = 724/200 = 4 \text{ trees}$ 	<ul style="list-style-type: none"> 4 trees 1 of them is on the perimeter island 	<ul style="list-style-type: none"> Yes No 	<ol style="list-style-type: none"> Interior trees must be planted in islands within a parking area, including endcap islands. A landscape waiver would be required for

Item	Required	Proposed	Meets Code	Comments
				<p>any deficiency in trees provided. It would be supported by staff if three trees are provided.</p>
<p>Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)</p>	<p>1 Canopy tree per 35 lf 201/35 = 6 trees (The perimeter within 20 feet of the building may be deducted from the calculation).</p>	<ul style="list-style-type: none"> • 5 trees • The four trees at the northeast corner are too crowded. 	<p>No</p>	<ol style="list-style-type: none"> 1. Please remove at least one of the parking spaces east of the vacuum area, convert it to greenspace and add 1 tree there. 2. The interior tree (NYS) does not need to be there. Remove it and spread the remaining 3 trees out. 3. A landscape waiver would be required for any deficiency in trees provided. It would not be supported by staff.
<p>Accessway perimeter</p>	<p>One deciduous canopy tree per 35lf on either side of accessways that don't have parking on both sides 939/35 = 27 trees</p>	<ul style="list-style-type: none"> • 7 existing canopy trees • 20 proposed trees 	<p>Yes</p>	<ol style="list-style-type: none"> 1. Existing canopy trees within 15 feet of the paving can be counted toward the requirement. 2. The parking lot perimeter trees may double-count as accessway perimeter trees in the long island between the vacuum area and the entry drive. 3. Please move one of the trees along the south side of the basin to the gap near the end of the detention system and spread the detention basin trees out. 4. Please move the southern CCA east to be closer to the drive so it will shade it more.
<p>Other Landscaping</p>				

Item	Required	Proposed	Meets Code	Comments
Other Screening				
Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>	Loading areas should be completely screened from public roads.	No loading zone is indicated	TBD	
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> Transformer location and landscaping is proposed Additional shrubs are proposed in the island east of the transformer to help screen it. 	Yes	
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. A minimum of 75% of the building should have foundation landscaping. 245 lf x 8ft = 1960 SF 	2369 sf	Yes	
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	The doors occupy 20 feet of the 44 feet of frontage facing both roads, but all of the building's available frontage is landscaped	Yes	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements <i>(Sec. 5.5.3.E.iv)</i>	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond. 10" to 14" tall grass along sides of basin Refer to wetland for basin mix 	<ul style="list-style-type: none"> All of the required landscaping is proposed. Since the pond is designed to empty within 24-48 hours, the canopy trees are not required. 	Yes	
Phragmites Control <i>(Sec 5.5.6.C)</i>	Any and all populations of Phragmites australis	A note indicates that the Phragmites will be removed.	TBD	<u>Please add a note stating that if the Phragmites rebounds</u>

Item	Required	Proposed	Meets Code	Comments
	and/or Japanese knotweed on the site shall be included on tree survey. • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.			<u>(as is possible), it will need to be chemically treated to permanently kill it.</u>
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 2.l. & Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Yes	Yes	
Maintenance & Statement of intent <i>(LDM 2.m & Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source <i>(LDM 2.n & LDM 3.a.(2))</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan <i>(LDM 2.s.)</i>	A method for providing the water required for plant establishment and long-term survival must be provided.	No		1. <u>Need for final site plan</u> 2. <u>Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants</u> 3. <u>If an irrigation system will be used, it should meet the requirements listed at the end of the chart.</u>
Other information <i>(LDM 2.u)</i>	Required by Planning Commission	NA		
Establishment period <i>(Zoning Sec 5.5.6.B)</i>	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. <i>(Zoning Sec 5.5.5.E)</i>	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11) – Include all cost estimates				

Item	Required	Proposed	Meets Code	Comments
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. No Prohibited Species listed on Table 11.b.(2)b may be used. 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 17 of 21 species used (81%) are native to Michigan The tree diversity is acceptable 	<ul style="list-style-type: none"> Yes Yes 	<p><u>If you want to have red berries on an ongoing basis on the winterberries, you will need to specify a male at the southwest and southeast corners of the building.</u></p>
Type and amount of lawn		Seed lawn is proposed	Yes	
Cost estimate (LDM 2.f)	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No	No	<u>Please add a multi-stem tree planting detail</u>
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. 	No		

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Refer to Landscape tree Credit Chart in LDM 			
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Yes – on plant list	Yes	
Plant size credit (LDM 3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No prohibited plants are used	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No overhead wires impact plantings		
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	In details	Yes	
NOTES: 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.				

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

FAÇADE REVIEW



January 29, 2024

Façade Review Status:
Approved, Section 9 Waiver not required.

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Preliminary Site Plan
El Car Wash, JSP23-41
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Fanjul & Associates LLC, dated 1/19/24. The percentages of materials for each façade are shown in the table below. The maximum and minimum percentages required by the Façade Ordinance are shown in the right-hand column. The Sample Board and/or Rendering required by Section 5.15.4.D was not provided.

	South (Front)	North	East	West	Ordinance Maximum (Minimum)
Brick	61%	61%	49%	33%	100% (30%)
EIFS	4%	4%	25%	22%	25%
Flat Metal Panels (ACM)	33%	33%	8%	7%	50%
Ceramic Tile	0%	0%	10%	25%	25%
Split Faced CMU	0%	0%	7%	12%	10%
Canopy	2%	2%	1%	1%	50%

As shown above all facades are in full compliance with the Façade Ordinance. It should be noted that Section 5.15.2 of the Ordinance requires coordinated harmonious colors and prohibits the use of intense colors. The colors indicated on the drawings appear to be consistent with this Section. A Sample Board showing the color and texture of all façade materials and all paint colors for the pay canopies and vacuum canopies should be provided to confirm compliance.

Notes to the Applicant:

1. Dumpster Enclosure - Three sides of the dumpster enclosure should be constructed of brick matching the brick used on the primary building.
2. All roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Chart and harmonious with other façade materials.
3. Inspections – The Ordinance requires Façade Inspection(s) for all projects. It is the applicant’s responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC

A handwritten signature in blue ink, appearing to read 'Douglas R. Necci', is written over a light blue circular stamp.

Douglas R. Necci, AIA

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP23-41 – El Car Wash Preliminary Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 November 22, 2023

CC:
 Lindsay Bell, James Hill, Ian Hogg, Heather Zeigler,
 Humna Anjum, Diana Shanahan, Adam Yako

Memo

Subject: JSP23-41 – El Car Wash Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Alrig USA, is proposing a 3,700 SF car wash.
2. The development is located north side of Grand River Avenue and south of Twelve Mile Road. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County and Twelve Mile Road is under the jurisdiction of the City of Novi.
3. The site is zoned B-3 (General Business).
4. The applicant has indicated they are seeking the following traffic related waivers:
 - a. Lack of bypass lane.
 - b. Parking located closer than 25 FT from R.O.W. line, street easement, or sidewalk.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 948 – Automated Car Wash
 Development-specific Quantity: 1 Tunnel
 Zoning Change: N/A

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	-	-	100	No
PM Peak-Hour Trips	78	39	100	No
Daily (One-Directional) Trips	-	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	Not indicated	Inconclusive	Provide dimensions in future submittal.
2	Driveway Width O Figure IX.3	27’ and 20’	Met	Both driveways within range.
3	Driveway Taper O Figure IX.11			
3a	Taper length	No change	N/A	
3b	Tangent	No change	N/A	
4	Emergency Access O 11-194.a.19	2 access points	Met	
5	Driveway sight distance O Figure VIII-E	No change	N/A	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	No change	N/A	
6b	Opposite side O 11.216.d.1.e	No change	N/A	
7	External coordination (Road agency)	Not indicated	Inconclusive	Coordination with RCOC required for any changes on Grand River Ave as well as maintaining traffic during construction.
8	External Sidewalk Master Plan & EDM	Indicated	Met	
9	Sidewalk Ramps EDM 7.4 & R-28-J	Not indicated	Inconclusive	Indicate proposed ramps at driveways.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	308 SF	Met	Applicant indicated loading during off hours.
12	Trash receptacle ZO 5.4.4	10' x 10'	Met	Indicate service times to ensure collection will not interfere with customer traffic.
13	Emergency Vehicle Access	Not provided	Inconclusive	Provide truck turning movements in future submittal.
14	Maneuvering Lane ZO 5.3.2	15', 24' and 26'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Partially Indicated	Partially Met	Provide radius dimensions for north end of parking lot.
15b	Internal to parking bays	-	N/A	
16	Parking spaces ZO 5.2.12	26 proposed		See Planning review letter.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<15 spaces with no island	Met	
18	Parking space length ZO 5.3.2	20' and 18' for angled parking	Met	18 of the spaces are covered vacuum spaces.
19	Parking space Width ZO 5.3.2	9' and 12'	Met	Covered vacuum spaces are 12' wide.
20	Parking space front curb height ZO 5.3.2	6"	Met	
21	Accessible parking – number ADA	2	Met	
22	Accessible parking – size ADA	Indicated	Met	
23	Number of Van-accessible space ADA	2	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	2 required, 2 proposed	Met	
24b	Location ZO 5.16.1	Indicated	Met	
24c	Clear path from Street ZO 5.16.1	5' proposed, 6' required	Not Met	
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	6' x 2'	Met	
25	Sidewalk – min 5' wide Master Plan	5'	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Not indicated	Inconclusive	Label proposed ramps and include standard detail R-28 in future submittal.
27	Sidewalk – distance back of curb EDM 7.4	No offset along parking	Met	
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Drive Through ZO 5.3	No bypass lane, 25' centerline radius, stacking spaces indicated	Partially Met	Applicant indicated they are seeking a waiver for lack of bypass lane.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
31	Any Other Comments:			Provide all radius dimensions in future submittal.

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Partially indicated	Partially Met	Provide sizes of all proposed signs in future submittal.
33	Signing table: quantities and sizes	Not indicated	Inconclusive	Provide table in future submittal. Label all proposed sign locations on site plan.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Not indicated	Inconclusive	Provide note in future submittal.
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Not indicated	Inconclusive	Provide note in future submittal.
36	Sign bottom height of 7' from final grade MMUTCD	Not indicated	Inconclusive	Provide in future submittal.
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Not indicated	Inconclusive	Provide in future submittal.
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Not indicated	Inconclusive	Provide in future submittal.
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Not indicated	Inconclusive	Provide in future submittal.
40	Parking space striping notes	Indicated	Met	
41	The international symbol for accessibility pavement markings ADA	Indicated	Met	
42	Crosswalk pavement marking detail	Indicated	Met	
43	Any Other Comments:			The applicant could make the exit onto Grand River Avenue right turn only to reduce cars backing up on site. Indicate if any existing signs are to remain.

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FIRE REVIEW



November 15, 2023

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Ian Hogg – Plan Review Center
James Hill – Plan Review Center
Heather Zeigler – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

City Manager
Victor Cardenas

**Director of Public Safety
Chief of Police**
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief

RE: El Car Wash

PSP23-049
JSP23-041

Project Description:

Build a drive thru car wash.

Comments:

Meets fire department standards.

Recommendation:

Approved

Sincerely,

Andrew Copeland – Acting Fire Marshal
City of Novi Fire Department

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT'S RESPONSE LETTER

STONEFIELD

April 2, 2024

City of Novi
Planning Department
45175 West 10 Mile Road
Novi, Michigan 48375

**RE: Planning Review
Proposed Auto Wash
Parcel ID: 22-17-126-006
48648 Grand River Avenue
City of Novi, Oakland County, Michigan**

To whom it may concern:

Our office is submitting documents on behalf of the Applicant to address the outstanding conditions of the contained within the latest Planning review letter. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Planning Review Response Letter	04/02/2024	Email	Stonefield Engineering & Design
ECW Novi – Site Renderings	03/26/2024	Email	Cotleur & Hearing
Façade Sample Board	-	-	Krieger Klatt Architects

The following is an itemized response to the comments contained within the Planning Review Letter dated March 19, 2024. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

Parking, Loading, and Dumpster Requirements

Dumpster (Sec 4.19.2.F):

1. Indicate services time to ensure collection will not interfere with customer traffic.

Refuse operations to occur off operating hours

Noise Specifications (Sec. 5.14.10.A):

2. Please confirm what the spec sheet for the Dryer System is saying – it is unclear without an explanation.

Predator Quiet Dryer Spec sheet indicates at 25 FT away from the dryer a decibel level of 70.6 is present meeting the 75 decibel requirement abutting a neighboring parcel

Engineering Review

Comments that must be addressed at time of Final Site Plan submittal:

1. When applying the Oakland County Water Resources Commission (OCWRC) design standards for the required 100-year detention volume, the amount is covered by the volume of the aboveground detention basin alone. Thus, we decided to approve the RR Preliminary Site Plan in the case that the Final Site Plan would utilize the OCWRC standards to eliminate the need for underground detention. These standards are also available in the updated City of Novi Engineering Design Manual, pages 5-7 for your reference.

Plans will be revised to follow City of Novi & OCWRC standards upon final site plan submittal

2. Provide a minimum of two ties to established section or quarter section corners.
3. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
4. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
5. Only at the time of the printed Stamping Set submittal, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets). The most updated details can be found on the City's website under Engineering Standards and Construction Details.
6. A Right-of-Way Permit will be required from the City of Novi.
7. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
8. Provide a traffic control plan for the proposed road work activity.
9. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas. Additionally, illustrate and label this on the profiles.
10. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
11. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
12. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
13. Include the tree numbers from the landscaping table to the tree callouts on the site map on sheet C-9.
14. Provide the anticipated mature tree height for the trees that are in the proximity of the overhead utility line in the northeastern corner of the site.
15. The separation distance between the trees and the overhead utility line should be measured from the dripline, not the trunk as shown on the plan sheets.

Comments 2-15 will be addressed during the final sit plan submittal of the Project.

Water Main:

16. Provide water main modeling calculations demonstrating that the required water supply of 2,000/4,000 GPM will be available.

Water main modeling calculations as referenced above will be provided during final site plan submittal

Irrigation Comments:

17. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Irrigation plan with the above referenced items will be submitted during final site plan.

Sanitary Sewer:

18. Rather than a clean out, provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
19. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 People/REU).
20. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
21. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
22. Illustrate all pipes intersecting with manholes on the sanitary profiles.

Comments 18-22 regarding Sanitary Sewers will be addressed during the final site plan submittal of the Project.

Storm Sewer:

23. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
24. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge off-site/to the storm water basin.

25. Provide profiles for all storm sewer 12-inch and larger. All storm pipes accepting surface drainage shall be 12-inch or larger.
26. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
27. Illustrate all pipes intersecting storm structures on the storm profiles.
28. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
29. Show and label all roof conductors and show where they tie into the storm sewer.

Final stormwater conveyance calculations and details will be provided within the final site plan approval submittal.

Storm Water Management Plan:

30. Remove the relative imperviousness factor, Cimp, from the calculations. The composite C value should always be used.
31. The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.
32. For the orifice area calculations, the value H should be the average head on the orifice, not the height of the basin.
33. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
34. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum running slope of 1V:5H, maximum cross slope of 3%, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
35. Provide a 5-foot-wide stone bridge/access route allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6- inches above high-water elevation). Provide details and/or note as necessary.
36. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system (including underground detention system) and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
37. Provide manufacturer's details and sizing calculations for the pretreatment structure(s) on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity. Provide details for existing structure on-site.
38. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
39. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.

40. A 4-foot-wide safety shelf is required one foot below the permanent water surface elevation within the basin.
41. A 25-foot vegetated buffer shall be provided around the perimeter of the storm water basin where impervious area is directed to the basin via surface flow.

Comments 30-41 regarding Stormwater Management will be addressed during the final site plan submittal of the Project.

Paving & Grading:

42. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
43. Provide a minimum of 6 spot elevations where the pathway crosses each driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
44. Provide dumpster pad details, city standard is 8" concrete on 8" 21 AA aggregate base. Note: Dumpster pad shall extend minimum 10' beyond dumpster enclosure.
45. Provide spot elevations at the intersection of the proposed pathway with the existing pathway.
46. Label specific ramp locations on the plans where the detectable warning surface is to be installed.
47. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.
48. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
49. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
50. Provide a note on the Grading Plan stating that the proposed pathway within the road right-of-way shall match existing grades at both ends.
51. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
52. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
53. Provide additional spot grades as necessary to demonstrate that a minimum 5- percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
54. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.

55. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

All paving and grading comments referenced above will be addressed during final site plan submittal.

Soil Erosion and Sediment Control:

56. SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover.

57. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.

58. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. ***The estimate must be itemized*** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre- treatment structure and restoration).

59. Due to the above comments, the itemized construction cost estimate should be revised and resubmitted to the Community Development Department for the determination of plan review and construction inspection fees.

Comments 56-59 regarding Stormwater Management will be addressed during the final site plan submittal of the Project.

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form. Partial submittals will not be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under Forms and Permits)

60. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.

61. A draft copy of the 20-foot-wide Sanitary Sewer Monitoring Manhole Access Easement onsite must be submitted to the Community Development Department. (Will not be required if Monitoring Manhole is within the right-of-way)

62. Executed copies of approved off-site utility easements must be submitted.

Comments 60-62 will be included with the Final Stamping Set

Second Revised Preliminary Site Plan – Landscaping

Parking Lot Landscaping (Zoning Sec

1. The calculations are correct for the interior trees, but one of the required trees is shown outside of the vacuum area, versus in an interior island or corner. A landscape waiver is required for this. If the parking lot perimeter tree situation is corrected, this waiver can be supported by staff.

Perimeter parking lot trees will be provided to comply with the requirement, waiver for location of the internal is requested.

2. 6 parking lot perimeter trees are required but only 5 are provided. Please see the discussion on the Landscape Chart for what should be done regarding the perimeter trees.

Will revise to comply with the requirement.

Irrigation (LDM 10):

1. If an irrigation system will be used, a plan for it must be provided with Final Site Plans. If alternative means of provided water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

Irrigation plans will be provided during the final site plan submittal of the project.

Landscape Plan Requirements (LDM (2)):

1. It seems doubtful that Trees #9701-9704 will be able to be saved with all of the construction and grading work going on at its base. If they can't be saved, they should be shown as being removed and new perimeter trees planted.

Intent is to protect existing trees to the greatest means possible, If unable, trees will be replaced on a 1 to 1 ratio per conversation with Landscape reviewer.

Berm requirements (Zoning Sec 5.5.3.A.(5)):

1. If the RCOC does not allow some or all of the required trees to be planted along Grand River, they do not, but a copy of the RCOC decision must be provided to the City.

Will coordinate with RCOC on final tree placement within the Right-of-Way.

General (Zoning Sec 5.5.3.C.ii)

1. Interior trees are supposed to be within the lot or in lot corners that project into the lot. Removing the northeast island from consideration also removes that tree from consideration and a landscape waiver is required for being short one tree. If the remaining shortages are corrected (perimeter and accessway perimeter) trees, and the interior tree deficiency is kept to one, the required waiver would be supported by staff.

Perimeter parking lot trees will be provided to comply with the requirement, waiver for location of the internal is requested.

2. Spaces could be shortened to 17' if spaces have 2' of overhang available.

Acknowledged. Parking spaces are to remain for proper site operation.

Parking Lot Perimeter Trees (Sec 5.5.3.C.iv):

1. Please remove at least one of the parking spaces east of the vacuum area, convert it to greenspace and add 1 tree there. The interior tree (NYS) does not need to be there. Remove it and spread the remaining 3 trees out. A landscape waiver would be required for any deficiency in trees provided. It would not be supported by staff.

Plans will be revised to include additional landscape island, one tree from the north will shift to this location. Will revise per the above comment to remove NYS tree. A waiver will not be pursued.

Accessway Perimeter:

1. Existing canopy trees within 15 feet of the paving can be counted toward the requirement.

Acknowledged.

2. The parking lot perimeter trees may double-count as accessway perimeter trees in the long island between the vacuum area and the entry drive.

Acknowledged.

3. Please move one of the trees along the south side of the basin to the gap near the end of the detention system and spread the detention basin trees out.

A tree adjacent to the basin will be shifted to the southern gap along the eastern property line.

4. Please move the southern CCA east to be closer to the drive so it will shade it more.

The indicated tree labeled as CCA tree will be shifted east to help improve shading on the drive aisle.

Plantings Details/Info (LDM 2.i) – Utilize City of Novi Standard Details:

1. Please add a multi-stem tree planting detail.

A multi-stem tree planting detail will be provided.

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Mitchell Harvey, PE
Stonefield Engineering and Design, LLC



Vincenzo Finazzo
Stonefield Engineering and Design, LLC

LAW OFFICES
LANDRY, MAZZEO, DEMBINSKI & STEVENS, P.C.

37000 GRAND RIVER AVENUE, SUITE 200
FARMINGTON HILLS, MICHIGAN 48335
www.lmdlaw.com

D. B. LANDRY
dlandry@lmdlaw.com

Office: (248) 476-6900

Direct: (248) 919-3783

Fax: (248) 476-6564

April 2, 2024.

Via e-mail ONLY jhill@cityofnovi.org

City of Novi Planning Department
Attn: James Hill
45175 West Ten Mile Road
Novi, MI 48375-3024

RE: City File Project number JSP23-41.
Project name: EL Carwash Novi.
Response Letter to City comments of second revised preliminary Site Plan.

Dear Mr. Hill:

On March 19, 2024, the City issued a Planning Review of the Applicant's Second Revised Preliminary Site Plan. The Applicant seeks Site Plan Approval to develop a Car Wash on the subject property. The property is Zoned B-3 and an Auto Wash is a Principal Permitted Use in a B-3 Zoning District.

The City's March 19, 2024, Planning Review requested that we submit to the City by April 3, 2024, the following:

- A response letter addressing all comments from all review letters and a request for any waivers/variances.
- A color rendering of the Site Plan to be used for the Planning Commission Presentation.
- A facade sample board.

I have attached as Exhibit 1 a detailed response letter to all of the City review comments. Please note, that the Applicant is seeking only one Planning Commission Landscape Waiver for a deficiency of one interior parking lot tree. The reviews noted a deficiency for parking lot perimeter trees which will be corrected by the Applicant and the Landscape review indicated that if the parking lot perimeter tree deficiency was corrected the waiver for the single tree interior parking lot deficiency would be supported by staff. The Applicant will correct the parking lot perimeter tree deficiency.

The Applicant will also seek a ZBA Variance for an overhead door facing a major thoroughfare. (Zoning Ordinance Section 3.10.1.A). A ZBA Application has been submitted and it is our understanding that we are on the ZBA agenda for its Meeting on May 14, 2024.

I have also attached as Exhibit 2 a color rendering of the Site Plan to be used for the Planning Commission presentation.

I will be hand-delivering to the City Planning Department tomorrow morning the requested facade sample board.

Please acknowledge receipt of this response.

We look forward to appearing before the Planning Commission on April 10, 2024.

Thank you.

Very truly yours,

LANDRY, MAZZEO, DEMBINSKI & STEVENS, P.C.

David B. Landry
David B. Landry

DBL/cw

Enc: cc

Barbara McBeth
Samantha Burgner
Steven Barrett
Eric Meyers
Vincenzo Finazzo

SITE PLAN

(Full plan set available for viewing at the Community Development Department)











CAR WASH MEMO

CREDIT/DEBIT & MEMBERS

CREDIT/DEBIT & MEMBERS

MEMBERS ONLY

GRAPHENE 2.0
CLEARANCE 7'2"

GRAPHENE 2.0
CLEARANCE 7'2"

GRAPHENE 2.0
CLEARANCE 7'2"

CLEARANCE 7'2"







CAR WASH
NEW

DO NOT
ENTER



Client:

El Car Wash Novi LLC
30200 Telegraph Rd, Suite 205
Bingham Farms, MI 48025

Project:

El Car Wash
48730 Grand River Ave.
Novi, MI 48374

Issued	Description	By
12.01.2023	SD Revisions	
01.18.2024	Client Revisions / Review	
01.19.2024	SPA City Set	
02.23.2024	SPA City Set	

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior Elevations

Project Number:

23-132

Scale:

As indicated

Sheet Number:

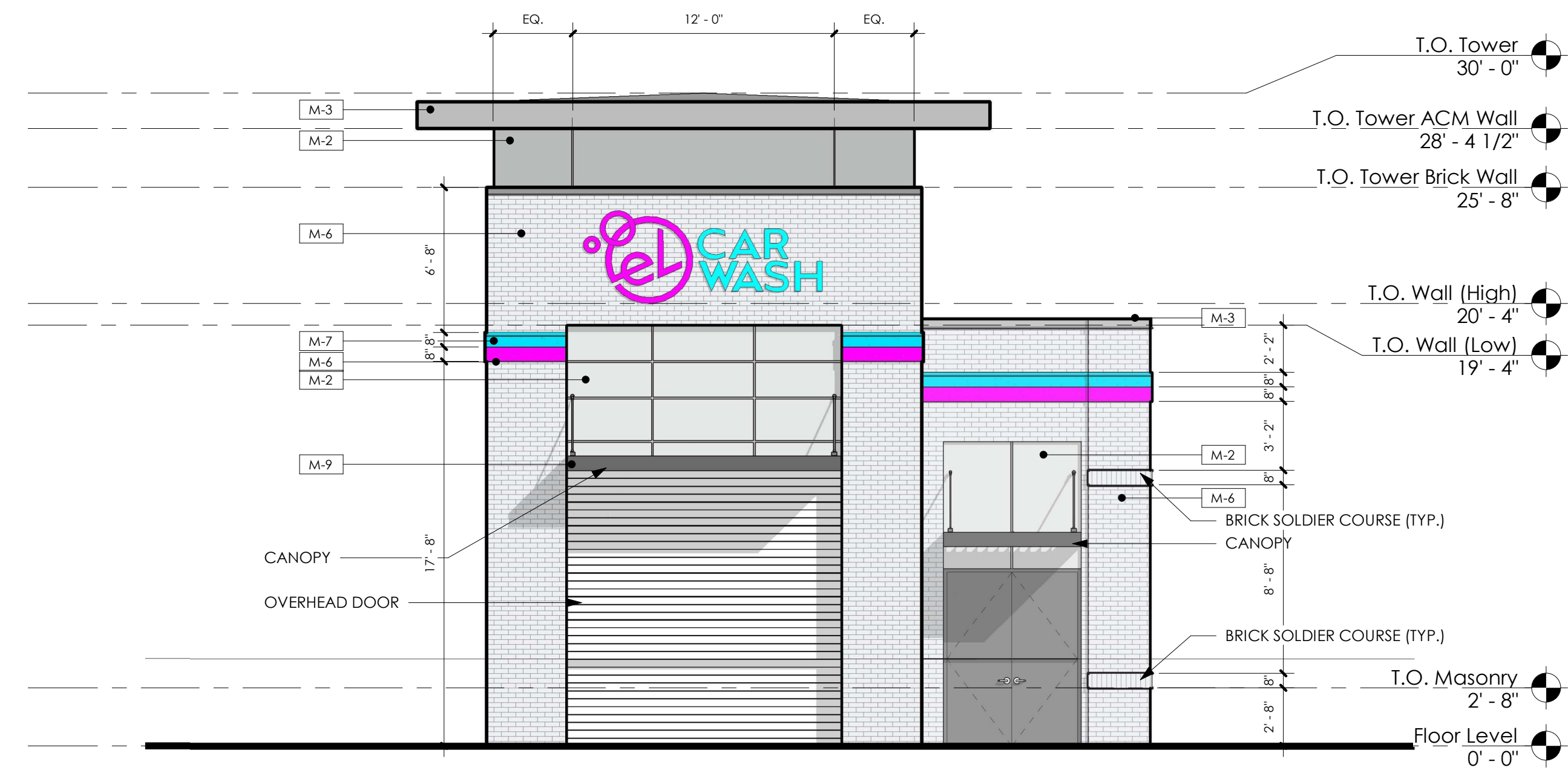
A.201

PRELIMINARY NOT FOR CONSTRUCTION

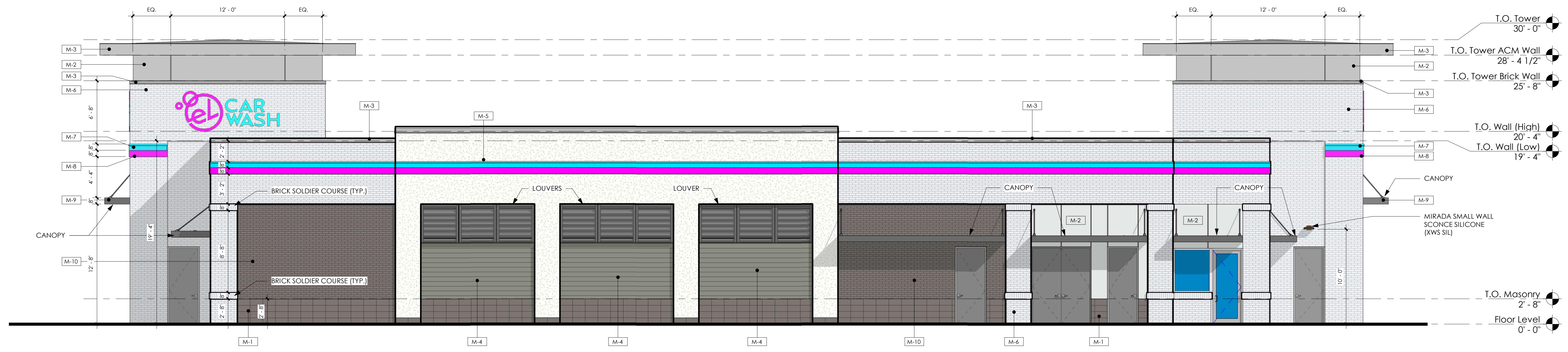
EXTERIOR MATERIAL SCHEDULE :

M-1	DESCRIPTION: SPLIFACE CMU FINISH / COLOR: GAUNTLET GRAY (STACKED BOND PATTERN)
M-2	DESCRIPTION: ALUM. COMPOSITE PANEL BASIS OF DESIGN: ALPOLIC FINISH / COLOR: RHINESTONE SW7656
M-3	DESCRIPTION: METAL FLASHINGS BASIS OF DESIGN: PAC-CLAD (24 GA) FINISH / COLOR: SILVER
M-4	DESCRIPTION: PORCELAIN TILE BASIS OF DESIGN: DALTILE RESEMBLANCE RB12 FINISH / COLOR: MEDIUM GREY
M-5	DESCRIPTION: EIFS BASIS OF DESIGN: STO CORP. FINISH / COLOR: HIGH REFLECTIVE WHITE SW 7757 (WHITE)
M-6	DESCRIPTION: BRICK BASIS OF DESIGN: GLEN-GERY SEASPRAY KLAYCOAT FINISH / COLOR: (WHITE BRICK) INTENT FOR COLOR TO MATCH EIFS AS CLOSE AS POSSIBLE
M-7	DESCRIPTION: EIFS BASIS OF DESIGN: STO CORP. FINISH / COLOR: PANTONE 3252 (CYAN)
M-8	DESCRIPTION: EIFS BASIS OF DESIGN: STO CORP. FINISH / COLOR: PAINTED LOGO COLOR (MAGENTA)
M-9	DESCRIPTION: PRE-FAB CANOPY BASIS OF DESIGN: HASKA FINISH / COLOR: EXTRUDECK 8" J 3X6 FLAT SOFFIT FEDERAL STANDARD GREY
M-10	DESCRIPTION: BRICK BASIS OF DESIGN: GLEN-GERY FINISH / COLOR: GAUNTLET GRAY

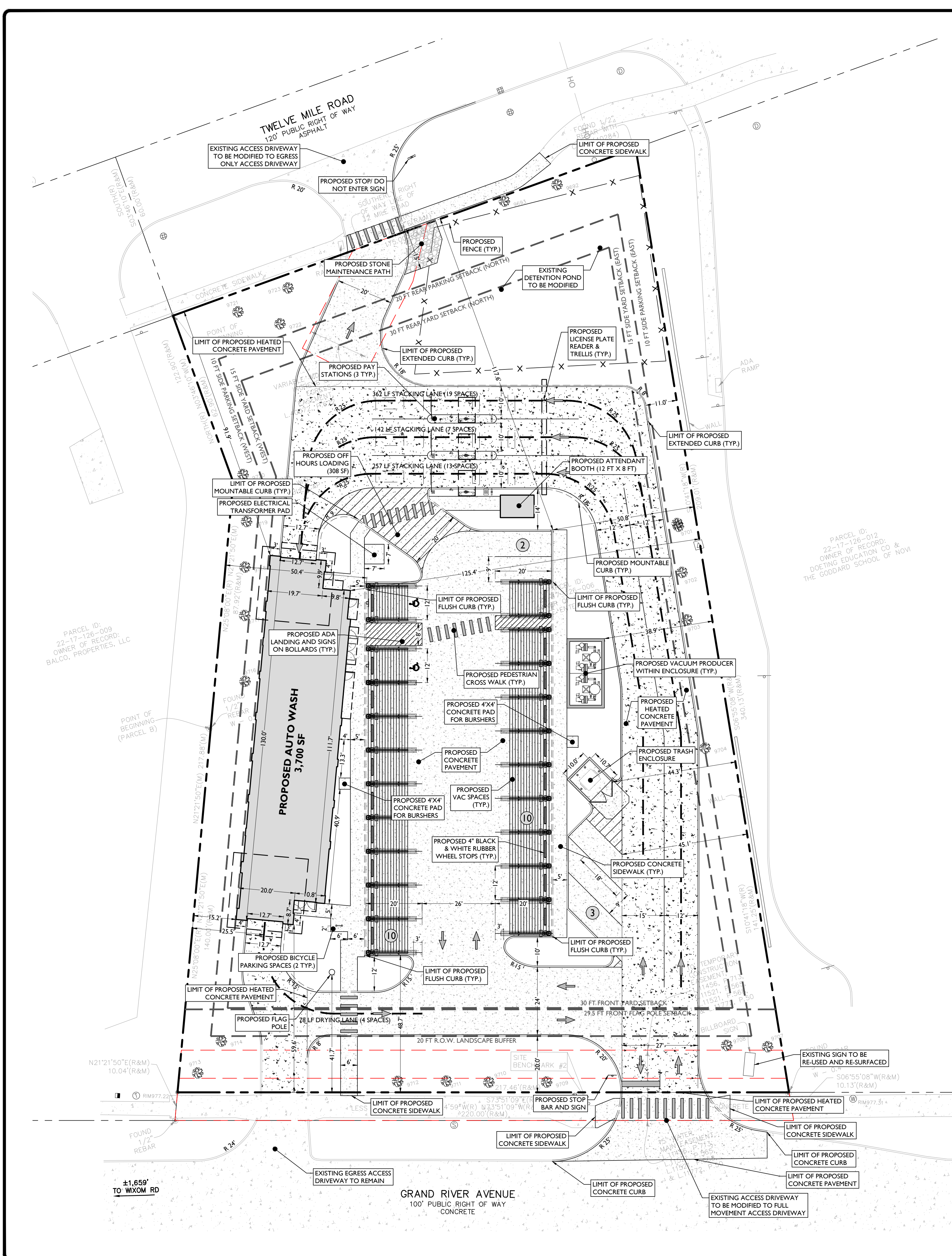
NOTE: SUBMIT SAMPLES OF ALL SELECTED MATERIALS TO OWNER & ARCHITECT FOR APPROVAL PRIOR TO ORDERING.



South Elevation
3/16" = 1'-0"



East Elevation
3/16" = 1'-0"



LAND USE AND ZONING		
PID: 22-17-126-006		
GENERAL BUSINESS DISTRICT (B-3)		
PROPOSED USE	PERMITTED USE ⁽¹⁾	
AUTO WASH		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	(2)	56,357 SF (1.3 AC)
MAXIMUM BUILDING HEIGHT	30 FT	<30 FT
TUNNEL DOOR DIRECTION	(3)	NOT PROVIDED (V)
MINIMUM FRONT YARD SETBACK (GRAND RIVER) ⁽⁴⁾	30 FT	59.6 FT
MINIMUM REAR YARD SETBACK (NORTH)	30 FT	91.9 FT
MINIMUM SIDE YARD SETBACK (EAST)	15 FT	125.4 FT
MINIMUM SIDE YARD SETBACK (WEST)	15 FT	15.2 FT
MINIMUM FRONT PARKING SETBACK (GRAND RIVER)	20 FT	48.7 FT
MINIMUM REAR PARKING SETBACK (NORTH)	20 FT	117.6 FT
MINIMUM SIDE PARKING SETBACK (EAST)	10 FT	45.1 FT
MINIMUM SIDE PARKING SETBACK (WEST)	10 FT	50.4 FT
MINIMUM R.O.W. PARKING STALL SETBACK	25 FT ⁽⁵⁾	48.7 FT
MINIMUM DUMPSTER ENCLOSURE PROPERTY LINE SETBACK	10 FT	44.3 FT
MINIMUM R.O.W. LANDSCAPE BUFFER	20 FT	20.0 FT
ACCESSORY BUILDING WITHIN FRONT YARD	NOT PERMITTED	VACUUM SPACE (V)
MINIMUM FRONT FLAG POLE SETBACK	29.5 FT ⁽⁶⁾	41.7 FT
MINIMUM ISLAND BACK-TO-BACK OF CURB	10 FT	10.0 FT
MINIMUM ISLAND LANDSCAPE AREA	200 SF	201 SF
MINIMUM R.O.W. LANDSCAPE BUFFER	20 FT	20.0 FT
MINIMUM FOUNDATION LANDSCAPE PERIMETER	75% (163 LF) ⁽⁷⁾	94.5% (205.2 LF)

- (V) VARIANCE
- (1) § 4.3.2 - IN THE B-3 DISTRICT, AUTO WASH IS A PERMITTED USE WHEN COMPLETELY ENCLOSED IN A BUILDING.
- (2) § 3.6.2.D - EXCEPT WHERE OTHERWISE PROVIDED IN THIS ORDINANCE, THE MINIMUM LOT AREA AND WIDTH, AND THE MAXIMUM PERCENT OF LOT COVERAGE SHALL BE DETERMINED ON THE BASIS OF OFF-STREET PARKING, LOADING, GREENBELT SCREENING, YARD SETBACK OR USABLE OPEN SPACE REQUIREMENTS AS SET FORTH IN THIS ORDINANCE.
- (3) § 3.10.3.A - NO TRUCK WELL, LOADING DOCK, OVERHEAD DOOR OR OTHER TYPE OF SERVICE BAY DOOR SHALL FACE A MAJOR THOROUGHFARE, NOR AN ABUTTING RESIDENTIAL DISTRICT.
- (4) § 3.6.2.E - OFF-STREET PARKING SHALL BE PERMITTED IN THE FRONT YARD OF THE OS-1, OST, EXPO, EXO, B1, B-2, B-3, NCC, RC, TC AND FS DISTRICTS, EXCEPT THAT SAID PARKING SHALL OBSERVE THE MINIMUM OFF-STREET PARKING SETBACK REQUIREMENTS IN THE DEVELOPMENT STANDARDS OF SECTION 3.1 AND SECTION 5.5.3 OF THIS ORDINANCE AND, WITH RESPECT TO THE TC DISTRICT, SECTION 3.27.1.D.
- (5) § 5.3.13 - NO PARKING STALL SHALL BE LOCATED CLOSER THAN 25 FT FROM R.O.W. LINE, STREET EASEMENT, OR SIDEWALK, WHICHEVER IS CLOSER.
- (6) § 4.19.2.B - FLAGPOLES MAY BE LOCATED WITHIN ANY REQUIRED FRONT OR EXTERIOR SIDE YARD, SUCH POLES SHALL BE LOCATED NO CLOSER TO A PUBLIC RIGHT-OF-WAY THAN ONE-HALF (1/2) THE DISTANCE BETWEEN THE RIGHT-OF-WAY AND THE PRINCIPAL BUILDING. (59 FT BUILDING SETBACK)(1/2) = 29.5 FT
- (7) § 5.5.3.D.iii - 75% OF THE BUILDING SHALL HAVE FOUNDATION LANDSCAPING A MINIMUM OF 4 FT WIDE, EXCLUDING ACCESS TO BUILDING DOORS (217 LF)(0.75) = 163 LF

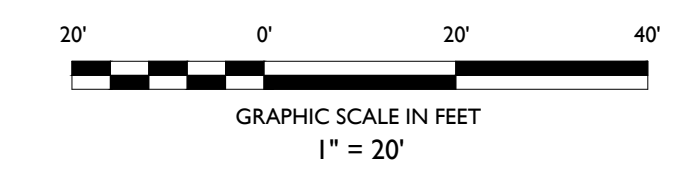
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED MOUNTABLE CURB
---	PROPOSED EXTENDED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED SIGNS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED BUILDING DOORS
---	PROPOSED CHAINLINK FENCE
---	PROPOSED HEATED CONCRETE



OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.2.12.C	AUTO WASH PARKING: 2 SPACES 1 SPACE PER EMPLOYEE (3 EMPLOYEES)(1 SPACE)= 3 SPACES 1 SPACE PER EACH VACUUM STATION (19 STATIONS)(1 SPACE)= 19 SPACES TOTAL= 2 + 3 + 19 = 24 SPACES	2 SPACES (REG) 3 SPACES (EMP) 20 SPACES (VAC.) TOTAL: 25 SPACES
§ 5.3.2	90° PARKING: 9 FT X 19 FT W/ 24 FT AISLE ⁽¹⁾ 45° PARKING: 9 FT X 18 FT W/ 15 FT AISLE	9 FT X 20 FT W/ 26 FT AISLE 9 FT X 18 FT W/ 15 FT AISLE
§ 5.3.11.I	AUTO WASH STACKING: 25 STACKING VEHICLES 3 SPACES FOR DRYING AREA	39 SPACES 4 DRYING SPACES
§ 5.3.11.D	DRIVE THROUGH BYPASS LANE ⁽²⁾	PROVIDED TO 12 MILE
§ 5.3.11.E & H	DRIVE THROUGH SPACES: 9 FT X 19 FT	10 FT X 19 FT
§ 5.3.11.F	DRIVE THROUGH CENTERLINE RADIUS: 25 FT	25 FT
§ 5.16.1(T)ABLE	AUTO WASH BICYCLE PARKING: NONE	2 SPACES
§ 5.4.2	LOADING: 10 SF PER FOOT OF BUILDING FRONTAGE (30.8 FT)(10 SF/FT) = 308 SF	OFF HOURS LOADING 14 FT X 22 FT 308 SF
D.C.S § 158-99(a)	MINIMUM FIRE LANE: 20 FT WIDE & 14 FT CLEARANCE	PROVIDED

- (1) § 5.3.2 - STALL WIDTH MAY BE REDUCED TO 17 FT., THE REQUIRED 6 IN CURB SHALL BE REDUCED 4 IN IN HEIGHT.
- (2) TWELVE MILE BYPASS LANE CONFIRMED JANUARY 9TH 2024 PLANNING REVIEW LETTER

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



DATE	ISSUE	BY	DESCRIPTION
02/26/2023	5	VF	UPDATED FOR SITE PLAN APPROVAL PER CITY COMMENTS
01/19/2023	4	VF	FOR SITE PLAN APPROVAL
10/19/2023	3	VF & HG	FOR CLIENT REVIEW
10/02/2023	2	AF	FOR CLIENT REVIEW
08/22/2023	1	JD	FOR PRE-APPLICATION MEETING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Detroit, MI • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

PRELIMINARY SITE PLANS

EL CARWASH NOVI

PROPOSED AUTO WASH

PARCEL ID: 22-17-126-006
46648 GRAND RIVER AVENUE
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48374

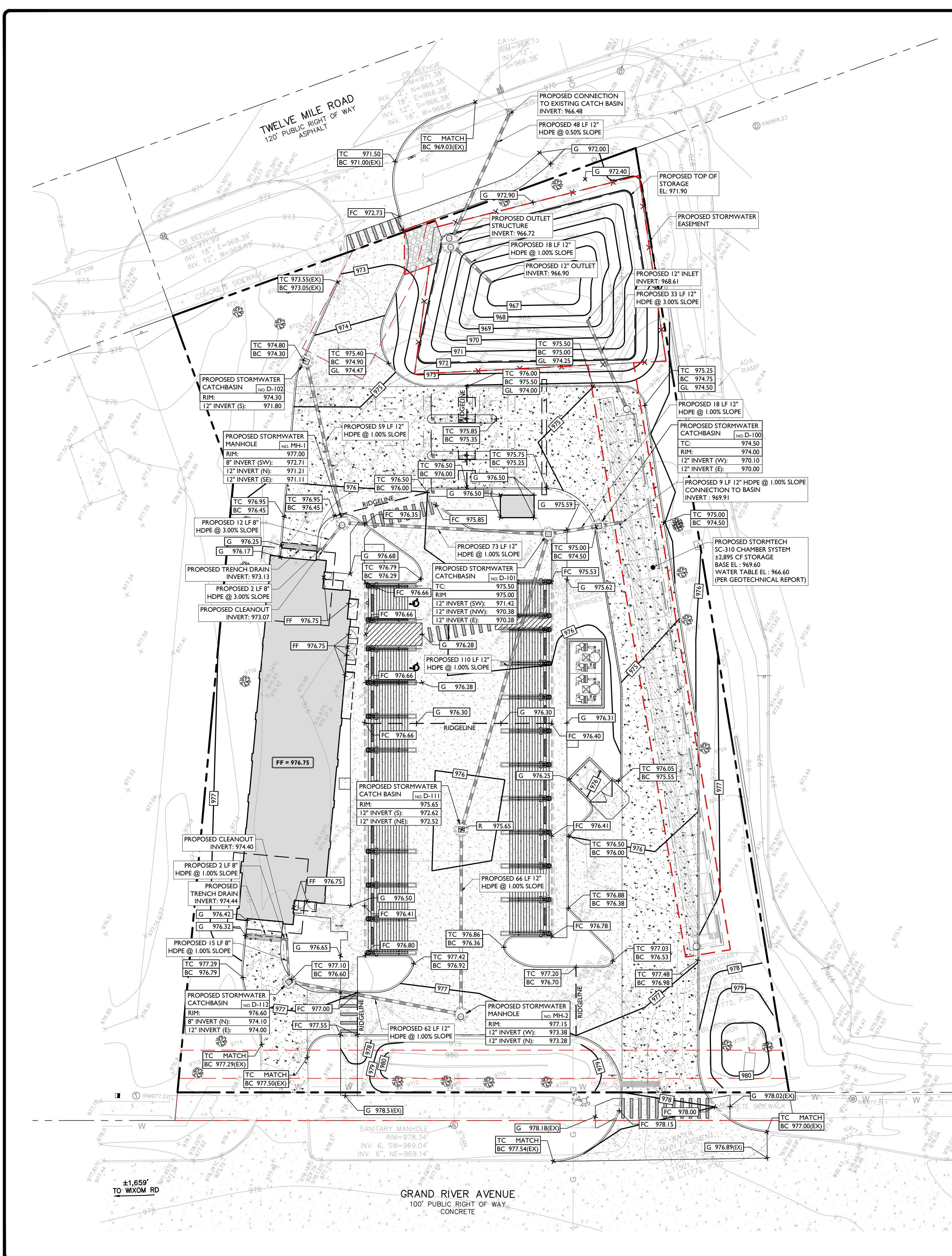


STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: DET-230271

TITLE: **SITE PLAN**

DRAWING: **C-3**



STORMWATER MANAGEMENT CALCULATIONS

(Based on the City of Novi Engineering Design Manual)

Project: **El Car Wash - 48648 Grand River Ave.** Designer: **VF** Date: **02/23/24**

COMPOSITE C VALUE

Cover	Area (SF)	C-Value*	Weighted Value
Building / Roof	3,700	0.95	3,515
Asphalt or Concrete Pavements	30,138	0.95	28,631
Open Space (HSG C: 4-8% Slope)	22,518	0.35	7,881
Subtotals	56,357		40,027
Total Area (Acres)	1.29		AC

*C-values obtained from City of Novi Engineering Design Manual
 $C_{IMP} = \sum Landcover / \sum Weighted Value$

Composite C Value, C: 0.71

$C_{IMP} = \sum Landcover / \sum Impervious Weighted Value$ **Relative Imperviousness C Value, C_{IMP}:** 0.57

ALLOWABLE SITE DISCHARGE & BASIN DISCHARGE RATIO

Site Area, A: 1.29 AC ***Allowable Discharge Ratio:** 0.15 CFS/AC

Allowable Site Discharge, Q_A: 0.19 CFS

Basin Discharge Ratio, Q: 0.21 CFS/AC/IMP

$Q = Q_A / (A * C)$

BASIN STORAGE TIME

Design Storm Frequency: 100 YR **Basin Storage Time, T:** 195.98 MINS

$T = 25 + (10.3125 / Q)^{0.5}$

BASIN VOLUME REQUIRED

Basin Volume Ratio, V_r: 12.978 CF/AC/IMP

Basin Volume Required, V_r: 11,926 CF

$V = (16.500 * T / (T + 25)) - 40 * Q * T$

$V_r = V * A * C$

REQUIRED CONTROL ORIFICE SIZE

Control Orifice Area, A_o: 2.51 IN²

Control Orifice Diameter, D_o: 1.79 IN

Orifice Diameter Proposed: 2.00 IN

$A_o = Q_A / (0.62 * (2 * 32.2 * H)^{0.5})$

$D_o = 2 * (A_o / \pi)^{0.5}$

RESTRICTED OUTLET

FIRST FLUSH VOLUME

V_{ff} = 1,815 * A * C_{IMP} **First Flush Volume, V_{ff}:** 1,339 CF

BANKFULL FLOOD VOLUME

V_{bf} = 5,160 * A * C_{IMP} **Bankfull Flood Volume, V_{bf}:** 3,808 CF

ABOVEGROUND BASIN VOLUME PROVIDED

Elevation	Surface Area (SF)	Total Volume (CF)
966.90	0	0
967.00	399	20
968.00	843	641
969.00	1,413	1,769
970.00	2,112	3,531
971.00	2,941	6,058
971.90	3,800	9,091
972.00	3,922	9,478

Top of Storage

Aboveground Basin Volume, V: 9,091 CF

Basin volume calculated based on a trapezoidal prism

UNDERGROUND BASIN VOLUME PROVIDED

Elevation	Total Volume (CF)
969.60	0
969.85	235
970.10	470
970.52	1,185
970.93	1,833
971.43	2,425
971.77	2,738
971.93	2,895

Bottom of Stone

Bottom of Chamber

Top of Chamber

Top of Stone

Underground Basin Volume, V: 2,895 CF

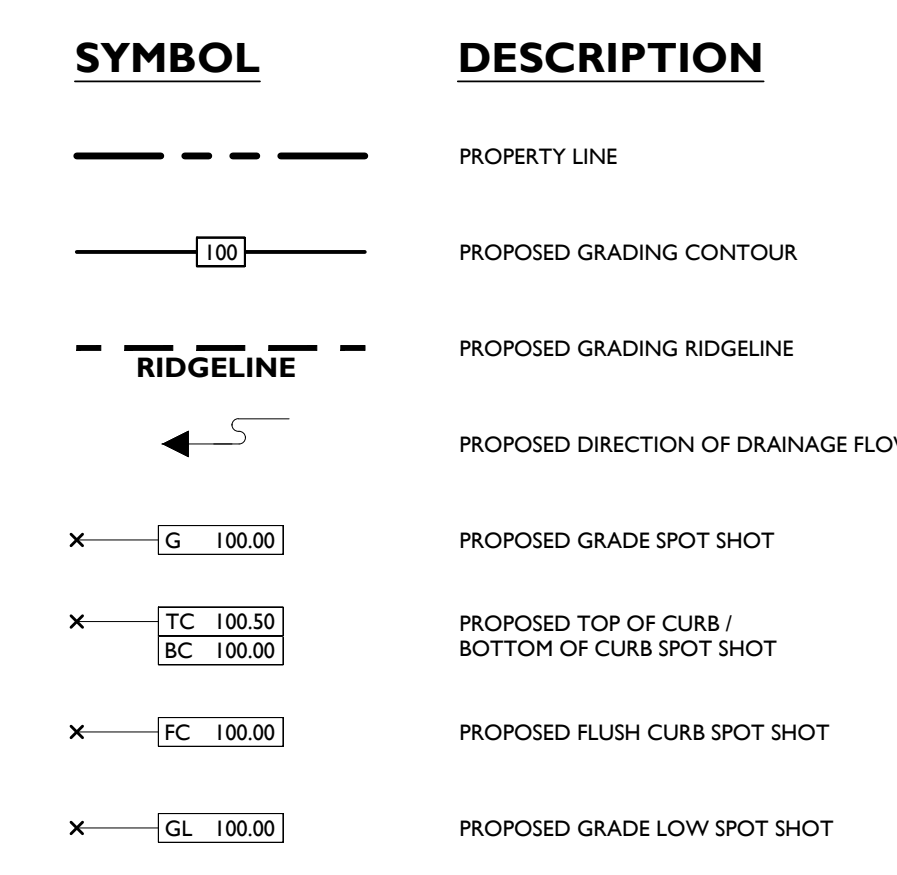
OVERALL SITE STORMWATER DETENTION VOLUME PROVIDED

Aboveground Basin Volume, V: 9,091 CF

Underground Basin Volume, V: 2,895 CF

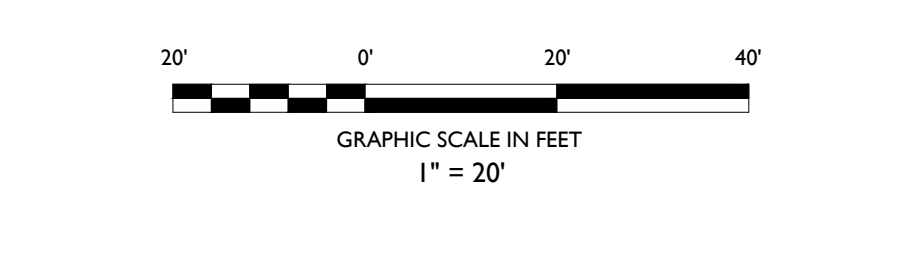
Total Site Volume, V: 11,986 CF

OVERALL STORMWATER DETENTION CALCULATION



- #### GRADING NOTES
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- #### ADA NOTES
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.



PRELIMINARY SITE PLANS

EL CARWASH NOVI

PROPOSED AUTO WASH

PARCEL ID: 22-17-126-006
48648 GRAND RIVER AVENUE
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48374

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: DET-230271

TITLE: GRADING & STORMWATER MANAGEMENT PLAN

DRAWING: C-4

NOT APPROVED FOR CONSTRUCTION

5 02/26/2023 VF FOR SITE PLAN APPROVAL PER CITY COMMENTS

4 01/19/2023 VF FOR SITE PLAN APPROVAL

3 10/19/2023 VF & HG FOR CLIENT REVIEW

2 10/02/2023 AF FOR CLIENT REVIEW

1 08/23/2023 JD FOR PRE-APPLICATION MEETING

STONEFIELD
engineering & design

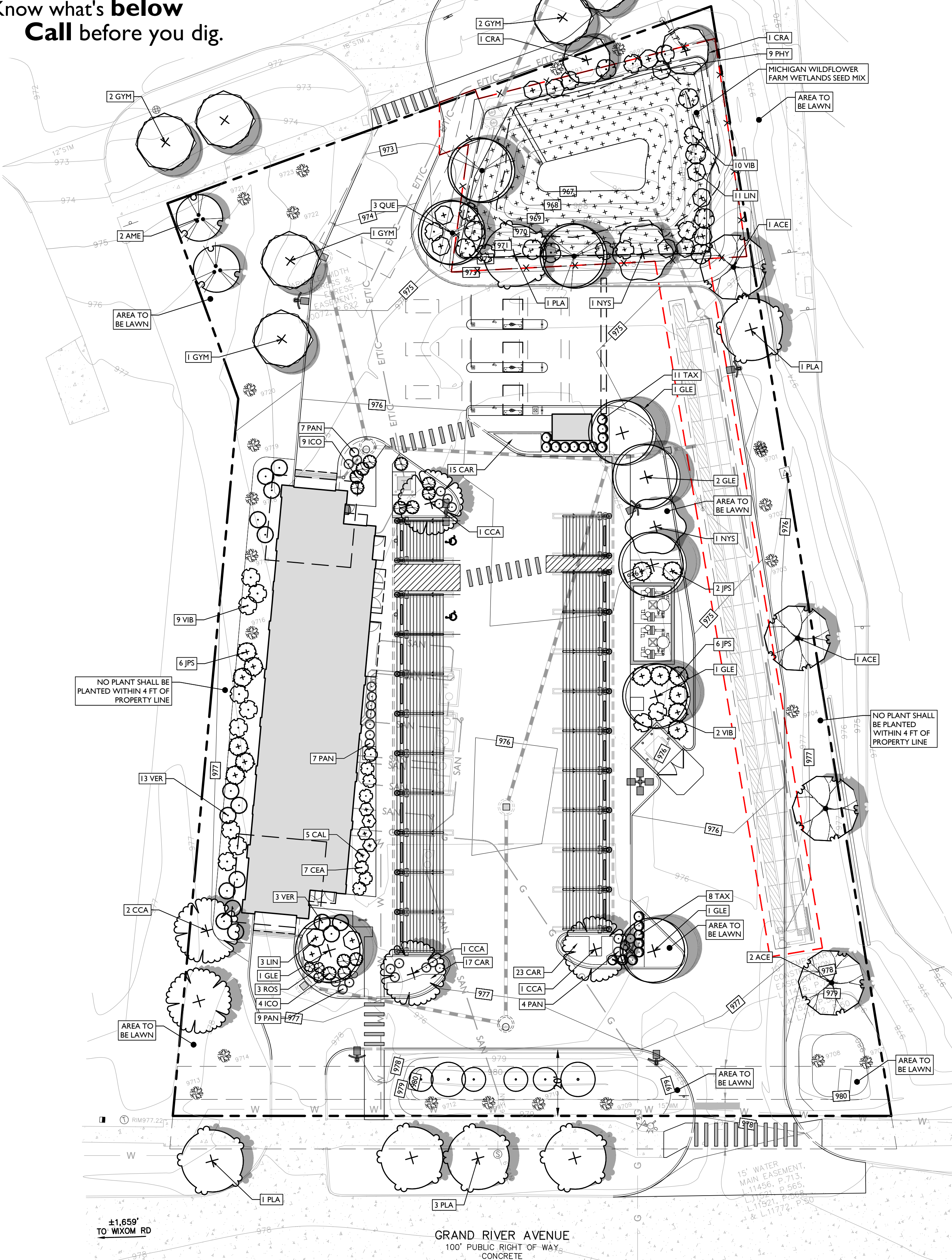
Detroit, MI • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115



Know what's below
Call before you dig.

TWELVE MILE ROAD
120' PUBLIC RIGHT OF WAY
ASPHALT



LANDSCAPING AND BUFFER REQUIREMENTS table with columns: CODE SECTION, REQUIRED, PROPOSED. Includes sections for Greenbelt Requirements, Parking Lot Island Requirements, and Detention/Retention Basin Requirements.

- MICHIGAN WILDFLOWER FARM WETLAND MIX: ANEMONE CANADENSIS, ANGELICA ATROPURPUREA, AGASTACHE SCABERRIMA, etc.

UTILITY SYMBOL DESCRIPTION table listing symbols for Property Line, Proposed Sanitary Lateral, Proposed Domestic Water Service, etc.



EXISTING CONDITION - SITE FRONTAGE
NOT TO SCALE

LA ARCHITECT PAUL DeVITTO III
STONEFIELD ENGINEERING & DESIGN
607 SHELBY STREET SUITE 200
DETROIT, MICHIGAN 48226
(248) 247-1115
PDEVITTO@STONEFIELDDENG.COM

APPLICANT NATIONAL EXPRESS WASH II, LLC
30200 TELEGRAPH ROAD SUITE 205
BINGHAM FARMS, MICHIGAN 48025
(248) 649-9999
SBUGNER@ALRIGUSA.COM

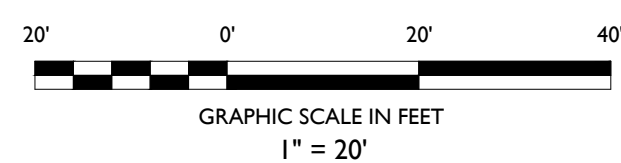
PLANT SCHEDULE table with columns: DECIDUOUS TREES, ORNAMENTAL TREES, SHRUBS, EVERGREEN SHRUBS, GRASSES, PANICUM, GRASS AREA, LANDSCAPE MATERIAL. Lists botanical names, common names, sizes, and costs.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

- THE STORMWATER BASIN IS DESIGNED TO BE EMPTY 24 - 48 HOURS AFTER RAINFALL EVENT.
- IRRIGATION PLANS ARE REQUIRED AND SHALL BE PROVIDED AS PART OF THE FINAL SITE PLAN.
- SHOULD JAPANESE KNOTWEED OF PHRAGMITES BE PRESENT ON SITE THEY SHALL BE REMOVED FROM THE PREMISES.

LANDSCAPING NOTES

- 1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPE AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.



Approval table with columns: DATE, BY, DESCRIPTION. Includes rows for City Comments, Client Review, and Pre-Application Meeting.

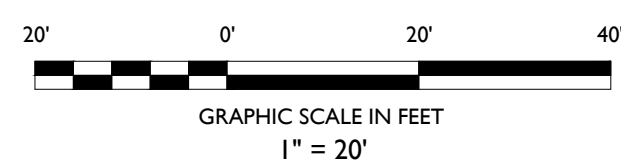
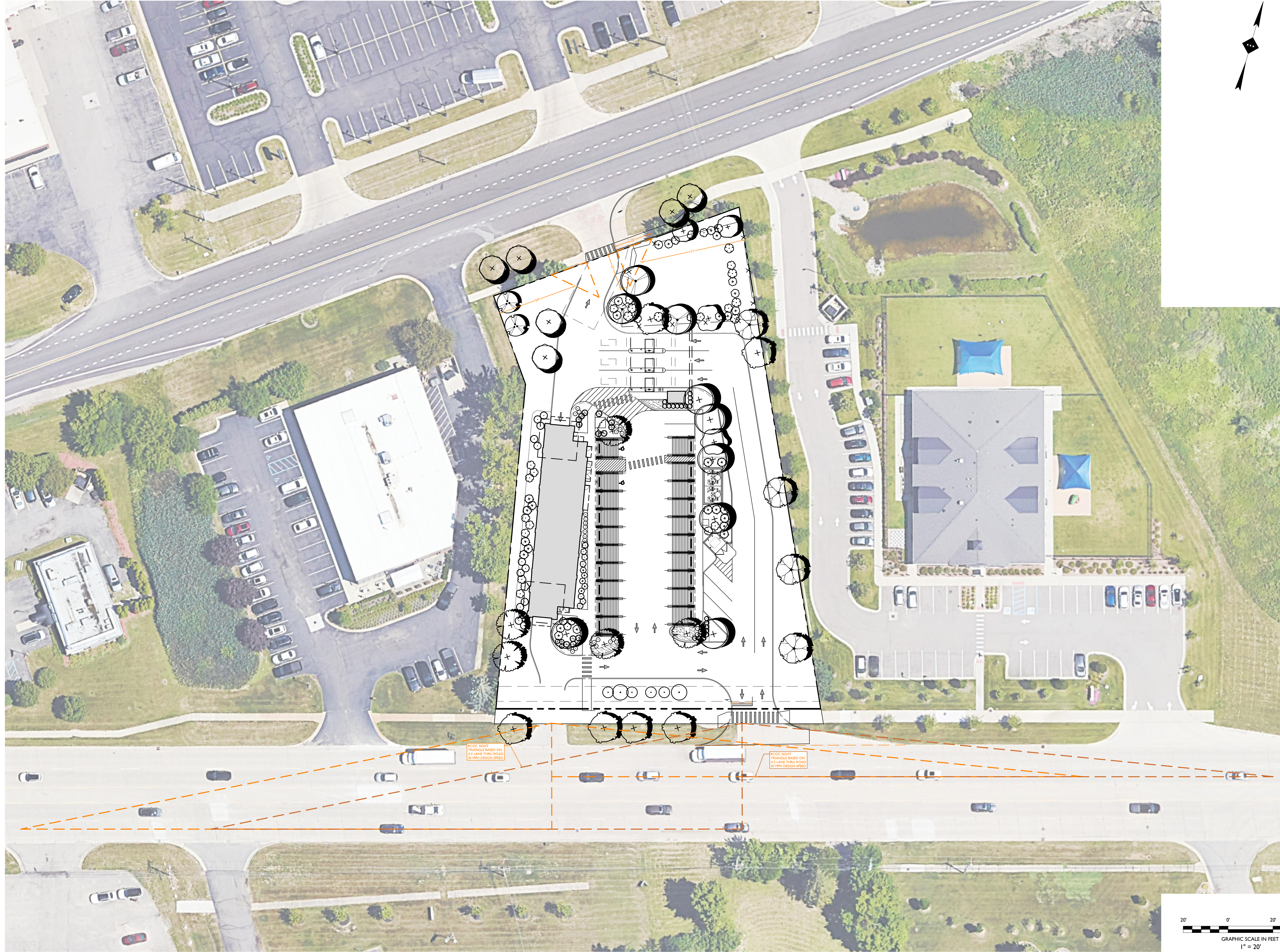
NOT APPROVED FOR CONSTRUCTION
STONEFIELD engineering & design
Detroit, MI • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Rochester, NY
www.stonefielddeng.com
607 Shelby Street 200, Detroit, MI 48226
Phone 248.247.1115

PRELIMINARY SITE PLANS
EL CARWASH NOVI
PROPOSED AUTO WASH
PARCEL ID: 22-17-126-006
46648 GRAND RIVER AVENUE
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN 48374

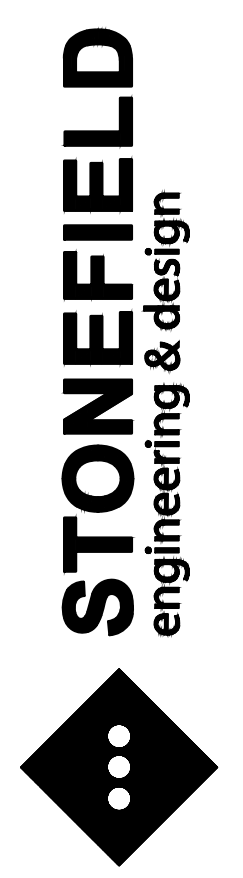


STONEFIELD engineering & design
SCALE: 1" = 20' PROJECT ID: DET-230271
TITLE: LANDSCAPING PLAN
DRAWING: C-8

V:\02\2023\23071-ELC-4868 GRAND RIVER AVENUE NOVI, MI\CDR\PROJ\EXHIBIT-2.DWG



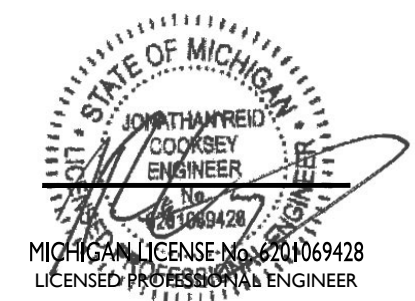
NOT APPROVED FOR CONSTRUCTION



Detroit, MI · New York, NY · Boston, MA
 Princeton, NJ · Tampa, FL · Rutherford, NJ
 www.stonefielddesign.com
 607 Shelby Suite 200, Detroit, MI 48226
 Phone 248.247.1115

PRELIMINARY SITE PLANS
EL CARWASH NOVI
PROPOSED AUTO WASH

PARCEL ID: 22-17-126-006
 48648 GRAND RIVER AVENUE
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN 48374



SCALE: 1" = 20' PROJECT ID: DET-230271

TITLE: **CLEAR ZONE
 LANDSCAPE
 EXHIBIT**

DRAWING:

EX-2

ISSUE	DATE	BY	DESCRIPTION
5	02/26/2023	VF	UPDATED FOR SITE PLAN APPROVAL PER CITY COMMENTS
4	01/19/2023	VF & HG	FOR SITE PLAN APPROVAL
3	10/19/2023	VF & HG	FOR CLIENT REVIEW
2	10/02/2023	AF	FOR CLIENT REVIEW
1	08/23/2023	JD	FOR PRE APPLICATION MEETING